



**LINCOLN PARK PLANNING COMMISSION**  
CITY HALL – COUNCIL CHAMBERS  
1355 SOUTHFIELD ROAD  
LINCOLN PARK, MICHIGAN

**Wednesday, December 14, 2016**  
**7:00 p.m.**

## **AGENDA**

- I. Call to Order**
- II. Pledge of Allegiance**
- III. Roll Call**
- IV. Approval of November 2016 Minutes**
- V. Approval of Agenda**
- VI. Old Business**
  - A. Public hearing: 2115 Fort St. (White Castle) PUD**
  - B. Final site plan review: 2115 Fort St. (White Castle) PUD**
- VII. New Business - none**
- VIII. Reports from Departments and Other Boards and Commissions**
- IX. Public Comments**
- X. Comments from Planning Commissioners**
- XI. Adjournment**

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The City of Lincoln Park will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park, MI 48146(313) 386-1800 Ext. 1296

## **Welcome to the Lincoln Park Planning Commission**

For those in the audience who are not familiar with the operation of the Planning Commission, the following paragraphs provide some general information concerning the meeting procedures.

### **Procedure for Public Comment** (Section 2.G of By-laws)

A limit of three (3) minutes per participant during the call to the public shall be permitted for any written or oral statements. If necessary, the Chair may further restrict the time limit for public comment during any meeting to ensure an orderly meeting.

The Chair may also elect to allow persons to speak only once, until all persons have had the opportunity to speak, at which time the Chair, in his/her discretion, may permit additional comments.

All comments by the public, staff and the Planning Commission shall be directed to the Chair.

The Planning Commission will take all comments into consideration, but will not discuss nor respond directly to questions posed during the said meeting.

### **Procedure for Public Hearings** (Section 2.H of By-laws)

A limit of three (3) minutes per participant during the hearing shall be permitted for any written or oral statements. If necessary, the Chair may further restrict the time limit for public participation during any meeting to ensure an orderly meeting.

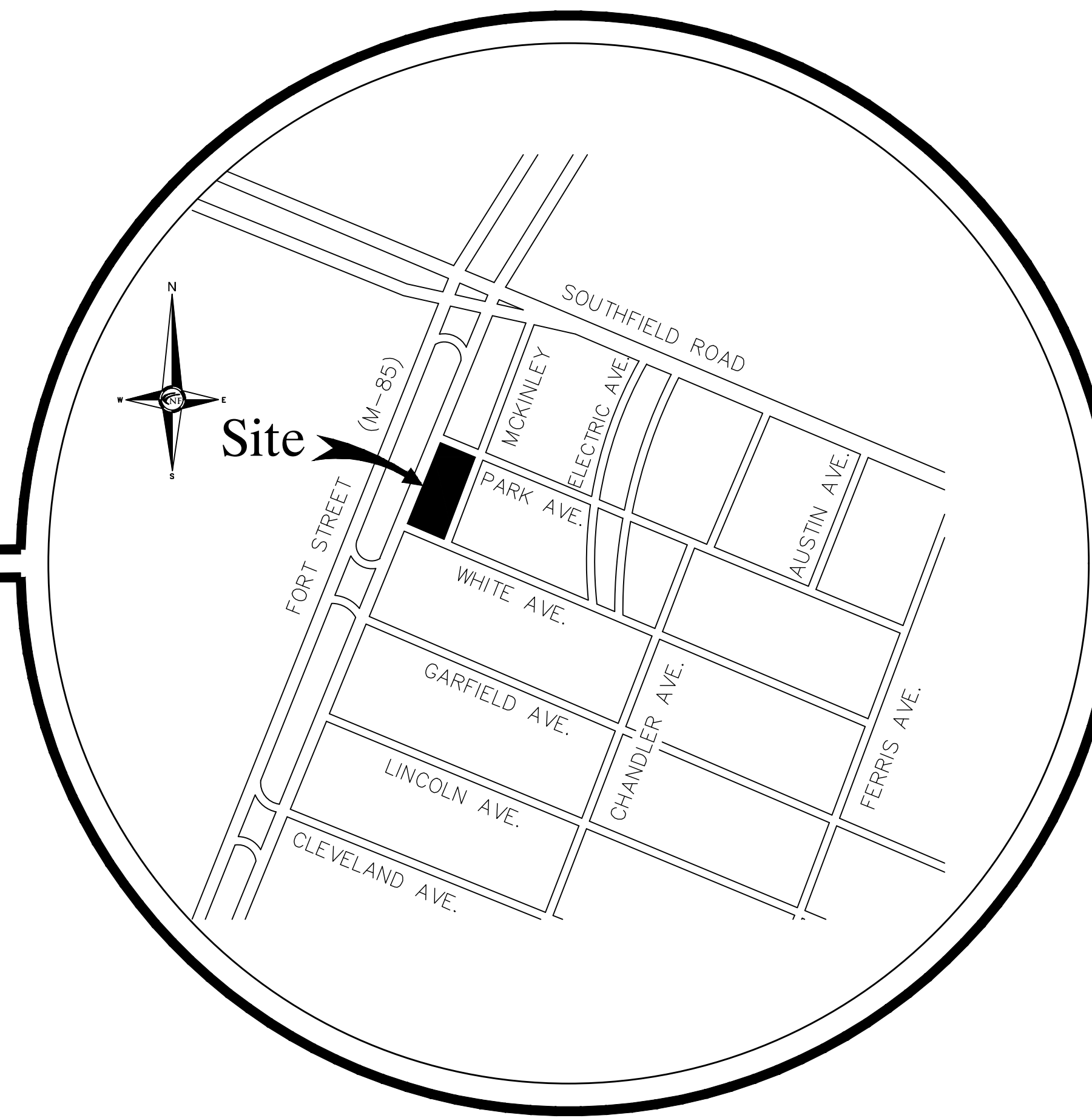
All public hearings must be held as part of a regular or special meeting of the Planning Commission. The following rules of procedure shall apply to public hearings held by the Planning Commission:

- a. Chair opens the public hearing and announces the subject.
- b. Chair summarizes the procedures/rules to be followed during the hearing.
- c. City planner/engineer/consultant presents their report and recommendation.
- d. Applicant presents the main points of the application.
- e. Public is invited to speak in support or opposition to the application.
- f. Chair closes the public hearing and returns to the regular/special meeting.

The Chair may also elect to allow persons to speak only once, until all persons have had the opportunity to speak, at which time the Chair, in his/her discretion, may permit additional comments.

All comments by the public, staff and the Planning Commission shall be directed to the Chair. All comments shall be related to the application under discussion; unrelated comments shall be ruled out of order.

City of Lincoln Park,  
Wayne County, Michigan  
**SITE PLAN DOCUMENTS**  
Prepared For  
White Castle Systems



LOCATION MAP

Project Name  
**White Castle - DE #15**  
**2115 Fort Street**

**PROPERTY OWNER**

White Castle Systems  
555 West Goodale St.  
Columbus, OH 43216  
Contact: Glen Davidson  
(614) 559-2651 - Tel.  
(614) 224-1787 - Fax.

**PROJECT CONTACT**

White Castle Systems  
555 West Goodale St.  
Columbus, OH 43216  
Contact: Travis Evans  
(614) 559-2445 - Tel.  
(614) 224-1787 - Fax.

**SHEET INDEX**

SP0	COVER SHEET
SP1	GENERAL SITE PLAN
SP2	BOUNDARY / TOPOGRAPHIC / TREE SURVEY
L1	LANDSCAPE PLAN
LP1	PHOTOMETRIC PLAN
SD7	SITE DETAILS
SD7A	SITE DETAILS
SD8	REFUSE ENCLOSURE PLAN & DETAILS
A3.0	ARCHITECTURAL ELEVATIONS
EQ 1.0	EQUIPMENT PLAN

**LEGAL DESCRIPTION**

EASTERLY PART OF LOT 17, MEASURED 10.08' ON THE SOUTHERLY LINE AND 8.78' ON THE NORTHERLY LINE OF SAID LOT, ALSO THE SOUTHERLY 9 FEET OF VACATED ALLEY AND LOT 18, ALSO THE SOUTHERLY 9 FEET OF ADJACENT VACATED ALLEY AND LOT 19, ALSO THE SOUTHERLY 9 FEET OF VACATED ALLEY, ALSO THE ADJACENT VACATED WESTERLY 20 FEET OF MCKINLEY AVENUE, ALL OF LINCOLN PARK SUBDIVISION NO. 1 OF PART OF PRIVATE CLAIM 43, 84 AND 95, ECORSE TOWNSHIP (NOW CITY OF LINCOLN PARK), WAYNE COUNTY, MICHIGAN AS RECORDED IN LIBER 30 OF PLATS, PAGE 18, WAYNE COUNTY RECORDS AND THE SOUTHERLY 7.21 FEET OF LOT 79 AND ALL OF LOTS 80, 81, 82, 83 AND 84 OF QUANDT'S STATE-FORT ST. SUBDIVISION OF PART OF PRIVATE CLAIM 43, CITY OF LINCOLN PARK, WAYNE COUNTY, MICHIGAN AS RECORDED IN LIBER 57 OF PLATS, PAGE 48, WAYNE COUNTY RECORDS.

ADDRESS: 2115 FORT STREET, CITY OF LINCOLN PARK, MI 48146

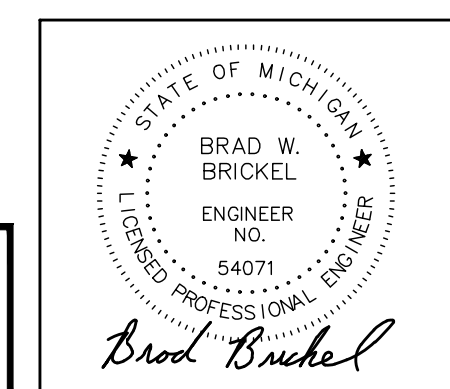
TAX ID NO. 45-009-03-0017-301

CONTAINING: 23,629.13 SQ. FT. OR 0.542 ACRES

REVISIONS:  
09-28-16 ISSUED FOR CITY REVIEW  
12-06-16 REVISED PER SITE PLAN REVIEW



N & F JOB #1791



**CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS**

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257



**GENERAL PAVING NOTES**

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

- CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LICENSES ARRANGING FOR ALL INSPECTION.

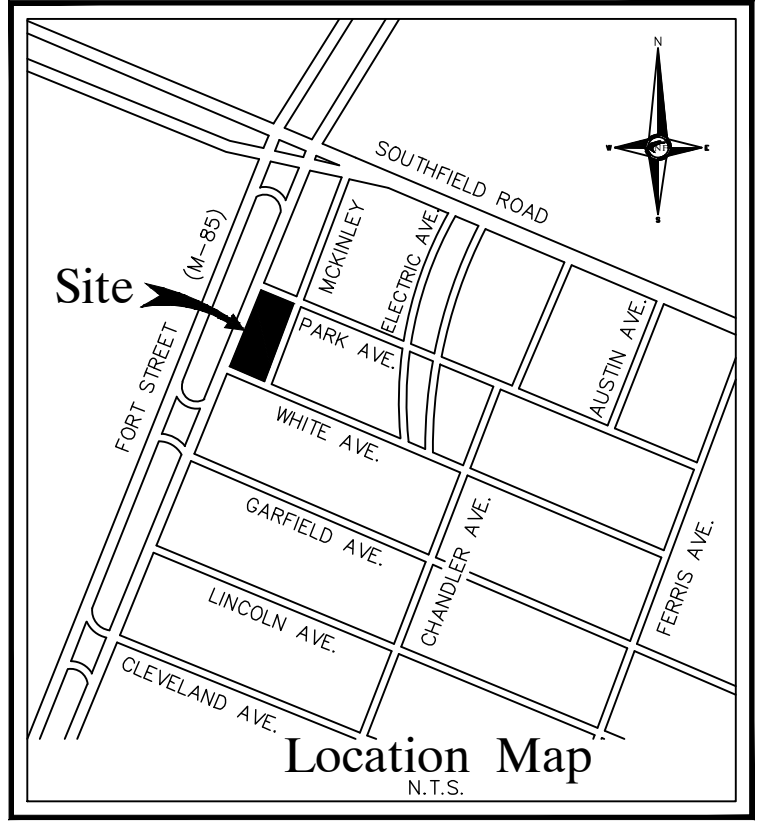
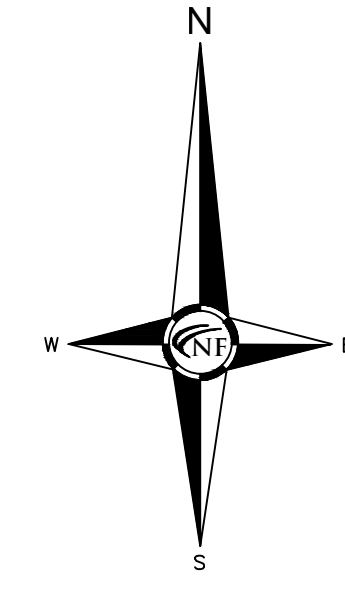
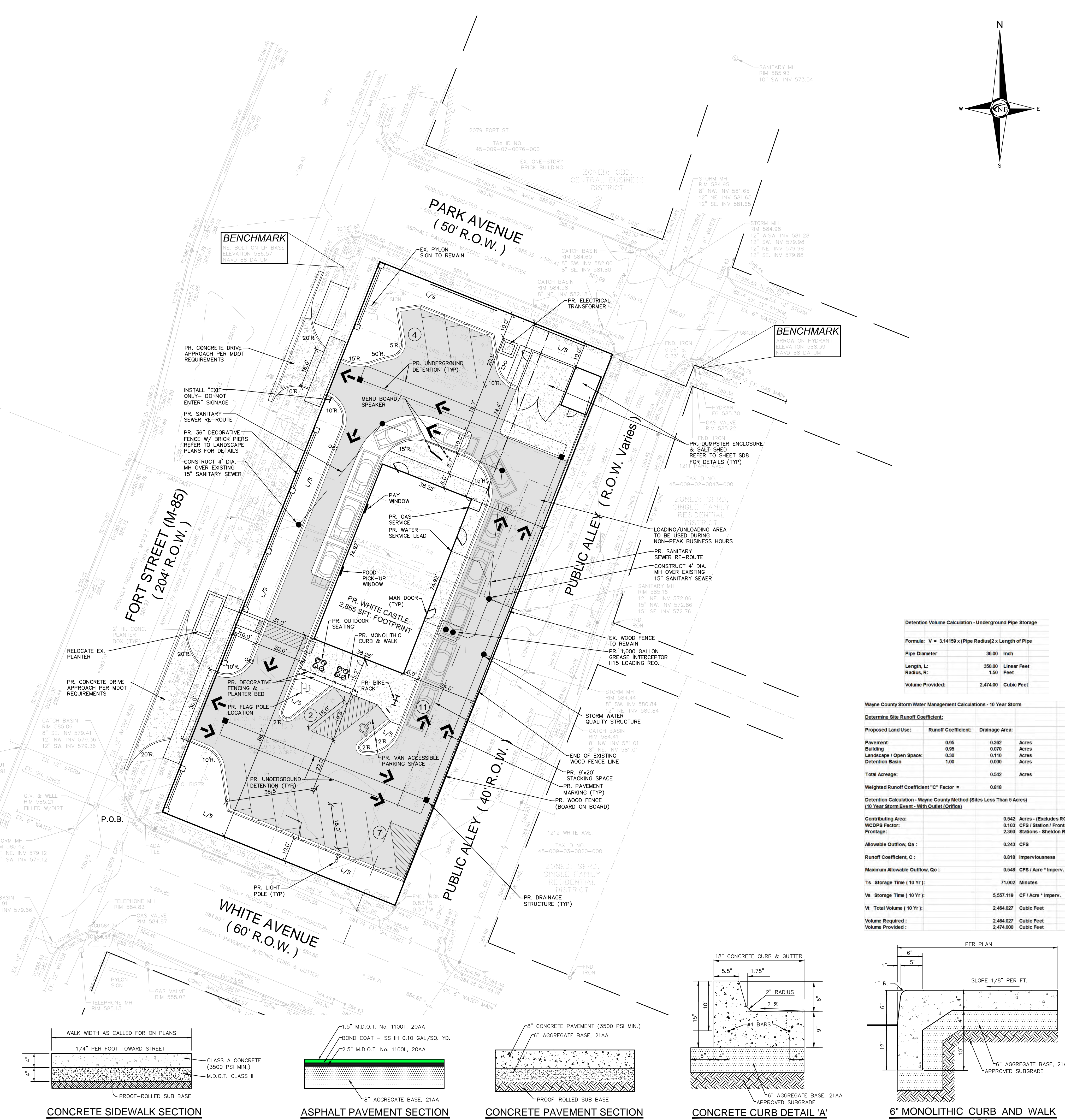
EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADI.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES UP TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.



**NOWAK & FRAUS ENGINEERS**  
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**SCHEDULE OF COMPLETION**

DEMOLITION SCHEDULE TO COMMENCE JUNE 2017. COMPLETION/OPENING DATE IS SCHEDULE TO BE EARLY OCTOBER 2017.

**PROPOSED LAND USE**

THE SITE WILL REMAIN THE SAME AS THE CURRENT USE. IT WILL REMAIN A WHITE CASTLE WITH DRIVE THRU.

**LEGAL DESCRIPTION**

EASTERLY PART OF LOT 17, MEASURED 10.08' ON THE SOUTHERLY LINE AND 8.78' ON THE NORTHERLY LINE OF SAID LOT, ALSO THE SOUTHERLY 9 FEET OF VACATED ALLEY AND LOT 18, ALSO THE SOUTHERLY 9 FEET OF ADJACENT VACATED ALLEY AND LOT 19, ALSO THE SOUTHERLY 9 FEET OF VACATED ALLEY, ALSO THE ADJACENT VACATED WESTERLY 20 FEET OF MCKINLEY AVENUE, ALL OF LINCOLN PARK SUBDIVISION NO. 1 OF PART OF PRIVATE CLAIM 43, 84 AND 95, EGOORSE TOWNSHIP (NOW CITY OF LINCOLN PARK), WAYNE COUNTY, MICHIGAN AS RECORDED IN LIBER 30 OF PLATS, PAGE 16, WAYNE COUNTY RECORDS AND THE SOUTHERLY 7.21 FEET OF LOT 79 AND ALL OF LOTS 80, 81, 82, 83 AND 84 OF QUANDT'S STATE-FORT ST. SUBDIVISION OF PART OF PRIVATE CLAIM 43, CITY OF LINCOLN PARK, WAYNE COUNTY, MICHIGAN AS RECORDED IN LIBER 57 OF PLATS, PAGE 48, WAYNE COUNTY RECORDS.

ADDRESS: 2115 FORT STREET, CITY OF LINCOLN PARK, MI 48146  
 TAX ID NO. 45-009-03-0017-301  
 CONTAINING: 23,629.13 SQ. FT. OR 0.542 ACRES

**NOTE**

STORMWATER DETENTION OR RETENTION SHALL BE PROVIDED AS REQUIRED BY WAYNE COUNTY. DETAILS TO BE PROVIDED DURING ENGINEERING REVIEW PHASE.

DELIVERIES WILL BE ONLY DURING NON-PEAK BUSINESS HOURS. APPROVAL IS REQUIRED FROM THE LINCOLN PARK FIRE DEPARTMENT.

THE DUMPSTER ENCLOSURE DOORS SHALL REMAIN CLOSED WHEN NOT BEING SERVED.

**SITE DATA**

SITE AREA: 23,629.13 SQ. FT. OR 0.542 ACRES  
 GROSS/NET: 23,629.13 SQ. FT. OR 0.542 ACRES

ZONING: CBD, CENTRAL BUSINESS DISTRICT

PARKING REQUIRED: 1 SPACE / 2 SEATS WITHIN SEATING AREA & 1 SPACE / 15 SFT. OF USABLE CUSTOMER AREA & 1 SPACE / 2 EMPLOYEES IN LARGEST WORKING SHIFT  
 1 SPACE X 50/2 SEATS = 25 SPACES  
 1 SPACE X 182/15 SFT. AREA = 12 SPACES  
 1 SPACE X 8/2 EMPLOYEES = 3 SPACES

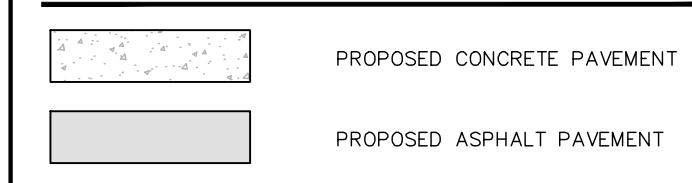
TOTAL PARKING REQUIRED = 40 SPACES  
 PROVIDED: 13 SPACES PROVIDED INCLUDING 1 BARRIER FREE SPACES & 11 STACKING SPACES

SITE AREA: 23,629.13 SFT. 100.0%  
 BUILDING FOOTPRINT: 3,042.42 SFT. 12.9%  
 PARKING & DRIVES: 15,777.46 SFT. 66.8%  
 OPEN SPACE: 4,809.25 SFT. 20.3%

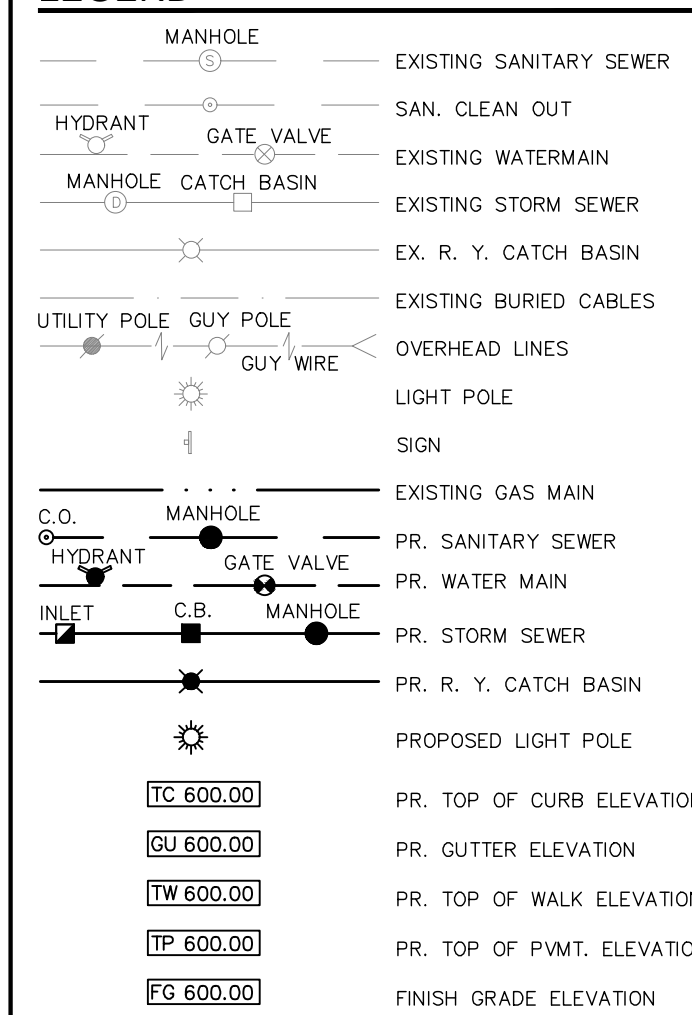
SETBACK REQUIREMENTS (PARKING):  
 FRONT: 10'(NORTH) PROVIDED 10'(NORTH)  
 SIDE: 10'(WEST), N/A(EAST) PROVIDED 10'(WEST), N/A(EAST)  
 REAR: 10'(SOUTH) PROVIDED 10'(SOUTH)

SETBACK REQUIREMENTS (BUILDING):  
 FRONT: N/A PROVIDED 86.7'S., 31'0"W.  
 SIDE: N/A PROVIDED 31'0"E.  
 REAR: N/A PROVIDED 74.4"N.

**PAVING LEGEND**



**LEGEND**



Detention Volume Calculation - Underground Pipe Storage

Formula:  $V = 1.14159 \times (\text{Pipe Radius})^2 \times \text{Length of Pipe}$

Pipe Diameter	36.00	Inch
Length, L	350.00	Linear Feet
Radius, R	1.50	Feet
Volume Provided:	2,474.00	Cubic Feet

Wayne County Storm Water Management Calculations - 10 Year Storm

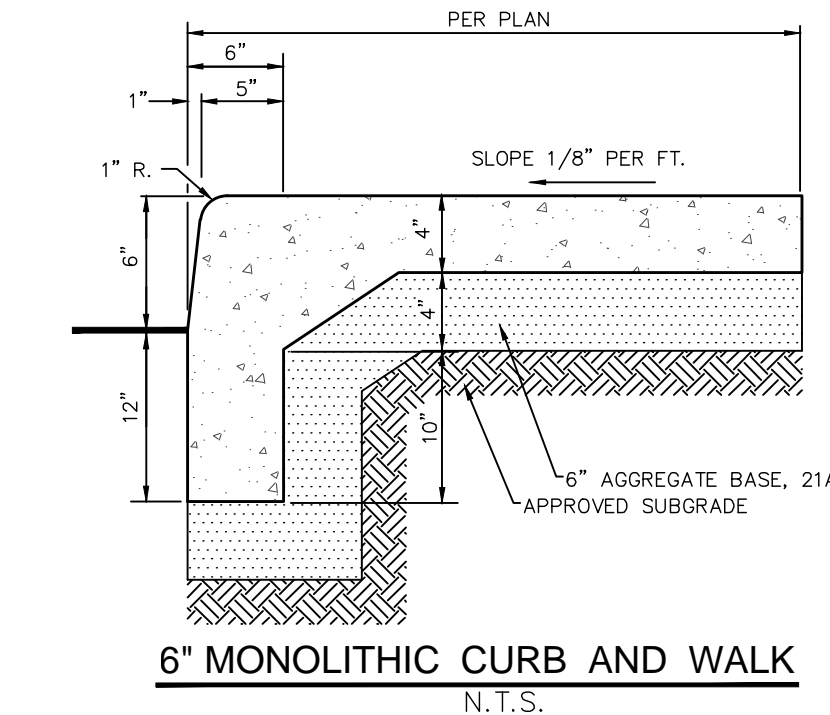
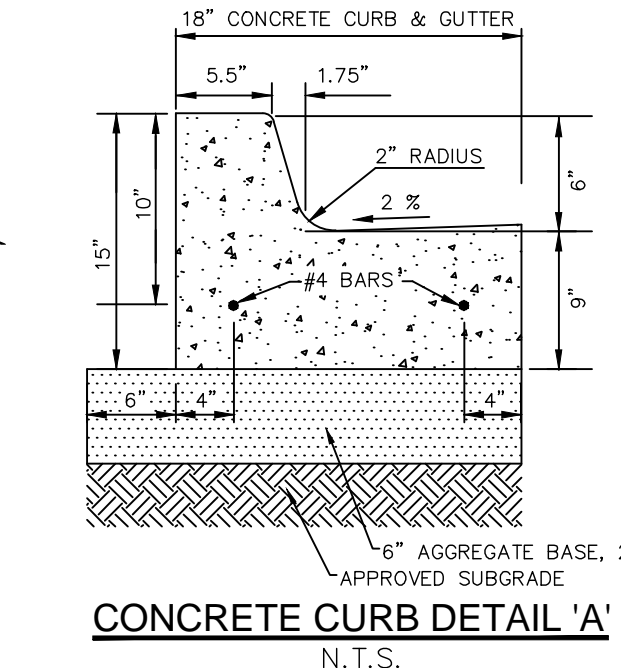
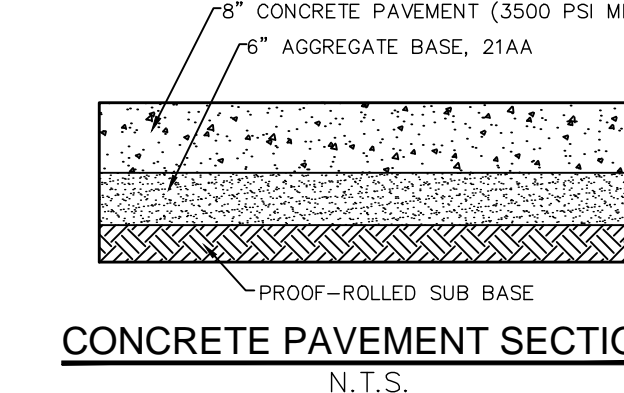
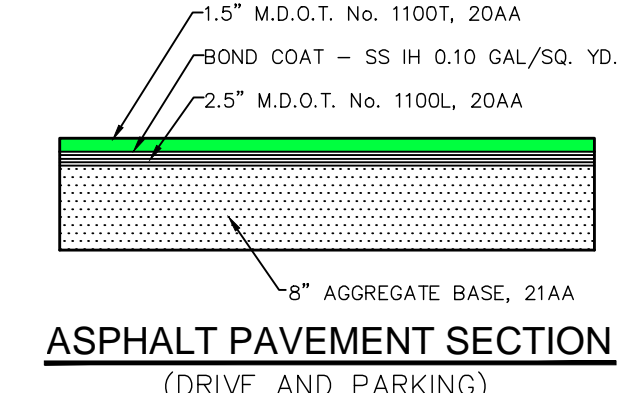
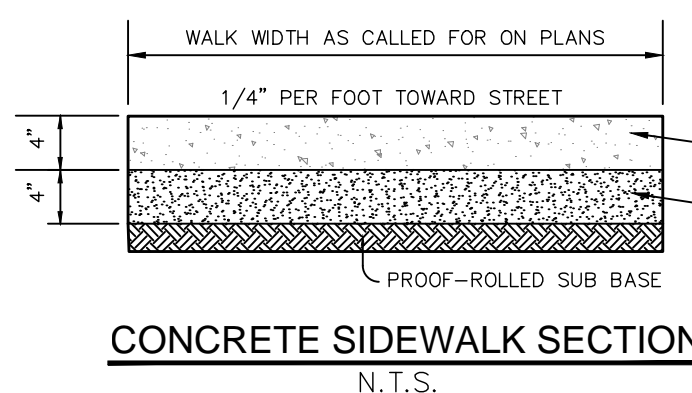
Determine Site Runoff Coefficient:

Proposed Land Use	Runoff Coefficient	Drainage Area:
Pavement	0.95	0.362 Acres
Building	0.95	0.070 Acres
Landscape / Open Space:	0.30	6.119 Acres
Detention Basin	1.00	0.000 Acres
<b>Total Acreage:</b>		<b>0.542 Acres</b>

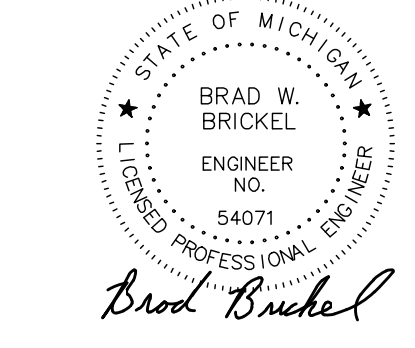
Weighted Runoff Coefficient "C" Factor = 0.818

Detention Calculation - Wayne County Method (Sites Less Than 5 Acres)  
 (10 Year Storm Event - With Outlet (Orifice))

Contributing Area:	0.542	Acres - (Excludes ROW)
WCDF Factor:	0.103	CFS / Station / Frontage
Frontage:	2,360	Stations - Shelton Road
Allowable Outflow, Qa:	0.243	CFS
Runoff Coefficient, C:	0.818	Imperviousness
Maximum Allowable Outflow, Qo:	0.548	CFS / Acre * Imperv.
Ts Storage Time (10 Yr):	71.002	Minutes
Vs Storage Time (10 Yr):	5,557.119	CF / Acre * Imperv.
Vt Total Volume (10 Yr):	2,464.027	Cubic Feet
Volume Required:	2,464.027	Cubic Feet
Volume Provided:	2,474.000	Cubic Feet



SEAL



**PROJECT**  
 White Castle Systems -  
 DE #15 RP (Replacement)  
 2115 Fort Street  
 Lincoln Park, MI 48146

**CLIENT**  
 White Castle Systems  
 555 W. Goodale Street  
 Columbus, OH 43215

Contact: Glen Davidson  
 614.559.2651 - Phone  
 or  
 Craig Eilers  
 614.559.2729 - Phone

**PROJECT LOCATION**  
 Part of Private Claim 43  
 City of Lincoln Park,  
 Wayne County, Michigan

**SHEET**  
 General Site Plan



**REVISIONS**  
 09-28-16 ISSUED FOR CITY REVIEW  
 12-06-16 REVISED PER SITE PLAN REVIEW

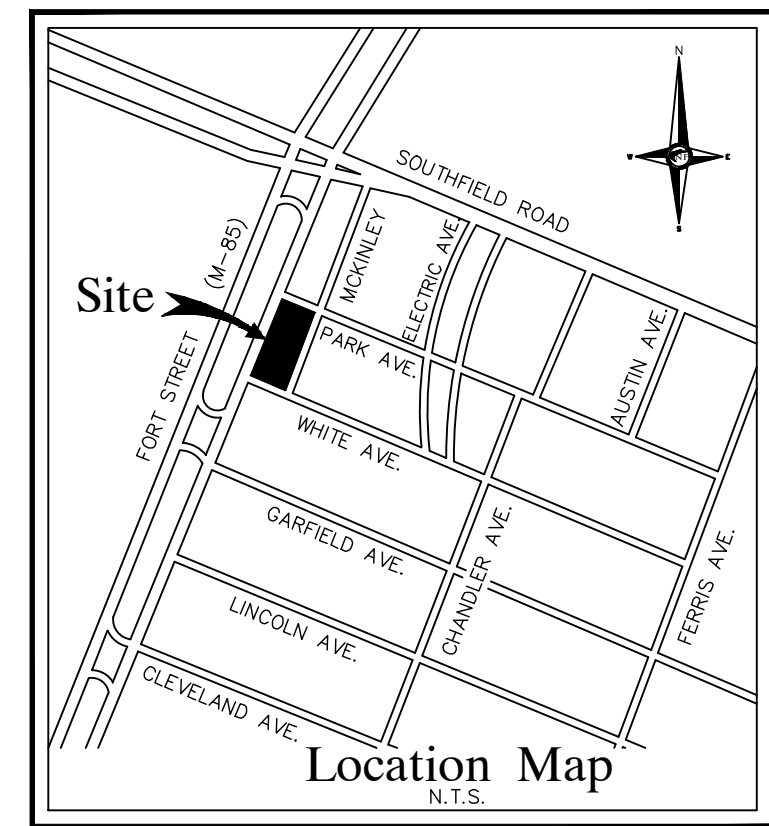
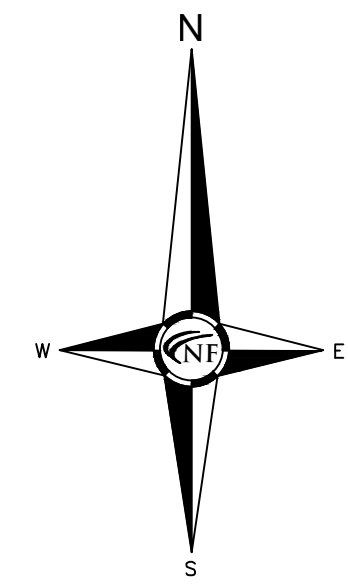
**DRAWN BY:**  
 C. Ellison  
**DESIGNED BY:**  
 B. Brickel  
**APPROVED BY:**  
 B. Brickel

**DATE:**  
 November 4, 2015

**SCALE:** 1" = 20'

NFE JOB NO. **1791** SHEET NO. **SP1**





CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
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SEAL



PROJECT

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DE #15 RP (Replacement)  
2115 Fort Street  
Lincoln Park, MI 48146

CLIENT

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555 W. Goodale Street  
Columbus, OH 43215

Contact: Glen Davidson  
614.559.2651 - Phone  
or  
Craig Eilers  
614.559.2729 - Phone

PROJECT LOCATION

Part of Private Claim 43  
City of Lincoln Park,  
Wayne County, Michigan

SHEET

Boundary / Topographic /  
Tree Survey



Know what's Below  
Call before you dig.

REVISIONS

11-04-15 SURVEY ISSUED  
09-28-16 ISSUED FOR CITY REVIEW  
12-06-16 REVISED PER SITE PLAN REVIEW

DRAWN BY:

M. Carnaghi

DESIGNED BY:

APPROVED BY:

K. Navaroli

DATE:

November 4, 2015

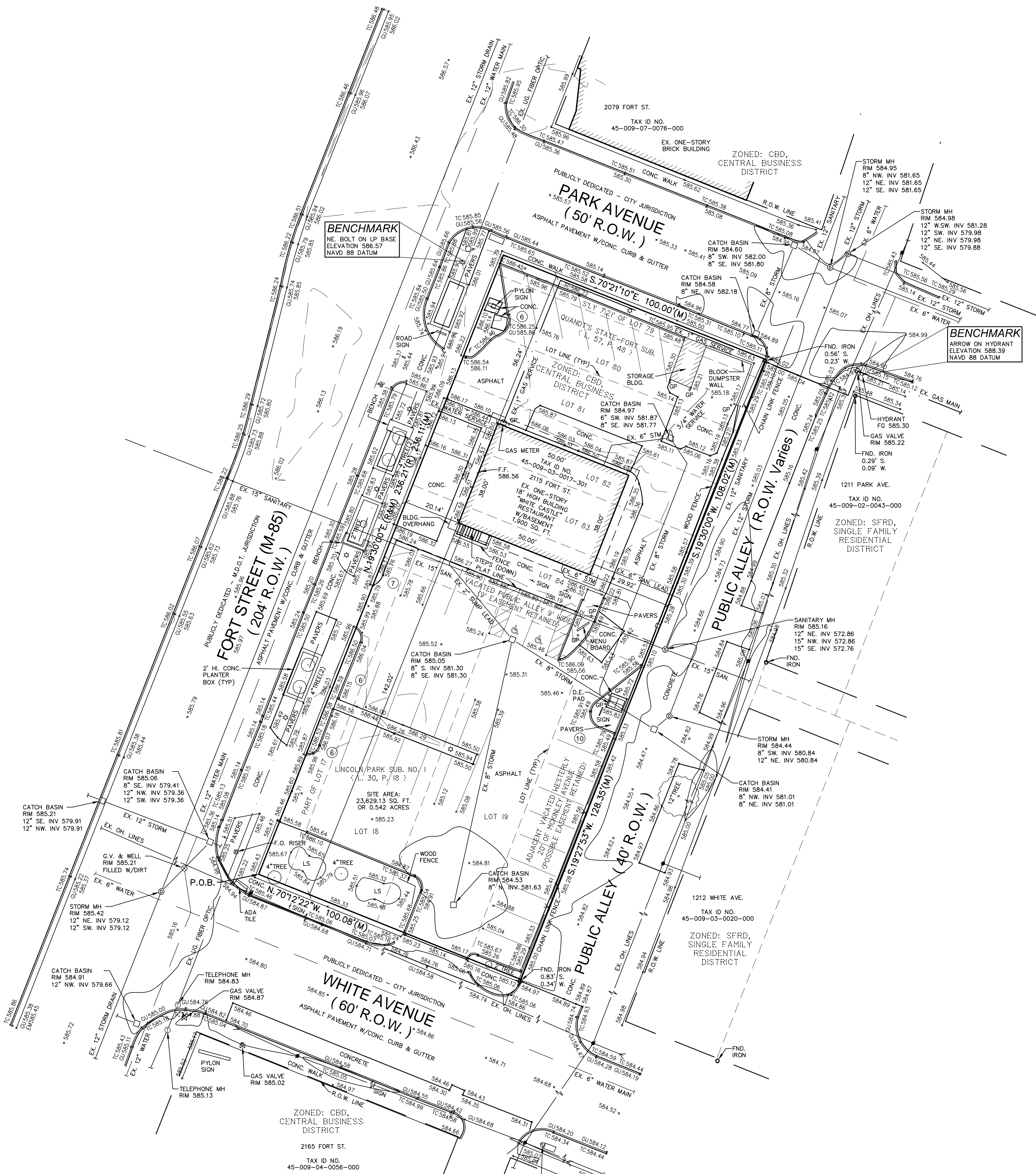
SCALE: 1" = 20'

20 10 0 10 20 30

NFE JOB NO. SHEET NO.

1791

SP2



LEGAL DESCRIPTION - PER CLIENT

EASTERLY PART OF LOT 17, MEASURED 10.08' ON THE SOUTHERLY LINE AND 8.78' ON THE NORTHERLY LINE OF SAID LOT, ALSO THE SOUTHERLY 9 FEET OF VACATED ALLEY AND LOT 18, ALSO THE SOUTHERLY 9 FEET OF ADJACENT VACATED ALLEY AND LOT 19, ALSO THE SOUTHERLY 9 FEET OF VACATED ALLEY, ALSO THE ADJACENT VACATED WESTERLY 20 FEET TO MOONLEY AVENUE, ALL OF LINCOLN PARK SUBDIVISION NO. 1 OF PART OF PRIVATE CLAIM 43, 84 AND 95, EGRESS TOWNSHIP (NOW CITY OF LINCOLN PARK), WAYNE COUNTY, MICHIGAN AS RECORDED IN LIBER 30 OF PLATS, PAGE 18, WAYNE COUNTY RECORDS AND THE SOUTHERLY 7.21 FEET OF LOT 79 AND ALL OF LOTS 80, 81, 82, 83 AND 84 OF QUANDT'S STATE-FORT ST. SUBDIVISION OF PART OF PRIVATE CLAIM 43, CITY OF LINCOLN PARK, WAYNE COUNTY, MICHIGAN AS RECORDED IN LIBER 57 OF PLATS, PAGE 48, WAYNE COUNTY RECORDS.

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BASIS OF BEARING NOTE

ALL BEARINGS ARE IN RELATION TO THE PREVIOUSLY ESTABLISHED WESTERLY LINE OF LINCOLN PARK SUBDIVISION NO. 1 AS RECORDED IN LIBER 30 OF PLATS, PAGE 18, MACOMB COUNTY RECORDS. (N19°30'E.)

FLOOD HAZARD NOTE

THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD HAZARD AREA INDICATED BY FLOOD INSURANCE RATE MAP (FIRM) NO. 26163C0406E EFFECTIVE DATE: FEBRUARY 2, 2012 (ZONE X)

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.  
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.  
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

CERTIFICATE OF SURVEY

WE HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED.  
KEVIN NAVAROLI, PLS DATE: 11-4-2015  
NO.: 53503

LEGEND

MANHOLE(MH)	EXISTING SANITARY SEWER
HYDRANT	EXISTING SAN. CLEAN OUT
GATE VALVE	EXISTING WATER MAIN
MANHOLE	CATCH BASIN(CB)
	EXISTING STORM SEWER
	EX. R.Y. CATCH BASIN
	EX. UNDERGROUND (UG.) CABLE
	OVERHEAD (OH.) LINES
UTILITY POLE	GUY POLE
UP	GUY WIRE
LP	LIGHT POLE
SIGN	SIGN
	EXISTING GAS MAIN
ASPH.	ASPHALT
CONC.	CONCRETE
FD. / FND.	FOUND
RET. WALL	RETAINING WALL
R.O.W.	RIGHT-OF-WAY
GP	GUARD POST
TYP	TYPICAL
(R)	RECORD
(M)	MEASURED
C/L	CENTERLINE
LS	LANDSCAPE
P/L	PROPERTY LINE
F.F.	FINISH FLOOR
LS	LANDSCAPE
IV	IRRIGATION VALVE
X 1	TREE TAG



SEAL



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SHEET  
Landscape Plan



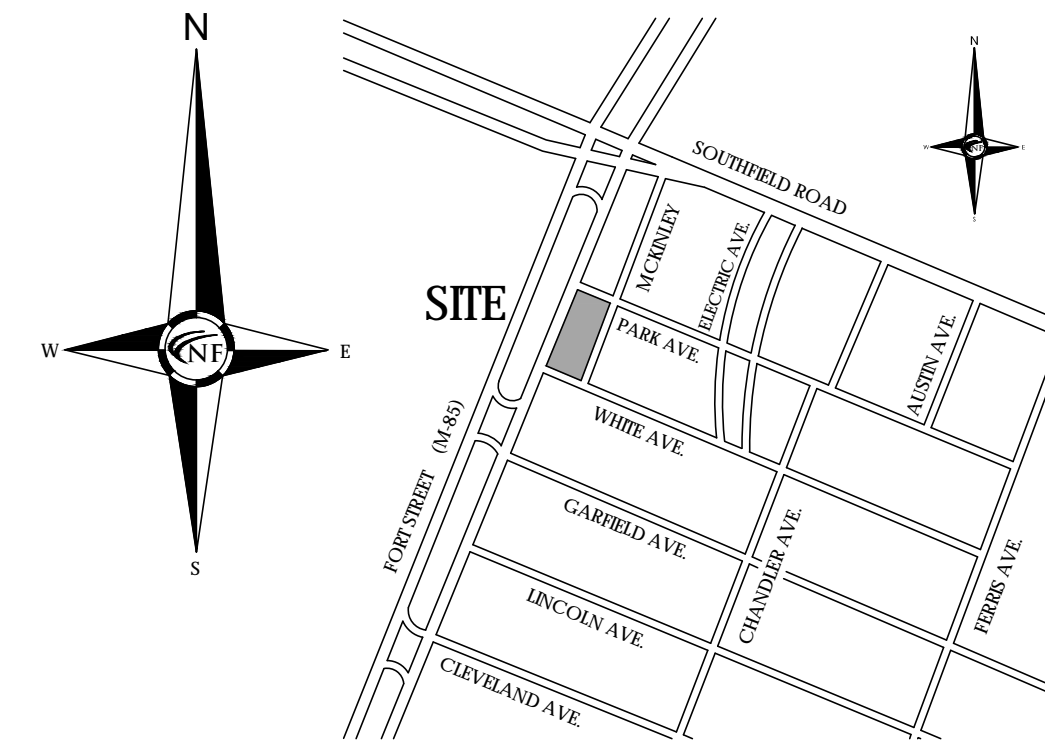
REVISIONS  
12-06-2016 REVISED PER SITE PLAN REVIEW

DRAWN BY:  
G. Ostrowski  
DESIGNED BY:  
G. Ostrowski  
APPROVED BY:  
G. Ostrowski

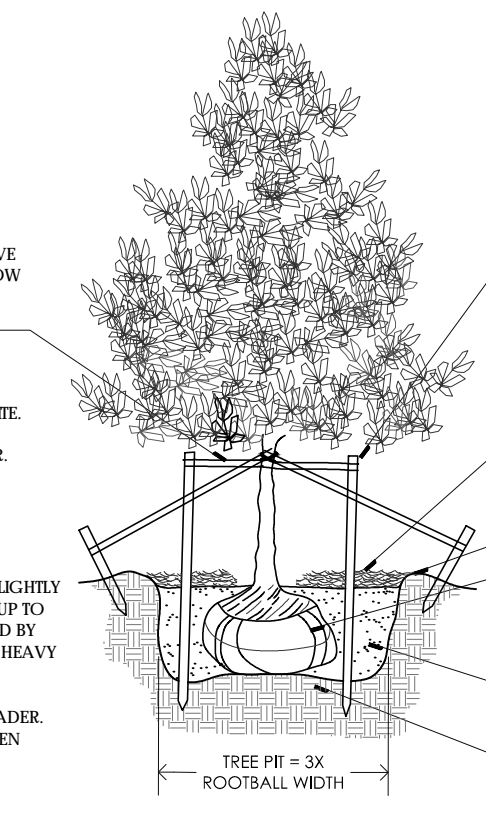
DATE:  
August 26, 2016

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.  
1791 L1

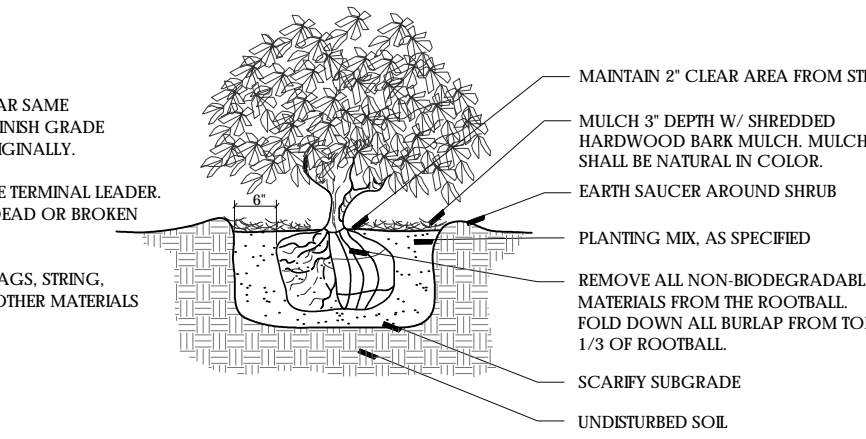


LOCATION MAP



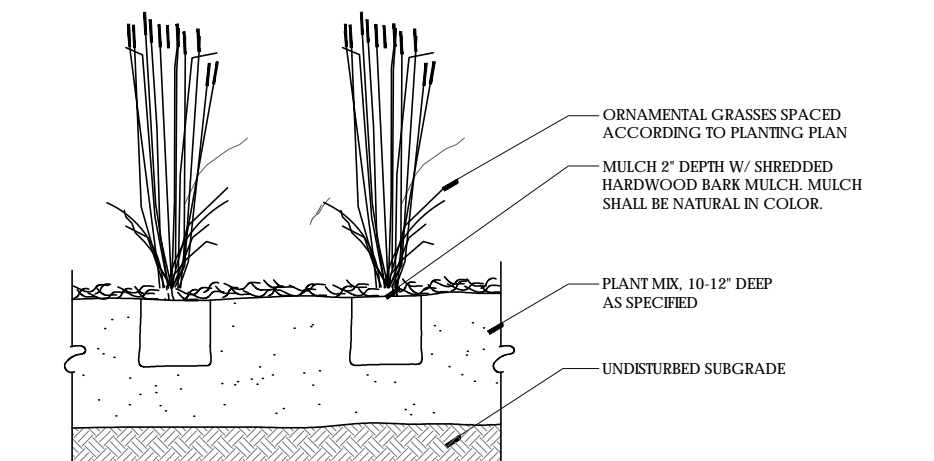
NOTE:  
GUY DECIDUOUS TREES ABOVE 3' CALIPER, STAKE TREES BELOW 3' CALIPER.  
STAKE TREES JUST BELOW FIRST BRANCH USING 2" WIDE BELL LIKE NYLON OR PLASTIC STRIPS. CONNECT FROM TREE TO STAKE OPPOSITE. ALLOW FOR SOME FLEXING. REMOVE AFTER ONE (1) YEAR.  
NOTE:  
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY.  
DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.  
REMOVE ALL TAGS, STRING, PLASTIC AND OTHER MATERIALS.

DECIDUOUS TREE PLANTING DETAIL

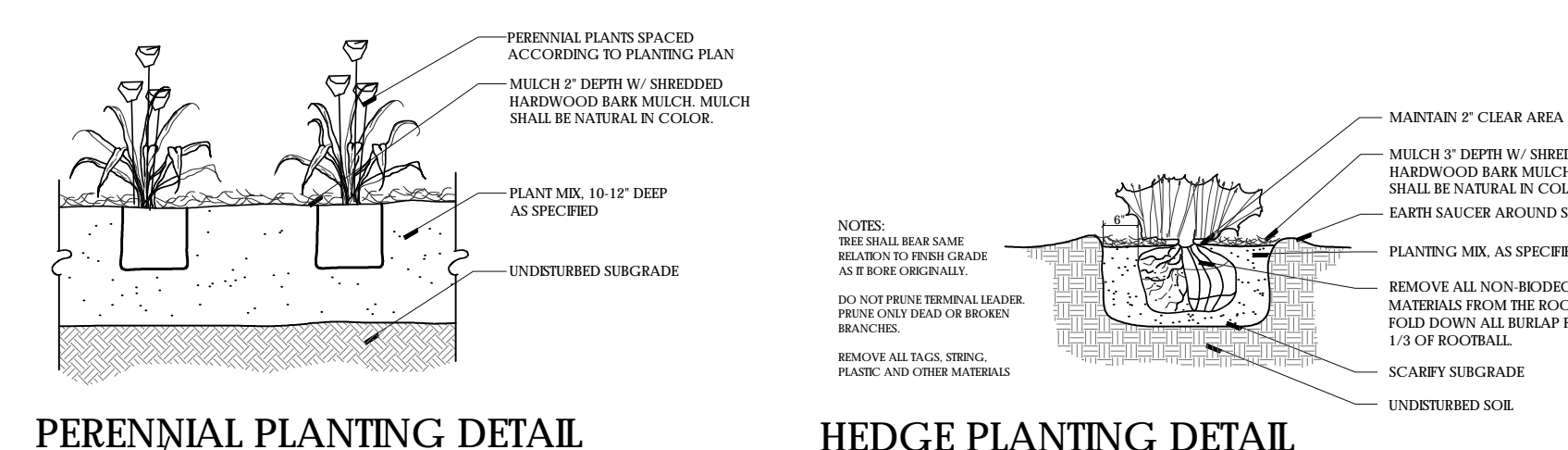


NOTE:  
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY.  
DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.  
REMOVE ALL TAGS, STRING, PLASTIC AND OTHER MATERIALS.

SHRUB PLANTING DETAIL  
DECIDUOUS SHRUB



ORNAMENTAL GRASS PLANTING DETAIL



PERENNIAL PLANTING DETAIL

HEDGE PLANTING DETAIL

PLANT SCHEDULE

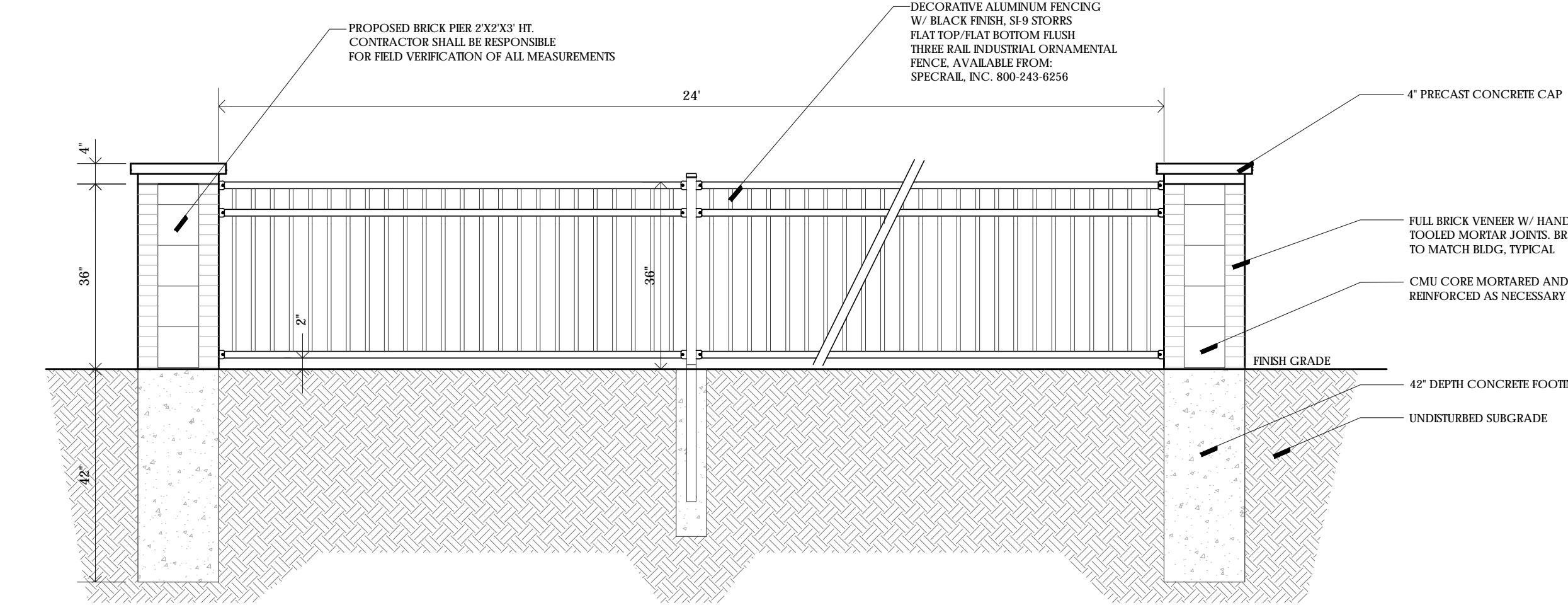
KEY	QTY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT
<b>TREES</b>						
AR	9	Acer rubrum 'Red Rocket' Red Rocket Maple	2.5' CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
LS	2	Acer rubrum 'Emerald Sentinel' Emerald Sentinel Sweet Gum	2.5' CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
MA	8	Malus 'Adirondack' Adirondack Crabapple	2' CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
<b>SHRUBS</b>						
K2	38	Ilex glabra 'Nordic' Nordic Holly	36" HT	30" OC	B&B	MAINTAIN AS HEDGE
RA	8	Ribes alpinum 'Green Mound' Green Mound Alpine Currant	30" HT	30" OC	B&B	MAINTAIN AS HEDGE
SB	46	Spiraea x bumalda 'Anthony Waterer' Anthony Waterer Spiraea	36" HT	30" OC	B&B	MAINTAIN AS HEDGE
<b>GROUNDCOVERS/PERENNIALS</b>						
HR	46	Hemerocallis 'Happy Returns' Happy Returns Daylily	2 GAL	18" OC	CONT	WELL-ROOTED
PA	19	Pennisetum alopecuroides 'Humbel' Humbel Dwarf Fountain Grass	3 GAL	SEE PLAN	CONT	WELL-ROOTED

GENERAL SOD NOTE:

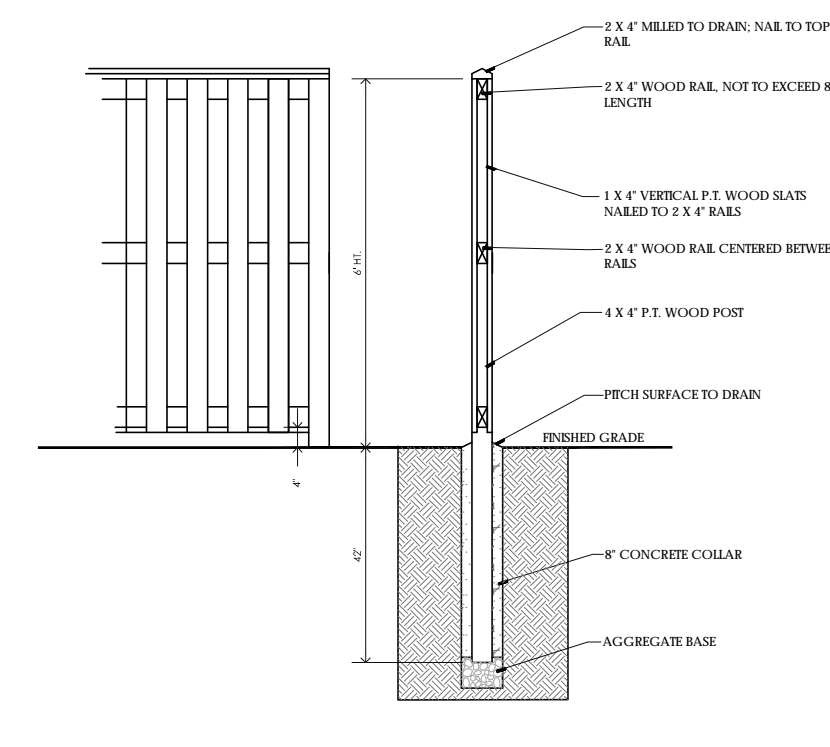
ALL LAWN AREAS DESIGNATED TO BE SODDED, SHALL BE SODDED WITH A BLENDED DURABLE BUREGRASS SOD, TYPICALLY GROWN IN THE REGION. ALL TURF SHALL BE PLACED ON A MINIMUM 3" PREPARED TOPSOIL, AND WATERED DAILY UNTIL ESTABLISHMENT. IN AREAS SUBJECT TO EROSION, SODDED LAWN SHALL BE STABILIZED WHERE NECESSARY, AND LAID PERPENDICULAR TO SLOPES SOD INSTALLATION SHALL OCCUR ONLY:  
SPRING: APRIL TO JUNE  
FALL: AUGUST 15 TO OCTOBER 15

GENERAL SEED NOTE:

ALL LAWN AREAS DESIGNATED TO BE SEEDDED, SHALL BE HYDRO SEEDDED WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED. SEEDING INSTALLATION SHALL OCCUR ONLY:  
SPRING: APRIL TO JUNE  
FALL: AUGUST 15 TO OCTOBER 15



PROPOSED FENCE/PIER SECTION



PROPOSED WOOD FENCE

GENERAL LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLANS AND PLANT LIST, THE PLANS SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ANY DAMAGE OR INTERFERENCE OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES, AND SHALL REPORT ANY UNACCEPTABLE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.
- PLANTS SHALL BE FULL, WELL-BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
- PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE. ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO SURVIVE A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) YEAR FOLLOWING PLANTING.
- ALL MATERIAL SHALL CONFORM TO THE STANDARDS ESTABLISHED IN THE MOST RECENT EDITION OF THE 'AMERICAN GUIDELINES FOR NURSERY STOCK'.
- CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO AROUND EACH OF PLANTING BEDS AS INDICATED BY PLANT DETAILS AND A DEPTH OF 4" IN ALL LAWN AREAS.
- PROVIDE CLEAR BARK BEDS, USING MATERIAL SPECIFIED ON SITE. SOIL SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL, AND STONE. SLOW RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT BEDS BEFORE BEING BACKFILLED. APPLICATION SHALL BE AT THE MANUFACTURER'S RECOMMENDED RATES.
- AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 1/3 'DARTY DOG' COMPOST. MIXED WELL AND SPREAD TO A DEPTH AS INDICATED BY PLANTING DETAILS.
- ALL PLANTINGS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A DEPTH OF 3" FOR TREES AND SHRUBS, AND 2" ON ANNUALS, PERENNIALS, AND GROUNDCOVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS, AND FOREIGN MATERIAL, AND PRICES ON REQUEST.
- NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.
- THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT TO RECTIFY ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SOIL (AS INDICATED ON PLANS) ALL AREAS DESIGNATED AS SUCH ON THE PLANS, THROUGHOUT THE CONTRACT TERM. FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREAS DESTROYED DURING CONSTRUCTION, NOT BY THE CONTRACT LINES, TO EQUAL OR GREATER CONDITION.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM.

LANDSCAPE REQUIREMENTS

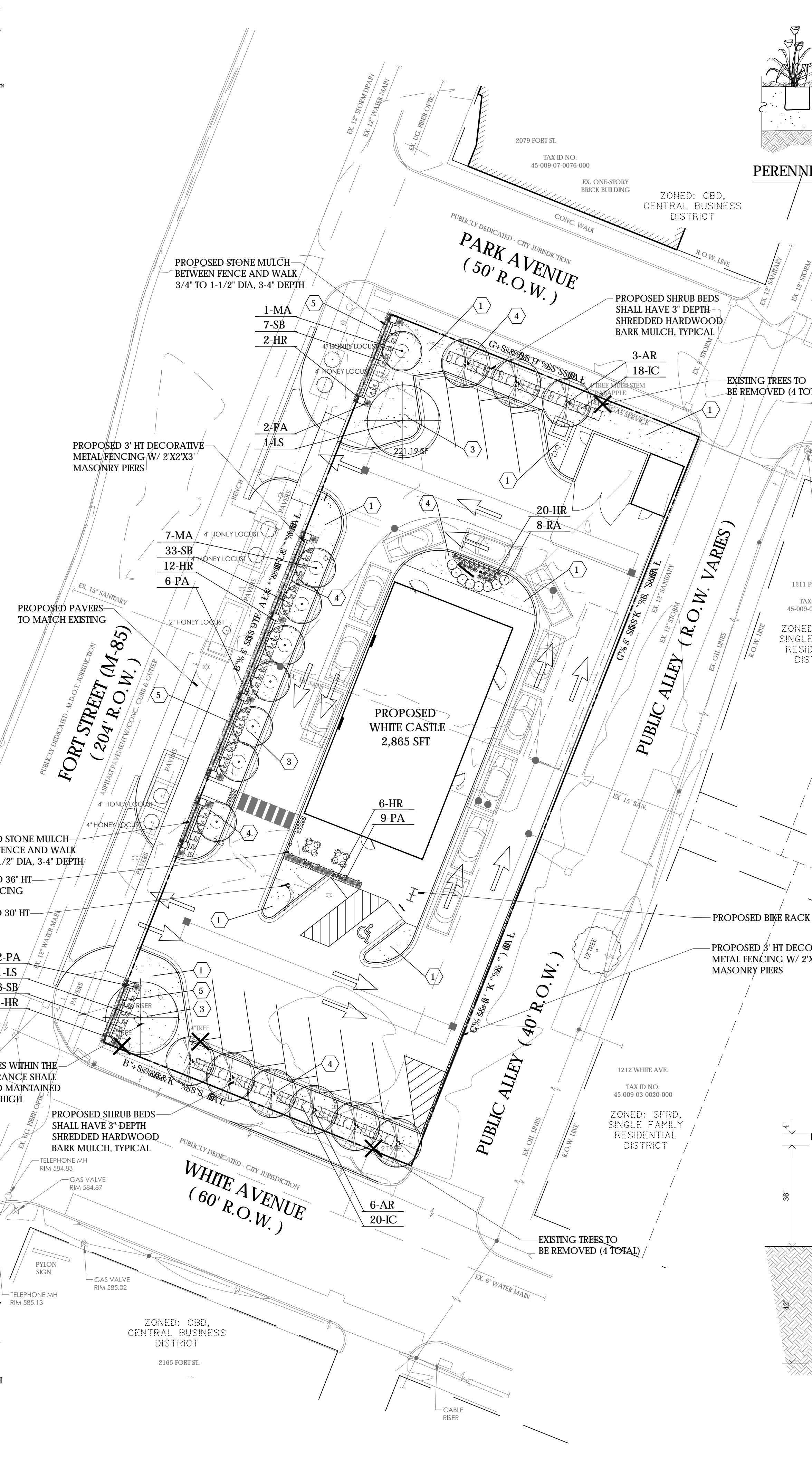
- EXISTING SITE ZONING: CBD, CENTRAL BUSINESS DISTRICT  
EXISTING SITE AREA: 23,633.39 S.F. OR 0.54 ACRES
- GREENBELT ABUTTING A R.O.W.  
1 TREE AND 4 SHRUBS PER 40 L.F. OF FRONTAGE
- REQUIRED:  
PARK AVE: 100 L.F. / 40 L.F. = 3 TREES AND 10 SHRUBS  
FORT ST: 236.11 L.F. / 40 L.F. = 6 TREES AND 24 SHRUBS  
WHITE AVE: 100 L.F. / 40 L.F. = 3 TREES AND 10 SHRUBS
- PROVIDED:  
PARK AVE: 3 TREES AND 10 SHRUBS  
FORT ST: 6 TREES AND 24 SHRUBS  
WHITE AVE: 3 TREES AND 10 SHRUBS
- PARKING LOT LANDSCAPE REQUIREMENTS  
1 TREE PER 10 PKG SPACES, MIN 100 S.F. AREA  
13 SPACES PROVIDED / 10 = 1.3 OR 1 TREE REQUIRED  
PROVIDED: 1 TREE, 221.19 S.F.
- INTERIOR SITE LANDSCAPE  
10% OF SITE SHALL BE LANDSCAPED W/  
1 TREE/400 S.F. AND 1 SHRUB/250 L.F. OF REQUIRED AREA  
REQUIRED:  
23,633.39 S.F. X 10% = 2,363.34 S.F. REQUIRED  
TREES: 2,363.34 S.F. / 400 S.F. = 6 TREES REQUIRED  
SHRUBS: 2,363.34 S.F. / 250 S.F. = 10 SHRUBS

REQUIRED PLANTINGS

- TREES: 19  
SHRUBS: 54  
PROVIDED PLANTINGS  
TREES: 19  
SHRUBS: 92

GROUNDCOVER KEY

- TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL
- RESTORE EXISTING LAWN AREAS W/ HYDROSEED AND MULCH
- 4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
- 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
- 3/4" - 1 1/2" STONE MULCH, 3-4" DEPTH ON WEED BARRIER



PROPOSED STONE MULCH BETWEEN FENCE AND WALK 3/4" TO 1-1/2" DIA, 3-4" DEPTH

PROPOSED 3" HT DECORATIVE METAL FENCING W/ 2'X2'X3" MASONRY PIERS

PROPOSED SHRUB BEDS SHALL HAVE 3" DEPTH SHREDDED HARDWOOD BARK MULCH, TYPICAL

PROPOSED BIKE RACK

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DECORATIVE ALUMINUM FENCING W/ BLACK FINISH, 36" STAKES, FLAT TOP FLAT BOTTOM FLUSH THREE RAIL INDUSTRIAL ORNAMENTAL FENCE, AVAILABLE FROM SPECTRAL INC. 800-243-6256

4" PRECAST CONCRETE CAP

FULL BRICK VENEER W/ HAND TOOLED MORTAR JOINTS, BRCK TO MATCH BLDG, TYPICAL

CMU CORE MORTARED AND REINFORCED AS NECESSARY

FINISH GRADE

4" DEPTH CONCRETE FOOTING

UNDISTURBED SUBGRADE

ZONED: CBD, CENTRAL BUSINESS DISTRICT

ZONED: SFRD, SINGLE FAMILY RESIDENTIAL DISTRICT

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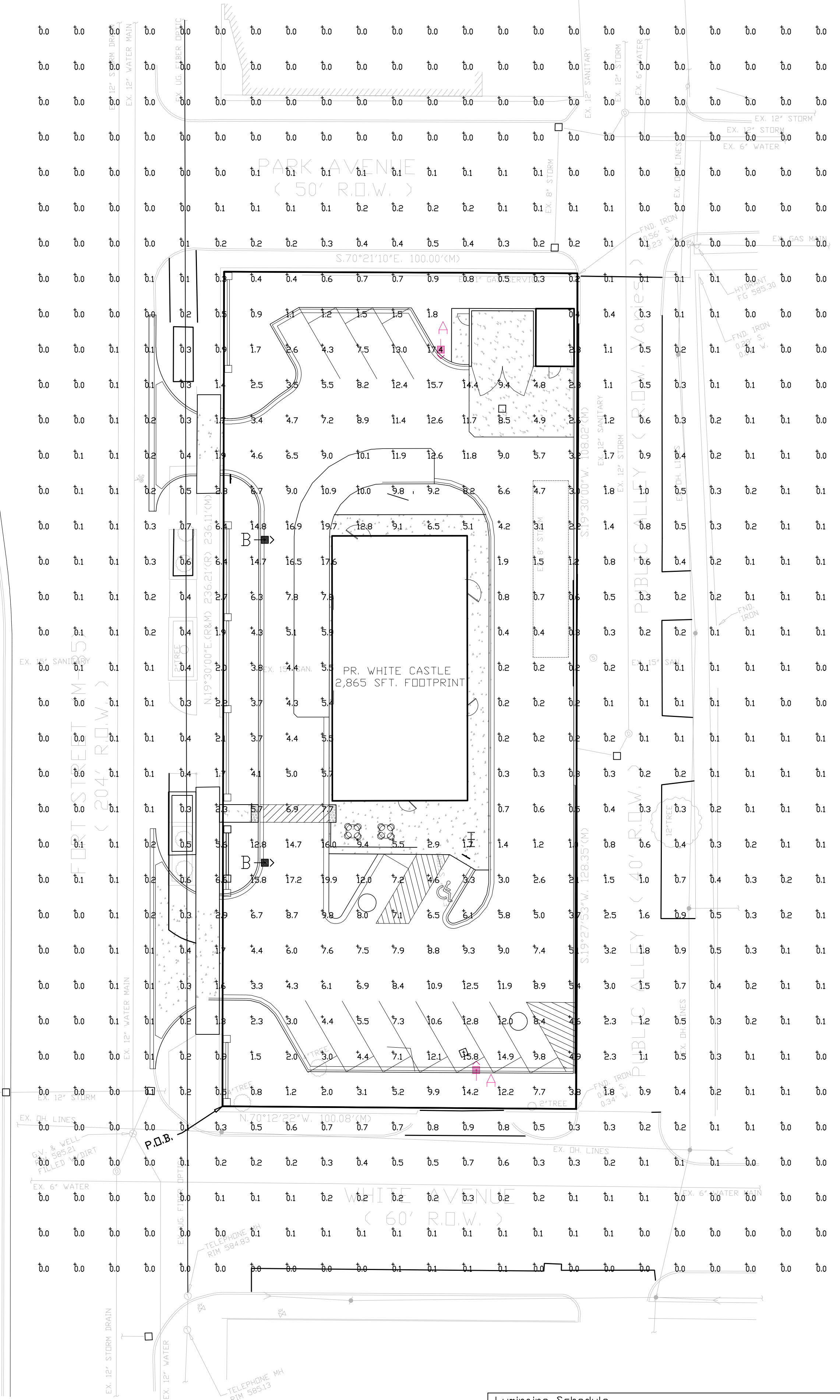
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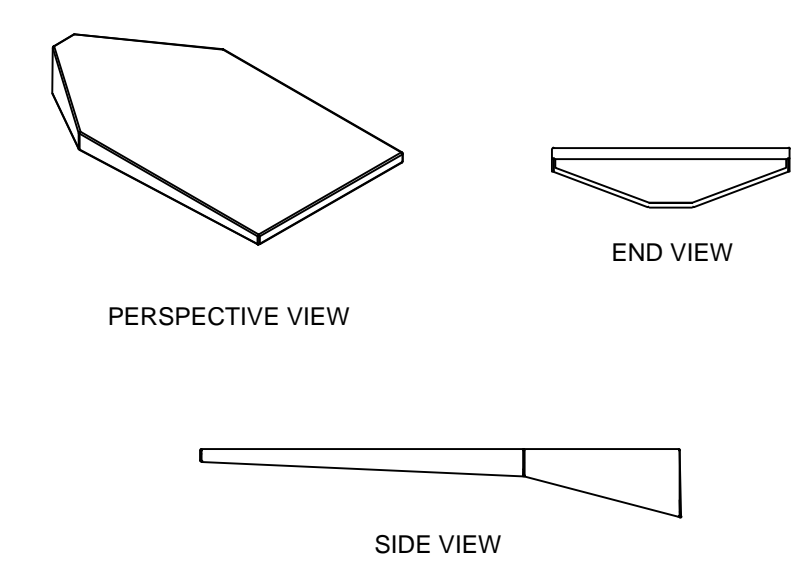
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PROPOSED BIKE RACK





### XLCL LED Area Light



**ARCHITECTURAL OUTDOOR**

**CORNERSTONE W LED**

PROJECT:	
TYPE:	
ORDERING #:	
COMMENTS:	

<b>FEATURES</b>	
<ul style="list-style-type: none"> <li>• Die-Cast Aluminum Housing w/ Textured Black Polyester Powder Coat Finish</li> <li>• Clear Tempered Glass Diffusers</li> <li>• Thermal Compensation Technology Ensures Longer LED Lifetime, Which is Ideal For Fixtures Being Placed in Area With Fluctuating or Higher Ambient Temperatures</li> <li>• 100V - 277V</li> <li>• Mounts Direct to Flat Surface w/ Two #8 Wall Anchors (Not Included)</li> <li>• One 20W Driver Per Four 4.2W LED Modules</li> <li>• Surge Protector</li> <li>• Integral Emergency LED Driver Available</li> <li>• CSA Listed Wet Location</li> </ul>	

TOP / BOTTOM VIEW

<b>ORDERING INFORMATION</b>				
Example: (CRNW - L216.8 - 51K - TB)      Textured Black is Standard Finish				
CRNW				
<b>PRODUCT</b>	<b>SOURCE/WATTAGE</b>			
<b>VOLTAGE</b>	<b>DIFFUSER</b>			
<b>FINISH</b>	<b>OPTIONS / SPECS</b>			
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 30%;"> <b>Cornerstone W</b>                      L116.8 - (4) 4.2W LED Modules                      (One Side Illuminated)                      (Downlight Only)                      (1) 20 Watt Driver                      L216.8 - (8) 4.2W LED Modules                      (Four LED Modules Per Side)                      (1) 40 Watt Driver                      L133.6 - (8) 4.2W LED Modules                      (One Side Illuminated)                      (Downlight Only)                      (1) 40 Watt Driver                      L233.6 - (16) 4.2W LED Modules                      (Eight LED Modules Per Side)                      (2) 40 Watt Drivers                      4.2W LED Modules - (LM80 Standard)                      **40,000 Hours(L70)                 </td><td style="width: 30%;">                     100V - 277V                      Not Applicable                      Please See "Options / Specs" Column For Voltage Specifications                      TB - Textured Black                      SM - Matte Silver                      AC - Antique Copper                      AS - Antique Silver                      BT - Bronze Mist                      CP - Copper                      KC - Keweenaw Chrome                      SN - Sand                      SW - Swedish Steel                      BZ - Textured Bronze                      TW - Textured White                      RAL Colors or Custom Match - Consult Factory                 </td><td style="width: 40%;"> <b>L116.8 - Four 4.2W LED Modules</b>                      30K - 3000K Color Temp.                      - 3 Nichia NS3x183 Series LEDs Per Module                      - SW03Bin, Color Temp = 3000K Nominal                      - Voltage Regulated at 12 Volts by Driver                      - 80 CRI typ. (75 CRI min) 960 TOTAL Lumens                      - 23W Input = Estimated 41 Lumens Per Watt  <b>L116.8 - Four 4.2W LED Modules</b>                      51K - 5100K Color Temp.                      - 3 Nichia NS3x183 Series LEDs Per Module                      - SW05Bin, Color Temp = 5100K Nominal                      - Voltage Regulated at 12 Volts by Driver                      - 80 CRI typ. (75 CRI min) 960 TOTAL Lumens                      - 23W Input = Estimated 42 Lumens Per Watt  <b>L216.8 &amp; L133.6 - Eight 4.2W LED Modules</b>                      30K - 3000K Color Temp.                      - 3 Nichia NS3x183 Series LEDs Per Module                      - SW03Bin, Color Temp = 3000K Nominal                      - Voltage Regulated at 12 Volts by Driver                      - 80 CRI typ. 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REPLACEMENT PARTS	
Replacement Clear Glass Lens	37028
Replacement Black Glass Lens	3702824

**NOTES**

The L216.8 Wattage Was Tested In Accordance With IES Standards Utilizing Absolute Photometry Per LM-79-08 at the Standard UL Temperature of 25 °C (77 °F)

\*\*Definition of 40,000 hours: Lifetime Rating is Based on Lamp Manufacturers' LM80 Test Results Which Utilized an Exponentially Decaying Model, a Standard Used by The Department of Energy, as Well as by Other Manufacturers.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC PDINTS AT GRADE	Illuminance	Fc	1.76	19.9	0.0	N.A.	N.A.
PARKING AND DRIVE SUMMARY	Illuminance	Fc	6.64	19.9	0.2	33.20	99.50

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	2	A	SINGLE	XLCL-FT-LED-HO-CW-HSS-SINGLE ON 24' POLE + 2' BASE	1.000	N.A.	41895	543.8
	2	B	SINGLE	XLCL-3-LED-HO-CW-HSS-SINGLE ON 24' POLE + 2' BASE	1.000	N.A.	36015	542.7

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Watts  
Total Watts = 2173

WHITE CASTLE  
FIRST ST. & WHITE AVE.  
LINCOLN PARK, MI

DATE: 08/29/16    REV: 09/22/16

SCALE: 1"=20'

SHEET 1 OF 20













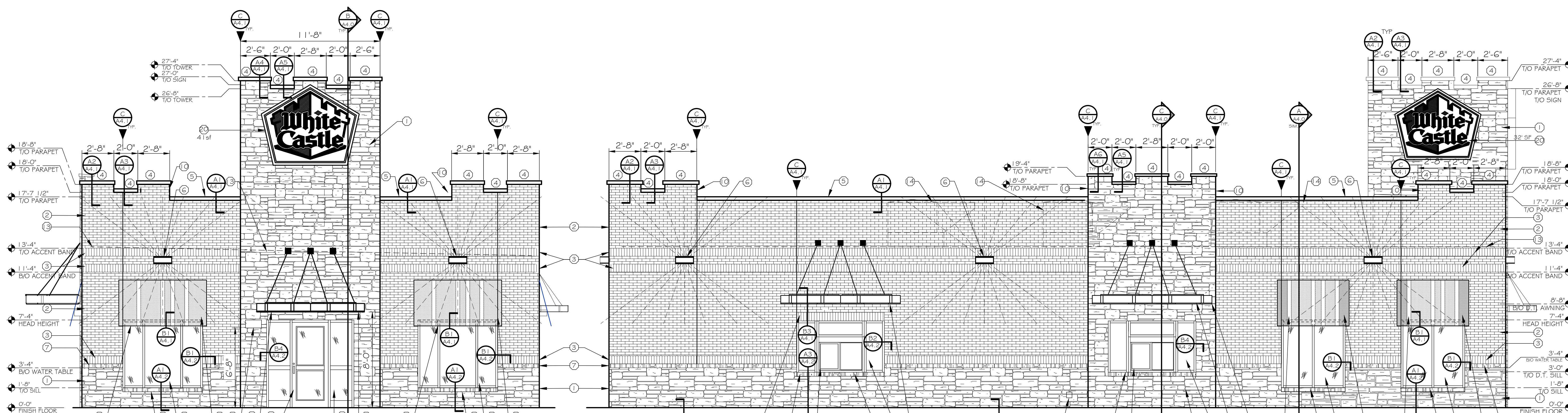






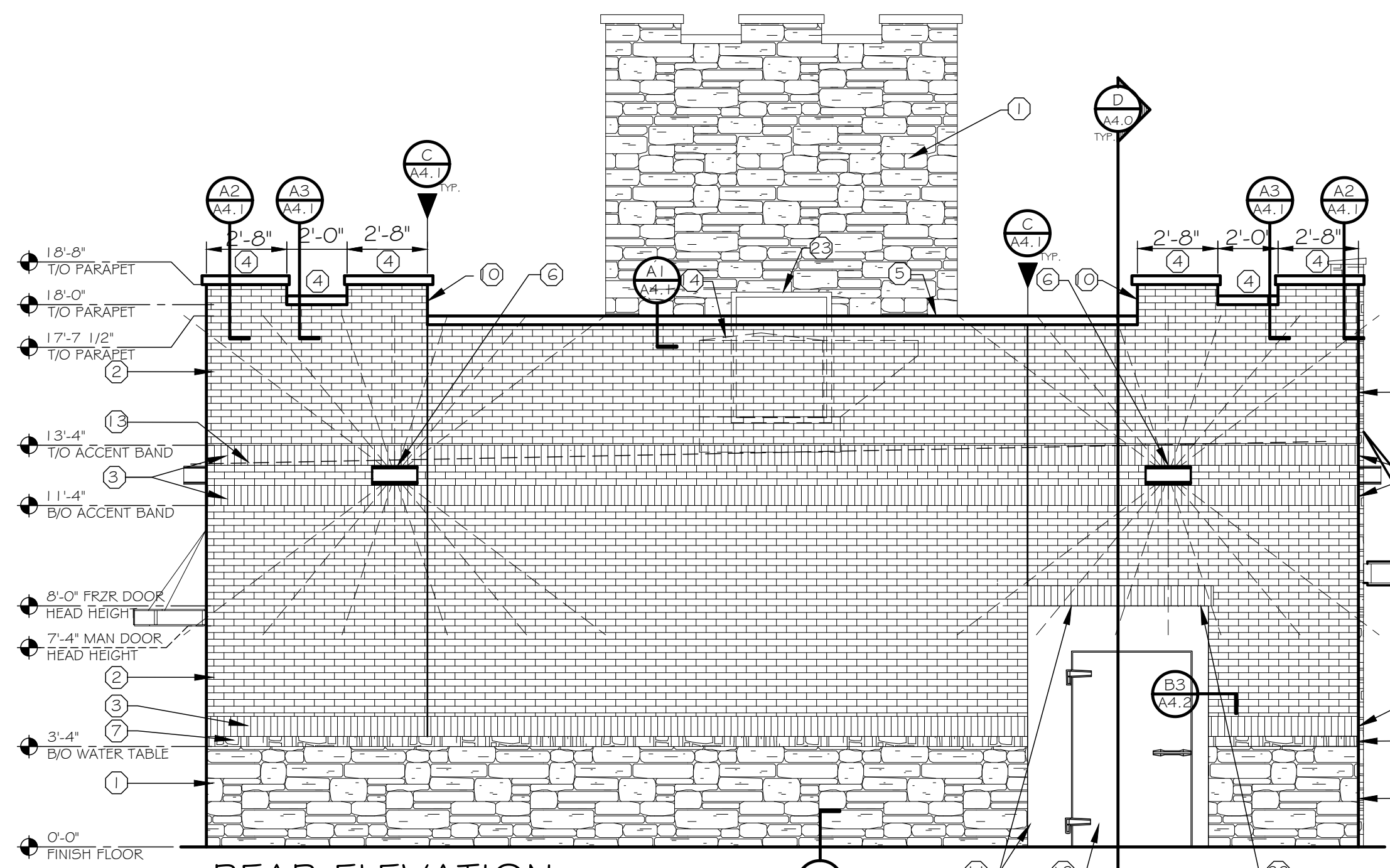




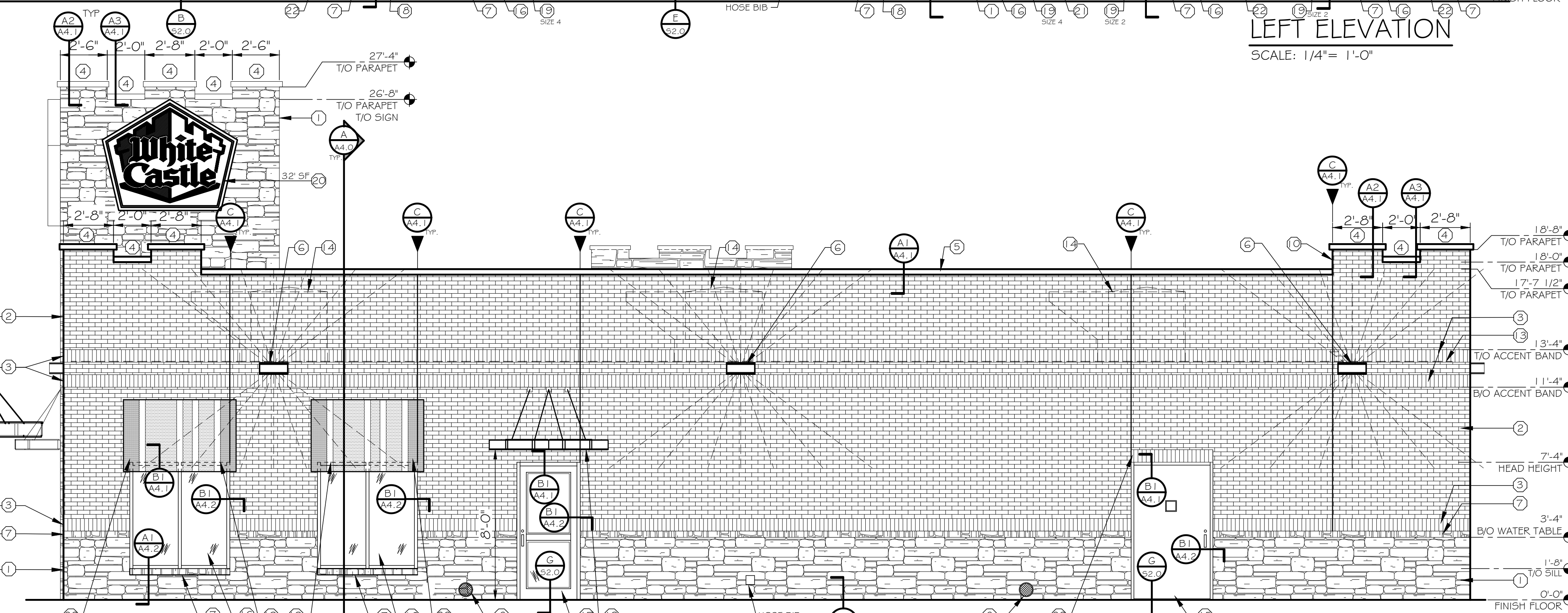


**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

**ADDRESS STONE**

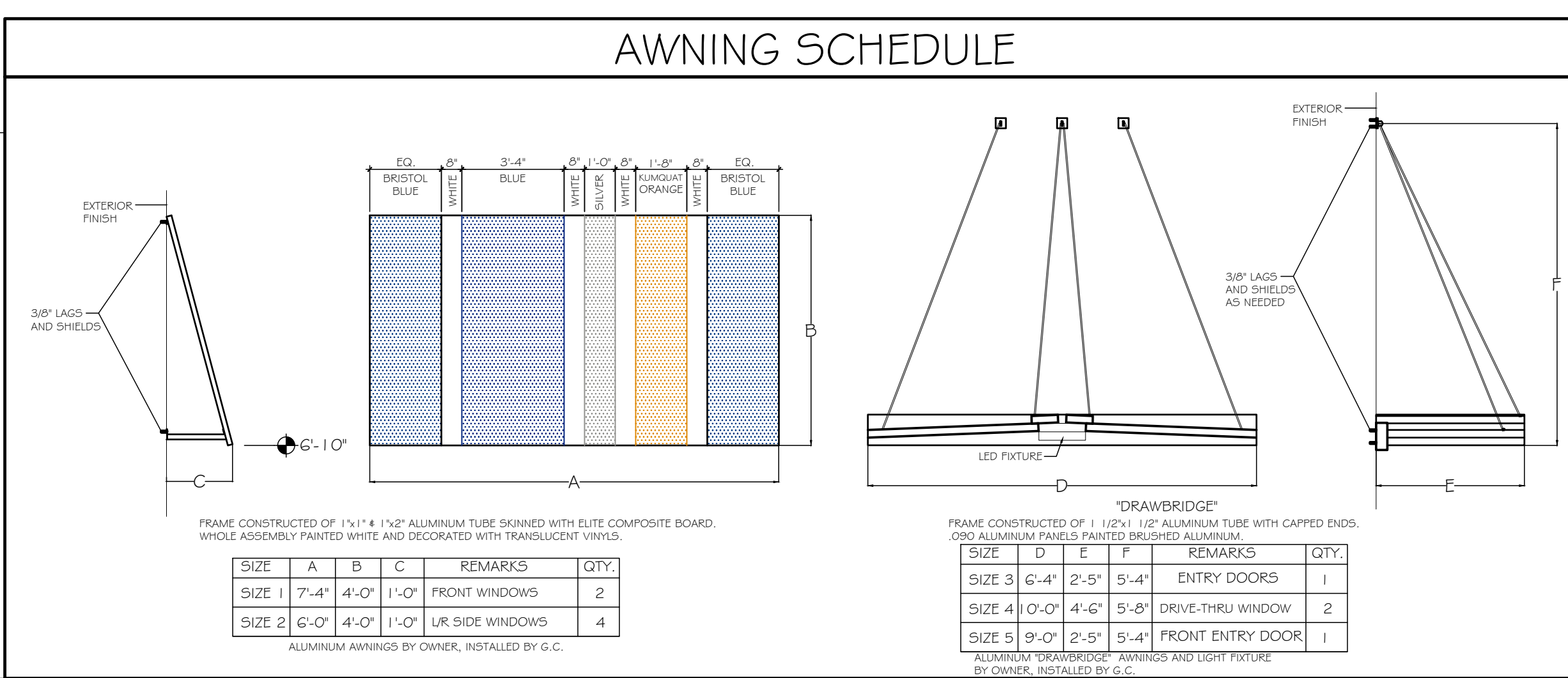
ADDRESS STONE CAN BE PURCHASED FROM:  
BOULDER CREEK STONE  
8282 ARTHUR ST.  
MINNEAPOLIS, MN 55432  
CONTACT: CHAD SPENCER  
PHONE: (763) 786-7138

INSTALLATION INSTRUCTIONS:  
NUMBERS ARE TO BE 6" AND HIGH CONTRAST TO STONE.  
TOP OF ADDRESS STONE SHOULD FINISH AT APPROX.  
7'-4" A.F.F. SEE FRONT ELEVATION FOR LOCATION.  
VERIFY PLACEMENT WITH W.C. REP PRIOR TO INSTALLATION

NOTE: ADDRESS STONE CAN ALSO BE PURCHASED LOCALLY

**CONSTRUCTION NOTES**

1. PARAPET DIMENSIONS ARE FROM BLOCK TO BLOCK.
2. REFER TO SHEETS A4 & 5 I FOR FOUNDATION DETAILS.
3. EXTERIOR FINISH MASONRY PRODUCTS SHALL BE PURCHASED FROM:  
BELDON BRICK  
HAMILTON PARKER  
1865 LEONARD AVE  
COLUMBUS, OH 43219  
GABRIEL CANTRELL (614) 358-7814  
LENNY JOBIN (614) 358-781
4. GROUT - RICH COLOR WHITE WITH WHITE SAND  
THIN-BRICK JOINTS SHALL BE SPOONED. CULTURED STONE JOINTS SHALL BE RAKED.
5. AWNINGS OVER DOORS SHALL NOT INTERFERE WITH FREE SWING OF DOORS. AWNINGS SHALL BE CENTERED OVER DOORS AND WINDOWS.



**ELEVATION CODED NOTES**

- 1 WAINSCOT & TOWER - MASONRY STONE VENEER  
MANUFACTURER: ARTISAN VENEERS  
PRODUCT: WATERFORD STONE  
COLOR: LONDON GRAY- 25% LARGE STONES  
GROUT: RICH COLOR- WHITE (WHITE SAND)  
JOINTS: RAKED
- 2 BODY OF BUILDING - MODULAR-BRICK VENEER, RUNNING BOND FIELD  
MANUFACTURER: BELDON  
PRODUCT: MODULAR  
COLOR: ALASKA WHITE VELOUR  
GROUT: RICH COLOR- WHITE (WHITE SAND)  
JOINTS: TOOLED CONCAVE
- 3 ACCENT BAND- MODULAR-BRICK VENEER SOLDIER COURSE  
MANUFACTURER: BELDON  
PRODUCT: MODULAR BRICK  
COLOR: BROWN-860  
GROUT: RICH COLOR- WHITE (WHITE SAND)  
JOINTS: TOOLED CONCAVE
- 4 CAPSTONE (TYPICAL)  
WHITE PRECAST CONCRETE  
PROVIDED & INSTALLED BY MASON  
MERLONS: 1" OVERHANG ON ENDS AND INSIDE EDGE,  
2" OVERHANG ON OUTSIDE EDGE.  
CRENELLS: 1" OVERHANG ON INSIDE EDGE,  
2" OVERHANG ON OUTSIDE EDGE.  
MITERED STONES AT CORNERS OF BUILDING/TOWER
- 5 METAL COPING BY ROOFING CONTRACTOR  
COLOR: WHITE
- 6 EXTERIOR LIGHT FIXTURE  
COLOR: BRUSHED ALUMINUM  
MOUNTED ON SMOOTH SURFACE  
(SEE DETAIL A-A3 THIS SHEET)  
SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR
- 7 WINDOW SILLS / WATER TABLE  
PRODUCT: WHITE PRECAST CONCRETE  
PROVIDED & INSTALLED BY MASON  
CUT/MADE TO LENGTH  
SEE DETAIL A1/A4.2
- 8 ROOF OVERFLOW DRAIN TYPICAL OF 2  
SEE DETAIL C-A6.0
- 9 ADDRESS STONE  
MANUFACTURER: BOULDER CREEK  
SUBSTITUTION TO BE APPROVED BY W.C. REP
- 10 CRENELATION TOWER REVEAL (TYPICAL)  
SIDES SHALL BE CLAD WITH EXTERIOR FINISH MATERIAL
- 11 RETURN EXTERIOR FINISHES FULL DEPTH TO JAMB OR ADJACENT SURFACE
- 12 FREEZER DOOR
- 13 ROOF LINE
- 14 ROOF-TOP EQUIPMENT
- 15 FIBERGLASS DOOR AND FRAME
- 16 ALUMINUM STOREFRONT W/ 1" TEMPERED GLASS (SEE SHEET A2 FOR ADDITIONAL INFORMATION)
- 17 ALUMINUM ENTRY DOOR (SEE SHEET A2 FOR ADDITIONAL INFORMATION)
- 18 DRIVE-THRU WINDOW UNIT (SEE SHEET A2 FOR ADDITIONAL INFORMATION)
- 19 AWNING (SEE SCHEDULE FOR SIZES)
- 20 WHITE CASTLE LOGO SIGN  
SUPPLIED & INSTALLED BY OWNER  
SEE ELEVATIONS FOR SQ. FT.
- 21 SMOOTH BRICK/FINISH SHALL BE PROVIDED FOR FLUSH ATTACHMENT OF "DRAWBRIDGE" AWNINGS.
- 22 SOLDIER COURSE ACCENT ABOVE DOORS & WINDOWS (IN BRICK FIELD ONLY)
- 23 TOWER ACCESS DOOR

WHITE CASTLE SYSTEM, I  
555 WEST GOODALE ST  
COLUMBUS, OHIO 43  
CONTACT: GLEN DAVID  
PHONE: 614.559.2  
FAX: 614.224.1

2221 Schrock Road  
Columbus, Ohio 43229-1547  
p 614.898.7100  
f 614.898.7100  
ARCHITECT OF RECORD:  
Eric M. Elizondo  
License #: 001.019188  
Expiration: 11/30/2016

PROJECT: 16245



WHITE CASTLE  
2115 FORT ST.  
LINCOLN PARK, MI 48146

DE#15 RP

BUILDING SUBMITTAL DATE:  
BID DATE:  
ISSUED FOR CONSTRUCTION:  
ISSUE:

PROJECT NUMBER: 16245  
DRAWN BY: ALM  
CHECKED BY:  
DATE: 8/11/16

ARCHITECTURAL ELEVATIONS

A3.0









CIVIL ENGINEERS

LAND SURVEYORS

LAND PLANNERS

December 6, 2016

Express Delivery: December 6, 2016

City of Lincoln Park  
Building Department  
1355 Southfield  
Lincoln Park, MI 48146

Attn: Mr. Kirk Malcomson  
Building Official

Re: **White Castle – DE #15**  
**2115 Fort Street**  
Lincoln Park, Michigan

Dear Mr. Malcomson:

Please find attached the following documentation for your review for the above referenced project for Preliminary Planned Use Development submittal.

- A copy of the signed "Petition for Rezoning". The original along with the required \$600 fee will be submitted under a separate cover.
- A letter from owner stating the parking provided meets the needs of the development.
- Six (6) folded "Site Plan" drawings.

Should you have any questions, kindly feel free to contact me at your earliest convenience.

Sincerely,

**NOWAK & FRAUS ENGINEERS**

A handwritten signature in blue ink that reads "Brad Brickel". The signature is written in a cursive, flowing style.

Brad W. Brickel, P.E.  
Senior Associate

Enclosures

cc: White Castle Systems, Inc., Mr. Travis Evans, (555 W. Goodale, Columbus, OH 43216)  
White Castle Systems, Inc., Mr. Craig Eilers, (555 W. Goodale, Columbus, OH 43216)  
Nowak & Fraus Engineers, Mr. Timothy L. Germain, P.E. Vice President  
Project Files: I791

NOWAK & FRAUS ENGINEERS





City of Lincoln Park
Petition for Rezoning

I (we), the undersigned, do hereby make application to and petition the Planning Commission to amend the Zoning Ordinance and change the zoning map as requested. The following facts are shown as part of this application.

- 1. It is desired and requested that the following described property be rezoned from (CBD) Central Business District, existing zoning district to Planned Unit Development, proposed zoning district.
2. The property, according to the City of Lincoln Park Comprehensive Development Plan of Future Land Use, is described as Downtown Commercial.
3. The property sought to be rezoned is located on Fort Street between Park Avenue and White Avenue.
4. The property sought to be rezoned is legally described as follows: See Attachment
5. The land area of this subject property is (square ft/acre) 23,629 S.F / 0.542 Acres
6. The property sought to be rezoned is owned by Name: White Castle Systems, Inc. Address: 555 W. Goodale St. City: Columbus State: MI Zip: 43216
7. Person requesting rezoning: Name: Glen Davidson Address: 555 W. Goodale St. City: Columbus State: MI Zip: 43216
8. Basis of representation: Legal Representative / Owner / Option to Buy
9. It is proposed that the property will be developed as follows: The existing White Castle site will be completely demolished. A new building, parking lot and underground utilities will be installed. In addition additional landscaping will be provided.
10. We attach a statement hereto indicating why, in our opinion, the change requested is necessary for the preservation and enjoyment of substantial property rights, and why such change will not be detrimental to the public welfare, nor the property of other persons located in the vicinity.

Signature: [Handwritten Signature]
GLEN DAVIDSON, PE
DIRECTOR OF ENGINEERING
WHITE CASTLE SYSTEM, INC



[Handwritten Signature]
JULIE A. GERLACH
NOTARY PUBLIC - OHIO
MY COMMISSION EXPIRES 07-16-2017





December 7, 2016

City of Lincoln Park  
Building Department  
ATTN: Mr. Kirk Malcomson, Building Official  
1355 Southfield  
Lincoln Park, MI 48416

RE: White Castle Restaurant Re-Build at 2115 Fort Street: Parking Analysis

Dear Mr. Malcomson,

This is to document that the number of parking spaces White Castle is proposing for the new restaurant will effectively accommodate our needs at this location and will not negatively impact traffic safety or adjacent uses.

Based on our most recent sales transaction information the current Castle sees an average of 600 transactions per day with 71% (426) of those transactions occurring at the drive-through; and 29% (174) of those transactions being dine-in or carry-out sales. Anticipating a roughly 20% increase in sales with the new restaurant, those numbers will also increase; however we do anticipate a shift to more transactions through the drive through as the increased stacking and improved circulation will convert a percentage of the carry-out customers to drive-through customers. With that said, we anticipate the drive-through transactions to increase to about 75% of our total transactions.

Applying the math, with a new restaurant with increased sales the new number of dine-in/carry-out transactions will increase from 174 per day to roughly 180, with the drive-through transactions increasing from 426 per day to roughly 540. Averaging this out over the 24 hours we are open each day, we expect to see about 7 – 8 dine-in/carry-out transactions per hour which is comparable to what we currently see.



From a parking standpoint, we've provided 4 parking spaces at the north end of the lot; primarily to accommodate employees. With 5 employees on the largest shift – and allowing that some of our team members will use public transportation, share rides, ride a bike to work, etc. – this should effectively accommodate the employee parking. At the south end of the lot, we've provided 9 parking spaces including 1 handicap space; primarily to accommodate customers. Based on the usage we currently see and the fact that the dine-in/carry-out transactions will increase by only roughly 3% – this should effectively accommodate the customer parking.

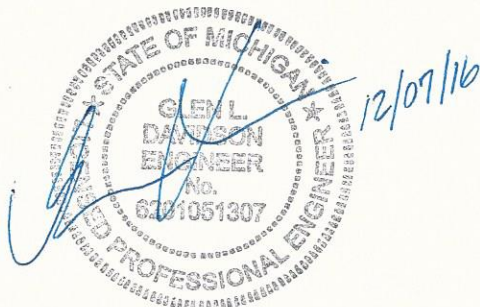
From a traffic safety standpoint, the new layout will provide the following improvements...

- Reduce the drive-cuts onto Fort Street from 3 to 2
- Provide more separation between the 2 drive cuts than currently exists
- Orient the new building so that it is parallel to Fort Street instead of perpendicular as it is now, allowing for greater stacking in the drive-through lane and less congestion in the parking fields
- Increase the turning radii of the drive thru lane corners, allowing for easier maneuvering

Given the above, we are confident the new layout will provide a safer, more efficient layout than currently exists and will not negatively impact the adjacent uses.

I believe this addresses your concerns. If you have any questions or comments, please do not hesitate to phone or email me.

Sincerely,



Glen Davidson, PE  
Director of Engineering  
White Castle Management Company  
(614)531-0294; [davidsog@whitecastle.com](mailto:davidsog@whitecastle.com)



White Castle, 2115 Fort Street  
**Site Plan Review**

---

Applicant	White Castle Systems, Inc.
Project	White Castle DE#15 Replacement, 2115 Fort St
Address	555 W Goodale St., Columbus OH 43216
Date	December 7, 2016
Request	Final Site Plan Review Approval with PUD
Recommendation	

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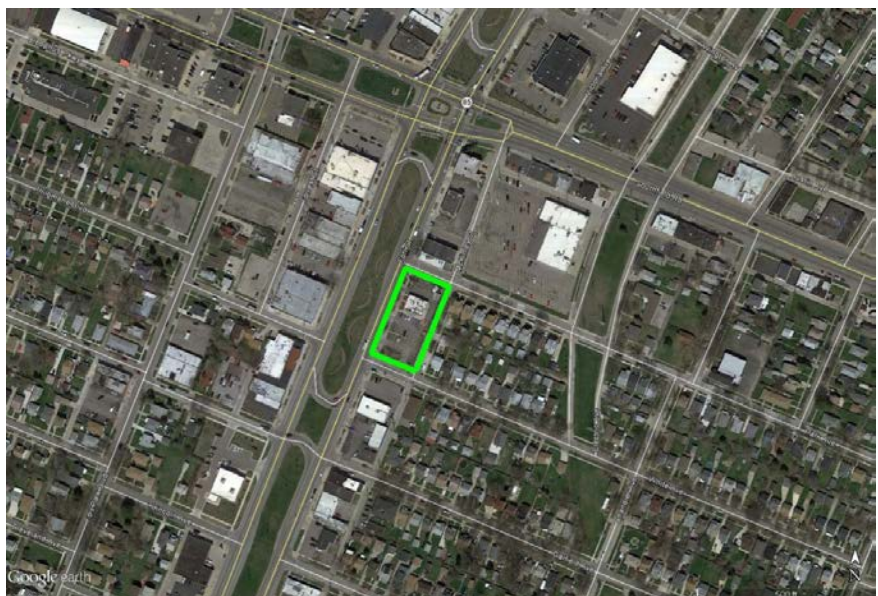
**GENERAL**

*All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).*

**Project and Site Description**

The project site is a long-standing White Castle restaurant located near City's major intersection and historic core. The applicant proposes to replace the existing 1900 sf White Castle restaurant building with a new building of approximately 2865 sf, adding 965 sf to the footprint. Parking, stacking, loading, and circulation have been modified to accommodate the expansion.

Figure 1: Aerial View





### *Site conditions*

The existing building sits on the north half of the site, slightly closer to Fort Street than to the alley behind it. Drive-thru circulation surrounds the building, and parking is provided on the south half of the site. A concrete screen contains waste receptacles and a storage building in the northwest corner. A pedestrian entrance to the building faces the street, surrounded by landscaping.

## Master Plan

### *Future Land Use Classification*

The site is intended for Downtown Commercial future land use.

### *Intent; Desirable Uses and Elements*

“Restaurants, entertainment venues, and specialty retail stores should be the focus of this district. Businesses should welcome pedestrian traffic with attractive storefronts and outdoor seating. Parking for automobiles is ideally located on the street, behind buildings (shared parking lots), or in parking structures. Building in the downtown should project a strong ‘street presence,’ with heights of two to three stories, detailed architecture, durable building materials, and minimal or zero front and side setbacks. The Downtown Commercial area includes a mix of land uses, including ground-floor retail and upper-floor office and residential uses, governed by specific design criteria to ensure compatibility.”

## Land Use and Zoning

### *Zoning*

The site is zoned Central Business District (CBD), in which restaurants are a permitted use. However, drive-thru establishments are expressly *not* permitted in the CBD because the district regulations are designed to promote nonmotorized mobility; auto-oriented uses are considered more appropriate in other business districts. Due to the longevity of the business in the City and its popularity, the City wished to explore any mechanisms by which the proposed expansion could coexist with the desired emphasis on pedestrian and bicycle mobility throughout the district. A rezoning to a Planned Unit Development allows for the City and the applicant to negotiate a site design that retains this historic business within the City’s core and also contributes to the walkable character that its citizens and leaders desire.

Figure 3: Zoning Map





*Proposed and Existing Uses*

Site	Commercial
North	ROW; commercial
East	ROW; residential
South	ROW; commercial
West	ROW

**Dimensional Standards**

The dimensional requirements of the CBD district are described in the chart below. (§1294.32, except where noted.)

	Required	Provided	Compliance
Lot Width	30'	240'	Met
Street Frontage (§1294.09)	25' corner clearance of shrubbery and low retaining walls: 2 ½' < height < 8'		Met
Lot Area	3000 sf	23,754 sf	Met
Lot Coverage	< 100%	2865/23,754 = 12%	Met
Height	3 stories / 40 feet	1 story / 27'4" to top of decorative parapet	Met
Setback – Front	0'	30'	Met
Setback – Sides	0'	73' / 85'	Met
Setback – Rear	0'	30'	Met

**Items to be addressed**

*None*

**BUILDING DESIGN**

*The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.*

**§1296.04 STANDARDS FOR ARCHITECTURE AND BUILDING MATERIALS**

Required	Compliance
<ul style="list-style-type: none"> <li>Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500'</li> </ul>	Met
<ul style="list-style-type: none"> <li>Architectural variety</li> <li>Similar materials and entrances to buildings within 500'</li> </ul>	Met



<ul style="list-style-type: none"> <li>• Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW)</li> <li>• 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly-reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block)</li> <li>• Natural colors (bright for decorative features only)</li> </ul>	Met
<ul style="list-style-type: none"> <li>• Façade: &lt;100' uninterrupted</li> <li>• If &gt;100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches</li> <li>• All sides similar</li> </ul>	Met
<ul style="list-style-type: none"> <li>• Windows: vertical, recessed, visually-obvious sills</li> <li>• Spaces between windows = columns, mullions, or material found elsewhere on the façade</li> <li>• Front facades &gt; 25% windows</li> <li>• Size, shape, orientation, spacing to match buildings within 500'</li> </ul>	Met
<ul style="list-style-type: none"> <li>• Main entrances: doors larger</li> <li>• Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls)</li> </ul>	Met
<ul style="list-style-type: none"> <li>• Pitched / shingled roof forms recommended</li> <li>• Overhanging eaves with slope of 0.5 to 1</li> <li>• Rooflines &gt;100' = roof forms, parapets, cornice lines</li> <li>• Roof-top mechanical equipment screened by roof form.</li> </ul>	Met

§1280.05 DEVELOPMENT STANDARDS FOR THE CENTRAL BUSINESS DISTRICT

The building envelope is rectangular. Its design appears intended to provide pedestrian access on one of the short sides, while one longer side accommodates drive-thru ordering and the other longer side accommodates drive-thru payment and delivery. In the configuration presented in the site plan, the longer face of the building is parallel to Fort Street, and the short side with a pedestrian entrance faces White Street. Access the site is provided only from Fort Street, which means that the Fort Street lot line is the “front lot line” and the side of the building which faces it is the “front elevation.” This is contrary to what is shown on the site plan, so the site plan labels are in parenthesis.

(a) Building Entrances. All buildings shall have at least one public entrance that faces the street. Rear entrances are permitted only if there is a primary entrance from the main street.

**No public entrance faces Fort Street.**

Doors measuring seven (7) and eight (8) feet high are strongly suggested. Doors measuring six (6) feet, eight (8) inches high shall have a glass transom with a minimum height of twelve (12) inches.

*The door is 7' tall. This condition is met.*

(b) Facade Design. All building facades that face a street shall conform with the requirements of Section 1296.04, Standards for Architecture and Building Materials, and with the following design criteria:

(1) Fenestration. All facades visible from the street must be glazed with transparent glass, with the following requirements:



- A. First floor: minimum sixty percent (60%) of facade, seventy percent (70%) maximum.  
Fort St. ("left") elevation: 900 sf façade; 111 sf transparent glass = 12%  
White St. ("front") elevation: 456 sf façade; 120.5 sf transparent glass = 26%  
Park St. ("right") elevation: 900 sf façade; 70 sf transparent glass = 7%  
Note: Although the building is approximately 18' tall, façade calculations were made based on the 12' minimum first-story height.
- B. Second floor: minimum thirty percent (30%) of facade, sixty percent (60%) maximum.  
*No second floor is proposed. This condition is not applicable.*  
Glazing on first floor (retail space) to occur between two (2) feet, six (6) inches (minimum) and eight (8) feet (maximum) above sidewalk.  
**Glazing occurs between 1'8" and 7'3".**  
First floor height shall be twelve (12) foot minimum.  
*This condition is met.*  
Blank, windowless walls are prohibited.  
*This condition is met.*  
Vertical window orientation shall have a ratio of one (1) wide to two (2) high minimum, and shall be consistent with adjacent buildings. Each shutter to be mounted on either side of a window shall be equal to one-half (½) of the width and one (1) times the height.  
*Windows are approximately square. This condition is met.*
- (2) Building materials. Buildings are to be constructed from permanent materials that will weather handsomely over time, such as brick, stone, masonry, or other natural materials. Buildings with multiple storefronts shall be unified through the use of architecturally compatible materials, colors, details, awnings, signage, and lighting fixtures.  
**Building materials shall be reviewed by the planning commission.**
- (3) Exterior colors. Exterior colors shall be compatible with the colors on adjacent buildings, subject to review and approval by the Planning Commission. Proposed colors shall be specified on the site plan. Bright or fluorescent colors are prohibited. Samples of building materials and colors are required at the time of site plan review for review and approval of the Planning Commission. Site plan reviews may be tabled for lack of building samples.  
**Building materials shall be reviewed by the planning commission.**
- (c) Side or Rear Facade Design. Wherever a side or rear facade is visible from a public street, or if parking is located at the side or rear of a building, the facade shall be designed to create a pleasing appearance, in accordance with the following design criteria:
- (1) Materials and architectural features similar to those present on the front of the building shall be used on the side or rear facade. All visibly exposed sides of a building shall have an articulated base course and cornice. The base course shall align with either the kickplate or sill level of the first floor. The cornice shall terminate or cap the top of a building wall, and may project out horizontally from the vertical building wall plane and may be ornamented with moldings, brackets and other details. The middle section of a building may be horizontally divided at the floor, lintel, or sill level with belt or string courses.

Materials and architectural features are similar on all visibly exposed sides of the building. The base course aligns with the sill level of the drive-thru window. The parapet design is carried around all four corners. *This condition is met.*

- (2) Waste receptacle and service areas shall be completely screened with a decorative masonry wall as approved by the Planning Commission.

*This condition is met.*

- (3) Open areas shall be landscaped with lawn, ground cover, ornamental shrubs and trees. On every site involving new development or redevelopment, foundation plantings adjacent to the building shall be provided. The species and design shall meet the requirements of Section 1296.03, Landscaping Standards, of this Zoning Code.

**Foundation plantings are not shown.**

- (d) Awnings. Awnings shall be permitted on buildings as follows:

(1) All awnings must be made from canvas fabric or similar water-proofed material, rather than metal, aluminum, plastic, or rigid fiberglass. *This condition is met.*

(2) All awnings shall be attached directly to the building, rather than supported by columns or poles. *This condition is met.*

(3) In buildings with multiple storefronts, compatible awnings should be used as a means of unifying the structure. *This condition is not applicable.*

- (e) Lighting. These standards are addressed under "Lighting."

- (f) Parking. These standards are addressed under "Parking."

- (g) Landscaping. These standards are assessed under "Landscaping, Screening, and Open Space."

- (h) Building Setback. Buildings shall be built at lot lines with no setbacks, or the average setback of other buildings on the block, as determined by the Planning Commission.

*Setback has been determined by this site's unique design. This condition is met.*

- (i) Building Height. The minimum height of all buildings shall be two (2) stories and twenty-eight (28) feet. Both stories shall contain habitable commercial, office, or residential space.

*This PUD project is understood to be a single-use, single-story building. This condition is not applicable.*

- (j) Building Mass. Buildings located at gateways entering the Central Business District shall mark the transition into and out of the downtown in a distinct fashion, using massing, additional height, contrasting materials and architectural embellishments to obtain this effect. Buildings on corner lots shall be considered more significant structures, since they have at least two (2) front facades visibly exposed to the street. The Planning Commission may require additional height and architectural embellishments, such as corner towers, relating to their location.

*This condition is not applicable.*

- (k) Service Access. A service alley or designated loading space shall be reserved at the rear of the building.

*This condition is met.*

- (l) Sidewalk Displays. Sidewalk displays shall be permitted directly in front of an establishment, provided at least five (5) feet of clearance is maintained along pedestrian circulation routes.



*This condition is not applicable.*

- (m) Courtyards and Plazas. Exterior public and semi-public spaces, such as courtyards or plazas, shall be designed for function, to enhance surrounding buildings and provide amenities for users, in the form of textured paving, landscaping, lighting, street trees, benches, trash receptacles and other items of street furniture, as appropriate. Courtyards shall have recognizable edges defined on at least three (3) sides by buildings, walls, elements of landscaping, and elements of street furniture, in order to create a strong sense of enclosure.

*This condition is met. Courtyard landscaping is recommended, as noted in "Landscaping, Screening, and Open Space."*

- (n) Mechanical Equipment. These standards are addressed under "Mechanical Equipment."

#### Items to be addressed

- Public entrance to face Fort Street.
- Applicant to address shortfall in window requirements; glazing requirements to be addressed simultaneously
- Building materials shall be reviewed by the planning commission.
- Foundation plantings to be added where practical

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#### PRESERVATION OF SIGNIFICANT NATURAL FEATURES

*Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.*

The site is fully developed. No significant natural features exist to preserve.

#### Items to be addressed

*None*

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#### SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

*The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.*

The parcel is served by sidewalks on the north, west, and south sides of the property. Three driveways cross the west sidewalk and one driveway crosses the south sidewalk. Two pedestrian access walkways lead directly to the building from the west sidewalk without crossing a vehicular travel path. It is unknown whether bicycle parking is provided.

The proposed development significantly alters on-site circulation. One curbcut on the west sidewalk as well as the curbcut on the south side of the parcel will be closed, reducing opportunities for vehicle-pedestrian conflict by nearly half. One of the two remaining curbcuts is designated exit-only, and is easily accessible only to patrons who have parked and dined-in, or who are leaving the drive-thru line without ordering. All drive-thru traffic has been routed through a single two-way driveway toward the southwest corner of the site. This should have the effect of concentrating the bulk of the motorized traffic into a single point, further reducing opportunities for conflict.

Pedestrian and bicycle access to the restaurant is now gained by a single well-marked crossing which connects the west sidewalk to a newly-established outdoor dining area adjacent to the building. This crossing traverses vehicular circulation exiting the drive-thru. While not ideal, this arrangement does offer the pedestrians highly-visible placement, and traffic which is coming from a complete stop in most cases.

New bicycle parking is proposed to be placed on the east side of the outdoor dining area.

**Items to be addressed**

*None*

**PARKING**

*The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.*

Use	Required	Proposed	Compliance
Drive-in and drive-thru restaurants	1 for every 2 seats + 1 for every 15sf of usable customer area other than in an established seating plan area + 1 for every 2 employees based on max employment shift + 1 for every outside customer automobile service stall area = 40 spaces (per applicant)	12	Negotiated

In addition to these requirements, drive-thru establishments are subject to §1290.03 regulating waiting areas in business districts. This section requires ten (10) 10’x24’ stacking spaces per service window. Eleven stacking spaces are provided.

*This condition is met.*

§1290.01(q) provides for a waiver or modification of off-street parking and/or loading spaces to be granted by the Planning Commission. The following considerations are suggested:

- The extent that the proposed parking and loading spaces can effectively accommodate the needs of a given use.
- The impact that the proposed parking and loading arrangements will have on traffic safety and adjacent uses
- Location and proximity of municipal parking lots and / or public alleys



§1290.05 (d) states that off-street parking B areas shall be curbed with concrete curbs and gutters.

*This condition is met.*

§1290.05 (e) states that whenever such parking facility adjoins residential property and/or a residential street or alley, a solid masonry wall, ornamental on both sides, and not less than six (6) feet in height, shall be erected and maintained. Such walls shall be constructed of the same materials as that of the main or principal building, and be faced with either brick, decorative block, or pre-cast concrete formed into a decorative pattern and painted in the same color scheme as that of the principal building.

The east side of the parcel adjoins a residential alley. An existing wood fence is shown to remain along approximately 140' of the border, and a new 3' decorative metal fence with masonry piers is shown for the remaining 80'. These must be replaced with a single masonry wall as described above.

§1290.05 (k) states that in all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.

*This condition is met.*

#### §1280.05 DEVELOPMENT STANDARDS FOR THE CENTRAL BUSINESS DISTRICT

(o) Parking. Parking and parking lot design shall comply with the standards set forth below, in addition to the provisions of Chapter 1290, Off-Street Parking and Loading, and Section 1296.03, Landscaping Standards, of this Zoning Code.

- (1) No new parking lot shall be created, nor shall any existing parking lot be expanded in front of a building, unless the Planning Commission determines that parking in front of the building would be acceptable.

*No new parking is proposed in front of the building. This condition is met.*

- (2) Parking located in front or on the side of a building shall be screened from the road with one (1) of the following: a thirty-six (36) inch decorative masonry or stone wall; a forty-eight (48) inch ornamental fence; or a thirty-six (36) inch evergreen hedge in accordance with Section 1296.03, Landscaping Standards.

*Parking on the sides of the building facing both White Street and Park Street is screened by a 30" hedge and several trees. Applicant to revise hedge maintenance standard along White and Park streets to 36".*

- (3) In order to maximize the amount of land area left for landscaping and open space, paving shall be confined to the minimum area necessary to comply with the parking requirements of Chapter 1290, Off-Street Parking and Loading, of this Zoning Code.

*This condition is met.*

- (4) Parking lot layout shall take into consideration pedestrian circulation. Pedestrian crosswalks shall be provided, where necessary and appropriate, and shall be distinguished by textured paving and shall be integrated into the pedestrian network system. Pavement textures shall be required on pedestrian access ways, and strongly encouraged elsewhere in the parking lot, as

surfacing materials, or when used as accents.

*This condition is met.*

**Items to be addressed**

- Applicant to document that the proposed number of parking spaces can effectively accommodate the needs of the use without negatively impacting traffic safety or adjacent uses
- Ornamental 6’ masonry wall to be provided along east side of parcel
- Applicant to revise hedge maintenance standard along White and Park streets to 36”.

**BARRIER-FREE ACCESS**

*The site has been designed to provide barrier-free parking and pedestrian circulation.*

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
12	1	1	Negotiated

One barrier-free parking space is required per 25 standard spaces (up to 100 standard spaces)

**Items to be addressed**

- Barrier-free parking compliance can be determined once the total off-street parking spaces have been determined.

**LOADING**

*All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.*

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
2865	1	1	Met

**Items to be addressed**

*None*



**ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION**

*Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.*

The proposed development is accessed from Fort Street, and therefore triggers the access management standards in §1290.10.

Required	Provided	Compliance
<ul style="list-style-type: none"> <li>• Single two-way driveway or pair of one-way driveways</li> <li>• Two-way: 25' &lt; throat width &lt; 30' (face to face of curb). One-way paired: each 20' measured perpendicularly. May be separated by 10' median; sidewalks shall be continued or maintained</li> <li>• 25' radii; 30' radii where daily truck traffic expected</li> <li>• Corner lots: one access point per street with &gt;100' frontage</li> <li>• If frontage &gt;300' and documented need (ITE), may allow additional access. Design restrictions: spaced according to standards; located on side street; shared with adjacent property; and/or restrict one or both left turn movements</li> </ul>	<ul style="list-style-type: none"> <li>• <b>A single two-way driveway and a single exit-only driveway are provided</b></li> <li>• Two-way: 25'; one-way: 15'</li> <li>• Lot has two corners with 100' frontage per side street; no access points proposed</li> <li>• <b>15' radius shown</b></li> <li>• <b>Frontage = 234'; two drives proposed</b></li> <li>• <b>Need for second drive is not documented</b></li> <li>• <b>Second drive to demonstrate compliance with design standards.</b></li> </ul>	<p><b>Not met</b></p>
<ul style="list-style-type: none"> <li>• Shared access: driveways along property lines, connecting parking lots, on-site frontage roads, rear service drives. Encouraged and may be required for sites within 1/4 mile of major intersections; having dual frontage; with &lt;300' frontage; with sight distance problems; along congested or accident-prone roadway segments</li> <li>• Connection to adjacent facilities may be required; site accommodation may be required for future connection to undeveloped adjacent property</li> <li>• Letters of agreement or access easements required</li> </ul>	<p>As this site is bordered on all sides by rights-of-way, there are no opportunities for shared access.</p>	<p>Met</p>
<ul style="list-style-type: none"> <li>• Triangular unobstructed view areas: from corner of two ROWs, 25' along each; from corner of ROW and driveway, 10' along driveway and 5' along ROW</li> <li>• Grass / groundcover only in 3' strip abutting driveway and ROW</li> <li>• Trees permitted if trimmed between 30" and 6' from ground level</li> </ul>	<p><b>One emerald sentinel and one Adirondack crabapple are proposed within the ROW triangle; applicant to confirm trimming above 6'</b></p>	<p>Unknown</p>
<ul style="list-style-type: none"> <li>• May require drive to be located on the far side of the property from congested intersections</li> <li>• &gt;150' from signalized intersection or 4-way stop, or right-turn-only at 75' from intersection</li> <li>• &gt;100' otherwise</li> <li>• &gt;200' from centerline of I-75 access ramps</li> </ul>	<ul style="list-style-type: none"> <li>• <b>Two-way driveway is 50' from White Avenue ROW</b></li> <li>• <b>One-way driveway is 50' from Park Avenue ROW</b></li> </ul>	<p><b>Not met</b></p>

Required	Provided	Compliance
<ul style="list-style-type: none"> <li>• Same side of street: Driveway spacing determined by speed limits in §1290.10</li> <li>• Across the street: Driveways directly aligned or &gt;150' offset (excludes right-turn-only)</li> <li>• Directional driveways, divided driveways, and deceleration tapers and/or by-pass lanes may be required by the Planning Commission where they will reduce congestion and accident potential</li> </ul>	Speed limit = 45mph; 230' minimum driveway spacing <b>Distance 1: ~140'</b> <b>Distance 2: ~155'</b> <b>Distance 3: ~177'</b>	<b>Not met</b>



As proposed, this site design does not meet the access standards of section 1290.10. The biggest source of noncompliance is the north, exit-only driveway. The ordinance-driven solution is to locate the second driveway on Park Avenue, though this may no longer fit local preferences. The Planning Commission should discuss the available options and solutions with the applicant and, if necessary, the City Engineer and the Michigan Department of Transportation.

**Items to be addressed**

- Fort Street (M-85) is under the jurisdiction of Michigan Department of Transportation (MDOT). An MDOT approval and permit will be required.*



- One emerald sentinel and one Adirondack crabapple are proposed within the ROW triangle; applicant to confirm trimming above 6'
- Turning radius to be between 25' and 35'
- A strategy to address compliance with the City's access management standards should be discussed with the Planning Commission, the applicant, and other parties as necessary, notably the City Engineer and the Michigan Department of Transportation.

### EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Fire department review shows acceptable access to the site with two separate access points.

#### Items to be addressed

None

### STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed in conjunction with this project.

#### Items to be addressed

None

### LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	10' greenbelt with sod	Met
	1 tree and 4 shrubs per 40' of street frontage 430' total = 11 trees and 43 shrubs	11 trees and 43 shrubs	Met
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	Hedge provided along parking areas adjacent to White and Park streets	Met

	Required	Proposed	Compliance
Interior Landscaping	10% of total lot area landscaped, including groundcover (23,000 sf *0.1) = 2,300 sf landscaping	> 4,100	Met
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	No landscaping is shown on the outdoor patio area. It is recommended.	Change requested
	1 tree per 400 sf of required landscaping and 1 shrub per 125 sf of required landscaping 2,300 sf = 6 trees and 18 shrubs	6 trees and 18 shrubs	Met
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces 12/10 = 1 tree	1 tree	Met
	100 sf of planting area per tree	~176 sf per tree	Met
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Decorative masonry wall	Met

§1280.05 DEVELOPMENT STANDARDS FOR THE CENTRAL BUSINESS DISTRICT

(p) Landscaping. Landscaping shall comply with the provisions of Section 1296.03, Landscaping Standards, of this Zoning Code, in addition to the standards below:

- (1) On every site involving new development or redevelopment, street trees with a minimum caliper of two and one-half (2 ½) inches shall be provided at twenty-five (25) foot intervals. Any of the following street trees with a minimum caliper of two and one-half (2 ½) inches shall be planted within the road right-of-way at twenty-five (25) foot intervals: Norway Maple, Red Maple, Green Ash, Bradford Pear, or Little Leaf Linden, subject to review and approval by the Planning Commission.

Required	Proposed	Compliance
Fort St.: 230' = 9 trees White St.: 100' = 4 trees Park St.: 100' = 4 trees	After applying the standards of Section 1296.03, the applicant has provided an additional 8 trees, 31 shrubs, 38 flower plantings, and 10 ornamental grass plantings.	<i>The proposed plantings meet the intent of the ordinance.</i>

- (2) On every site involving new development or redevelopment, a landscape plan shall be submitted for review and approval. The landscape design shall complement the character of the downtown.

*This condition is met.*

- (3) Lots for apartment and non-residential uses shall balance the functional requirements of parking with the provision of pedestrian amenities. Transition areas between parking and civic, commercial or residential uses shall be designed with textured paving, landscaping and street furniture.

*This condition is met.*



**Items to be addressed**

- Landscaping is recommended in the outdoor patio area.*
- Planning Commission to accept proposed combination of trees, shrubs, flowers, and ornamental grass to meet CBD landscaping standards*

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**SOIL EROSION CONTROL**

*The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.*

Soil erosion control measures are under the jurisdiction of Wayne County and shall comply with applicable standards.

**Items to be addressed**

- Applicant to comply with all soil erosion control measures and permits as issued by Wayne County.*

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**UTILITIES**

*Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.*

Public water and sewer facilities are available on the site.

**Items to be addressed**

*None*

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**STORMWATER MANAGEMENT**

*Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.*

The storm sewer system will need to be reviewed and determined if it is under the jurisdiction of Wayne County and a permit will be required or can be under the City of Lincoln Park's jurisdiction.

**Items to be addressed**

- Applicant to work with City Engineer to review stormwater system and determine and pursue the appropriate permitting process.*

## LIGHTING

*Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.*

1290.05(i) All illumination for such parking facilities shall be deflected away from residential areas and shall be installed in such manner as to allow the reduction of the amount of light after normal parking hours each day. All parking lot lighting shall be designed, located, and shielded to prevent glare onto adjacent properties, and shall be arranged to prevent adverse effects on motorist visibility on adjacent rights-of-way. The source of illumination shall not be more than twenty-five (25) feet above the parking surface.

### §1280.05 DEVELOPMENT STANDARDS FOR THE CENTRAL BUSINESS DISTRICT

- (e) Lighting. Exterior lighting must be placed and shielded so as to direct the light onto the site and away from adjoining properties. The lighting source shall not be directly visible from adjoining properties. Floodlights, wall pack units, other types of unshielded lights, and lights where the lens is visible outside of the light fixture, shall be prohibited, except where historic-style lighting is used that is compatible with existing historic-style lamps approved by the Planning Commission.

The applicant proposes ten (10) exterior lights attached to the building, and four (4) pole lights in the parking areas. Pole lights are down-directed and meet the stated conditions. **Wall lights do not appear to be shielded; detail is required.**

Sidewalks and parking areas shall be properly lit to facilitate the safe movement of pedestrians and vehicles and provide a secure environment. In parking areas, the light intensity shall average a minimum of one (1)-foot candle, measured five (5) feet above the surface. In pedestrian areas, the light intensity shall average a minimum of two (2)-foot candles, measured five (5) feet above the surface.

*This condition is met.*

### Items to be addressed

- Applicant to provide wall light detail documenting compliance with shielding and other regulations*

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## NOISE

*The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.*

No additional noise impacts are expected from the development.

### Items to be addressed

*None*

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## MECHANICAL EQUIPMENT

*Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.*

### §1280.05 DEVELOPMENT STANDARDS FOR THE CENTRAL BUSINESS DISTRICT

- (n) Mechanical Equipment. All air conditioning units, HVAC systems, exhaust pipes or stacks, elevator housing and satellite dishes and other telecommunications receiving devices shall be thoroughly screened from view from the public right-of-way and from adjacent properties, by using walls, fences, roof elements, penthouse-type screening devices or landscaping.

*This condition is met.*

Fire escapes shall not be permitted on a building's front facade. In buildings requiring a second means of egress pursuant to the local building codes, internal stairs or other routes of egress shall be used.

No fire escapes are proposed on the building's front façade. Building egress requirements will be addressed by the Building Department. *This condition is met.*

Solid metal security gates or solid roll-down metal windows shall be prohibited. Link or grill type security devices shall be permitted only if installed from inside, within the window or door frames, or, if installed on the outside, if the coil box is recessed and concealed behind the building wall. Security grills shall be recessed and concealed during normal business hours. Models which provide a sense of transparency, in light colors, are encouraged. Other types of security devices fastened to the exterior walls are prohibited.

No security gates are proposed. *This condition is not applicable.*

## Items to be addressed

*None*

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## SIGNS

*The standards of the City's Sign Code are met.*

The applicant will demonstrate compliance with the City's sign code and pursue appropriate permits from the Building Department.

## Items to be addressed

- Applicant shall obtain all appropriate sign permits from the City Building Department*

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## HAZARDOUS MATERIALS OR WASTE

*For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.*

No hazardous material or waste is expected on site.

**Items to be addressed**

*None*

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**SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL**

*All applicable standards in §1296.02, and elsewhere in the Code as defined by the proposed use, have been met.*

**§1108 PUD**

*These standards are addressed in an accompanying report.*

**§1296.06 Site design standards after special approval**

**M. Drive-in or Drive-through Establishments**

1. Sites must abut a principal or regional thoroughfare, with all ingress and egress directly to such thoroughfare.

*This condition is met.*

**§1294.16 Drive-in and Drive-through establishments**

- a. When a drive-in or drive-through establishment adjoins property located in any Residential District, a solid masonry wall, ornamental on both sides, six (6) feet in height, shall be erected and maintained along the interior line, or if separated from the residential zone by an alley, then along the alley lot line. In addition, all outside trash areas shall be enclosed by such six (6)-foot masonry wall. Such walls shall be constructed of the same materials as that of the main or principal building, and be faced with either brick, decorative block, or pre-cast concrete formed into a decorative pattern and painted in the same color scheme as that of the principal building. Such wall shall be protected from possible damage inflicted by vehicles using the parking area by means of precast concrete wheel stops at least six (6) inches in height, or by firmly implanted bumper guards not attached to the wall, or by other suitable barriers.

*This condition is addressed under Parking, above.*

- b. The entire parking area shall be paved with a permanent surface of concrete or plant- mixed bituminous material and shall be graded and drained in accordance with Section 1290.04(b)(4), Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts. Any unpaved area of the site shall be landscaped with lawn or other horticultural materials, maintained in a neat and orderly fashion at all times and separated from the paved area by a raised concrete curb, six (6) inches in height.

*This condition is addressed under Landscaping, above.*

- c. Lighting shall be installed in a manner which will not create a driving hazard on abutting streets or which will not cause direct illumination on adjacent residential properties, and shall comply with all other requirements of this Zoning Code.

*This condition is addressed under Lighting, above.*



- d. Adequate ingress and egress shall be provided as prescribed in Chapter 1290, Off-Street Parking and Loading.

*This condition is addressed under Access, above.*

- e. Before approval is given for any use, a site plan shall be submitted to the Police Department and the Fire Department before submittal to the Planning Commission, for review pursuant to Section 1296.01, Site Plan Review, as to the suitability of the location of entrances and exits to the site, parking area, screening, lighting and other design features.

*Reviews are underway by the Lincoln Park Police and Fire Department.*

#### Items to be addressed

*None*

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#### OTHER AGENCY REVIEWS

*The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.*

A permit will be required from the Michigan Department of Transportation for work on the M-85 right-of-way. A permit may be required from the Wayne County Drain Commission. These items are addressed above.

#### Items to be addressed

*None*

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#### VARIANCES

No variances are expected to be requested.

#### Items to be addressed

*None*

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#### O RECOMMENDATIONS

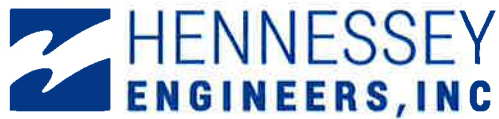
- o Findings

**o Conditions and Waivers**

- Applicant to document that the proposed number of parking spaces can effectively accommodate the needs of the use without negatively impacting traffic safety or adjacent uses
- Barrier-free parking compliance can be determined once the total off-street parking spaces have been determined.
- Ornamental 6' masonry wall to be provided along east side of parcel
- One emerald sentinel and one Adirondack crabapple are proposed within the ROW triangle; applicant to confirm trimming above 6'
- Turning radius to be between 25' and 35'
- A strategy to address compliance with the City's access management standards should be discussed with the Planning Commission, the applicant, and other parties as necessary, notably the City Engineer and the Michigan Department of Transportation.
- Applicant to work with City Engineer to review stormwater system and determine and pursue the appropriate permitting process.
- Fort Street (M-85) is under the jurisdiction of Michigan Department of Transportation (MDOT). An MDOT approval and permit will be required.
- Applicant to comply with all soil erosion control measures and permits as issued by Wayne County.
- Applicant shall obtain all appropriate sign permits from the City Building Department
- Public entrance to face Fort Street.
- Applicant to address shortfall in window requirements; glazing requirements to be addressed simultaneously
- Building materials shall be reviewed by the planning commission.
- Foundation plantings to be added where practical
- Landscaping is recommended in the outdoor patio area.
- Planning Commission to accept proposed combination of trees, shrubs, flowers, and ornamental grass to meet CBD landscaping standards
- Applicant to provide wall light detail documenting compliance with shielding and other regulations

**o Recommendations**





October 17, 2016

Ms. Leah DuMouchel, AICP  
Beckett & Raeder, Inc.  
535 West William St. Suite 101  
Ann Arbor, MI, 48103-4978

**Re: White Castle DE # 15, 2115 Fort St.  
City of Lincoln Park, MI  
Hennessey Project 72082**

Dear Ms. DuMouchel:

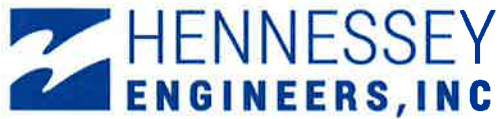
Hennessey Engineers, Inc., completed our review of the Preliminary Plan based on the plan submittal date September 28, 2016, and received via email from you on October 14, 2016.

The proposed development is a 2,865 square foot commercial site on Fort Street with proposed water service from Park Street, sanitary sewer service from the public alley adjacent to and east of the site, two (2) proposed entrances off of Fort Street and new parking lot.

Listed below are some comments that will need to be addressed during the detailed engineering submittal and prior to start of any construction which should not affect the Preliminary Plan approval:

**GENERAL**

1. Fort Street (M-85) is under the jurisdiction of Michigan Department of Transportation (MDOT). An MDOT approval and permit will be required.
2. The storm sewer system will need to be reviewed and determined if it is under the jurisdiction of Wayne County and a permit will be required or can be under the City of Lincoln Park's jurisdiction.
3. A site grading plan will need to be developed and approved by our office.
4. The plans are showing the sanitary sewer relocation around the building foot print which is a necessity. The size and slopes of the proposed sewer will need to be reviewed.
5. Show the percent slopes on the parking lot grades. For asphalt pavement the slopes should be a minimum of one percent.
6. Hennessey Engineers, Inc., will review the drainage and grading plan during the detailed engineering review.
7. The existing sanitary sewer pipe type should be identified. The sanitary lead must be a minimum of SDR -26.
8. A Soil Erosion and Sedimentation permit must be obtained from Wayne County.



White Castle DE # 15, 2115 Fort St.  
City of Lincoln Park, MI  
Hennessey Project 72082

September 2, 2016  
Page 2

The comments listed above will be required to be addressed in the detailed engineering review. From an engineering feasibility our office does not have any issues with the approval of the Preliminary Site Plan submittal. Therefore, from the engineering feasibility review it would be our recommendation for the “**approval**” of the Preliminary Site Plan. This is not a detailed engineering review or approval. Once the Planning Commission approves the Site Plan the engineer shall submit 3 sets of signed and sealed plans and a cost estimate to our office for detailed engineering review. An escrow account will need to be established for the detailed engineering review and construction inspection, test and management. Prior to any start of construction the plans must approved by our office.

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC

A handwritten signature in blue ink that reads 'James D. Hollandsworth'.

James D. Hollandsworth, P.E., P.S.  
Lincoln Park Project Manager

JDH/bd

cc: John Kozuh, DPW Director, City of Lincoln Park  
John J. Hennessey, Hennessey Engineers, Inc.  
Ryan Kern, Hennessey Engineers, Inc.

B.3

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# Site plan review

Shawn Williams <SWilliams@citylp.com>

Tue 10/18/2016 9:50 AM

To: Leah DuMouchel <ldumouchel@bria2.com>;

Good morning,

I have reviewed the site plan for 2115 Fort Street (White Castle). Fire department review shows acceptable access onto site with 2 separate access points. The only concern I see regarding site plan is appropriate number of parking spots for occupant load specified. I count 12 regular spots with a single spot for handicap access. The site plan shows 50 occupant load as well as outdoor seating.

If no one else has issue with the parking requirements, Fire Dept. is fine with site plan approval.

Inspector Shawn Williams  
Lincoln Park Fire Department  
(313) 381-1100



# City of Lincoln Park

## Department of Police

1427 Cleophus

Lincoln Park, Michigan 48146

313-381-1800

December 1, 2016

Ms. Leah DuMouchel

I have reviewed the site plan for 2115 Fort Street (White Castle). It appears that emergency vehicles have proper access in and out of the parking lot. I don't have any issues with the site plan.

A handwritten signature in black ink, appearing to read "R. Watters", written over a horizontal line.

Raymond Watters  
Chief of Police  
Lincoln Park Police Department



# RE: Second request for review and comment: 2115 Fort St Site Plan

John Kozuh <JKozuh@citylp.com>

Sat 12/3/2016 1:09 PM

To: Leah DuMouchel <ldumouchel@bria2.com>; Ray Watters <RWatters@citylp.com>; Krystina Erdos <KErdos@citylp.com>;

Cc: Matthew Coppler <MCoppler@citylp.com>;

Leah: The site plan as submitted, I do not have issues with as presented. We will require the contractor to address the storm sewer ,and sanitary sewer tie in locations in the alley to either be pointed up or rebuilt as structural condition warrant. I await the opportunity to review the engineering job site drawings.

Thank you,  
John Kozuh  
DPS Director  
City of Lincoln Park  
500 Southfield  
[Lincoln Park MI 48146](#)  
Phone (313) 386-9000 Ext 2703  
Fax (313) 386-3002

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**From:** Leah DuMouchel [mailto:ldumouchel@bria2.com]  
**Sent:** Friday, November 11, 2016 11:12 AM  
**To:** John Kozuh; Ray Watters; Krystina Erdos  
**Cc:** Matthew Coppler  
**Subject:** Second request for review and comment: 2115 Fort St Site Plan

Hello! The Planning Commission has completed a preliminary review of the proposed expansion of 2115 Fort St (White Castle) at its meeting on Wednesday, November 9. At that meeting, the Commission requested a written assessment of the proposal from the Lincoln Park Police Department and the Department of Public Safety in order to proceed with the final review of this proposal. The agenda packet from that meeting, which includes the proposal and the preliminary review, is attached for your reference.

Please submit comments to me by Friday, December 2 so that they may be included in the planning commission's packet. I am happy to answer any questions.

Best,  
Leah

Leah DuMouchel, AICP  
Associate

**Beckett&Raeder, Inc.**  
*Making Great Places for over 50 Years*

535 West William St Suite 101  
Ann Arbor, MI 48103

Office: 734.663.2622  
Direct Line: 734.239.6616