



**LINCOLN PARK PLANNING COMMISSION**  
CITY HALL – COUNCIL  
CHAMBERS 1355 SOUTHFIELD  
ROAD LINCOLN PARK, MICHIGAN

**September 13, 2017 at 7:00 p.m.**

**AGENDA**

- I. **Call to Order**
- II. **Pledge of Allegiance**
- III. **Roll Call**
- IV. **Approval of previous minutes**
- V. **Approval of Agenda**
- VI. **Old Business - None**
- VII. **New Business**
  - A. Conceptual Review: 3461 Fort St. (Lincoln Perk)
  - B. Site Plan Review: 25500 Outer Drive (UAW-Ford Technical Training Facility)
- VIII. **Policy Review and Discussion - None**
- IX. **Reports from Departments and Other Boards and Commissions**
- X. **Public Comments**
- XI. **Comments from Planning Commissioners**
- XII. **Adjournment**

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The City of Lincoln Park will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park, MI 48146(313) 386-1800 Ext. 1296

**CITY OF LINCOLN PARK  
COUNTY OF WAYNE, STATE OF MICHIGAN  
SPECIAL PLANNING COMMISSION MEETING OF AUGUST 16, 2017**

A Special Planning Commission of August 16, 2017, held at the City of Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan. The meeting was called to order at 7:00pm, by Chairman Kissel presiding.

**PRESENT:** Kissel, Horvath, Graczyk, Briones, Kelsey

**ABSENT:**

**EXCUSED:** Palmer, Medina

**ALSO PRESENT:** Leah DuMouchel, Giles Tucker, and Applicants

Approval of the minutes was tabled to the next Regular Planning Commission meeting.

The Agenda was approved as written.

**UNFINISHED BUISNESS:**

Chairman Kissel closed Planning Commission business at 7:04pm, and opened the Public Hearing section at 7:05pm to allow for discussion on the land use of a drive-in restaurant at 3745 Dix. Chairman Kissel closed the Public Hearing section at 7:14pm, and reopened Planning Commission business at 7:15pm.

**MOTION BY:** Kelsey

**SUPPORTED BY:** Horvath

**RESOLVED**

The Lincoln Park Planning Commission approves the Special Land Use of a drive-in restaurant at 3745 Dix.

**YEAS:** Kissel, Horvath, Graczyk, Briones, Kelsey

**NAYS:**

**ABSENT:** Palmer, Medina

**EXCUSED:** Palmer, Medina

**MOTION BY:** Graczyk

**SUPPORTED BY:** Kelsey

**RESOLVED**

The Lincoln Park Planning Commission approves the site plan proposed for a Sonic drive-in restaurant at 3745 Dix, with the conditions and waivers recommended by the planner within the meeting package.

**YEAS:** Kissel, Horvath, Graczyk, Briones, Kelsey

**NAYS:**

**ABSENT:** Palmer, Medina

**EXCUSED:** Palmer, Medina

Chairman Kissel closed Planning Commission business at 7:45pm, and opened the Public Hearing section at 7:46pm to allow for discussion on the land use of a medical office that exceeded 10,000 SF. Chairman Kissel closed the Public Hearing section at 7:49pm, and reopened Planning Commission business at 7:50pm.

**MOTION BY:** Horvath  
**SUPPORTED BY:** Kelsey  
**RESOLVED**

The Lincoln Park Planning Commission approves the Special Land use of Medical Offices exceeding 10,000 square feet, contingent on Site Plan Approval.

**YEAS:** Kissel, Horvath, Graczyk, Briones, Kelsey  
**NAYS:**  
**ABSENT:** Palmer, Medina  
**EXCUSED:** Palmer, Medina

**MOTION BY:** Kelsey  
**SUPPORTED BY:** Horvath  
**RESOLVED**

The Lincoln Park Planning Commission conditionally approve the site plan proposed for the Medical Office of American Renal Lincoln Park Kidney Center at 1491 Southfield Rd contingent on the applicant meeting of all the conditions and waivers recommended by the planner within the meeting package to the planner satisfaction.

**YEAS:** Kissel, Horvath, Graczyk, Briones, Kelsey  
**NAYS:**  
**ABSENT:** Palmer, Medina  
**EXCUSED:** Palmer, Medina

Chairman Kissel closed Planning Commission business at 8:36pm, and opened the Public Hearing section at 8:37pm to discuss conditional rezoning in reference to the property 1358 Council Ave. Chairman Kissel closed the Public Hearing section at 8:50pm, and reopened Planning Commission business at 8:51pm. A letter from a concerned resident regarding this conditional rezoning was read and entered into the public record.

**MOTION BY:** Kelsey  
**SUPPORTED BY:** Graczyk  
**RESOLVED**

The Planning Commission recommends the approval of Conditional Rezoning for the property at 1358 Council Ave to the Lincoln Park City Council.

**YEAS:** Kissel, Horvath, Graczyk, Briones, Kelsey  
**NAYS:**  
**ABSENT:** Palmer, Medina  
**EXCUSED:** Palmer, Medina

### **NEW BUSINESS**

A Conceptual Review of the demolition and rebuild of the Taco Bell located at 2306 Dix was presented by planner Leah DuMouchel. Project consultant Ellen Selle provided additional elaboration on the project and answered commissioner questions.

### **POLICY REVIEW AND DISCUSSION**

Discussion was had regarding whether to require a 1000 ft buffer between body art facilities. An informal vote was held where Kelsey, Graczyk, and Kissel voted “yes” to include a buffer within recommendations to Council, Briones and Horvath voted “no.”

**MOTION BY:** Kelsey

**SUPPORTED BY:** Graczyk

**RESOLVED**

The Planning Commission recommends that the Lincoln Park City Council adopt the recommendations presented by Planner Leah DuMouchel within the Meeting Package.

**YEAS:** Kissel, Horvath, Graczyk, Briones, Kelsey

**NAYS:**

**ABSENT:** Palmer, Medina

**EXCUSED:** Palmer, Medina

**REPORTS FROM DEPARTMENTS AND OTHER BOARDS AND COMMISSIONERS**

None.

**PUBLIC COMMENTS**

None.

**ADJOURNMENT**

The City of Lincoln Park Planning Commission

Motion to Adjourn 9:34pm

## UAW-Ford Technical Training Center Revitalization Site Plan Review

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Applicant	DiClemente Siegel Design Inc.
Project	UAW-Ford Technical Center Revitalization
Address	28105 Greenfield Road, Southfield MI 48076
Date	September 13, 2017
Request	Site Plan Approval
Recommendation	<b>Approval</b>

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### GENERAL

*All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).*

### Project and Site Description

The applicant proposes to revitalize and remodel an existing automotive training center with offices and classrooms for students over 12<sup>th</sup> grade. Most of the improvements will take place inside the building. The current building footprint of approximately 107,045 square feet is proposed to be expanded by approximately 13,440 square feet, or about 12%. The size of the expansion triggers site plan review. The proposed site work includes repaved parking facilities and implementation of landscaping in accordance with the ordinance.

#### Site conditions

The study area consists of just over 12 acres in the General Industrial District of Lincoln Park. The site is accessed via a driveway from Outer Drive, which serves as the border between Lincoln Park and the City of Detroit. It can also be accessed from Olive Ave., a one-block street that essentially serves as a driveway from Porter Ave. Parking lots surround the building on three sides, with the largest at the rear (south) of the site. Approximately 9.5 acres of the 12 acre site is covered by impervious surface.



Figure 1: Aerial View

**Master Plan**

Future Land Use Classification

The preferred future land use for this parcel as identified in the 2007 Lincoln Park Comprehensive Development Plan is General Industrial. The proposed land use is industrial education and training.

*This condition is met.*

Intent; Desirable Uses and Elements

The intent of this district is to provide space for intense industrial operations which offers ready access to railroads and major highways.

*This condition is met.*

**Land Use and Zoning**

Zoning

The site is zoned General Industrial District (GID). Assembly and manufacture of motor vehicles is a principal permitted use in this district. The proposed training facility for the assembly and manufacture of motor vehicles, consisting of similar equipment and processes, can be considered a similar use and is therefore also a principal permitted use.

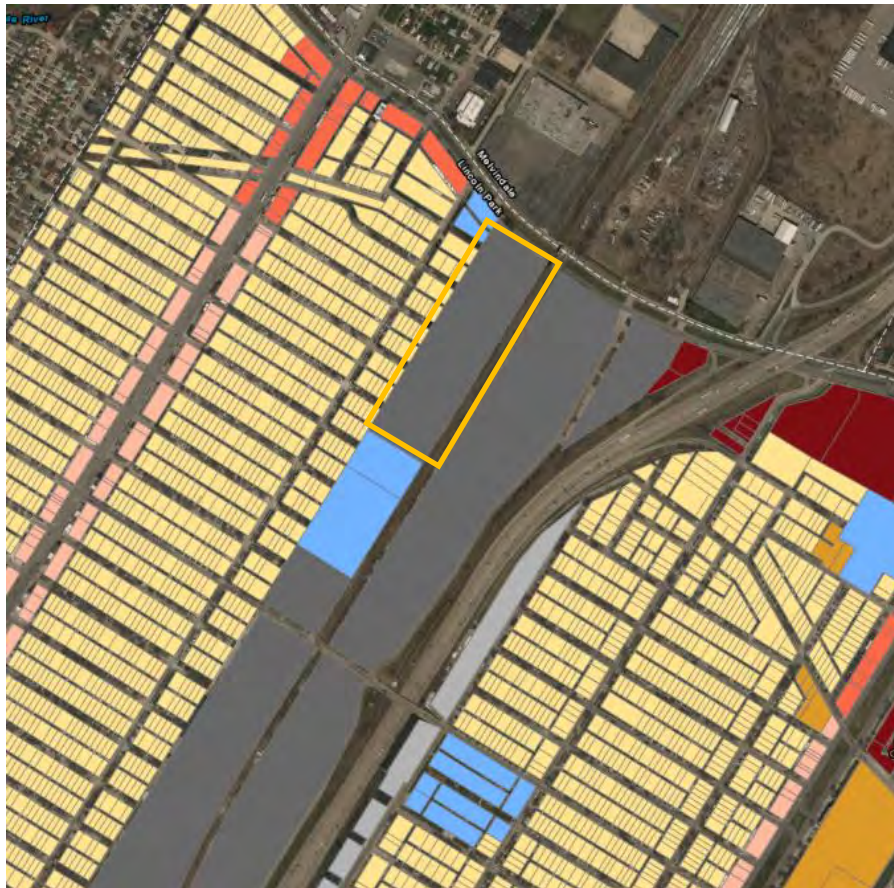


Figure 2: Zoning Map

Proposed and Existing Uses

Site	General industrial
North	ROW; City of Detroit
East	Rail corridor; general industrial
South	Playground owned by Ford and leased to City of Lincoln Park
West	Single family residential

### Dimensional Standards

The dimensional requirements of the General Industrial district are described in the chart below. (§1294.32, except where noted.)

	Required	Provided	Compliance
Lot Width	100 ft	300 ft	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls 2 ½' < height < 8'		Met
Lot Area	43,560 sf	12.57 acres	Met
Lot Coverage	75% max	19%	Met
Height	40 ft max	34 ft	Met
Setback – Front	50 ft	342 ft	Met
Setback – Sides	50 ft least / 100 ft total	110.3 + 49.2 = 159.5 ft	Met
Setback – Rear	50 ft	499.5 ft	Met

### Items to be addressed

None

### BUILDING DESIGN

*The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.*

Required	Compliance
<ul style="list-style-type: none"> <li>Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500'</li> </ul>	Met
<ul style="list-style-type: none"> <li>Architectural variety</li> <li>Similar materials and entrances to buildings within 500'</li> </ul>	Met
<ul style="list-style-type: none"> <li>Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW)</li> <li>25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly-reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block)</li> <li>Natural colors (bright for decorative features only)</li> </ul>	<b>Applicant to supply building façade materials with percentages</b>
<ul style="list-style-type: none"> <li>Façade: &lt;100' uninterrupted</li> <li>If &gt;100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches</li> </ul>	Met



<ul style="list-style-type: none"> <li>• All sides similar</li> </ul>	
<ul style="list-style-type: none"> <li>• Windows: vertical, recessed, visually-obvious sills</li> <li>• Spaces between windows = columns, mullions, or material found elsewhere on the façade</li> <li>• Front facades &gt; 25% windows</li> <li>• Size, shape, orientation, spacing to match buildings within 500'</li> </ul>	<ul style="list-style-type: none"> <li>• <b>Windows are horizontal</b></li> <li>• <b>No columns or mullions</b></li> <li>• <b>Front façade &lt; 25% windows</b></li> </ul>
<ul style="list-style-type: none"> <li>• Main entrances: doors larger</li> <li>• Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls)</li> </ul>	Met
<ul style="list-style-type: none"> <li>• Pitched / shingled roof forms suggested</li> <li>• Overhanging eaves with slope of 0.5 to 1</li> <li>• Rooflines &gt;100' = roof forms, parapets, cornice lines</li> <li>• Roof-top mechanical equipment screened by roof form.</li> </ul>	Met

Architectural elevations were not included in the applicant’s site plan submittal dated September 1, 2017. It was confirmed with the applicant that architectural sheets included in a previous submission, dated April 10, 2017 and received by the City in June 2017, should be referenced. Sheet A-201 was referenced for this review. Applicant shall submit a fresh copy of all additional sheets, which were not submitted to the City of Lincoln Park on September 5, 2017, which should be included with this site plan package.

**Items to be addressed**

- Applicant to submit a fresh copy of all additional sheets, which were not submitted to the City of Lincoln Park on September 5, 2017, and which the applicant wishes to be included with this site plan package
- Applicant to supply building façade materials with percentages
- Applicant to address window orientation, spacing arrangements, and façade composition

**PRESERVATION OF SIGNIFICANT NATURAL FEATURES**

*Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.*

Existing vegetation along west property line has been preserved.

**Items to be addressed**

None

**SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION**

*The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.*

Primary access to the site is provided by a paved driveway connecting Outer Drive to parking lots on both the west and the east sides of the building. There is a sidewalk on Outer Drive, and the building is approximately 275 feet from the sidewalk. No SMART bus route serves that portion of Outer Drive, and the combination of infrequent bicycle traffic with slow vehicle speeds on the driveway make road sharing appropriate. Secondary access to the site is provided from Olive Ave., a one-block street that connects the site to Porter Ave. in a residential neighborhood. Though this neighborhood is served by sidewalks, there are none on the south side of Olive Ave. and the majority of the sidewalk on the north side of Olive Ave. has been interrupted by a parking lot. Nonmotorized access to the site is therefore limited. Pedestrian and bicycle amenities are considered to be included as the applicant deems adequate.

**Items to be addressed**

None

**PARKING**

*The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.*

Use	Required	Proposed	Compliance
Industrial establishments	1 per 500 sf of gross floor area = 120,485/500 = 240 Additional 20%=288	341	<b>Not met</b>

Exceeding minimum parking requirements by greater than 20% shall not be allowed, except as approved by the Planning Commission upon determining that such parking will be required, based on documented evidence, to accommodate the use on a typical day (§1290.01n)

**Items to be addressed**

- *Proposed parking exceeds minimum requirements by 42%. Applicant to document that such parking is required to accommodate the use on a typical day; alternately, applicant may reduce parking spaces to 288 or fewer*

**BARRIER-FREE ACCESS**

*The site has been designed to provide barrier-free parking and pedestrian circulation.*

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
240	8	8	Met

**Items to be addressed**

None

**LOADING**

*All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.*

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
120,485	10	0	<b>Not met</b>

No designated loading spaces were found on the site plan.

**Items to be addressed**

- Applicant to designate loading areas compliant with § 1290.09, Off-Street Loading.

**ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION**

*Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.*

The site’s access onto Outer Drive is via a single curb cut. It complies with the access management standards prescribed in 1290.10.

**Items to be addressed**

None

**EMERGENCY VEHICLE ACCESS**

*All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.*

The site plan is under review by the City of Lincoln Park Police and Fire Departments.

**Items to be addressed**

- Comments from the Lincoln Park Police Department to be received and incorporated
- Comments from the Lincoln Park Fire Department to be received and incorporated.

**STREETS**

*All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.*

No new streets are proposed.

**Items to be addressed**

None

**LANDSCAPING, SCREENING, AND OPEN SPACE**

*The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.*

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	220'	Met
	1 tree and 4 shrubs per 40' of street frontage 390' total = 8 trees and 31 shrubs Gradual compliance of 30% = 2 trees and 9 shrubs	Existing vegetation along the Ecorse Drain functions to fully screen the site from Outer Drive.	Met
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	Headlights may shine into ROWs which dead end into the west property line of the subject area. It is screened by an existing wall.	Met

	Required	Proposed	Compliance
Interior Landscaping	10% of total lot area landscaped, including groundcover (546,525 sf *0.1) = 54,652 sf landscaping Gradual compliance of 30% = 16,395 sf	137,072	Met
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Foundation plantings provided; other vegetation is placed as existing utilities and site features allow	Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping 16,395 sf = 41 trees and 66 shrubs	41 trees; 266 shrubs	Met
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces 341/10 = 34 trees Gradual compliance of 30% = 11 trees	11 trees are placed at the perimeter of the existing parking lot, as allowed by existing utilities and site features	Met
	100 sf of planting area per tree		Met
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Waste receptacle enclosure detail not shown	<b>Not met</b>
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive); solid 6' masonry wall ornamental on both sides	A solid concrete wall and evergreen screen are existing	Met

**Items to be addressed**

- Applicant to provide waste receptacle enclosure detail

**SOIL EROSION CONTROL**

*The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.*

Soil erosion control measures have been proposed. These are under the purview of Wayne County and shall be addressed as appropriate in detailed engineering review.

**Items to be addressed**

- Soil erosion control measures to be addressed in detailed engineering review with appropriate permissions secured from Wayne County.

## UTILITIES

*Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.*

The site is served by public water and sewer utilities. The site plan has been forwarded to the Lincoln Park Department of Public Works for review.

### Items to be addressed

- Comments to be received and incorporated from the City of Lincoln Park Department of Public Works.*

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## STORMWATER MANAGEMENT

*Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.*

A stormwater control plan has been proposed. Stormwater management is under the purview of WAYne County. All appropriate permits shall be secured during detailed engineering review.

### Items to be addressed

- Stormwater control measures to be addressed in detailed engineering review with appropriate permissions secured from Wayne County.*

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## LIGHTING

*Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.*

All proposed lighting is shielded and downward-directed.

### Items to be addressed

None

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## NOISE

*The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.*

No adverse noise impacts are expected from the development.

#### Items to be addressed

None

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#### MECHANICAL EQUIPMENT

*Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.*

No visible roof-mounted mechanical equipment is shown on the elevations, indicating that it is either screened or this requirement is not applicable. Ground-mounted mechanical equipment and method of screening, if applicable, are not shown.

#### Items to be addressed

- Applicant to confirm that roof-mounted mechanical equipment is screened
- Applicant to show location of ground-mounted mechanical equipment and method of screening

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#### SIGNS

*The standards of the City's Sign Code are met.*

A sign plan shall be submitted to the City of Lincoln Park Building Department for review of compliance.

#### Items to be addressed

- Appropriate sign permits to be secured from the City of Lincoln Park Building Department.

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#### HAZARDOUS MATERIALS OR WASTE

*For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.*

Documentation of compliance with all County, State, and Federal requirements regarding hazardous materials shall be provided to the City of Lincoln Park Building Department.

#### Items to be addressed

- Applicant to provide documentation of compliance with all County, State, and Federal regulations of hazardous materials shall be provided to the City of Lincoln Park Building Department.

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#### SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

*All applicable standards for uses permitted after special approval are met.*

There are no additional site design standards associated with this use.

#### Items to be addressed

None

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#### OTHER AGENCY REVIEWS

*The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.*

Applicant to secure all permits as appropriate. In addition to those mentioned in other sections, work within the North Branch Ecourse Drain easement and floodway will require permission from Wayne County and/or the Michigan Department of Environmental Quality.

#### Items to be addressed

- Applicant to secure permits as necessary from Wayne County and MDEQ for work within the North Branch Ecourse Drain easement and floodway.

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#### VARIANCES

No variances are anticipated.

#### Items to be addressed

None



## RECOMMENDATIONS

### Findings

The proposed site plan for UAW-Ford Technical Training Center Revitalization, dated September 1 2017 and incorporating sheet A-201 dated April 10 2017, is substantially in compliance with §1296.01, Site Plan Review, with the following conditions and waivers.

### Conditions and Waivers

- Applicant to submit a fresh copy of all additional sheets, which were not submitted to the City of Lincoln Park on September 5, 2017, and which the applicant wishes to be included with this site plan package
- Applicant to supply building façade materials with percentages
- Applicant to address window orientation, spacing arrangements, and façade composition
- Proposed parking exceeds minimum requirements by 42%. Applicant to document that such parking is required to accommodate the use on a typical day; alternately, applicant may reduce parking spaces to 288 or fewer
- Applicant to designate loading areas compliant with § 1290.09, Off-Street Loading.
- Applicant to provide waste receptacle enclosure detail
- Applicant to confirm that roof-mounted mechanical equipment is screened
- Applicant to show location of ground-mounted mechanical equipment and method of screening
- Applicant to provide documentation to the City of Lincoln Park Building Department of compliance with all County, State, and Federal regulations of hazardous materials.
- Comments from the Lincoln Park Police Department to be received and incorporated
- Comments from the Lincoln Park Fire Department to be received and incorporated.
- Comments from the City of Lincoln Park Department of Public Works to be received and incorporated.
- Appropriate sign permits to be secured from the City of Lincoln Park Building Department.
- Soil erosion control measures to be addressed in detailed engineering review with appropriate permissions secured from Wayne County.
- Stormwater control measures to be addressed in detailed engineering review with appropriate permissions secured from Wayne County.
- Applicant to secure permits as necessary from Wayne County and MDEQ for work within the North Branch Ecorse Drain easement and floodway.

### Recommendations

It is recommended that the Lincoln Park Planning Commission approve the proposed site plan for UAW-Ford Technical Training Center Revitalization, dated September 1 2017 and incorporating sheet A-201 dated April 10 2017, with the conditions and waivers noted herein.

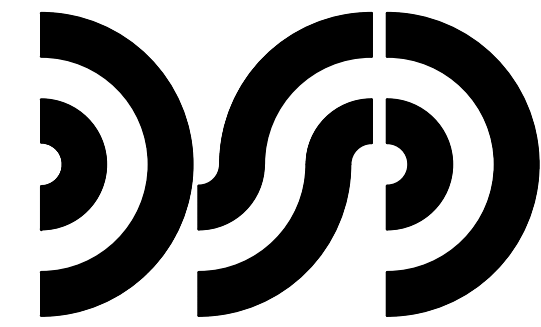
# UAW-FORD TECHNICAL TRAINING CENTER REVITALIZATION

DRAWING No. E5012-101

BLDG CODE No 5012



**FORDLAND**  
UAW-FORD TECHNICAL TRAINING CENTER  
25500 WEST OUTER DRIVE  
LINCOLN PARK, MICHIGAN 48146  
FORD PROJECT MANAGER: DON WLOSZEK



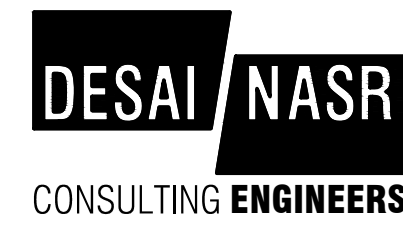
**DiCLEMENTE SIEGEL DESIGN INC.**  
28105 GREENFIELD ROAD  
SOUTHFIELD, MICHIGAN 48076-3046  
DSD PROJECT No. 16-3011

ENGINEERING AND ARCHITECTURE



**SDG**  
Architects + Planners  
615 GRISWOLD STREET  
DETROIT, MICHIGAN 48226

ARCHITECTURE



**DESAI NASR**  
CONSULTING ENGINEERS  
6765 DALY ROAD  
WEST BLOOMFIELD, MICHIGAN 48322-4585

STRUCTURAL ENGINEERING



**SPALDING DEDECKER**  
Engineers | Surveyors  
905 SOUTH BLVD EAST  
ROCHESTER HILLS, MICHIGAN 48307

CIVIL ENGINEERING



**GRISSIM METZ ANDRIESE ASSOCIATES**  
300 EAST CADY STREET  
NORTHVILLE, MICHIGAN 48167

LANDSCAPE DESIGN

## CIVIL SHEET INDEX

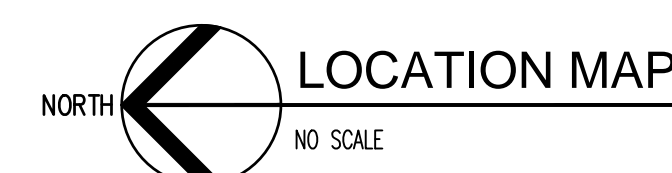
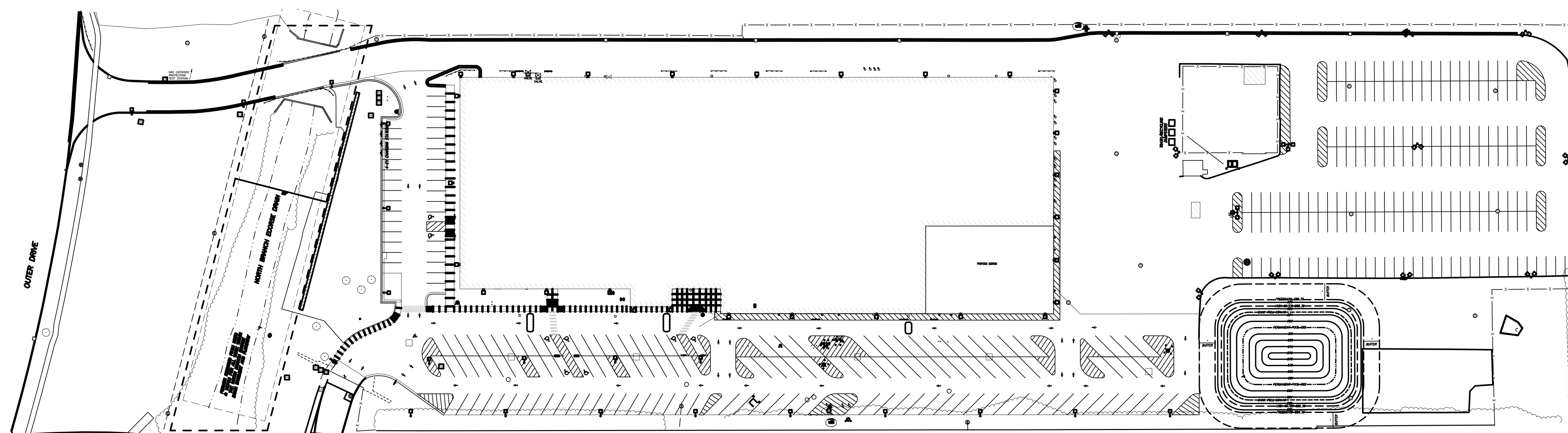
SHEET	DESCRIPTION
C-111	OVERALL SITE - NEW WORK - OVERALL SITE PLAN
CD-111	PARTIAL SITE - DEMOLITION PLAN NORTH
CD-112	PARTIAL SITE - DEMOLITION PLAN SOUTH
C-112	PARTIAL SITE - NEW WORK DRAINAGE PLAN NORTH
C-113	PARTIAL SITE - NEW WORK DRAINAGE PLAN SOUTH
C-114	OVERALL SITE - NEW WORK UTILITY NOTES & DETAILS
C-115	PARTIAL SITE - NEW WORK - FIRE WATER MAIN & SANITARY SEWER PLAN NORTH
C-116	PARTIAL SITE - NEW WORK - FIRE WATER MAIN & SANITARY SEWER PLAN SOUTH
C-117	PARTIAL SITE - NEW WORK - PAVING & LAYOUT PLAN NORTH
C-118	PARTIAL SITE - NEW WORK - PAVING & LAYOUT PLAN SOUTH
C-119	PARTIAL SITE - NEW WORK - GRADING PLAN NORTH
C-120	PARTIAL SITE - NEW WORK - GRADING PLAN SOUTH
C-121	OVERALL SITE - NEW WORK - STORM SEWER PROFILES 1
C-122	OVERALL SITE - NEW WORK - STORM SEWER PROFILES 2
C-123	PARTIAL SITE - NEW WORK - DETENTION BASIN LANDSCAPE PLAN
C-124	OVERALL SITE - NEW WORK - STORM WATER MANAGEMENT PLAN
C-125	STORM WATER MANAGEMENT EXHIBIT DOCUMENTS
C-126	OVERALL SITE - OLD WORK HISTORIC SITE DRAINAGE AREA MAP
C-127	PARTIAL SITE - NEW WORK - SESC PLAN NORTH
C-128	PARTIAL SITE - NEW WORK - SESC PLAN SOUTH
C-129	STANDARD WATER MAIN DETAILS 1
C-130	STANDARD WATER MAIN DETAILS 2
C-131	STANDARD SANITARY SEWER DETAILS 1
C-132	STANDARD SANITARY SEWER DETAILS 2
C-133	STANDARD STORM SEWER DETAILS 1
C-134	STANDARD STORM SEWER DETAILS 2

## LANDSCAPING SHEET INDEX

SHEET	DESCRIPTION
L-100	LANDSCAPE PLAN

## ARCHITECTURAL SHEET INDEX

SHEET	DESCRIPTION
A-103	PROPOSED OVERALL FLOOR PLAN SCHEME B



XREF: MPE0907L  
 XREF: MPE1201P  
 XREF: E012-10-APP1-000  
 XREF: E012-10-APP1-000  
 XREF: E012-10-APP1-000  
 XREF: E012-10-APP1-000  
 XREF: E012-10-APP1-000  
 XREF: E012-10-APP1-000  
 XREF: E012-10-APP1-000

### LEGEND

	PROPOSED FIRE WATER MAIN
	PROPOSED SANITARY
	PROPOSED STORM SEWER
	PROPOSED HYDRANT
	PROPOSED GATE VALVE & WELL (GVW)
	PROPOSED POST INDICATOR VALVE (PIV)
	PROPOSED SAN MANHOLE (SAN)
	PROPOSED STORM MANHOLE (SM)
	PROPOSED CATCH BASIN (CB)
	PROPOSED INLET (INL)
	PROPOSED END SECTION (ES)
	PROPOSED FIELD CATCH BASIN (FCB) W/ BEDDING COVER OR STANDARD (SP) W/ BAK GRATE COVER
	STANDARD BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT
	GREENSPACE RESTORATION
	UTILITY CROSSING (SEE DATA TABLE)
	STORM SEWER STRUCTURE (STRUCT. TYPE, STRUCT. NO.)
	SANITARY SEWER STRUCTURE (STRUCT. TYPE, STRUCT. NO.)
	WATERMAIN STRUCTURE (STRUCT. TYPE, STRUCT. NO.)

### ZONING DATA

25500 W. OUTER DRIVE  
 TAX ID No. 45-004-89-0001-700  
 PARCEL ZONING: GENERAL INDUSTRIAL (GID)  
 PARCEL USE: TECHNICAL TRAINING  
 ADJOINING ZONING: NORTH - NOT APPLICABLE  
 WEST - SINGLE FAMILY RESIDENTIAL (SFRD)  
 WEST - COMMUNITY SERVICE (CSO)  
 EAST - GENERAL INDUSTRIAL  
 SOUTH - COMMUNITY SERVICE (CSO)  
 SOUTH - COMMUNITY SERVICE (CSO)  
 PARCEL AREA: 12.57 AC. (EXCLUDES 777 AC. PARK PARCEL TO THE SOUTH)  
 PROPOSED BUILDING AREA: 104,473 SF  
 LOT COVERAGE: 19% (75% MAXIMUM)  
 FRONT SETBACK: 342.7' (20' MINIMUM)  
 WEST SIDE SETBACK: 110.3' (50' MINIMUM)  
 EAST SIDE SETBACK: 49.2' (25' MINIMUM)  
 REAR SETBACK: 498.0' (50' MINIMUM)  
 BUILDING HEIGHT: 34' (40' MAXIMUM)

### PARKING DATA

PARKING DATA BY ZONING DISTRICT - GENERAL INDUSTRIAL  
 GREATER OF THE FOLLOWING TWO CALCULATIONS  
 1 SPACE PER 500 SF OF GROSS BUILDING AREA: 104,473/500 = 209 SPACES  
 OR  
 1 SPACE PER 1-1/2 EMPLOYEES AT GREATEST OCCUPANCY: 2151.5 ÷ 1.5 = 144 SPACES  
 PARKING PROVIDED: REGULAR SPACES = 341  
 HANDICAP SPACES = 8 (3 VAN ACCESSIBLE)  
 TOTAL = 349 SPACES

### FLOODPLAIN DATA

FIRM MAP NO. 26163C0288E  
 EFFECTIVE DATE: FEBRUARY 2, 2012  
 FLOODPLAIN ELEVATION: 595.25 (NAVD '83)  
 ELEVATION INTERPOLATED FROM FIRM CROSS SECTIONS

### CIVIL SHEET INDEX

- C-111 OVERALL SITE - NEW WORK - OVERALL SITE PLAN
- CD-111 PARTIAL SITE - DEMOLITION PLAN NORTH
- CD-112 PARTIAL SITE - DEMOLITION PLAN SOUTH
- C-112 PARTIAL SITE - NEW WORK - DRAINAGE PLAN NORTH
- C-113 PARTIAL SITE - NEW WORK - DRAINAGE PLAN SOUTH
- C-114 OVERALL SITE - NEW WORK - UTILITY NOTES AND DETAILS
- C-115 PARTIAL SITE - NEW WORK - FIRE WATER MAIN AND SANITARY SEWER PLAN NORTH
- C-116 PARTIAL SITE - NEW WORK - FIRE WATER MAIN AND SANITARY SEWER PLAN SOUTH
- C-117 PARTIAL SITE - NEW WORK - PAVING AND LAYOUT PLAN NORTH
- C-118 PARTIAL SITE - NEW WORK - PAVING AND LAYOUT PLAN SOUTH
- C-119 PARTIAL SITE - NEW WORK - GRADING PLAN NORTH
- C-120 PARTIAL SITE - NEW WORK - GRADING PLAN SOUTH
- C-121 OVERALL SITE - NEW WORK - STORM SEWER PROFILES 1
- C-122 OVERALL SITE - NEW WORK - STORM SEWER PROFILES 2
- C-123 PARTIAL SITE - NEW WORK - DETENTION BASIN LANDSCAPE PLAN
- C-124 OVERALL SITE - NEW WORK - STORM WATER MANAGEMENT PLAN
- C-125 STORM WATER MANAGEMENT EXHIBIT DOCUMENTS
- C-126 OVERALL SITE - OLD WORK - HISTORIC SITE DRAINAGE AREA MAP
- C-127 PARTIAL SITE - NEW WORK - SESS PLAN NORTH
- C-128 PARTIAL SITE - NEW WORK - SESS PLAN SOUTH
- C-129 STANDARD WATER MAIN DETAILS 1
- C-130 STANDARD WATER MAIN DETAILS 2
- C-131 STANDARD SANITARY SEWER DETAILS 1
- C-132 STANDARD SANITARY SEWER DETAILS 2
- C-133 STANDARD STORM SEWER DETAILS 1
- C-134 STANDARD STORM SEWER DETAILS 2

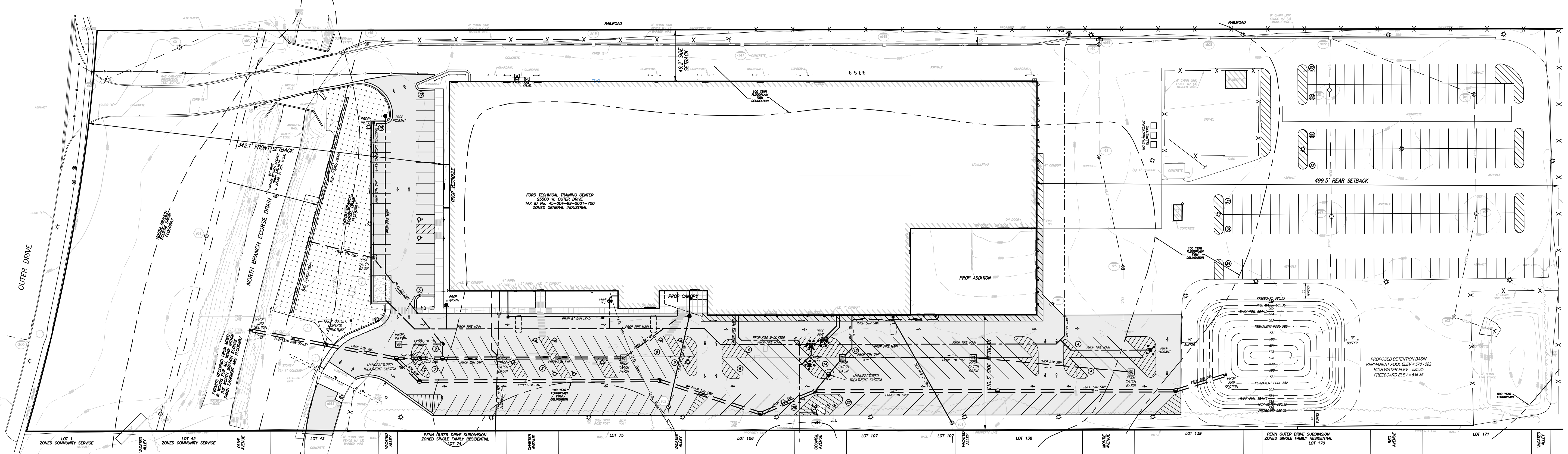


LOCATION MAP  
 SCALE: 1" = 2000'

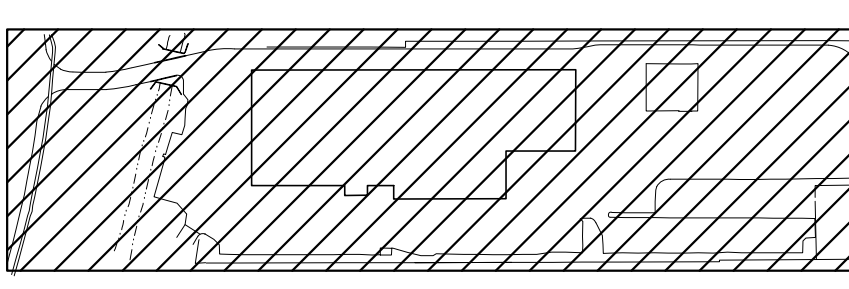
### LEGAL DESCRIPTION

(AS PROVIDED BY CLIENT)  
 A PARCEL OF LAND IN PRIVATE CLAM 256 IN THE CITY OF LINCOLN PARK, WAYNE COUNTY, MICHIGAN, BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF OUTER DRIVE 150 FEET WIDE WITH THE EAST LINE OF THE PENN. OUTER DRIVE SUBDIVISION, THENCE EASTERLY ALONG SAID SOUTH LINE OF OUTER DRIVE 384 FEET MORE OR LESS TO A POINT ON THE EAST LINE OF SAID PRIVATE CLAM 256, THENCE SOUTHERLY ALONG SAID EAST LINE OF PRIVATE CLAM 256, 2230 FEET MORE OR LESS TO ITS INTERSECTION WITH THE EXTENSION EASTERLY OF THE CENTER LINE OF THE 18 FOOT ALLEY LYING 113 FEET NORTH OF THE NORTH PROPERTY LINE OF UNIVERSITY AVENUE IN PENN. OUTER DRIVE SUBDIVISION, THENCE WESTERLY ALONG THE EASTERLY EXTENSION OF SAID ALLEY CENTER LINE 384 FEET MORE OR LESS TO THE EAST LINE OF SAID PENN. OUTER DRIVE SUBDIVISION, THENCE NORTH ALONG SAID EAST LINE OF PENN. OUTER DRIVE SUBDIVISION 2270 FEET MORE OR LESS TO THE POINT OF BEGINNING.

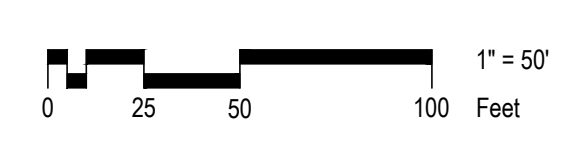
AREA: 864,000 SQUARE FEET OR 19.84 ACRES MORE OR LESS (INCLUDES FORD MOTOR PARK (7.27 ACRES) LEASED TO THE CITY).



OVERALL SITE - NEW WORK  
 OVERALL SITE PLAN  
 SCALE: 1" = 50'



KEY PLAN  
 NO SCALE



THOMAS J. SOVEL  
 ENGINEER  
 No. 39205  
 PROFESSIONAL

330 TOWN CENTER DRIVE, SUITE 1100  
 DEARBORN, MICHIGAN 48126-2738  
 USA

UAW - FORD TECHNICAL TRAINING CENTER  
 25500 OUTER DRIVE  
 LINCOLN PARK MI 48146

BUILDING SITE CODE: 5012  
 FORD PROJECT NUMBER:

CIVIL ENGINEER / SURVEYOR  
**SPALDING DeDECKER**  
 Engineers | Surveyors  
 905 South Blvd. East Phone: (248) 844-5400  
 Rochester Hills, MI 48307 Fax: (248) 844-5404  
 www.sds-eng.com

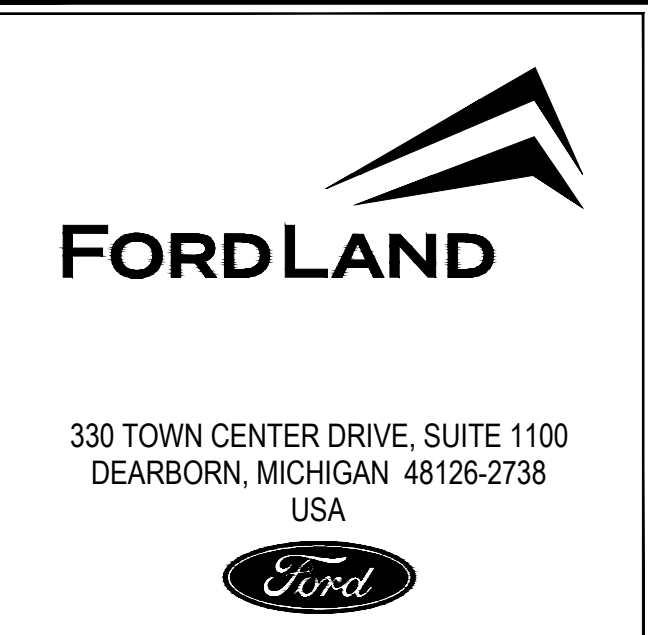
DDP  
 12121 Greenfield  
 Dearborn, MI 48126  
 313.487.8800  
 www.ddpinc.com

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DATE	ISSUED FOR
08.14.2017	• SITE PLAN REVIEW
08.04.2017	• BID
07.07.2017	• PERMIT REVISIONS
06.23.2017	• REVISION
06.30.2017	• ISSUED FOR PERMITS
04.10.2017	• BID/CONSTRUCTION
02.27.2017	• 90% OWNER REVIEW
02.13.2017	• 60% SUBMISSION
01.31.2017	• PARKING LAYOUT

IN CHARGE: TJS  
 DRAWN BY: TEL  
 DESIGNED BY: TEL  
 CHECKED BY: TJS  
 APPROVED BY: TJS

SHEET TITLE  
**OVERALL SITE - NEW WORK  
 OVERALL SITE PLAN**  
 FORD DWG NO. E5012-101 REV. #  
 SHEET NUMBER  
**C-111**



**UAW - FORD TECHNICAL TRAINING CENTER**  
 25500 OUTER DRIVE  
 LINCOLN PARK MI 48146

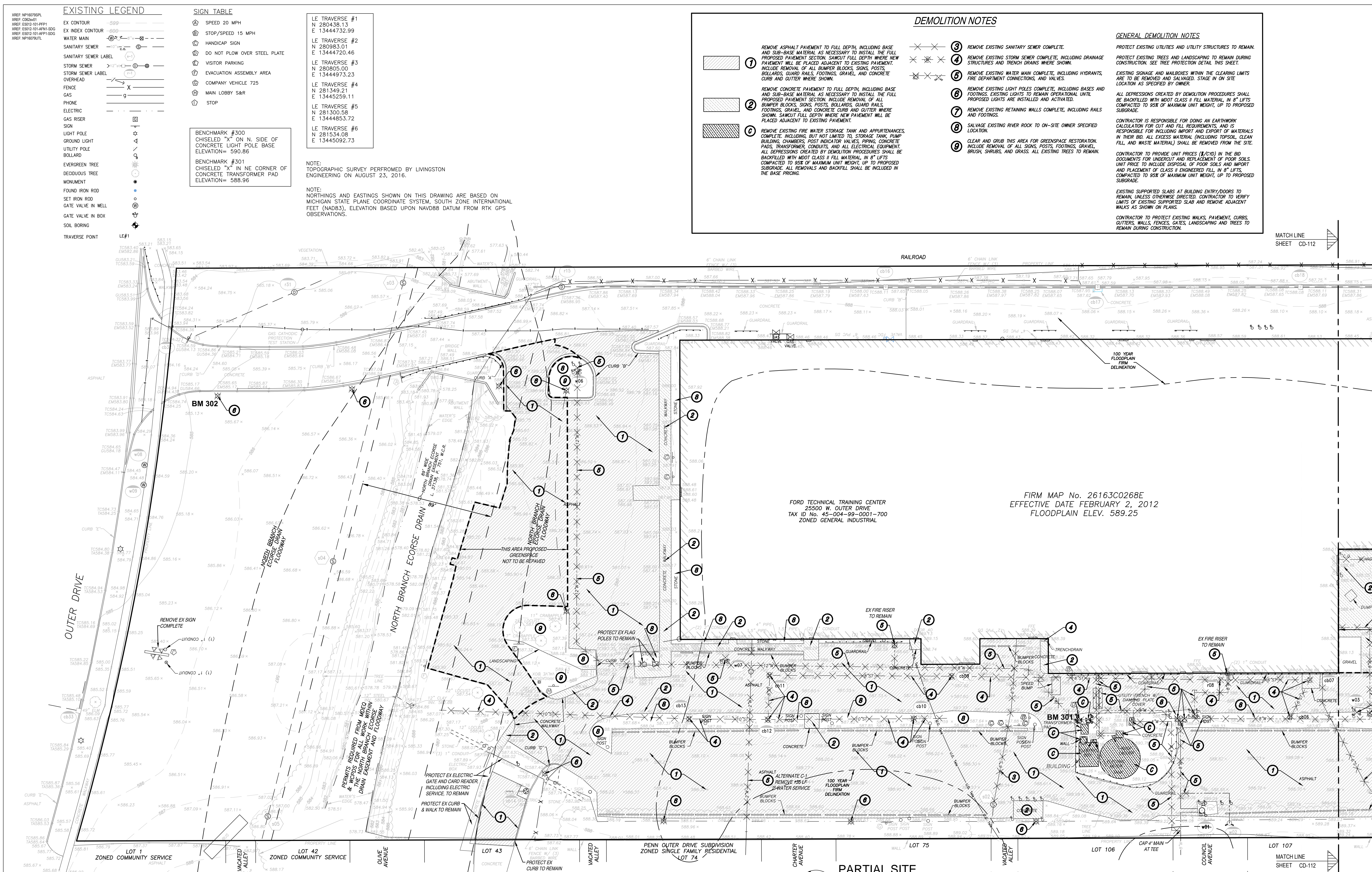
**CIVIL ENGINEER / SURVEYOR**  
**SPALDING DeDECKER**  
 Engineers | Surveyors  
 905 South Blvd. East Phone: (248) 844-5400  
 Rochester Hills, MI 48307 Fax: (248) 844-5404

16.3011  
 16.3011  
 4075

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08.14.2017	•	•	•
08.04.2017	•	•	•
07.07.2017	•	•	•
06.23.2017	•	•	•
06.30.2017	•	•	•
04.10.2017	•	•	•
02.27.2017	•	•	•
02.13.2017	•	•	•
01.31.2017	•	•	•
DATE	ISSUED FOR	•	•

IN CHARGE:	TJS
DRAWN BY:	TEL
DESIGNED BY:	TEL
CHECKED BY:	TJS
APPROVED BY:	TJS
SHEET TITLE:	<b>PARTIAL SITE - DEMOLITION PLAN NORTH</b>
FORD DWG NO.:	E5012-101
SHEET NUMBER:	<b>CD-111</b>



- DEMOLITION NOTES**
- REMOVE ASPHALT PAVEMENT TO FULL DEPTH, INCLUDING BASE AND SUB-BASE MATERIAL AS NECESSARY TO INSTALL THE FULL PROPOSED PAVEMENT SECTION. SHOWN FULL DEPTH WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT. INCLUDE REMOVAL OF ALL BUMPER BLOCKS, SIGN POSTS, BOLLARDS, GUARD RAILS, FOOTINGS, GRAVEL, AND CONCRETE CURBS AND GUTTER WHERE SHOWN.
  - REMOVE CONCRETE PAVEMENT TO FULL DEPTH, INCLUDING BASE AND SUB-BASE MATERIAL AS NECESSARY TO INSTALL THE FULL PROPOSED PAVEMENT SECTION. INCLUDE REMOVAL OF ALL BUMPER BLOCKS, SIGN POSTS, BOLLARDS, GUARD RAILS, FOOTINGS, GRAVEL, AND CONCRETE CURBS AND GUTTER WHERE SHOWN. SURVEY FULL DEPTH WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT.
  - REMOVE EXISTING FIRE WATER STORAGE TANK AND APPURTENANCES COMPLETE INCLUDING, BUT NOT LIMITED TO, STORAGE TANK, PUMP BUILDING, CHAMBER, POST INDICATOR VALVES, PIPING, CONCRETE PADS, TRANSFORMERS, CONDUITS, AND ALL ELECTRICAL EQUIPMENT. ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES SHALL BE BACKFILLED WITH ROOT CLASS II FILL MATERIAL IN 6" LIFTS. CONTRACTOR TO USE OF MAXIMUM UNIT WEIGHT. UP TO PROPOSED SUBGRADE. ALL REMOVALS AND BACKFILL SHALL BE INCLUDED IN THE BASE PRICING.
  - REMOVE EXISTING SANITARY SEWER COMPLETE.
  - REMOVE EXISTING STORM SEWER COMPLETE, INCLUDING DRAINAGE STRUCTURES AND TRENCH DRAINS WHERE SHOWN.
  - REMOVE EXISTING WATER MAIN COMPLETE, INCLUDING HYDRANTS, FIRE DEPARTMENT CONNECTIONS, AND VALVES.
  - REMOVE EXISTING LIGHT POLES COMPLETE, INCLUDING BASES AND FOOTINGS. EXISTING LIGHTS TO REMAIN OPERATIONAL UNTIL PROPOSED LIGHTS ARE INSTALLED AND ACTIVATED.
  - REMOVE EXISTING RETAINING WALLS COMPLETE, INCLUDING RAILS AND FOOTINGS.
  - SAVAGE EXISTING RIVER ROCK TO ON-SITE OWNER SPECIFIED LOCATION.
  - CLEAR AND GRUB THIS AREA FOR GREENSPACE RESTORATION. INCLUDE REMOVAL OF ALL SOILS, POSTS, FOOTINGS, GRAVEL, BRUSH, SHRUBS, AND GRASS. ALL EXISTING TREES TO REMAIN.

- GENERAL DEMOLITION NOTES**
- PROTECT EXISTING UTILITIES AND UTILITY STRUCTURES TO REMAIN. PROTECT EXISTING TREES AND LANDSCAPING TO REMAIN DURING CONSTRUCTION. SEE TREE PROTECTION DETAIL. THIS SHEET.
- EXISTING SIGNAGE AND MARKINGS WITHIN THE CLEARING LIMITS ARE TO BE REMOVED AND SALVAGED. STAGE IN ON SITE LOCATION AS SPECIFIED BY OWNER.
- ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES SHALL BE BACKFILLED WITH ROOT CLASS II FILL MATERIAL IN 6" LIFTS. CONTRACTOR TO USE OF MAXIMUM UNIT WEIGHT. UP TO PROPOSED SUBGRADE.
- CONTRACTOR IS RESPONSIBLE FOR DOING AN EARTHWORK CALCULATION FOR CUT AND FILL REQUIREMENTS AND IS RESPONSIBLE FOR INCLUDING IMPORT AND EXPORT OF MATERIALS IN THEIR BID. ALL EXCESS MATERIAL (INCLUDING TOPSOIL, CLEAN FILL, AND WASTE MATERIAL) SHALL BE REMOVED FROM THE SITE.
- CONTRACTOR TO PROVIDE UNIT PRICES (\$/CY) IN THE BID DOCUMENTS FOR UNDERLAYER AND REPLACEMENT OF POOR SOILS. UNIT PRICE TO INCLUDE DISPOSAL OF POOR SOILS AND IMPORT AND PLACEMENT OF CLASS II ENGINEERED FILL IN 6" LIFTS. CONTRACTOR TO USE OF MAXIMUM UNIT WEIGHT. UP TO PROPOSED SUBGRADE.
- CONTRACTOR TO PROTECT EXISTING WALKS, PAVEMENT, CURBS, GUTTERS, WALLS, FENCES, GATES, LANDSCAPING AND TREES TO REMAIN DURING CONSTRUCTION.

**EXISTING LEGEND**

- EX CONTOUR 599
- EX INDEX CONTOUR 600
- WATER MAIN
- SANITARY SEWER
- SANITARY SEWER LABEL
- STORM SEWER
- STORM SEWER LABEL OVERHEAD
- FENCE
- GAS
- PHONE
- ELECTRIC
- GAS RISER
- SIGN
- LIGHT POLE
- UTILITY POLE
- BOLLARD
- EVERGREEN TREE
- DECIDUOUS TREE
- MONUMENT
- FOUND IRON ROD
- SET BACK ROD
- GATE VALVE IN WELL
- GATE VALVE IN BOX
- SOIL BORING
- TRAVERSE POINT

**SIGN TABLE**

- SPEED 20 MPH
- STOP/SPEED 15 MPH
- HANDICAP SIGN
- DO NOT FLOW OVER STEEL PLATE
- VISITOR PARKING
- EVACUATION ASSEMBLY AREA
- COMPANY VEHICLE 725
- MAIN LOBBY BAR
- STOP

LE TRAVERSE #1  
N 280438.13  
E 13444732.99

LE TRAVERSE #2  
N 280985.01  
E 13444720.46

LE TRAVERSE #3  
N 281349.21  
E 13444973.23

LE TRAVERSE #4  
N 281349.21  
E 13444973.23

LE TRAVERSE #5  
N 281300.58  
E 13444853.72

LE TRAVERSE #6  
N 281534.08  
E 13445092.73

NOTE:  
TOPOGRAPHIC SURVEY PERFORMED BY LIVINGSTON ENGINEERING ON AUGUST 23, 2016.

NOTE:  
NORTHINGS AND EASTINGS SHOWN ON THIS DRAWING ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE INTERNATIONAL FEET (NA83). ELEVATION BASED UPON NAVD83 DATUM FROM RTK GPS OBSERVATIONS.

BENCHMARK #300  
CHISELED "X" ON N. SIDE OF CONCRETE LIGHT POLE BASE  
ELEVATION= 590.86

BENCHMARK #301  
CHISELED "X" IN NE CORNER OF CONCRETE TRANSFORMER PAD  
ELEVATION= 588.96

**EXISTING SANITARY SEWER SCHEDULE**

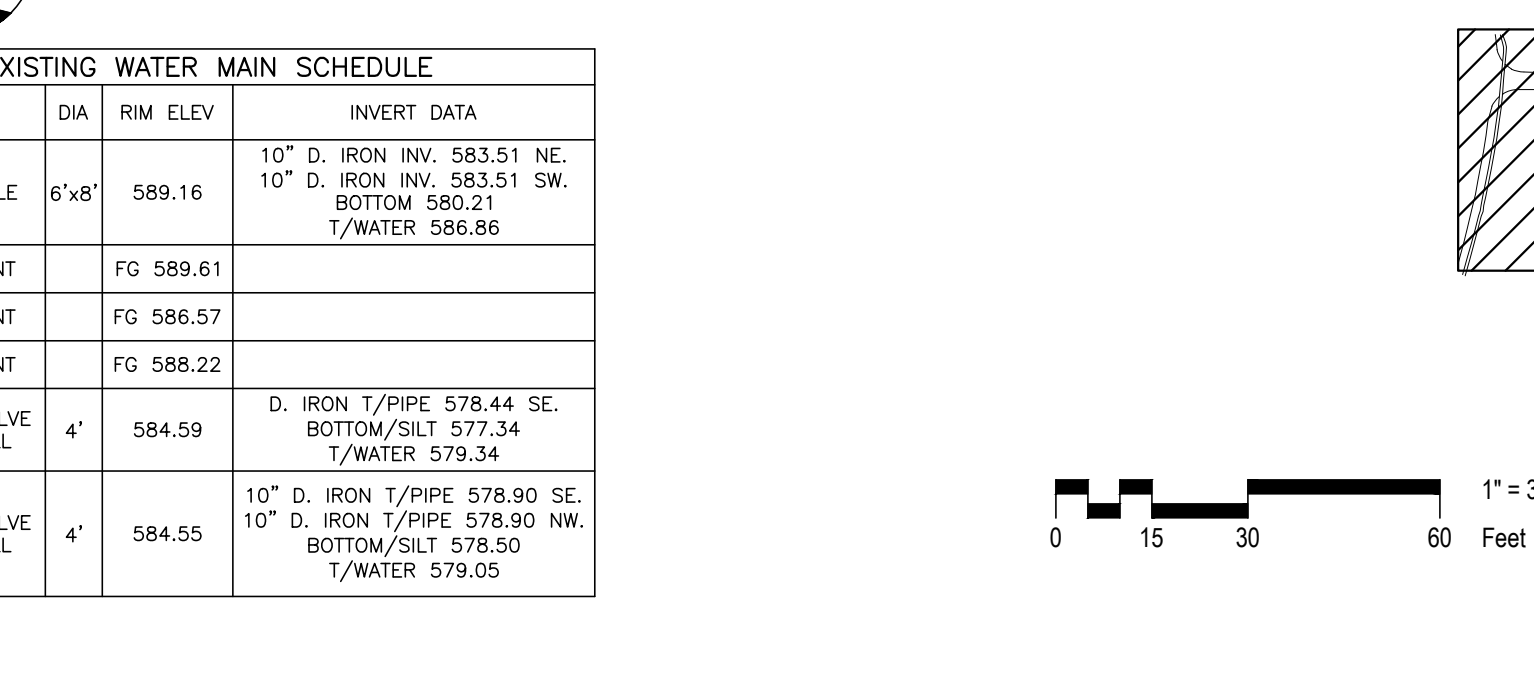
STR #	TYPE	DA	RIM ELEV	INVERT DATA
s02	MANHOLE		588.86	8" CLAY INV. 581.96 NW. 8" CLAY INV. 581.96 SE.
s03	MANHOLE	4'	585.67	12" RCP INV. 578.47 SE. 12" RCP INV. 578.47 NW. BOTTOM 587.47 T/WATER/SLUDGE 578.67
s04	MANHOLE	4'	586.86	12" RCP INV. 577.61 NW. 12" RCP INV. 577.56 SE. BOTTOM 577.05 T/WATER 577.66
s05	MANHOLE	4'	587.15	12" RCP INV. 577.05 SE. 12" RCP INV. 577.05 NW. BOTTOM 577.05 T/WATER 577.15

**EXISTING STORM SEWER SCHEDULE**

STR #	TYPE	DA	RIM ELEV	INVERT DATA
cs06	CATCH BASIN	2'	587.19	6" PVC INV. 586.29 SE. BOTTOM/SILT 584.89 T/WATER 585.89
cs07	CATCH BASIN	2'	588.49	4" PVC INV. 587.54 SE. 6" PVC INV. 586.24 NW. BOTTOM 584.99 T/WATER 585.74
r08	MANHOLE	2'	588.46	6" CLAY INV. 585.46 SE. 6" CLAY INV. 585.46 SW. BOTTOM/SILT 584.71 T/WATER 585.26
cs09	CATCH BASIN	2'	588.06	8" PVC INV. 585.46 SW. 6" CLAY INV. 585.16 NE. BOTTOM 584.11 T/WATER 585.41

**EXISTING WATER MAIN SCHEDULE**

STR #	TYPE	DA	RIM ELEV	INVERT DATA
w01	MANHOLE	6'x8'	589.16	10" D. IRON INV. 583.51 NE. 10" D. IRON INV. 583.51 SW. BOTTOM 580.21 T/WATER 586.86
w02	HYDRANT		FG 589.61	
w06	HYDRANT		FG 586.57	
w07	HYDRANT		FG 588.22	
w08	GATE VALVE & WELL	4'	584.59	D. IRON T/PIPE 578.44 SE. BOTTOM/SILT 577.34 T/WATER 579.34
w09	GATE VALVE & WELL	4'	584.55	10" D. IRON T/PIPE 578.90 SE. 10" D. IRON T/PIPE 578.90 NW. BOTTOM/SILT 578.50 T/WATER 579.05



EXISTING LEGEND		SIGN TABLE	
REF: NPI609/PL	EX CONTOUR	Ⓢ	SPEED 20 MPH
REF: CD111/PL	EX INDEX CONTOUR	Ⓢ	STOP/SPEED 15 MPH
REF: E010-10-APP-100	WATER MAIN	Ⓢ	HANDICAP SIGN
REF: E010-10-APP-100	SANITARY SEWER	Ⓢ	DO NOT FLOW OVER STEEL PLATE
REF: NPI609/PL	SANITARY SEWER LABEL	Ⓢ	VISITOR PARKING
	STORM SEWER	Ⓢ	EVACUATION ASSEMBLY AREA
	STORM SEWER LABEL	Ⓢ	COMPANY VEHICLE 725
	OVERHEAD	Ⓢ	MAIN LOBBY BAR
	FENCE	Ⓢ	STOP
	GAS		
	PHONE		
	ELECTRIC		
	GAS RISER		
	SON		
	LIGHT POLE		
	UTILITY POLE		
	BOLLARD		
	EVERGREEN TREE		
	DECIDUOUS TREE		
	MONUMENT		
	FOUND IRON ROD		
	SET IRON ROD		
	GATE VALVE IN WELL		
	GATE VALVE IN BOX		
	SOIL BORING		
	TRAVERSE POINT		

**BENCHMARK #300**  
CHISELED "X" ON N. SIDE OF CONCRETE LIGHT POLE BASE  
ELEVATION= 590.86

**BENCHMARK #301**  
CHISELED "X" IN NE CORNER OF CONCRETE TRANSFORMER PAD  
ELEVATION= 588.96

**NOTE:**  
TOPOGRAPHIC SURVEY PERFORMED BY LIVINGSTON ENGINEERING ON AUGUST 23, 2016.

**NOTE:**  
NORTHINGS AND EASTINGS SHOWN ON THIS DRAWING ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, INTERNATIONAL FEET (NA83). ELEVATION BASED UPON NAVD83 DATUM FROM RTK GPS OBSERVATIONS.

**LE TRAVERSE #1**  
N 280438.13  
E 13444732.99

**LE TRAVERSE #2**  
N 280985.01  
E 13444720.46

**LE TRAVERSE #3**  
N 280805.00  
E 13444973.23

**LE TRAVERSE #4**  
N 281349.21  
E 13445259.11

**LE TRAVERSE #5**  
N 281300.58  
E 13444853.72

**LE TRAVERSE #6**  
N 281534.08  
E 13445092.73

**DEMOLITION NOTES**

- REMOVE ASPHALT PAVEMENT TO FULL DEPTH INCLUDING BASE AND SUB-BASE MATERIAL, AS NECESSARY TO INSTALL THE FULL PROPOSED PAVEMENT SECTION. SHOROT FULL DEPTH WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT. INCLUDE REMOVAL OF ALL BOLLARD BLOCKS, SIGNS, POSTS, BOLLARDS, GUARD RAILS, FOOTINGS, GRAVEL, AND CONCRETE CURB AND GUTTER WHERE SHOWN.
- REMOVE CONCRETE PAVEMENT TO FULL DEPTH INCLUDING BASE AND SUB-BASE MATERIAL, AS NECESSARY TO INSTALL THE FULL PROPOSED PAVEMENT SECTION. INCLUDE REMOVAL OF ALL BOLLARD BLOCKS, SIGNS, POSTS, BOLLARDS, GUARD RAILS, FOOTINGS, GRAVEL, AND CONCRETE CURB AND GUTTER WHERE SHOWN. SHOROT FULL DEPTH WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT.
- REMOVE EXISTING SANITARY SEWER COMPLETE.
- REMOVE EXISTING STORM SEWER COMPLETE, INCLUDING DRAINAGE STRUCTURES AND TRENCH DRAINS WHERE SHOWN.
- REMOVE EXISTING WATER MAIN COMPLETE, INCLUDING HYDRANTS, FIRE DEPARTMENT CONNECTIONS, AND VALVES.
- REMOVE EXISTING LIGHT POLES COMPLETE, INCLUDING BASES AND FOOTINGS. EXISTING LIGHTS TO REMAIN OPERATIONAL UNTIL PROPOSED LIGHTS ARE INSTALLED AND ACTIVATED.
- REMOVE EXISTING RETAINING WALLS COMPLETE, INCLUDING RAILS AND FOOTINGS.
- SALVAGE EXISTING RIVER ROCK TO ON-SITE OWNER SPECIFIED LOCATION.
- CLEAR AND GRAB THIS AREA FOR GREENSPACE RESTORATION. INCLUDE REMOVAL OF ALL SIGNS, POSTS, FOOTINGS, GRAVEL, BRUSH, SHRUBS, AND GRASS. ALL EXISTING TREES TO REMAIN.

**GENERAL DEMOLITION NOTES**

PROTECT EXISTING UTILITIES AND UTILITY STRUCTURES TO REMAIN. PROTECT EXISTING TREES AND LANDSCAPING TO REMAIN DURING CONSTRUCTION. SEE TREE PROTECTION DETAIL THIS SHEET.

EXISTING STORAGE AND MALBOSSES WITHIN THE CLEARING LIMITS ARE TO BE REMOVED AND SALVAGED. STAKE IN ON SITE LOCATION AS SPECIFIED BY OWNER.

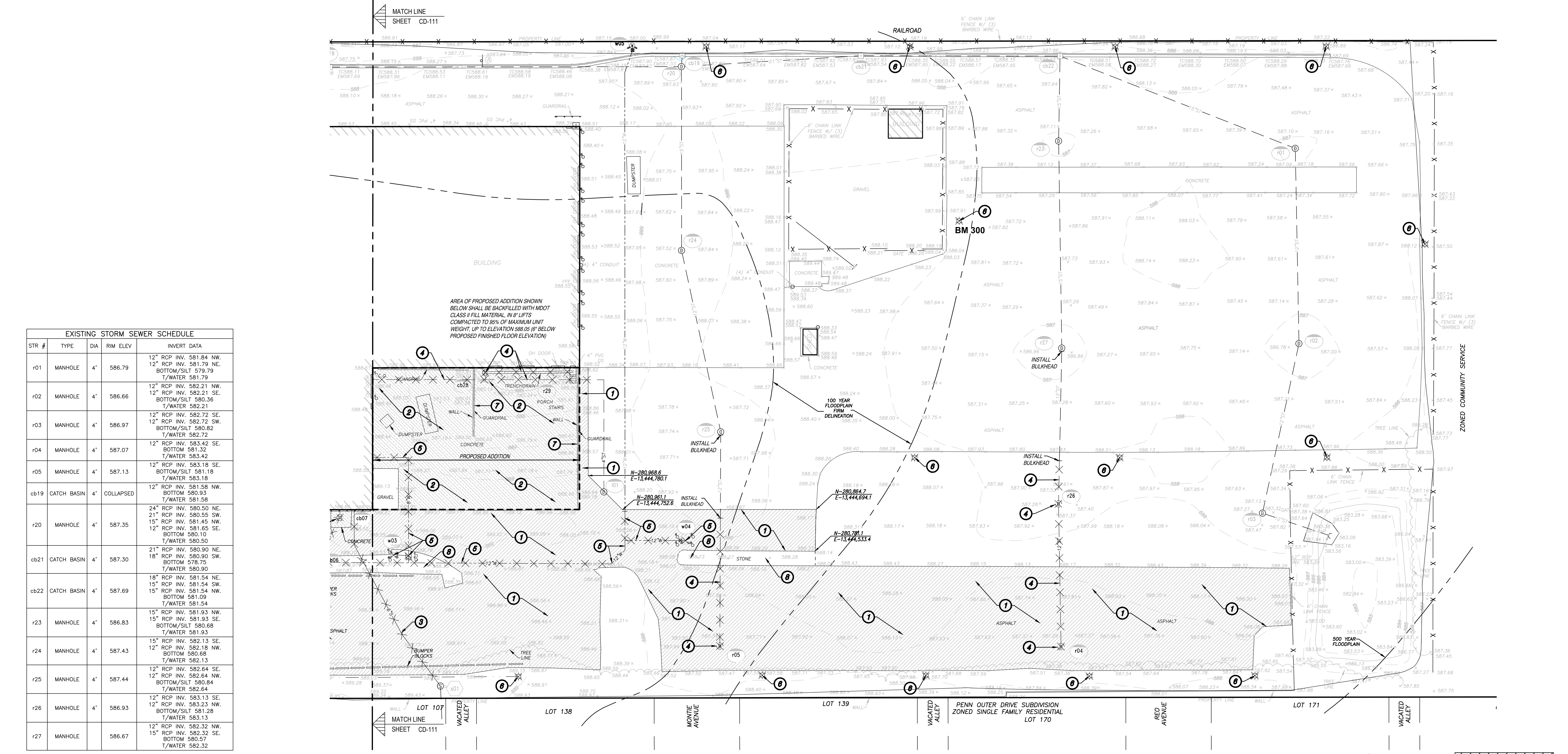
ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES SHALL BE BACKFILLED WITH MOOT CLASS II FILL MATERIAL IN 8" LIFTS COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED SUBGRADE.

CONTRACTOR IS RESPONSIBLE FOR DOING AN EARTHWORK CALCULATION FOR CUT AND FILL REQUIREMENTS, AND IS RESPONSIBLE FOR INCLUDING IMPORT AND EXPORT OF MATERIALS IN THEIR BID. ALL EXCESS MATERIAL (INCLUDING TOPSOIL, CLEAN FILL, AND WASTE MATERIAL) SHALL BE REMOVED FROM THE SITE.

CONTRACTOR TO PROVIDE UNIT PRICES (\$/CY) IN THE BID DOCUMENTS FOR UNDERLAY AND REPLACEMENT OF POOR SOILS. UNIT PRICE TO INCLUDE DISPOSAL OF POOR SOILS AND IMPORT AND PLACEMENT OF CLASS II ENGINEERED FILL IN 8" LIFTS, COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED SUBGRADE.

EXISTING SUPPORTED SLABS AT BUILDING ENTRY/DOORS TO REMAIN UNLESS OTHERWISE DIRECTED. CONTRACTOR TO VERIFY LIMITS OF EXISTING SUPPORTED SLAB AND REMOVE ADJACENT WALLS AS SHOWN ON PLANS.

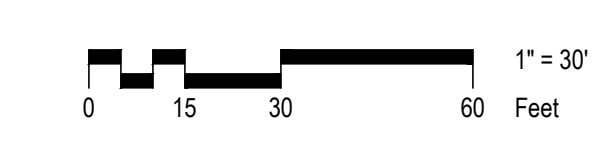
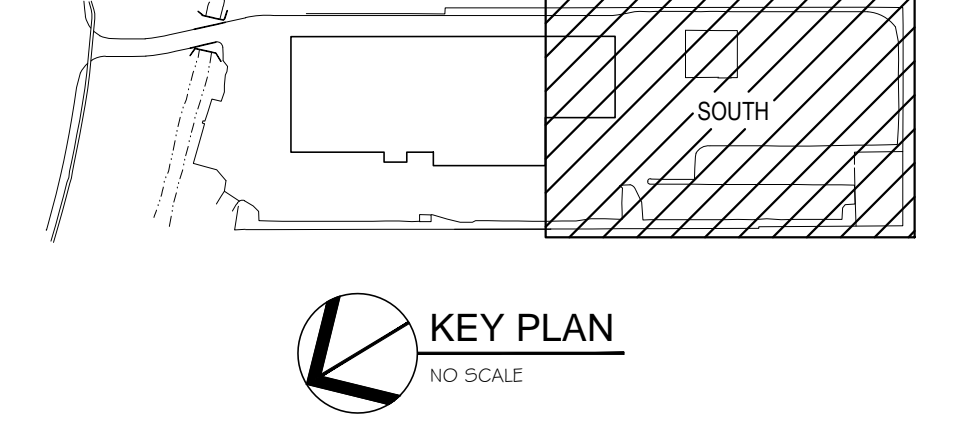
CONTRACTOR TO PROTECT EXISTING WALLS, PAVEMENT, CURBS, GUTTERS, WALLS, FENCES, GATES, LANDSCAPING AND TREES TO REMAIN DURING CONSTRUCTION.



EXISTING STORM SEWER SCHEDULE				
STR #	TYPE	DIA	RIM ELEV	INVERT DATA
r01	MANHOLE	4'	586.79	12" RCP INV. 581.84 NW, 12" RCP INV. 581.79 NE, BOTTOM/SILT 579.79 T/WATER 581.79
r02	MANHOLE	4'	586.66	12" RCP INV. 582.21 NW, 12" RCP INV. 582.21 SE, BOTTOM/SILT 580.36 T/WATER 582.21
r03	MANHOLE	4'	586.97	12" RCP INV. 582.72 SE, 12" RCP INV. 582.72 SW, BOTTOM/SILT 580.82 T/WATER 582.72
r04	MANHOLE	4'	587.07	12" RCP INV. 582.42 SE, 12" RCP INV. 581.32 SE, BOTTOM/SILT 581.32 T/WATER 582.42
r05	MANHOLE	4'	587.13	12" RCP INV. 583.18 SE, 12" RCP INV. 583.18 SW, BOTTOM/SILT 581.18 T/WATER 583.18
cb19	CATCH BASIN	4'	COLLAPSED	12" RCP INV. 581.58 NW, BOTTOM 580.93 T/WATER 581.58
r20	MANHOLE	4'	587.35	24" RCP INV. 580.50 NE, 21" RCP INV. 581.54 NE, 15" RCP INV. 581.45 NW, 12" RCP INV. 581.05 SE, BOTTOM 580.10 T/WATER 580.50
cb21	CATCH BASIN	4'	587.30	21" RCP INV. 580.90 NE, 18" RCP INV. 580.90 SW, BOTTOM 578.75 T/WATER 580.90
cb22	CATCH BASIN	4'	587.69	18" RCP INV. 581.54 NE, 15" RCP INV. 581.54 SW, 15" RCP INV. 581.09 SE, BOTTOM 581.09 T/WATER 581.54
r23	MANHOLE	4'	586.83	15" RCP INV. 581.93 NW, 15" RCP INV. 581.93 SE, BOTTOM/SILT 580.68 T/WATER 581.93
r24	MANHOLE	4'	587.43	15" RCP INV. 582.13 SE, 12" RCP INV. 582.18 NW, BOTTOM 580.68 T/WATER 582.13
r25	MANHOLE	4'	587.44	12" RCP INV. 582.64 SE, 12" RCP INV. 582.64 NW, BOTTOM/SILT 580.84 T/WATER 582.64
r26	MANHOLE	4'	586.93	12" RCP INV. 583.13 SE, 12" RCP INV. 583.23 NW, BOTTOM/SILT 581.28 T/WATER 583.13
r27	MANHOLE	4'	586.67	12" RCP INV. 582.32 NW, 10" RCP INV. 582.32 SE, BOTTOM 580.57 T/WATER 582.32

EXISTING SANITARY SEWER SCHEDULE				
STR #	TYPE	DIA	RIM ELEV	INVERT DATA
s01	MANHOLE	4'	590.10	8" CLAY INV. 590.00 NW, 8" CLAY INV. 590.05 SE, BOTTOM 580.00 T/WATER 590.00

EXISTING WATER MAIN SCHEDULE				
STR #	TYPE	DIA	RIM ELEV	INVERT DATA
w03	HYDRANT	FG	588.34	
w04	HYDRANT	FG	587.93	
w05	HYDRANT	FG	587.37	



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USA

**UAW - FORD TECHNICAL TRAINING CENTER**

25500 OUTER DRIVE  
LINCOLN PARK MI 48146

BUILDING SITE CODE: 5102  
FORD PROJECT NUMBER:

**CIVIL ENGINEER / SURVEYOR**

**SPALDING DeDECKER**  
Engineers | Surveyors

905 South Blvd. East Phone: (248) 844-5400  
Rochester Hills, MI 48307 Fax: (248) 844-5404  
www.sds-eng.com

**SDS** Civil/Structural Design Inc.

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DATE	ISSUED FOR
08.14.2017	• SITE PLAN REVIEW
08.04.2017	• BID
07.07.2017	• PERMIT REVISIONS
06.23.2017	• REVISION
06.30.2017	• ISSUED FOR PERMITS
04.10.2017	• BID/CONSTRUCTION
02.27.2017	• 90% OWNER REVIEW
02.13.2017	• 60% SUBMISSION
01.31.2017	• PARKING LAYOUT
DATE	ISSUED FOR

**IN CHARGE:** TJS

**DRAWN BY:** TEL

**DESIGNED BY:** TEL

**CHECKED BY:** TJS

**APPROVED BY:** TJS

**SHEET TITLE:**  
**PARTIAL SITE - DEMOLITION PLAN SOUTH**

FORD DWG NO. E5012-101 REV. #  
SHEET NUMBER  
**CD-112**

**EXISTING LEGEND**

- EX CONTOUR
- EX INDEX CONTOUR
- WATER MAIN
- SANITARY SEWER
- SANITARY SEWER LABEL
- STORM SEWER
- STORM SEWER LABEL
- OVERHEAD
- FENCE
- GAS
- PHONE
- ELECTRIC
- GAS RISER
- SIGN
- LIGHT POLE
- UTILITY POLE
- BOLLARD
- EVERGREEN TREE
- DECAIDOUS TREE
- MONUMENT
- FOUND IRON ROD
- SET IRON ROD
- GATE VALVE IN WELL
- GATE VALVE IN BOX
- SOL BORING
- TRAVERSE POINT

**SIGN TABLE**

- Ⓢ SPEED 20 MPH
- Ⓢ STOP/SPEED 15 MPH
- ♿ HANDICAP SIGN
- Ⓢ DO NOT PLOW OVER STEEL PLATE
- Ⓢ VISITOR PARKING
- Ⓢ EVACUATION ASSEMBLY AREA
- Ⓢ COMPANY VEHICLE 725
- Ⓢ MAIN LOBBY SAR
- Ⓢ STOP

**BENCHMARK #300**  
CHISELED "X" ON N. SIDE OF CONCRETE LIGHT POLE BASE  
ELEVATION= 590.86

**BENCHMARK #301**  
CHISELED "X" IN THE CORNER OF CONCRETE TRANSFORMER PAD  
ELEVATION= 588.96

**NOTE:**  
TOPOGRAPHIC SURVEY PERFORMED BY LIVINGSTON ENGINEERING ON AUGUST 23, 2016.

**NOTE:**  
NORTHINGS AND EASTINGS SHOWN ON THIS DRAWING ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, INTERNATIONAL FEET (NAD83). ELEVATION BASED UPON NAVD83 DATUM FROM RTK GPS OBSERVATIONS.

NO.	UTILITY	PROF. NO.	PROF. DATE	PROF. DESCRIPTION
1	STW FWM X RIG	PROP 12 STW BIP 581.40	PROF 12 STW BIP 581.40	LOWER FWM TO MAINTAIN 18" CLEARANCE WITH STW
2	STW FWM X RIG	PROP 12 STW BIP 581.80	PROF 12 STW BIP 581.80	LOWER FWM TO MAINTAIN 18" CLEARANCE WITH STW
3	STW FWM X RIG	PROP 12 STW BIP 583.08	PROF 12 STW BIP 583.08	LOWER FWM TO MAINTAIN 18" CLEARANCE WITH STW
4	FWM X RIG	PROP 12 STW BIP 581.38	PROF 12 STW BIP 581.38	LOWER FWM TO MAINTAIN 18" CLEARANCE WITH STW
5	WM STW X RIG	PROP 21 STW BIP 580.57	PROP 21 STW BIP 580.57	EX 2" WM DEPTH LINKDOWN LOWER FWM TO MAINTAIN 18" CLEARANCE WITH STW
6	WM STW X RIG	PROP 21 STW BIP 581.75	PROP 21 STW BIP 581.75	EX 2" WM DEPTH LINKDOWN LOWER FWM TO MAINTAIN 18" CLEARANCE WITH STW
7	SAN STW X RIG	PROP 12 STW BIP 583.85	PROP 12 STW BIP 583.85	PROVIDE CONCRETE CRADLE
8	SAN STW X RIG	PROP 12 STW BIP 583.47	PROP 12 STW BIP 583.47	PROVIDE CONCRETE CRADLE
9	SAN STW X RIG	PROP 8 SAN BIP 582.21	PROP 8 SAN BIP 582.21	LOWER FWM TO MAINTAIN 18" CLEARANCE WITH SAN
10	SAN STW X RIG	PROP 8 SAN BIP 581.95	PROP 8 SAN BIP 581.95	LOWER FWM TO MAINTAIN 18" CLEARANCE WITH SAN
11	SAN STW X RIG	PROP 8 SAN BIP 582.80	PROP 8 SAN BIP 582.80	LOWER FWM TO MAINTAIN 18" CLEARANCE WITH SAN
12	SAN STW X RIG	PROP 8 SAN BIP 582.10	PROP 8 SAN BIP 582.10	LOWER FWM TO MAINTAIN 18" CLEARANCE WITH SAN
13	WM STW X RIG	PROP 24 STW BIP 578.81	PROP 24 STW BIP 578.81	EX 4" WM TIP 77.40 LOWER FWM TO MAINTAIN 18" CLEARANCE WITH STW
14	WM STW X RIG	PROP 24 STW BIP 578.90	PROP 24 STW BIP 578.90	EX 4" WM TIP 77.40 LOWER FWM TO MAINTAIN 18" CLEARANCE WITH STW
15	SAN STW X RIG	PROP 24 STW BIP 581.25	PROP 24 STW BIP 581.25	EX 2" WM DEPTH LINKDOWN LOWER FWM TO MAINTAIN 18" CLEARANCE WITH SAN
16	SAN STW X RIG	PROP 24 STW BIP 581.05	PROP 24 STW BIP 581.05	EX 2" WM DEPTH LINKDOWN LOWER FWM TO MAINTAIN 18" CLEARANCE WITH SAN

**UTILITY NOTES**

- STORM SEWER 12" AND LARGER SHALL BE C75 CL IV (PREM. J.) UNLESS OTHERWISE NOTED ON THE PLAN.
- STORM SEWER 6" AND SMALLER SHALL BE PVC SDR 21.5. STORM SEWER GREATER THAN 6" THROUGH 12" SPECIFIED AS PVC ON THE PLANS SHALL BE PVC SDR 25.
- SANITARY SEWER SHALL BE PVC TRUSS PIPE. LEADS SHALL BE SOLID WALL, PVC SDR 21.5.
- WATER MAIN SHALL BE CLASS 54 DUCTILE IRON. WATER MAINS SHALL BE LEAKAGE AND PRESSURE TESTED IN ACCORDANCE WITH AWWA STANDARD C600. WATER MAINS SHALL BE DISCONNECTED IN ACCORDANCE WITH AWWA STANDARD C601 PRIOR TO BEING PUT INTO SERVICE.
- ALL UTILITY TRENCHES THAT FALL WITHIN A 1'-0"-1' INFLUENCE OF PAVEMENT AREAS SHALL BE BACKFILLED WITH CLASS 2 SAND AND COMPACTED TO 95% OF MAXIMUM DENSITY.
- ALL WATER MAIN SHALL BE BURIED WITH 4' OF COVER FROM PROPOSED GRADES. USE 22.5' BENDS TO LOWER WATER MAIN WHERE NOTED AT UTILITY CROSSING.
- WHERE HYDRANTS ARE INDICATED ON THE PLAN, COMPLETE HYDRANT ASSEMBLIES ARE REQUIRED, INCLUDING SHUT-OFF VALVE AND BOX (REFER TO THE STANDARD DETAIL SHEET FOR DETAILED REQUIREMENTS) THE ELEVATION OF THE VALVE BOX SHALL BE EQUAL TO THE FINISH GRADE (FG) ELEVATION OF THE HYDRANT UNLESS OTHERWISE NOTED.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF LINCOLN PARK.
- ALL UTILITIES SHALL BE PLACED AT LEAST 5' FROM THE BACK OF CURB OR EDGE OF PAVEMENT.
- ALL HYDRANTS MUST BE AT LEAST 5' FROM THE BACK OF CURB OR EDGE OF PAVEMENT.
- ALL UTILITIES SHALL BE PLACED AT LEAST 10' FROM OTHER UTILITIES, SIGNPOST TREES, AND FIXED STRUCTURES.
- UNLESS OTHERWISE NOTED, ALL STORM SEWER STRUCTURES SHALL BE 4' DIAMETER (INLETS SHALL BE 2' DIAMETER). UNLESS OTHERWISE NOTED ON THE STANDARD DETAIL SHEETS, STRUCTURES SHALL BE:
  - SMALL CATCH BASINS - EAW 1000 - "M" (FRAMES WITH CURB BOXES WILL NOT BE ALLOWED)
  - MEDIUM CATCH BASINS - EAW 1000 - "X"
  - MANHOLES - EAW 1000 - "A"
- PLACEMENT OF EDGE DRAINS AND FINGER DRAINS AT ALL CATCH BASINS IS REQUIRED. SEE STRUCTURE UNDERDRAN DETAIL THIS SHEET.
- FOR CURB CATCH BASINS, SEE BASIN LOCATION DETAIL FOR BASIN STAKING RELATIVE TO THE CURB.
- SANITARY MANHOLE COVERS SHALL BE LABELED "SANITARY SEWER" ONLY. REFER TO STANDARD DETAIL SHEET FOR REQUIRED TEXT OF UTILITY CASTINGS.
- LOCATIONS OF LIGHT POLES, IF SHOWN ON THESE DRAWINGS, MAY BE APPROXIMATE. CONFIRM EXACT LOCATION (I.E. CURB OFFSETS, SIDEWALK OFFSETS, ETC.) PRIOR TO STAKING AND CONSTRUCTION. REFER TO SITE ELECTRICAL PLAN FOR DETAILS AND COORDINATE WITH ELECTRICAL ENGINEER, ARCHITECT, AND CIVIL ENGINEER TO DETERMINE PROPER PLACEMENT.
- WHERE THESE PLANS DIFFER FROM THE STANDARD DETAILS OR STANDARD SPECIFICATIONS OF THE COMMUNITY, THE COMMUNITY REQUIREMENTS SHALL GOVERN.

**LEGEND**

- PROPOSED FIRE WATER MAIN
- PROPOSED SANITARY
- PROPOSED STORM SEWER
- PROPOSED HYDRANT
- PROPOSED GATE VALVE & WELL (GVW)
- PROPOSED POST INDICATOR VALVE (PIV)
- PROPOSED SAN MANHOLE (SM)
- PROPOSED STORM MANHOLE (SMH)
- PROPOSED INLET (INL)
- PROPOSED END SECTION (ES)
- PROPOSED FIELD CATCH BASIN (FCB) W/ REVERSE OH2 OR STAIRCASE (CS) W/ BAR GRATE COVER
- STANDARD BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- GREENSPACE RESTORATION
- UTILITY CROSSING (SEE DATA TABLE)
- STORM SEWER STRUCTURE
- SANITARY SEWER STRUCTURE
- WATERMAIN STRUCTURE

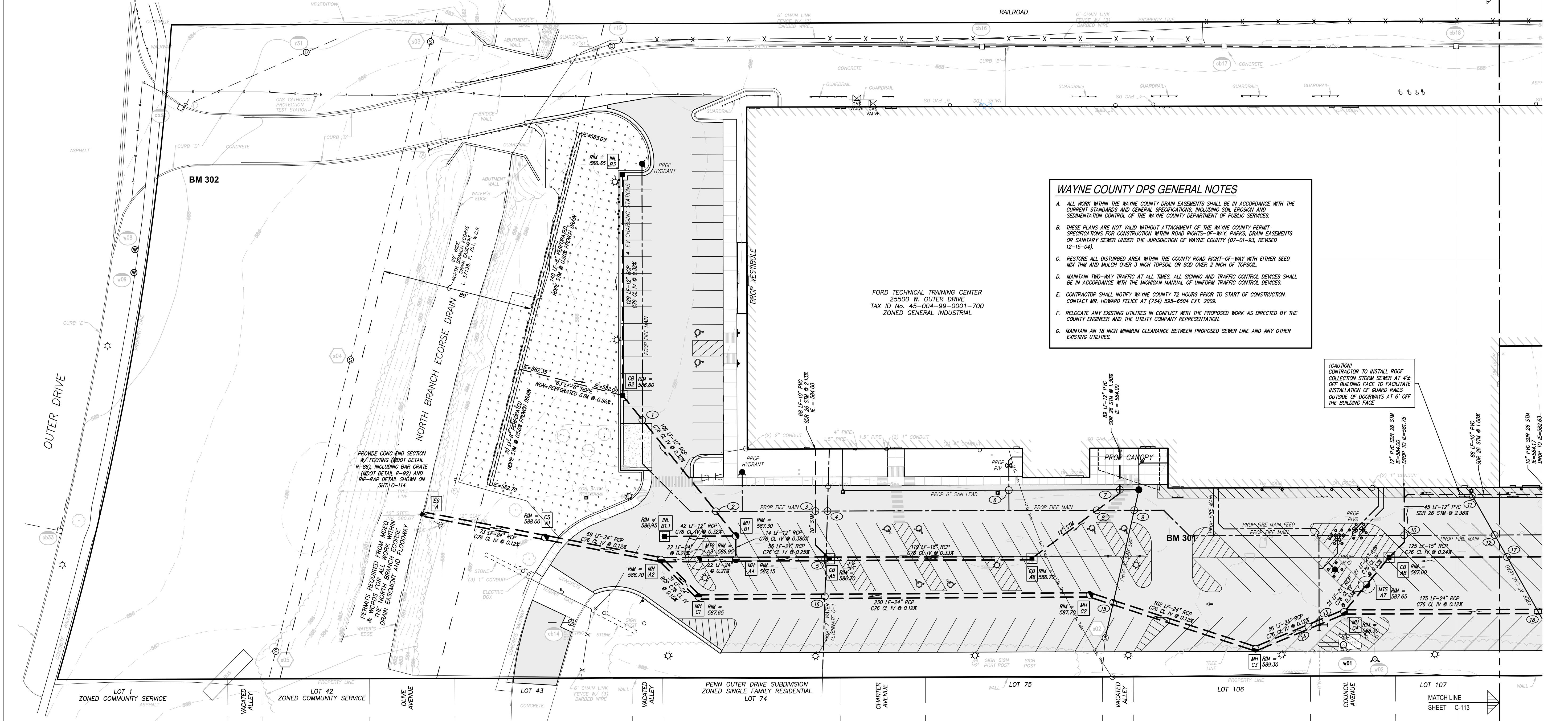
**FORDLAND**

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DEARBORN, MICHIGAN 48126-2738  
USA

**UAW - FORD TECHNICAL TRAINING CENTER**

25500 OUTER DRIVE  
LINCOLN PARK MI 48146

BUILDING SITE CODE: 5102  
FORD PROJECT NUMBER



**NOTES:**

- SEE SHEETS C-121 AND C-122 FOR STORM SEWER PROFILES AND UTILITY CROSSING TABLES.
- SEE SHEET C-124 FOR STORM SEWER AND DETENTION CALCULATIONS.

**PARTIAL SITE - NEW WORK DRAINAGE PLAN NORTH**  
SCALE: 1" = 30'

**KEY PLAN**  
NO SCALE

0 15 30 60 Feet

**REVISIONS**

08.14.2017	•	•
08.04.2017	•	•
07.07.2017	•	•
06.23.2017	•	•
06.30.2017	•	•
04.10.2017	•	•
02.27.2017	•	•
01.31.2017	•	•

**LOG**

NO. CHARGE	TJS
DRAWN BY	TEL
DESIGNED BY	TEL
CHECKED BY	TJS
APPROVED BY	TJS

**PARTIAL SITE - NEW WORK DRAINAGE PLAN NORTH**  
FORD Dwg NO. E5012-101  
REV. #  
**C-112**

EXISTING LEGEND

- EXISTING CONTOUR -599-
- EXISTING INDEX CONTOUR -600-
- WATER MAIN
- SANITARY SEWER
- SANITARY SEWER LABEL
- STORM SEWER
- STORM SEWER LABEL
- OVERHEAD
- FENCE
- GAS
- PHONE
- ELECTRIC
- GAS RISER
- SIGN
- LIGHT POLE
- GROUND LIGHT
- UTILITY POLE
- BOLLARD
- EVERGREEN TREE
- DECIDUOUS TREE
- MONUMENT
- FOUND IRON ROD
- SET IRON ROD
- GATE VALVE IN WELL
- GATE VALVE IN BOX
- SOIL BORING
- TRAVERSE POINT

SIGN TABLE

- SPEED 20 MPH
- STOP/SPEED 15 MPH
- HANDICAP SIGN
- DO NOT FLOW OVER STEEL PLATE
- VISITOR PARKING
- EVACUATION ASSEMBLY AREA
- COMPANY VEHICLE 725
- MAIN LOBBY 5AR
- STOP

BENCHMARK #300  
CHISELED "M" ON N. SIDE OF  
CONCRETE LIGHT POLE BASE  
ELEVATION= 590.86

BENCHMARK #301  
CHISELED "N" IN THE CORNER OF  
CONCRETE TRANSFORMER PAD  
ELEVATION= 588.96

WAYNE COUNTY DPS GENERAL NOTES

- ALL WORK WITHIN THE WAYNE COUNTY DRAIN EASEMENTS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND GENERAL SPECIFICATIONS, INCLUDING SOIL EROSION AND SEDIMENTATION CONTROL, OF THE WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES.
- THESE PLANS ARE NOT VALID WITHOUT ATTACHMENT OF THE WAYNE COUNTY PERMIT SPECIFICATIONS FOR CONSTRUCTION WITHIN ROAD RIGHTS-OF-WAY, PARKS, DRAIN EASEMENTS OR SANITARY SEWER UNDER THE JURISDICTION OF WAYNE COUNTY (03-01-03), REVISED 12-15-04.
- RESTORE ALL DISTURBED AREA WITHIN THE COUNTY ROAD RIGHT-OF-WAY WITH EITHER SEED MIX 1M AND MULCH OVER 3 INCH TOPSOIL OR SOI OVER 2 INCH TOPSOIL.
- MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES. ALL SIGNING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- CONTRACTOR SHALL NOTIFY WAYNE COUNTY 72 HOURS PRIOR TO START OF CONSTRUCTION. CONTACT MR. HOWARD FELICE AT (734) 595-6804 EXT. 2009.
- RELOCATE ANY EXISTING UTILITIES IN CONFLICT WITH THE PROPOSED WORK AS DIRECTED BY THE COUNTY ENGINEER AND THE UTILITY COMPANY REPRESENTATION.
- MAINTAIN AN 18 INCH MINIMUM CLEARANCE BETWEEN PROPOSED SEWER LINE AND ANY OTHER EXISTING UTILITIES.

NOTE: TOPOGRAPHIC SURVEY PERFORMED BY LIVINGSTON ENGINEERING ON AUGUST 23, 2016.

NOTE: NORTHINGS AND EASTINGS SHOWN ON THIS DRAWING ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE INTERNATIONAL FEET (NAD83). ELEVATION BASED UPON NAVD83 DATUM FROM RTM GPS OBSERVATIONS.

UTILITY CROSSING TABLE

17 SANITARY SEWER PROF 18" ST1M TYP 581.30 CLEARANCE = 1.50'	18 ST1M SANITARY PROF 24" ST1M TYP 581.57 PROF 18" SANITARY 581.30 CLEARANCE = 0.72'
--	---

NOTIFY ENGINEER IF CONFLICT OCCURS

UTILITY NOTES

- STORM SEWER 12" AND LARGER SHALL BE 675 CL 19 (PREMIUM) UNLESS OTHERWISE NOTED ON THE PLAN.
- STORM SEWER 6" AND SMALLER SHALL BE PVC SDR 23.5. STORM SEWER GREATER THAN 6" THROUGH 12" SPECIFIED AS PVC ON THE PLANS SHALL BE PVC SDR 26.
- SANITARY SEWER SHALL BE PVC TRUSS PIPE. LEADS SHALL BE SOLID WALL PVC, SDR 23.5.
- WATER MAIN SHALL BE CLASS 54 DUCTILE IRON. WATER MAINS SHALL BE LEAKAGE AND PRESSURE TESTED IN ACCORDANCE WITH AMMA STANDARD 0800. WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AMMA STANDARD 0801 PRIOR TO BEING PUT INTO SERVICE.
- ALL UTILITY TRENCHES THAT FALL WITHIN A 1'-ON-1' INFLUENCE OF PAVEMENT AREAS SHALL BE BACKFILLED WITH CLASS 2 SAND AND COMPACTED TO 90% OF MAXIMUM DENSITY.
- ALL WATER MAIN SHALL BE BURIED WITH 6" OF COVER FROM PROPOSED GRADES. USE 22.5' BENDS TO LOWER WATER MAIN WHERE NOTED AT UTILITY CROSSING.
- WHERE HYDRANTS ARE INDICATED ON THE PLAN, COMPLETE HYDRANT ASSEMBLIES ARE REQUIRED, INCLUDING SHUT-OFF VALVE AND BOX (REFER TO THE STANDARD DETAIL SHEET FOR DETAILED REQUIREMENTS) THE ELEVATION OF THE VALVE BOX SHALL BE EQUAL TO THE FINISH GRADE (FG) ELEVATION OF THE HYDRANT UNLESS OTHERWISE NOTED.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF LINCOLN PARK.
- ALL UTILITIES SHALL BE INSTALLED ON CLASS "B" BEDDING OR BETTER.
- ALL HYDRANTS MUST BE AT LEAST 5' FROM THE BACK OF CURB OR EDGE OF PAVEMENT.
- ALL UTILITIES SHALL BE PLACED AT LEAST 10' FROM OTHER UTILITIES, SIGNIFICANT TREES, AND FIXED STRUCTURES.
- UNLESS OTHERWISE NOTED, ALL STORM SEWER STRUCTURES SHALL BE 4' DIAMETER (INLETS SHALL BE 2' DIAMETER). UNLESS OTHERWISE INDICATED ON THE STANDARD DETAIL SHEETS CASTINGS SHALL BE:  
PANEL CATCH BASINS - EAW 1040 - "M"  
PANEL CATCH BASINS - EAW 1040 - "M"  
MANHOLES - EAW 1040 - "A"
- PLACEMENT OF EDGE DRAINAGE AND FINGER DRAIN AT ALL CATCH BASINS IS REQUIRED. SEE STRUCTURE UNDERDRAIN DETAIL THIS SHEET.
- FOR CURB CATCH BASINS, SEE BASIN LOCATION DETAIL FOR BASIN STAKING RELATIVE TO THE CURB.
- SANITARY MANHOLE COVERS SHALL BE LABELED "SANITARY SEWER" ONLY. REFER TO STANDARD DETAIL SHEET FOR REQUIRED TEXT OF UTILITY CASTINGS.
- LOCATIONS OF LIGHT POLES, IF SHOWN ON THESE DRAWINGS, MAY BE APPROXIMATE. CONFIRM EXACT LOCATION (I.E. CURB OFFSETS, SIDEWALK OFFSETS, ETC.) PRIOR TO STAKING AND CONSTRUCTION. REFER TO SITE ELECTRICAL PLAN FOR DETAILS AND COORDINATE WITH ELECTRICAL ENGINEER, ARCHITECT, AND CIVIL ENGINEER TO DETERMINE PROPER PLACEMENT.
- WHERE THESE PLANS DIFFER FROM THE STANDARD DETAILS OR STANDARD SPECIFICATIONS OF THE COMMUNITY, THE COMMUNITY REQUIREMENTS SHALL GOVERN.

LEGEND

- PROPOSED FIRE WATER MAIN
- PROPOSED SANITARY
- PROPOSED STORM SEWER
- PROPOSED HYDRANT
- PROPOSED GATE VALVE & WELL (GVW)
- PROPOSED POST INDICATOR VALVE (PIV)
- PROPOSED SAN MANHOLE (SM)
- PROPOSED STORM MANHOLE (SMH)
- PROPOSED INLET (NI)
- PROPOSED END SECTION (ES)
- PROPOSED FIELD CATCH BASIN (FCB)
- PROPOSED CATCH BASIN COVER (CB)
- STANDARD BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- GREENSPACE RESTORATION
- UTILITY CROSSING (SEE DATA TABLE)
- STORM SEWER STRUCTURE
- SANITARY SEWER STRUCTURE
- WATER MAIN STRUCTURE

FORDLAND

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BUILDING SITE CODE: 5102  
FORD PROJECT NUMBER

CIVIL ENGINEER / SURVEYOR

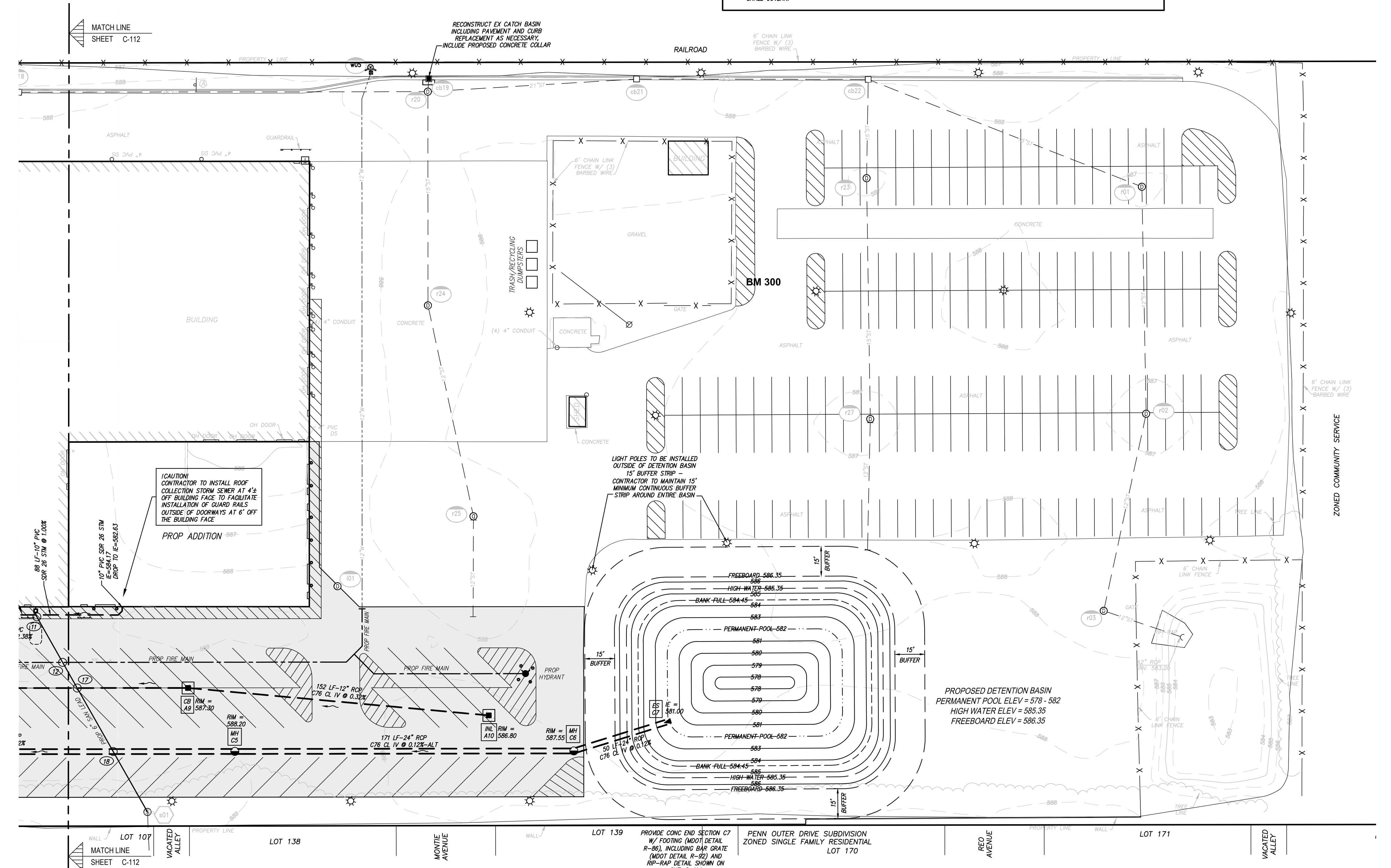
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1234567890  
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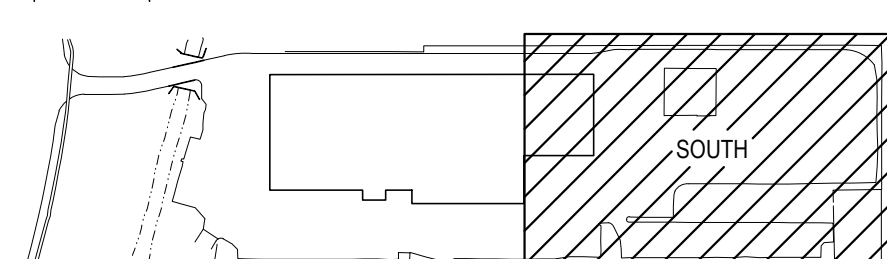
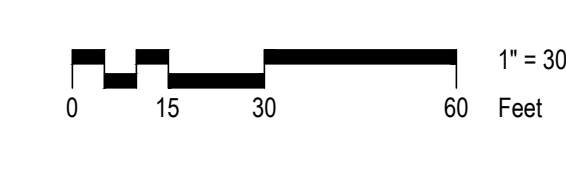


NOTES:

- SEE SHEETS C-121 AND C-122 FOR STORM SEWER PROFILES
- SEE SHEET C-124 FOR STORM SEWER AND DETENTION CALCULATIONS.

PARTIAL SITE - NEW WORK DRAINAGE PLAN SOUTH

SCALE: 1" = 30'



08.14.2017	• SITE PLAN REVIEW
08.04.2017	• BID
07.07.2017	• PERMIT REVISIONS
06.23.2017	• REVISION
06.30.2017	• ISSUED FOR PERMITS
04.10.2017	• BID/CONSTRUCTION
02.27.2017	• 90% OWNER REVIEW
02.13.2017	• 60% SUBMISSION
01.31.2017	• PARKING LAYOUT
DATE	ISSUED FOR

IN CHARGE:	TJS
DESIGNED BY:	TEL
CHECKED BY:	TJS
APPROVED BY:	TJS

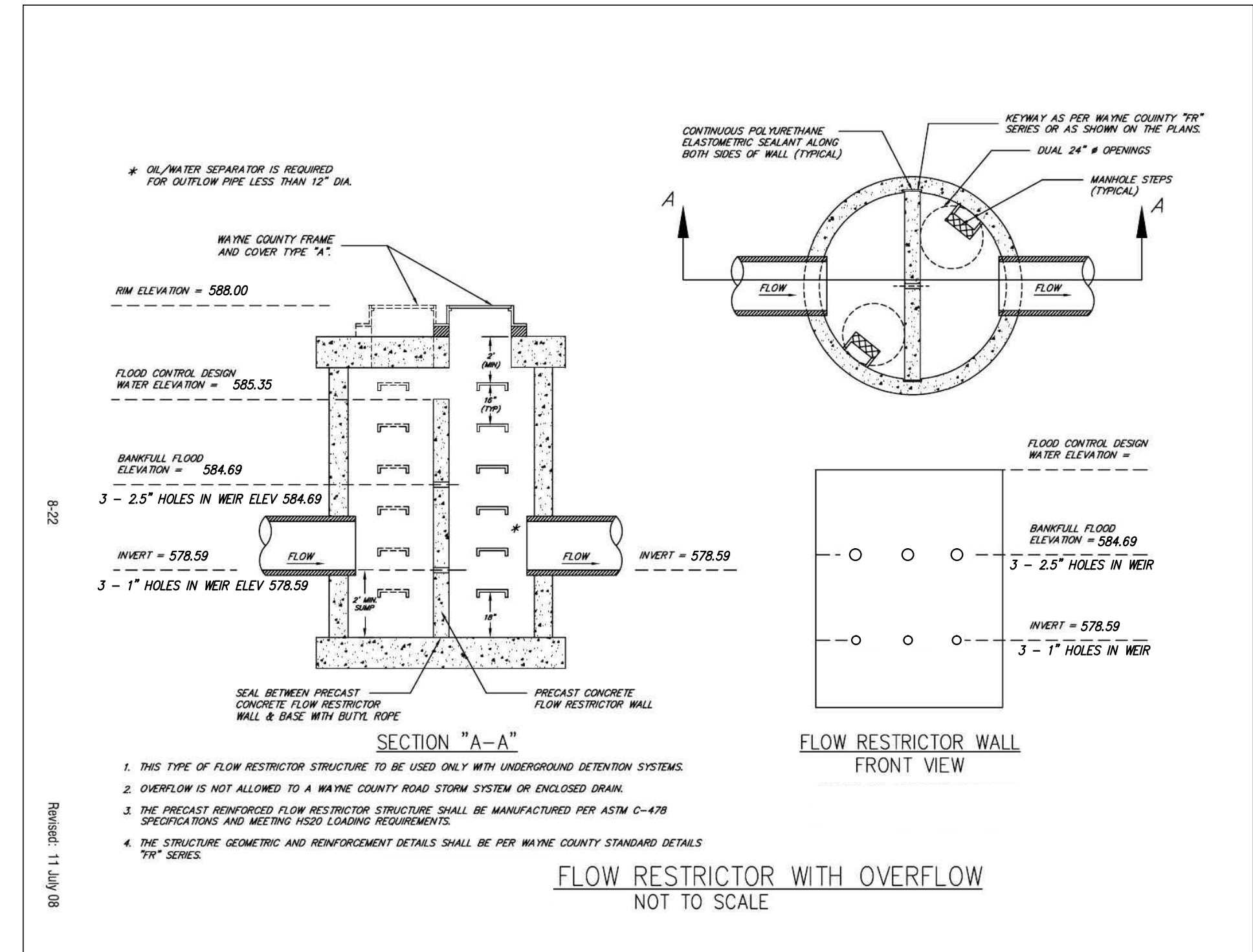
PARTIAL SITE - NEW WORK DRAINAGE PLAN SOUTH

FORD DWG NO. E5102-101 REV. #

SHEET NUMBER

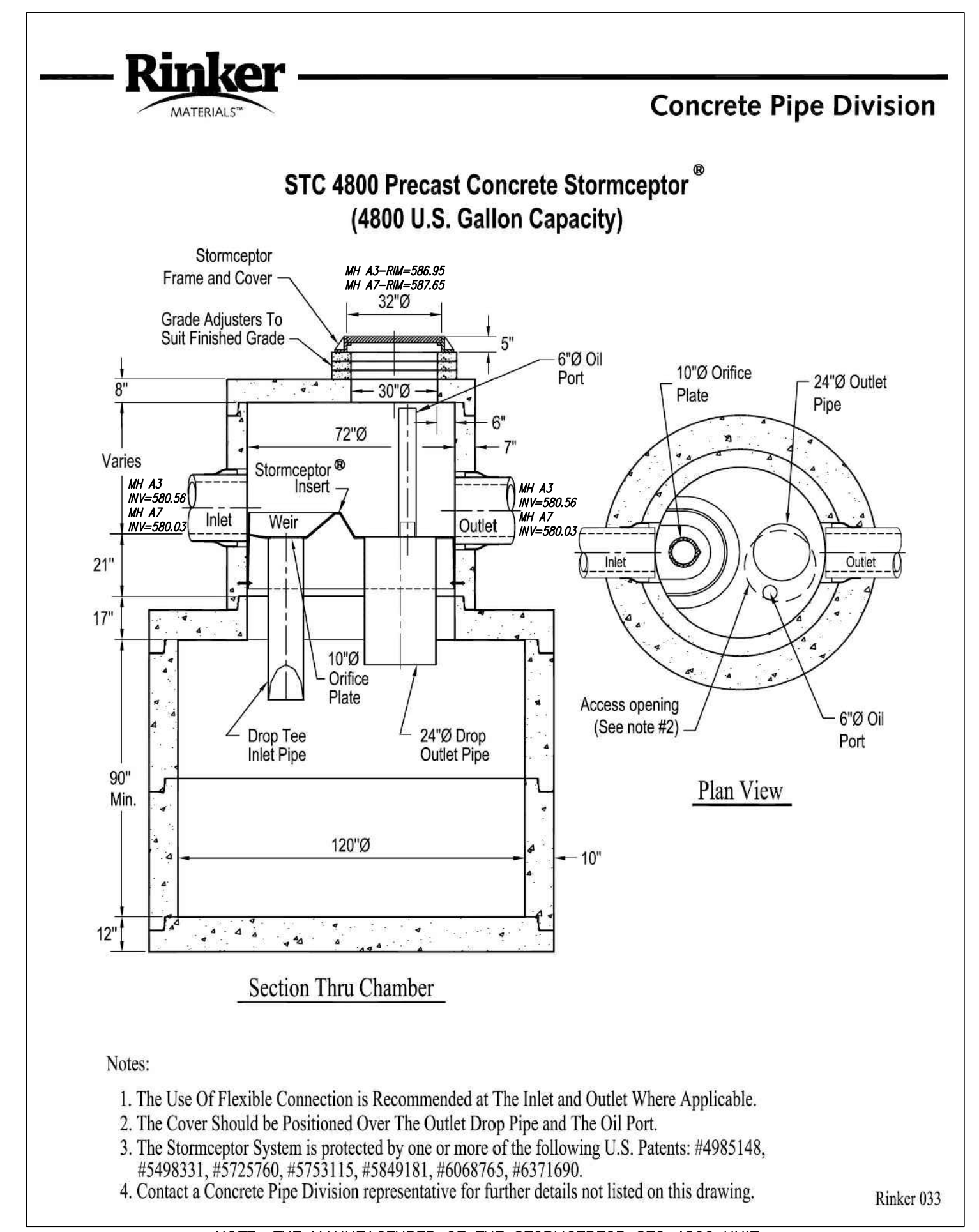
C-113

XREF: MPE0501P  
 XREF: MPE0501P  
 XREF: ESD12-10-100-PLAN  
 XREF: ESD12-10-100-PLAN  
 XREF: ESD12-10-100-PLAN  
 XREF: MPE0501P  
 XREF: MPE0501P  
 XREF: ESD12-10-100-PLAN



1. THIS TYPE OF FLOW RESTRICTOR STRUCTURE TO BE USED ONLY WITH UNDERGROUND DETENTION SYSTEMS.  
 2. OVERFLOW IS NOT ALLOWED TO A WAYNE COUNTY ROAD STORM SYSTEM OR ENCLOSED DRAIN.  
 3. THE PRECAST REINFORCED FLOW RESTRICTOR STRUCTURE SHALL BE MANUFACTURED PER ASTM C-419 SPECIFICATIONS AND MEETING HOOD LEADING REQUIREMENTS.  
 4. THE STRUCTURE GEOMETRIC AND REINFORCEMENT DETAILS SHALL BE PER WAYNE COUNTY STANDARDS DETAIL "FR" SERIES.

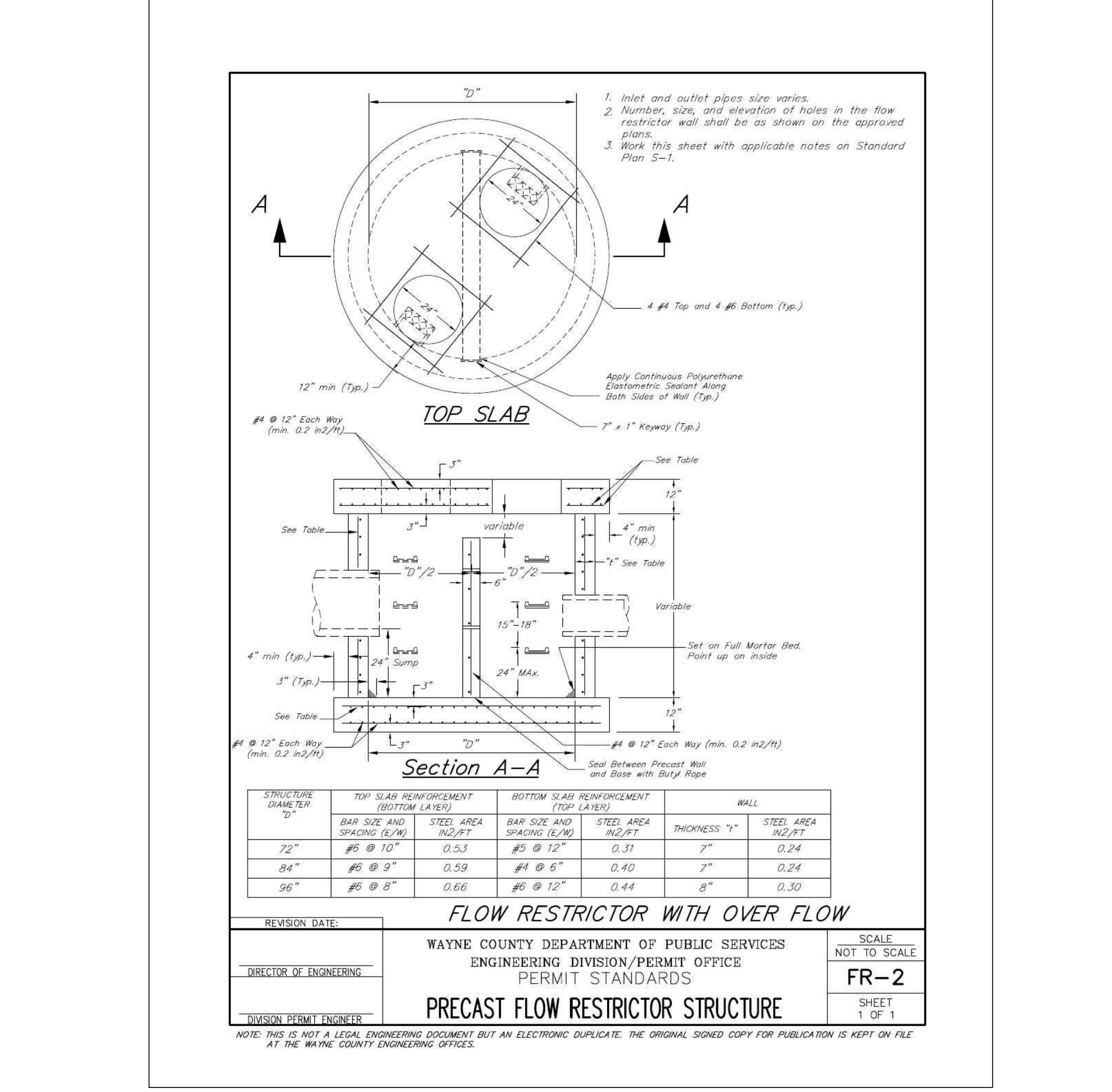
NOTE: THE MANUFACTURER OF THE OUTLET CONTROL SYSTEM MUST CONTACT THE WAYNE COUNTY TESTING OFFICE AT (734) 595-6504 EXT. 2015 AT LEAST THREE WORKING DAYS PRIOR TO FABRICATION TO SCHEDULE INSPECTION DURING MATERIAL FABRICATION.



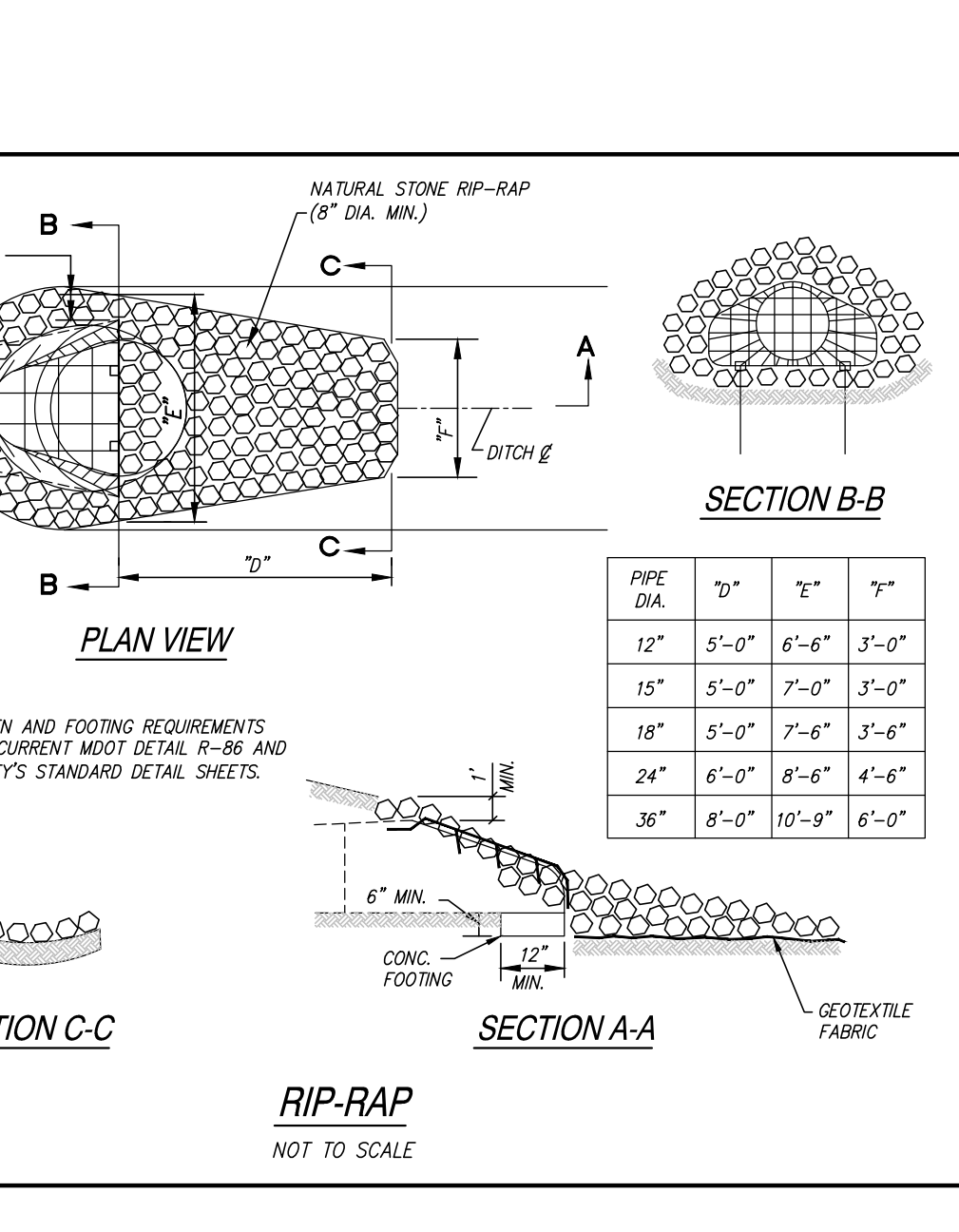
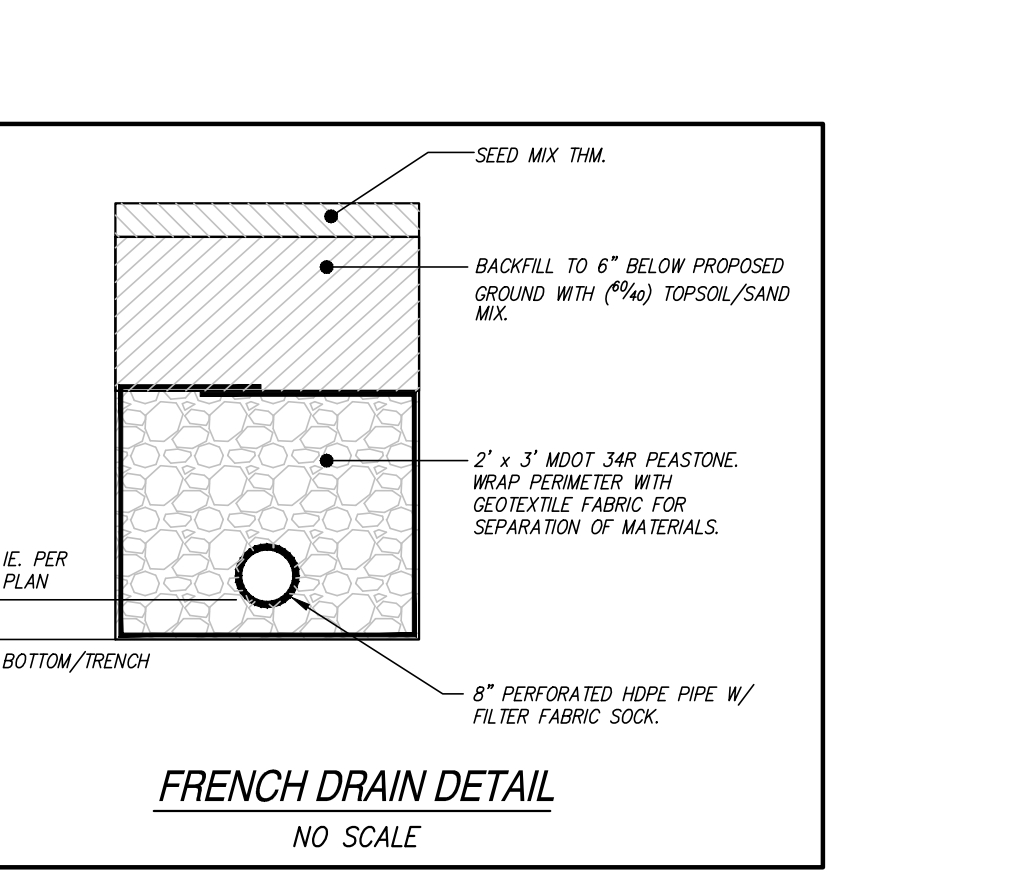
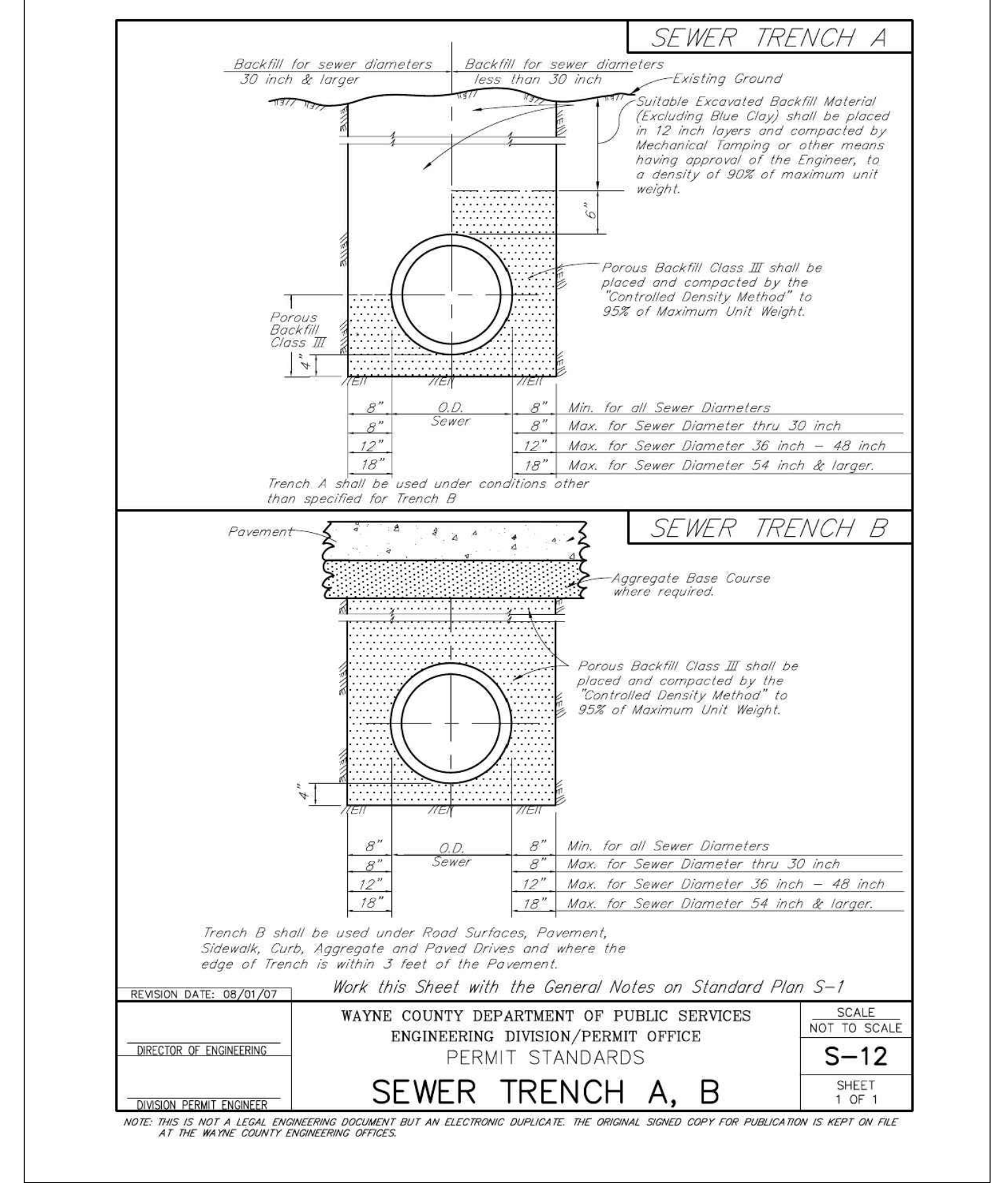
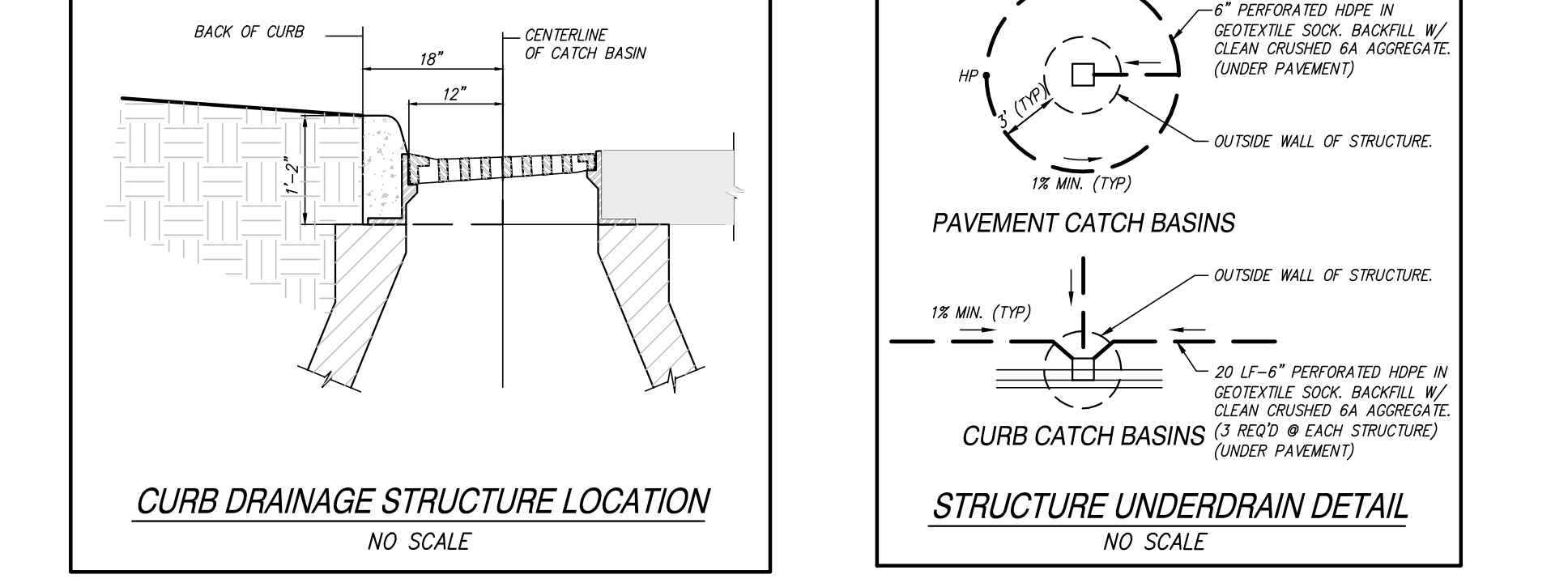
Notes:  
 1. The Use Of Flexible Connection is Recommended at the Inlet and Outlet Where Applicable.  
 2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.  
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.  
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

- ### UTILITY NOTES
1. STORM SEWER 12" AND LARGER SHALL BE CPV CL IV (PREMIUM), UNLESS OTHERWISE NOTED ON THE PLAN.
  2. STORM SEWER 6" AND SMALLER SHALL BE PVC-SR 21.5. STORM SEWER GREATER THAN 6" THROUGH 12" SPECIFIED AS PVC ON THE PLANS, SHALL BE PVC-SR 26.
  3. SANITARY SEWER SHALL BE PVC TRUSS PIPE. LEADS SHALL BE SOLID WALL PVC. SDR 31.5.
  4. WATER MAIN SHALL BE CLASS 54 DUCTILE IRON. WATER MAINS SHALL BE LEAKAGE AND PRESSURE TESTED IN ACCORDANCE WITH ANNA STANDARD 5000. WATER MAINS SHALL BE CONNECTED IN ACCORDANCE WITH ANNA STANDARD 6051 PRIOR TO BEING PUT INTO SERVICE.
  5. ALL UTILITY TRENCHES THAT FALL WITHIN A 1'-ON-1' INFLUENCE OF PAVEMENT AREAS SHALL BE BACKFILLED WITH CLASS 2 SAND AND COMPACTED TO 95% OF MAXIMUM DENSITY.
  6. ALL WATER MAIN SHALL BE BURIED WITH 6" OF COVER FROM PROPOSED GRADES. USE 22.5' BENDS TO LOWER WATER MAIN WHERE NOTED AT UTILITY CROSSING.
  7. WHERE HYDRANTS ARE INDICATED ON THE PLAN, COMPLETE HYDRANT ASSEMBLIES ARE REQUIRED, INCLUDING SHUT-OFF VALVE AND BOX (REFER TO THE STANDARD DETAIL SHEET FOR DETAILED REQUIREMENTS). THE ELEVATION OF THE VALVE BOX SHALL BE EQUAL TO THE FINISH GRADE (FG) ELEVATION OF THE HYDRANT UNLESS OTHERWISE NOTED.
  8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF LINCOLN PARK.
  9. ALL UTILITIES SHALL BE INSTALLED ON CLASS "B" BEDDING OR BETTER.
  10. ALL HYDRANTS MUST BE AT LEAST 5' FROM THE BACK OF CURB OR EDGE OF PAVEMENT.
  11. ALL UTILITIES SHALL BE PLACED AT LEAST 10' FROM OTHER UTILITIES, SIGNIFICANT TREES, AND FIXED STRUCTURES.
  12. UNLESS OTHERWISE NOTED, ALL STORM SEWER STRUCTURES SHALL BE 4' DIAMETER (INLETS SHALL BE 2' DIAMETER), UNLESS OTHERWISE INDICATED ON THE STANDARD DETAIL SHEETS. CASTINGS SHALL BE: PAVEMENT CATCH BASINS - 4'x4' (FRAMES WITH CURB BOXES WILL NOT BE ALLOWED); YARD CATCH BASINS - 4'x4' (FRAMES WITH CURB BOXES WILL NOT BE ALLOWED); MANHOLES - 4'x4' (1040 - 104).
  13. PLACEMENT OF DRAIN AND FINISH DRAINS AT ALL CATCH BASINS IS REQUIRED. SEE STRUCTURE UNDERDRAIN DETAIL THIS SHEET.
  14. FOR CURB CATCH BASINS, SEE BASIN LOCATION DETAIL FOR BASIN STAKING RELATIVE TO THE CURB.
  15. SANITARY MANHOLE COVERS SHALL BE LABELED "SANITARY SEWER" ONLY. REFER TO STANDARD DETAIL SHEET FOR REQUIRED TEXT OF UTILITY CASTINGS.
  16. LOCATIONS OF LIGHT POLES, IF SHOWN ON THESE DRAWINGS, MAY BE APPROXIMATE. CONFIRM EXACT LOCATION (I.E. CURB OFFSETS, SIDEWALK OFFSETS, ETC.) PRIOR TO STAKING AND CONSTRUCTION. REFER TO SITE ELECTRICAL PLAN FOR DETAILS, AND COORDINATE WITH ELECTRICAL ENGINEER, ARCHITECT, AND CIVIL ENGINEER TO DETERMINE PROPER PLACEMENT.
  17. WHERE THESE PLANS CONTRARY TO THE STANDARD DETAILS OR STANDARD SPECIFICATIONS OF THE COMMUNITY, THE COMMUNITY REQUIREMENTS SHALL GOVERN.

- ### WAYNE COUNTY DPS GENERAL NOTES
- A. ALL WORK WITHIN THE WAYNE COUNTY DRAIN EASEMENTS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND GENERAL SPECIFICATIONS INCLUDING SOIL PROTECTION AND SEDIMENTATION CONTROL OF THE WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES.
  - B. THESE PLANS ARE NOT VALID WITHOUT ATTACHMENT OF THE WAYNE COUNTY PERMIT SPECIFICATIONS FOR CONSTRUCTION WITHIN ROAD RIGHTS-OF-WAY, PARKS, DRAIN EASEMENTS OR SANITARY SEWER UNDER THE JURISDICTION OF WAYNE COUNTY (IF APPLICABLE, REVISED 12-15-04).
  - C. RESTORE ALL DISTURBED AREA WITHIN THE ROAD RIGHT-OF-WAY WITH OTHER SEWER MIX TANK AND MANHOLE OVER 1' HOOD TOPS OR SOIL OVER 2" THICK OF TOPSOIL.
  - D. MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES, ALL SIGNING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
  - E. CONTRACTOR SHALL NOTIFY WAYNE COUNTY 72 HOURS PRIOR TO START OF CONSTRUCTION. CONTACT MR. HOWARD REED AT (734) 595-6504 EXT. 2009.
  - F. RELOCATE ANY EXISTING UTILITIES IN CONFLICT WITH THE PROPOSED WORK AS DIRECTED BY THE COUNTY ENGINEER AND THE UTILITY COMPANY REPRESENTATION.
  - G. MAINTAIN AN 18 INCH MINIMUM CLEARANCE BETWEEN PROPOSED SEWER LINE AND ANY OTHER EXISTING UTILITIES.



THICKNESS (INCHES)	TOP SLAB REINFORCEMENT (BOTTOM LAYERS)	REINFORCING STEEL AREA (SQ. FT.)	REINFORCING STEEL AREA (SQ. FT.)	REINFORCING STEEL AREA (SQ. FT.)	WALL THICKNESS (INCHES)	WALL REINFORCEMENT (TOP LAYERS)	REINFORCING STEEL AREA (SQ. FT.)	REINFORCING STEEL AREA (SQ. FT.)	WALL THICKNESS (INCHES)
12"	#4 @ 12" (Top)	0.53	#4 @ 12" (Bot)	0.53	8"	#4 @ 12" (Top)	0.53	0.53	8"
14"	#4 @ 12" (Top)	0.53	#4 @ 12" (Bot)	0.53	8"	#4 @ 12" (Top)	0.53	0.53	8"
16"	#4 @ 12" (Top)	0.53	#4 @ 12" (Bot)	0.53	8"	#4 @ 12" (Top)	0.53	0.53	8"



REVISION DATE: 06/28/07  
 SCALE: NOT TO SCALE  
 SHEET: S-12  
 SHEET: 1 OF 1

WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES  
 ENGINEERING DIVISION/PERMIT OFFICE  
 PERMIT STANDARDS

NOTE: THIS IS NOT A LEGAL ENGINEERING DOCUMENT BUT AN ELECTRONIC DUPLICATE. THE ORIGINAL SIGNED COPY FOR PUBLICATION IS KEPT ON FILE AT THE WAYNE COUNTY ENGINEERING OFFICE.

**FORDLAND**

330 TOWN CENTER DRIVE, SUITE 1100  
 DEARBORN, MICHIGAN 48126-2738  
 USA

**Ford**

**UAW - FORD TECHNICAL TRAINING CENTER**

25500 OUTER DRIVE  
 LINCOLN PARK MI 48146

BUILDING SITE CODE: 5012  
 FORD PROJECT NUMBER:

**CIVIL ENGINEER / SURVEYOR**

**SPALDING DeDECKER**  
 Engineers | Surveyors

905 South Blvd. East Phone: (248) 844-5400  
 Rochester Hills, MI 48307 Fax: (248) 844-5404  
 www.sds-eng.com

**SDS** (Civil/Structural Design) Inc.

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12-15-04

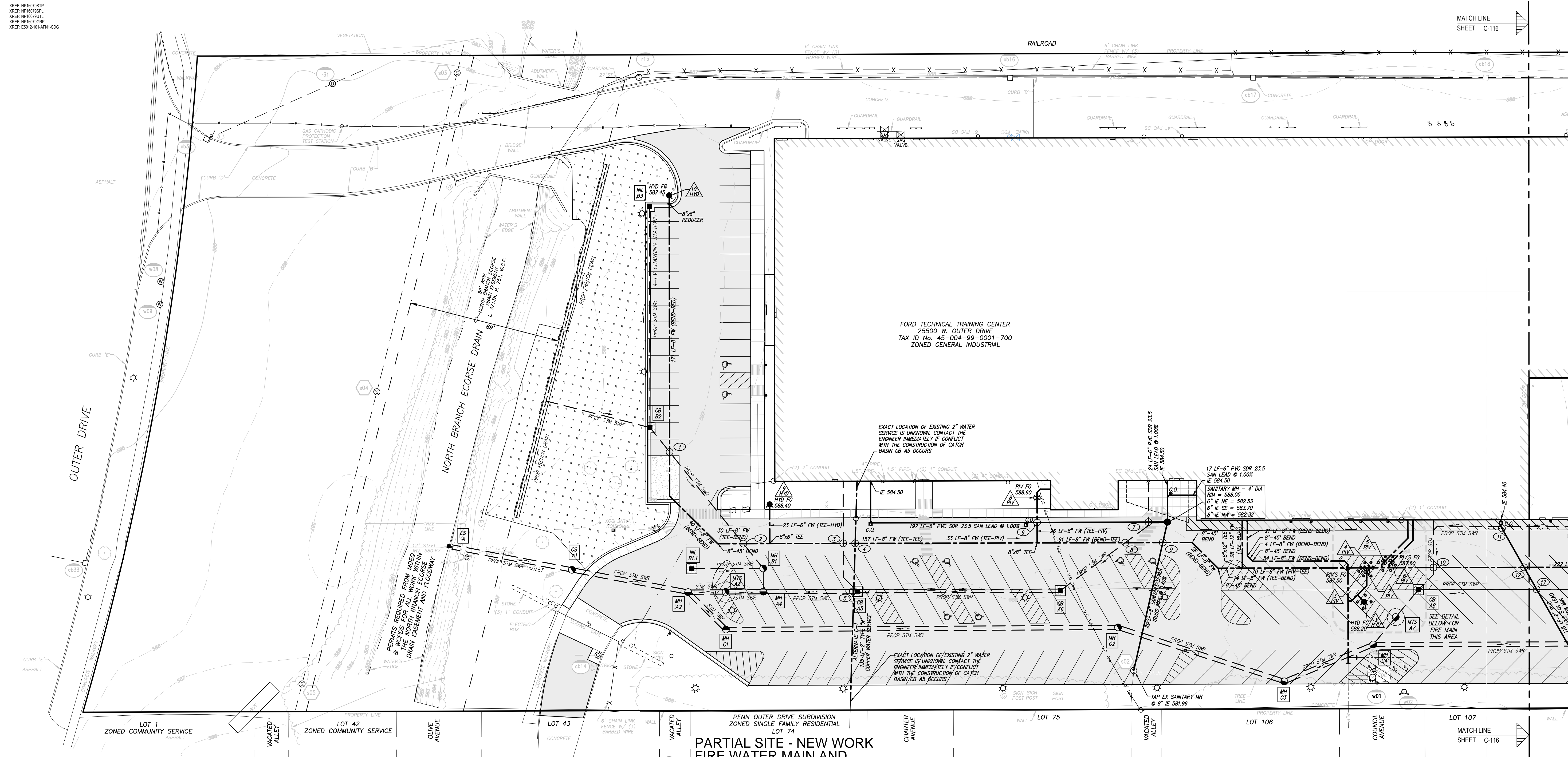
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01.31.2017	•	•
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IN CHARGE: TJS  
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SHEET TITLE: **OVERALL SITE - NEW WORK UTILITY NOTES AND DETAILS**  
 FORD Dwg. NO. E5102-101  
 SHEET NUMBER: **C-114**



XREF: MPE020TP  
XREF: MPE020PL  
XREF: MPE020DP  
XREF: E002-101-4741-000



**FORDLAND**

330 TOWN CENTER DRIVE, SUITE 1100  
DEARBORN, MICHIGAN 48126-2738  
USA

UAW - FORD TECHNICAL TRAINING CENTER  
25500 OUTER DRIVE  
LINCOLN PARK MI 48146

BUILDING SITE CODE: 5012  
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CIVIL ENGINEER / SURVEYOR

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Engineers | Surveyors

905 South Blvd. East Phone: (248) 844-5400  
Rochester Hills, MI 48307 Fax: (248) 844-5404  
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SDS

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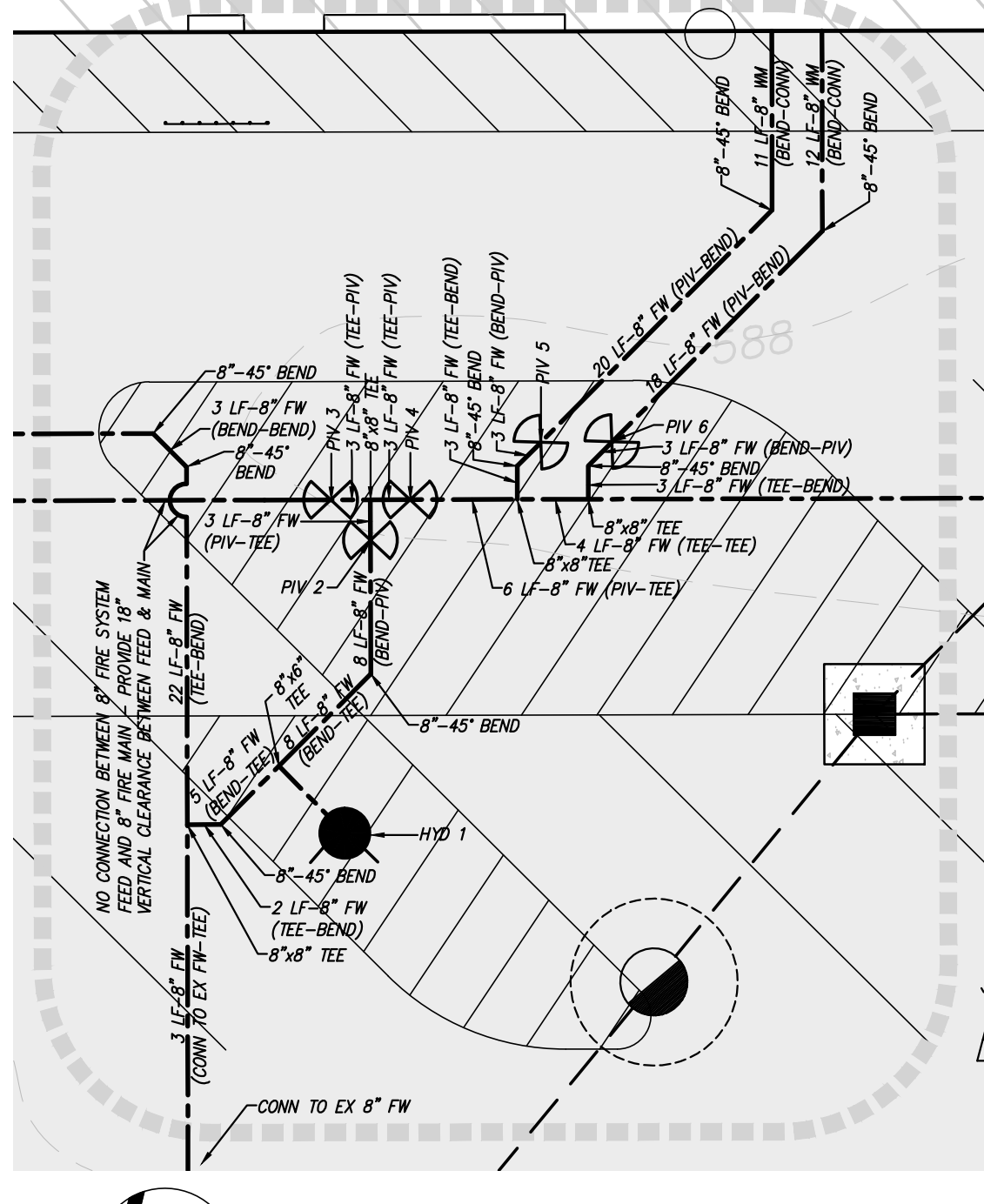
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**PARTIAL SITE - NEW WORK  
FIRE WATER MAIN AND  
SANITARY SEWER PLAN NORTH**

SCALE: 1" = 30'

**UTILITY CROSSING TABLE**

1 STM1 FWM X KING PROP 12" STM BIP 581.40 PROP 8" FWM TP 581.10 LOWER FWM TO MAINTAIN 18" CLEARANCE WITH STM NOTIFY ENGINEER IF CONFLICT OCCURS	2 STM1 FWM X KING PROP 12" STM BIP 581.60 PROP 8" FWM TP 581.10 LOWER FWM TO MAINTAIN 18" CLEARANCE WITH STM NOTIFY ENGINEER IF CONFLICT OCCURS	3 STM1 FWM X KING PROP 12" STM BIP 583.08 PROP 8" FWM TP 581.36 CLEARANCE +/- 1.72 NOTIFY ENGINEER IF CONFLICT OCCURS	4 FWM1 W/M X KING PROP 8" FWM TP 581.36 EXIST 2" W/M DEPTH UNKNOWN LOWER 2" W/M TO MAINTAIN 18" CLEARANCE WITH FWM NOTIFY ENGINEER IF CONFLICT OCCURS	5 W/M1 STM X KING PROP 12" STM BIP 580.57 EX 2" W/M DEPTH UNKNOWN LOWER W/M TO MAINTAIN 18" CLEARANCE WITH STM NOTIFY ENGINEER IF CONFLICT OCCURS	6 SAN1 FWM X KING PROP 8" SAN BIP 583.25 PROP 8" FWM TP 581.75 LOWER FWM TO MAINTAIN 18" CLEARANCE WITH W/M NOTIFY ENGINEER IF CONFLICT OCCURS	7 SAN1 STM X KING PROP 8" SAN BIP 583.05 PROP 8" FWM TP 581.85 CLEARANCE +/- 1.87 PROVIDE CONCRETE CRADLE NOTIFY ENGINEER IF CONFLICT OCCURS	8 STM1 FWM X KING PROP 12" STM BIP 583.47 PROP 8" FWM TP 581.85 CLEARANCE +/- 1.62 NOTIFY ENGINEER IF CONFLICT OCCURS	9 FWM1 SAN X KING PROP 8" SAN BIP 582.21 PROP 8" FWM TP 580.70 LOWER FWM TO MAINTAIN 18" CLEARANCE WITH SAN NOTIFY ENGINEER IF CONFLICT OCCURS	10 STM1 FWM X KING PROP 12" STM BIP 581.05 PROP 8" FWM TP 579.05 LOWER FWM TO MAINTAIN 18" CLEARANCE WITH STM NOTIFY ENGINEER IF CONFLICT OCCURS	11 SAN1 STM X KING PROP 8" SAN BIP 584.30 PROP 12" STM TP 582.80 CLEARANCE +/- 1.52 NOTIFY ENGINEER IF CONFLICT OCCURS	12 SAN1 FWM X KING PROP 8" SAN BIP 584.10 PROP 8" FWM TP 582.80 LOWER FWM TO MAINTAIN 18" CLEARANCE WITH SAN NOTIFY ENGINEER IF CONFLICT OCCURS	13 W/M1 STM X KING PROP 8" STM BIP 578.91 PROP 8" FWM TP 577.41 LOWER FWM TO MAINTAIN 18" CLEARANCE WITH STM NOTIFY ENGINEER IF CONFLICT OCCURS	14 W/M1 STM X KING PROP 8" STM BIP 578.90 EX 4" W/M TP 577.40 LOWER W/M TO MAINTAIN 18" CLEARANCE WITH STM NOTIFY ENGINEER IF CONFLICT OCCURS	15 SAN1 STM X KING PROP 8" SAN BIP 582.02 PROP 8" FWM TP 581.25 CLEARANCE +/- 0.77 PROVIDE CONCRETE CRADLE NOTIFY ENGINEER IF CONFLICT OCCURS	16 W/M1 STM X KING PROP 8" STM BIP 581.05 EX 2" W/M DEPTH UNKNOWN LOWER W/M TO MAINTAIN 18" CLEARANCE WITH SAN NOTIFY ENGINEER IF CONFLICT OCCURS
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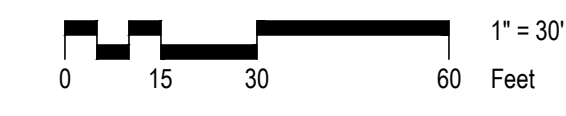
**LEGEND**

- PROPOSED FIRE WATER MAIN
- PROPOSED SANITARY
- PROPOSED STORM SEWER
- PROPOSED HYDRANT
- PROPOSED GATE VALVE & WELL (GVW)
- PROPOSED POST INDICATOR VALVE (PIV)
- PROPOSED SAN MANHOLE (SMH)
- PROPOSED STORM MANHOLE (SMH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED INLET (INL)
- PROPOSED END SECTION (ES)
- PROPOSED FIELD CATCH BASIN (FCB) / BENEATH COVER OR STAIRWELL (SP) W/ BAR GRATE COVER
- STANDARD BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- GREENSPACE RESTORATION
- UTILITY CROSSING (SEE DATA TABLE)
- STRUCT. TYPE
- STRUCT. NO.
- WATERMAIN STRUCTURE

08.14.2017	• SITE PLAN REVIEW
08.04.2017	• BID
07.07.2017	• PERMIT REVISIONS
06.23.2017	• REVISION
06.30.2017	• ISSUED FOR PERMITS
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02.27.2017	• 90% OWNER REVIEW
02.13.2017	• 60% SUBMISSION
01.31.2017	• PARKING LAYOUT
DATE	ISSUED FOR

IN CHARGE: TJS  
DRAWN BY: TEL  
DESIGNED BY: TEL  
CHECKED BY: TJS  
APPROVED BY: TJS

SHEET TITLE  
**PARTIAL SITE - NEW WORK - FIRE WATER MAIN AND SANITARY SEWER PLAN NORTH**  
FORD DWG NO. E5012-101 REV. #  
SHEET NUMBER  
**C-115**



PLOT DATE: 8/14/2017 12:54:47 PM SAVE DATE: 8/14/2017 14:26:24 AM

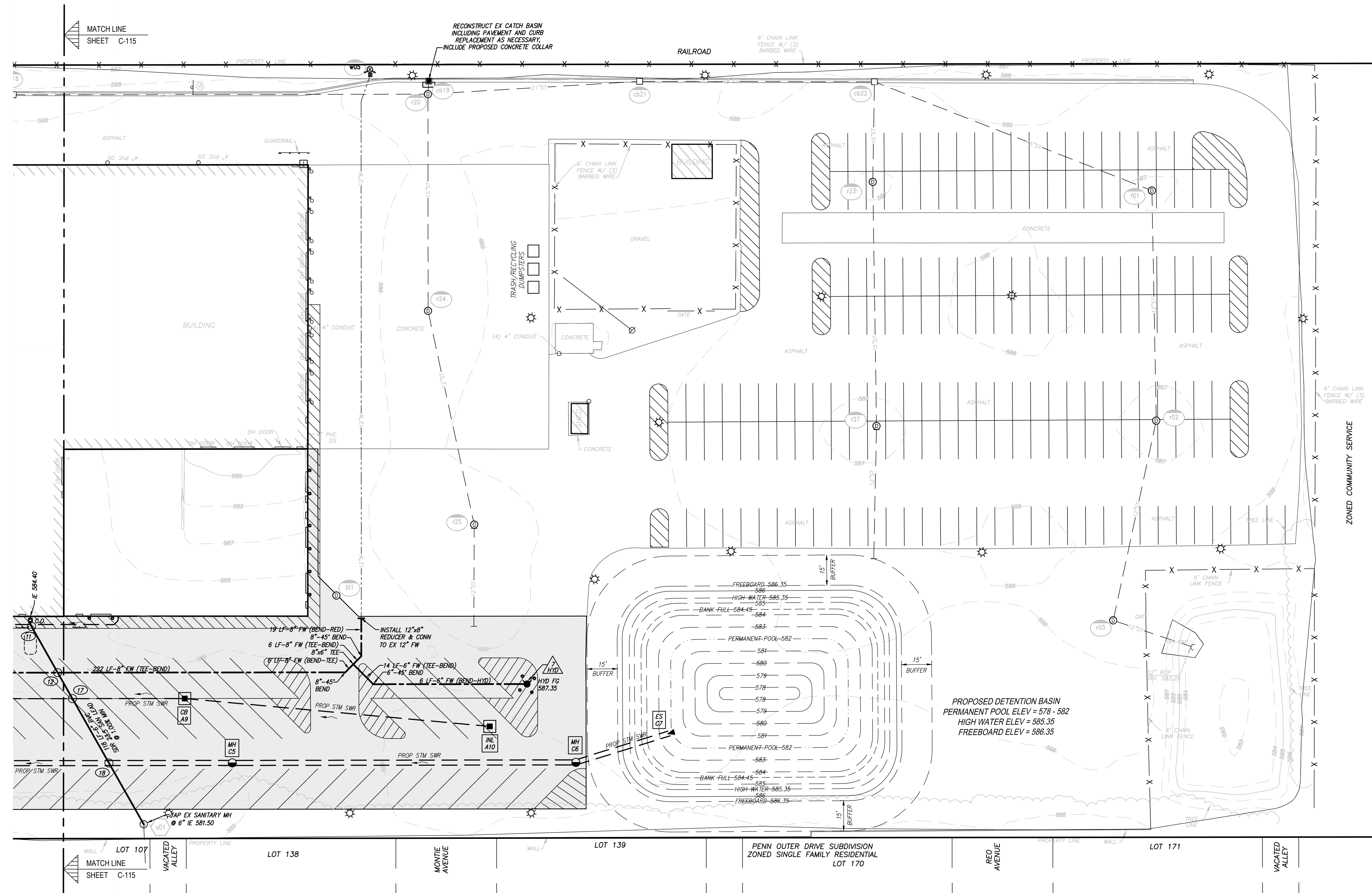
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**UTILITY CROSSING TABLE**

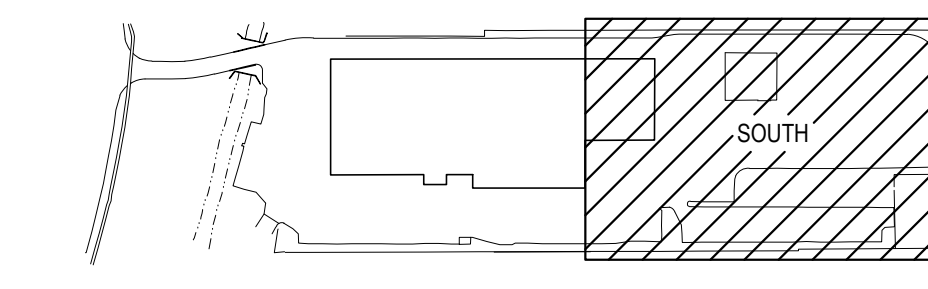
17 SAN / STM 3/8" DIA PROP 6" SAN BIP 583.25 PROP 18" STM TIP 581.70 CLEARANCE = 1.50' NOTIFY ENGINEER IF CONFLICT OCCURS	18 STM / SAN 3/8" DIA PROP 24" STM TIP 581.57 PROP 6" SAN BIP 582.30 CLEARANCE = 0.75' PROVIDE CONCRETE CRADLE NOTIFY ENGINEER IF CONFLICT OCCURS
---	--

**LEGEND**

--- PROPOSED FIRE WATER MAIN	STANDARD BITUMINOUS PAVEMENT
--- PROPOSED SANITARY	CONCRETE PAVEMENT
--- PROPOSED STORM SEWER	GREENSPACE RESTORATION
● PROPOSED HYDRANT	UTILITY CROSSING (SEE DATA TABLE)
○ PROPOSED GATE VALVE & WELL (GVW)	CB - STRUCT. TYPE
○ PROPOSED POST INDICATOR VALVE (PIV)	Z - STRUCT. NO.
● PROPOSED SAN MANHOLE (SM)	20 - STRUCT. TYPE
● PROPOSED STORM MANHOLE (SM)	20 - STRUCT. NO.
■ PROPOSED CATCH BASIN (CB)	20 - STRUCT. TYPE
■ PROPOSED INLET (INL)	20 - STRUCT. NO.
■ PROPOSED END SECTION (ES)	10 - STRUCT. TYPE
● PROPOSED FIELD CATCH BASIN (FCB) W/ BENTONITE COVER OR STAMPING (CS) W/ SAN GRATE COVER	XXX - STRUCT. TYPE



**PARTIAL SITE - NEW WORK WATER MAIN AND SANITARY SEWER PLAN SOUTH**  
 SCALE: 1" = 30'



**FORDLAND**

330 TOWN CENTER DRIVE, SUITE 1100  
 DEARBORN, MICHIGAN 48126-2738  
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UAW - FORD TECHNICAL TRAINING CENTER

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 LINCOLN PARK MI 48146

BUILDING SITE CODE: 5012  
 FORD PROJECT NUMBER:

CIVIL ENGINEER / SURVEYOR

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12000 Northway Single Design Inc.  
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08.14.2017	• SITE PLAN REVIEW
08.04.2017	• BID
07.07.2017	• PERMIT REVISIONS
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01.31.2017	• PARKING LAYOUT
DATE	ISSUED FOR

IN CHARGE:	TJS
DRAWN BY:	TEL
DESIGNED BY:	TEL
CHECKED BY:	TJS
APPROVED BY:	TJS

SHEET TITLE

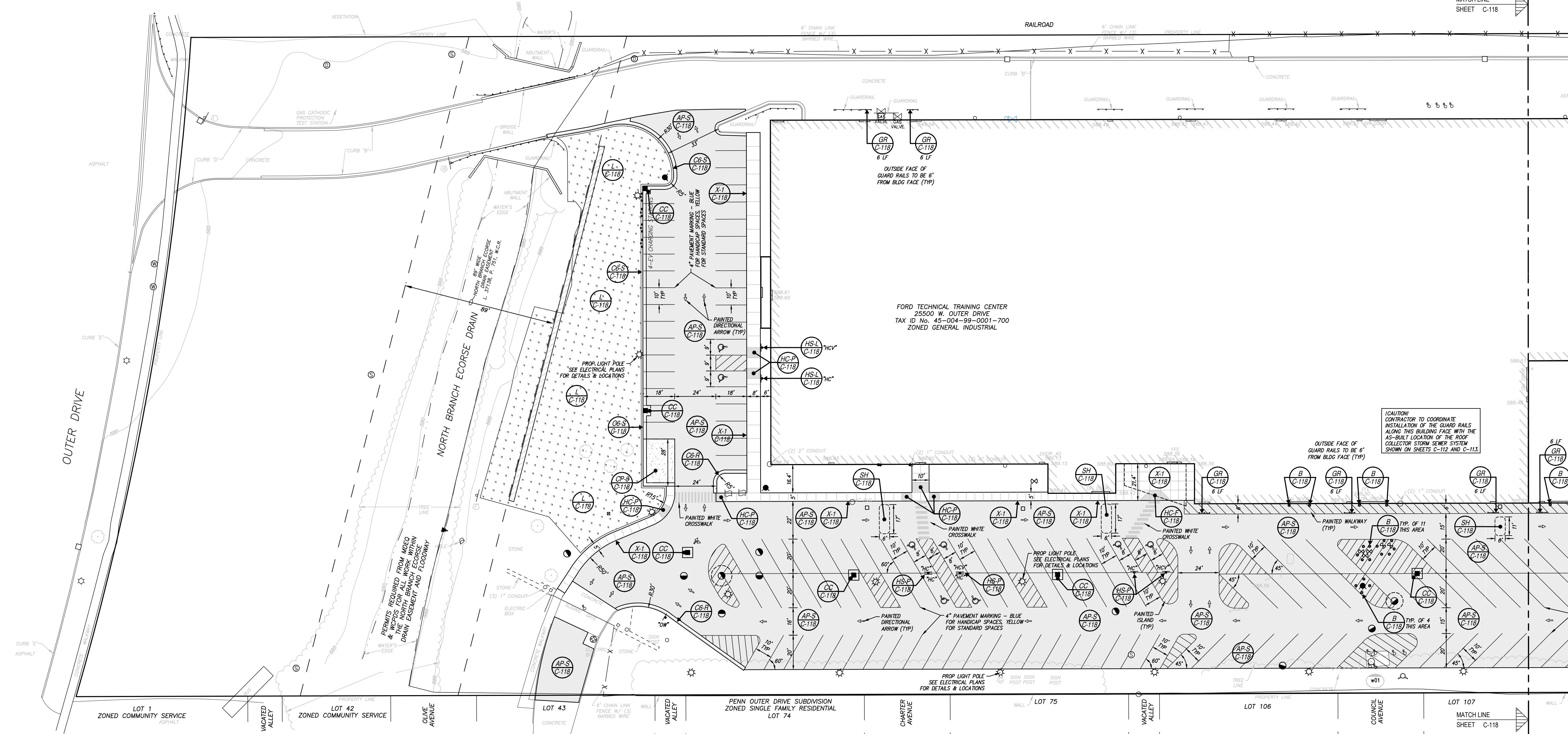
**PARTIAL SITE - NEW WORK - FIRE WATER MAIN AND SANITARY SEWER PLAN SOUTH**

FORD Dwg NO. E5012-101 REV. #

SHEET NUMBER

**C-116**

XREF: MF18291P  
 XREF: MF18292P  
 XREF: MF18293P  
 XREF: E5012-101-APN1-000



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 USA

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**RESTORATION NOTE**

RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL AND SEED MIX (80% KENTUCKY BLUEGRASS, 20% PERENNIAL RYEGRASS). SOIL CROWDING RED FESCUE, PLACE MULCH IN ALL SLOPED AREAS ON SLOPES IN EXCESS OF 10 HORIZONTAL TO 1 VERTICAL. PLACE NORTH AMERICAN GREEN GOSI MULCH BLANKET IMMEDIATELY AFTER SEEDING. USE METAL STAPLES PER MANUFACTURER'S RECOMMENDATIONS TO HOLD MATING IN PLACE.

- PAVING CONSTRUCTION NOTES**
- EARTHWORK AND PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT MOST STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
  - REMOVE ANY EXISTING TOPSOIL, VEGETATION, TREES AND OTHER DELETERIOUS MATERIALS TO EXPOSE THE SURFACE SOIL. TREE ROOTS SHALL BE COMPLETELY REMOVED.
  - EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE EXTENSION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
  - THE TOP 12 INCHES OF THE EXPOSED SUBGRADE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-97).
  - THE FINAL SUBGRADE SHALL BE THOROUGHLY PROPTEROLLED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR WEILING AREAS WHICH CANNOT BE MECHANICALLY STABILIZED SHALL BE REMOVED AND REPLACED WITH ENGINEERED FILL OR FILL INDICATED FOR REMOVAL OR REHABILITATION.
  - THE AGGREGATE BASE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-97). THE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE.
  - ALL BITUMINOUS MATERIAL SHALL BE COMPACTED TO A DENSITY NO LESS THAN 97 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MARSHALL METHOD.
  - A BOND COAT OF 55-1H EMULSION IS REQUIRED BETWEEN THE LAYERS AND THE WEARING COURSE WHEN EITHER 24 HOURS HAVE ELAPSED OR THE SURFACE OF THE WEARING COURSE HAS BEEN CONTAMINATED WITH DUST OR FRESH MATERIAL. THE BOND COAT SHALL BE APPLIED IN A UNIFORM MANNER OVER THE SURFACE AT A RATE OF 0.1 GALLONS/SY. IN THE EVENT A BOND COAT IS NOT REQUIRED, THE LEVELING COURSE MAY REQUIRE LOCALIZED BROOM CLEANING.
  - PERFORMANCE GRADE PG64-22 ASPHALT CEMENT SHALL BE USED IN THE PRODUCTION OF ALL BITUMINOUS MATERIALS. RECLAIMED ASPHALT PAVEMENT (RAP) SHALL BE ALLOWED ONLY AS SPECIFIED BY THE CURRENT MOST STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS NOTED ON THE PROJECT DETAILS.
  - CONSTRUCTION TRAFFIC SHALL BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE PLACEMENT OF THE FINAL LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURES. IF ANY DOES OCCUR, AS WELL AS REMOVE LOAD DAMAGE ON THE PAVEMENT SYSTEM, THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO ANY DAMAGED SECTION RESULTING FROM CONSTRUCTION ACTIVITY.
  - TAPER CURB HEIGHT DOWN TO ZERO HEIGHT IN FIVE FEET AT ALL CURBS. FINISHES UNLESS OTHERWISE NOTED ON THE PLAN.
  - WHERE CURB AND OUTER SECTION IS ADJACENT TO A HANDICAP RAMP, DROP CURB HEIGHT TO MAXIMUM 1/4" ACROSS THE RAMP OPENING.
  - RESURFACE PARKING LOTS AS SHOWN, USING 4" PAVEMENT MARKINGS - BLUE FOR HANDICAP SPACES, YELLOW FOR STANDARD SPACES. IF NEW PARKING LAYOUT IS NOT INDICATED, MATCH ORIGINAL STRIPING PATTERN.
  - CONTRACTOR SHALL PROTECT EXISTING CURB, OUTER, SIDEWALK, WALLS, FENCES AND ALL OTHER EXISTING SITE FEATURES NOT INDICATED FOR REMOVAL OR REHABILITATION.
  - PLACE EXPANSION JOINTS WHERE NEW CONCRETE PAVEMENT OR WALKS MEET BUILDING WALLS (PROPOSED OR EXISTING), CURBS OR EXISTING CONCRETE PAVEMENT. PLACE JOINT SEALANT ON ALL EXPANSION JOINTS.
  - CONTRACTOR TO CONSTRUCT CONCRETE AND EXPANSION JOINTS IN ALL NEW CONCRETE PAVEMENT. CONTRACTION JOINTS SHALL BE TOOKED WHERE NECESSARY WITH 12" OR GREATER AND SHALL BE SPACED EQUAL TO THE WIDTH OF THE PAVEMENT (E.G. 8' SPACING FOR 8" WIDE WALKS), BUT NOT MORE THAN 10' APART. PLACE EXPANSION JOINTS WITH JOINT SEALANT AT MAXIMUM 30' SPACING. CONTRACTOR SHALL GENERALLY MATCH THE JOINT PATTERNS FOR CONCRETE PAVEMENT WHEN SHOWN ON THE PLANS.
  - CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS FOR MOST GRADE IN CONCRETE PER THE CURRENT MOST STANDARD SPECIFICATIONS FOR CONSTRUCTION.

**PARTIAL SITE - NEW WORK PAVING AND LAYOUT PLAN NORTH**

SCALE: 1" = 30'

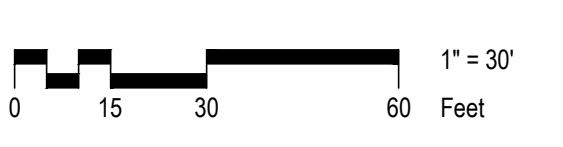
**LEGEND**

--- PROPOSED FIRE WATER MAIN	--- STANDARD BITUMINOUS PAVEMENT
--- PROPOSED SANITARY SEWER	--- CONCRETE PAVEMENT
--- PROPOSED STORM SEWER	--- GREENSPACE RESTORATION
● PROPOSED HYDRANT	○ (2) --- UTILITY CROSSING (SEE DATA TABLE)
○ PROPOSED DATE VALVE & WELL (D&W)	○ (2) --- STRUCT. TYPE
○ PROPOSED SAN MANHOLE (SAN)	○ (2) --- STRUCT. NO.
○ PROPOSED STORM MANHOLE (SM)	○ (20) --- SANITARY SEWER STRUCTURE
○ PROPOSED CATCH BASIN (CB)	○ (10) --- SANITARY SEWER STRUCTURE
○ PROPOSED INLET (INL)	○ (10) --- STRUCT. NO.
○ PROPOSED END SECTION (ES)	○ (XXX) --- STRUCT. TYPE
○ PROPOSED FIELD CATCH BASIN (FCB) W/REINFORCED COVER OR STANDOFF (SO) W/ BAR GRADE COVER	

**PROPOSED SIGN LEGEND**

"H" - RESERVED PARKING HANDICAP ONLY  
 "HY" - RESERVED PARKING HANDICAP ONLY VAN ACCESS ONLY  
 "D" - ONE WAY DO NOT ENTER SIGN

ALL SIGNS SHALL BE IN ACCORDANCE WITH THE CURRENT M.U.M.C.C. AND THE MOST TRAFFIC AND SAFETY SIGN SUPPORT STANDARD PLANS.



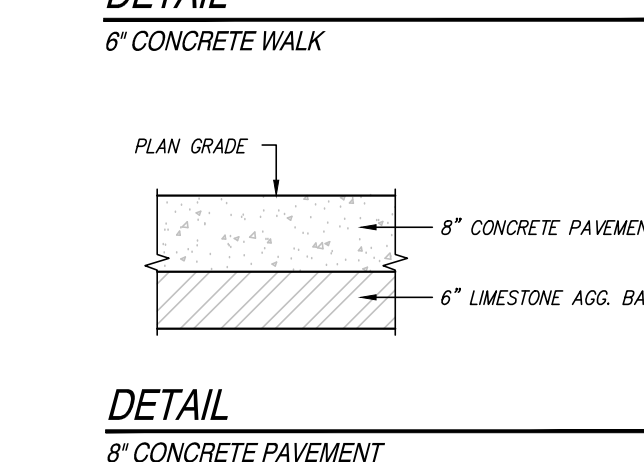
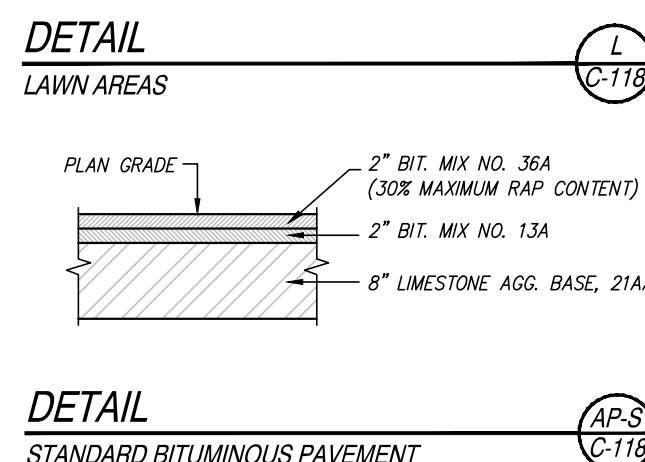
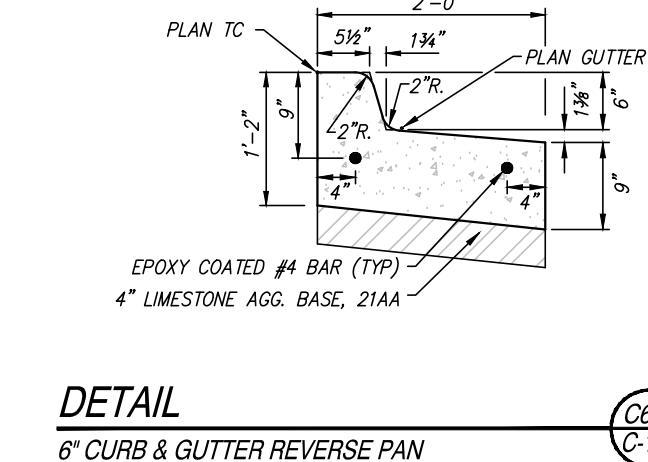
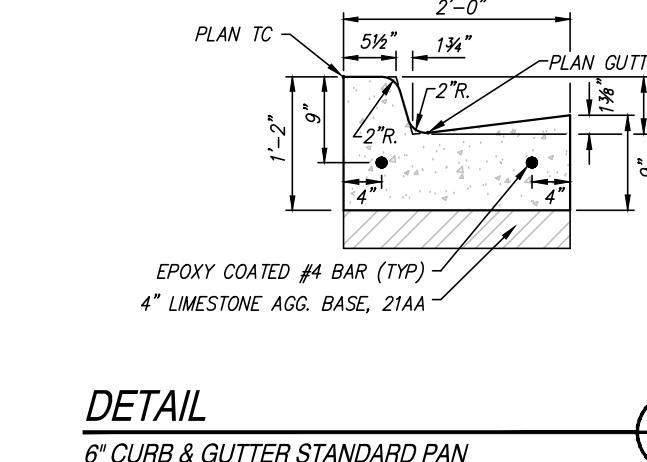
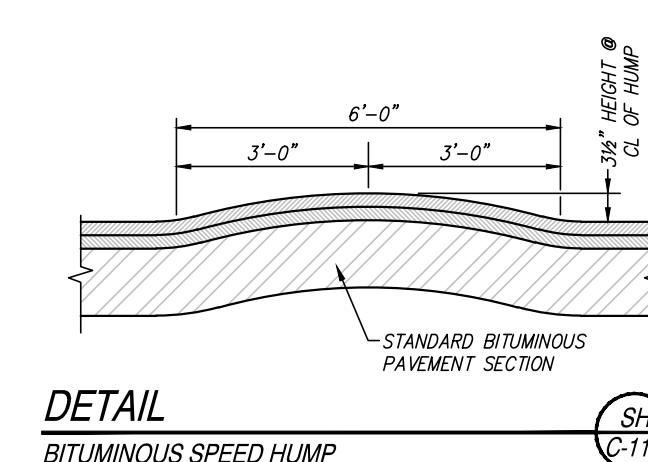
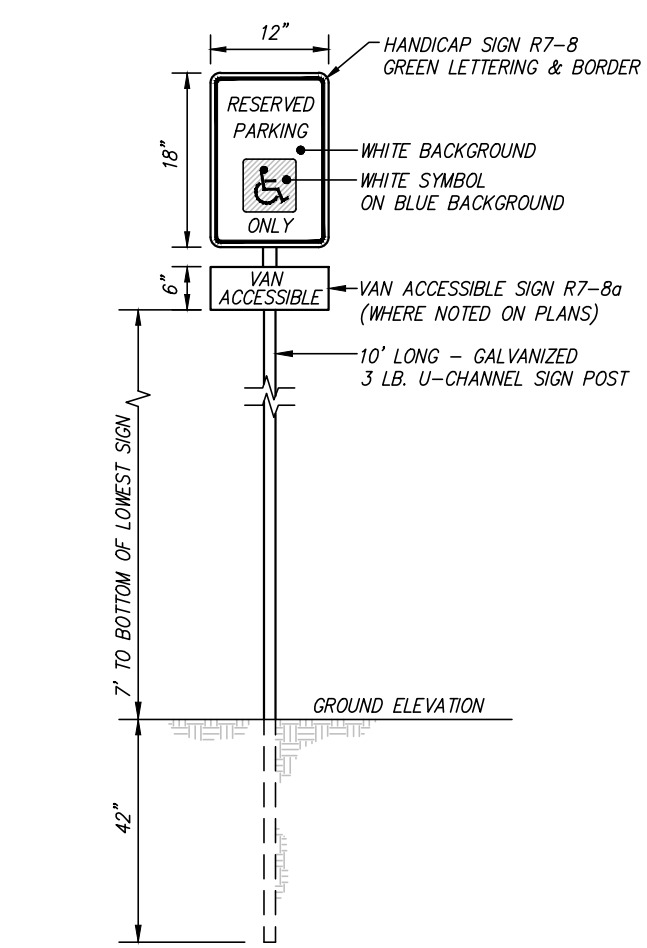
DATE	ISSUED FOR
08.14.2017	• SITE PLAN REVIEW
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02.13.2017	• 60% SUBMISSION
01.31.2017	• PARKING LAYOUT

IN CHARGE: TJS  
 DRAWN BY: TEL  
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SHEET TITLE  
**PARTIAL SITE - NEW WORK PAVING AND LAYOUT PLAN NORTH**  
 FORD DWG NO: E5012-101  
 REV. #

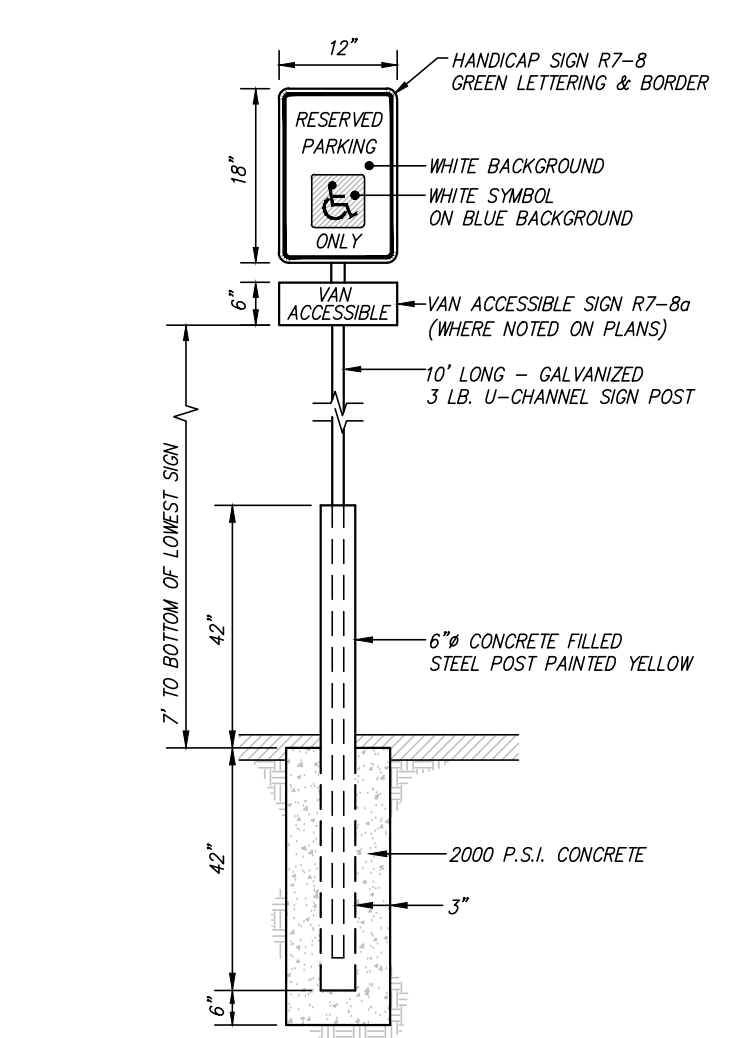
SHEET NUMBER  
**C-117**

REFER: MFDENR-1P  
REFER: MFDENR-2P  
REFER: MFDENR-3P  
REFER: E5012-101-APP-1000



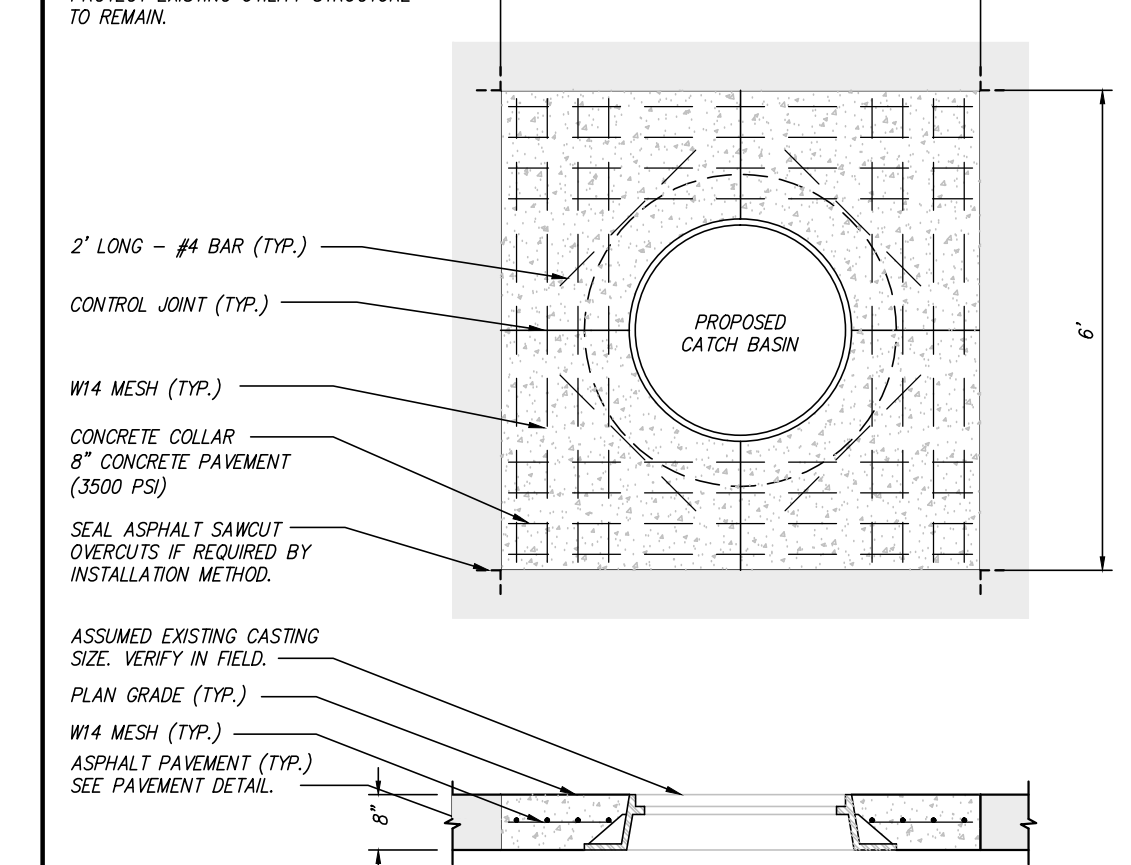
LEGEND table with symbols for proposed fire water main, sanitary, storm sewer, hydrant, manhole, catch basin, inlet, field catch basin, and various structures like utility crossings, storm structures, and watermain structures.

DETAIL HANDICAP SIGN DETAIL

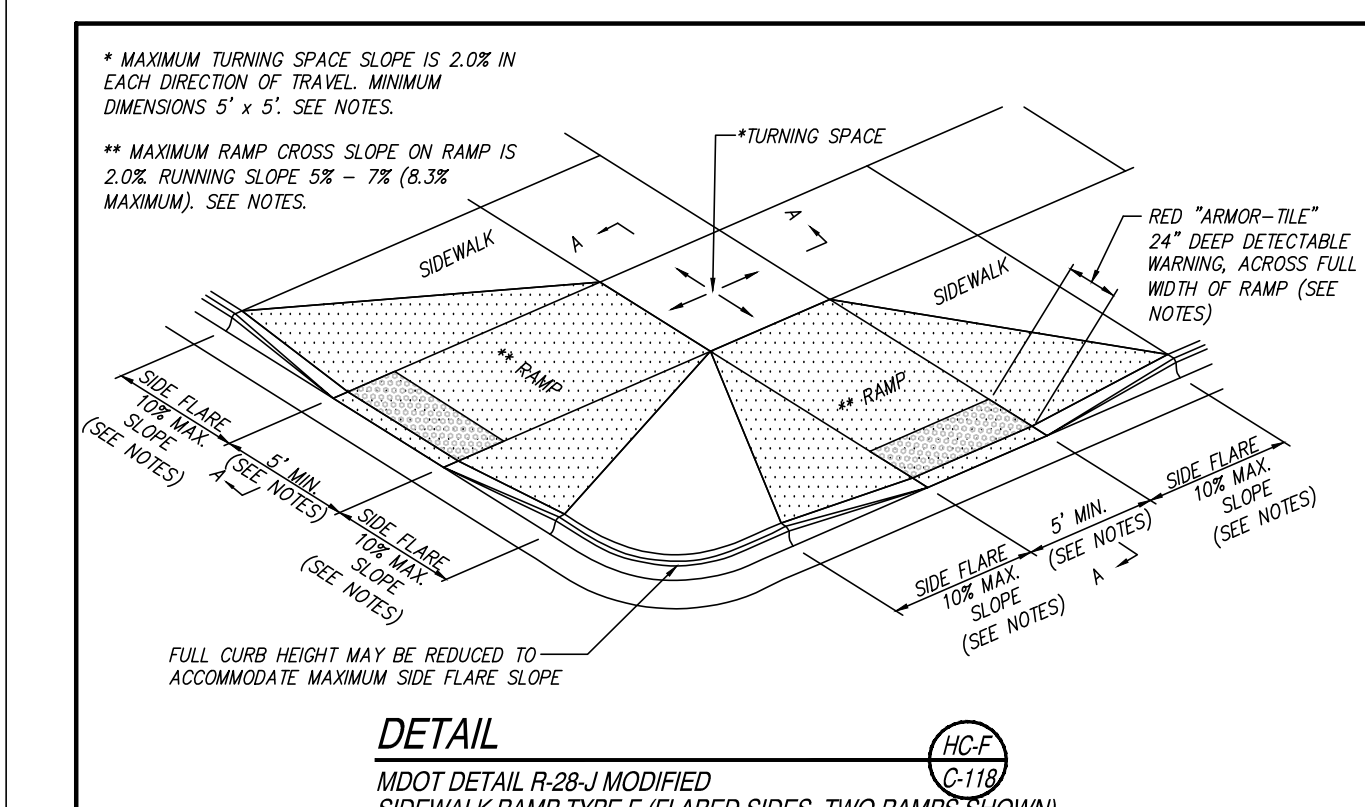


DETAIL HANDICAP SIGN IN PAVEMENT DETAIL

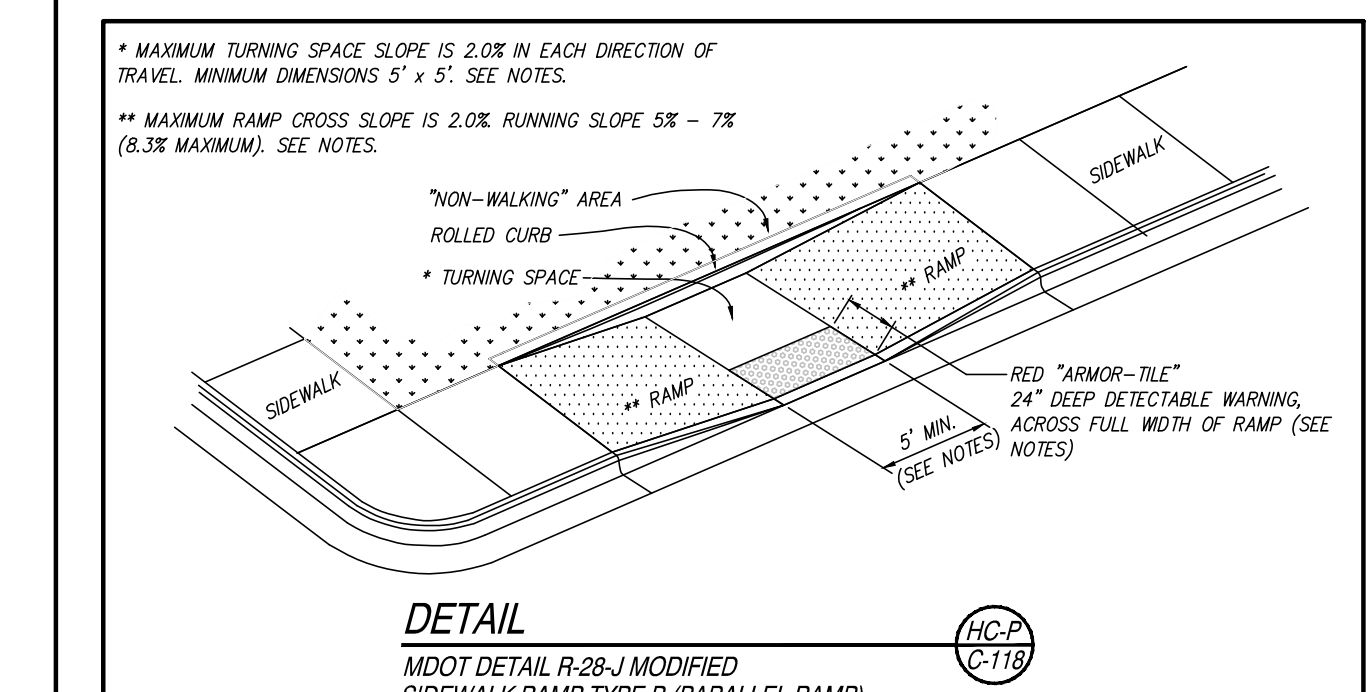
NOTES: REMOVE EXISTING CASTING COVER AND ADJUSTMENT BRICKS FROM DRAINAGE STRUCTURE. SALVAGE CASTING AND COVER FOR REINSTALLATION AND PROVIDE NEW ADJUSTMENT BRICKS. PROTECT EXISTING UTILITY STRUCTURE TO REMAIN.



DETAIL CONCRETE COLLAR DETAIL



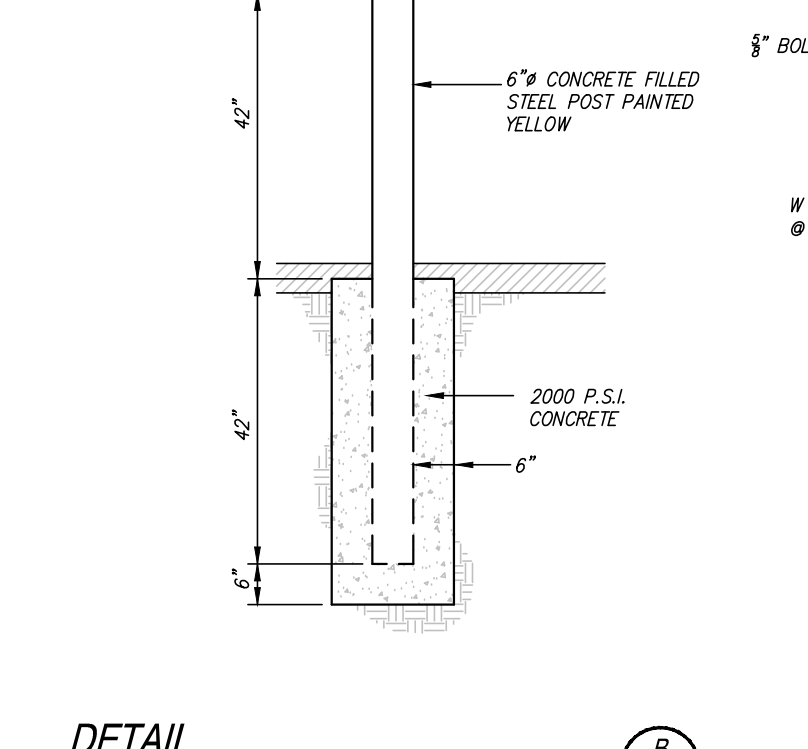
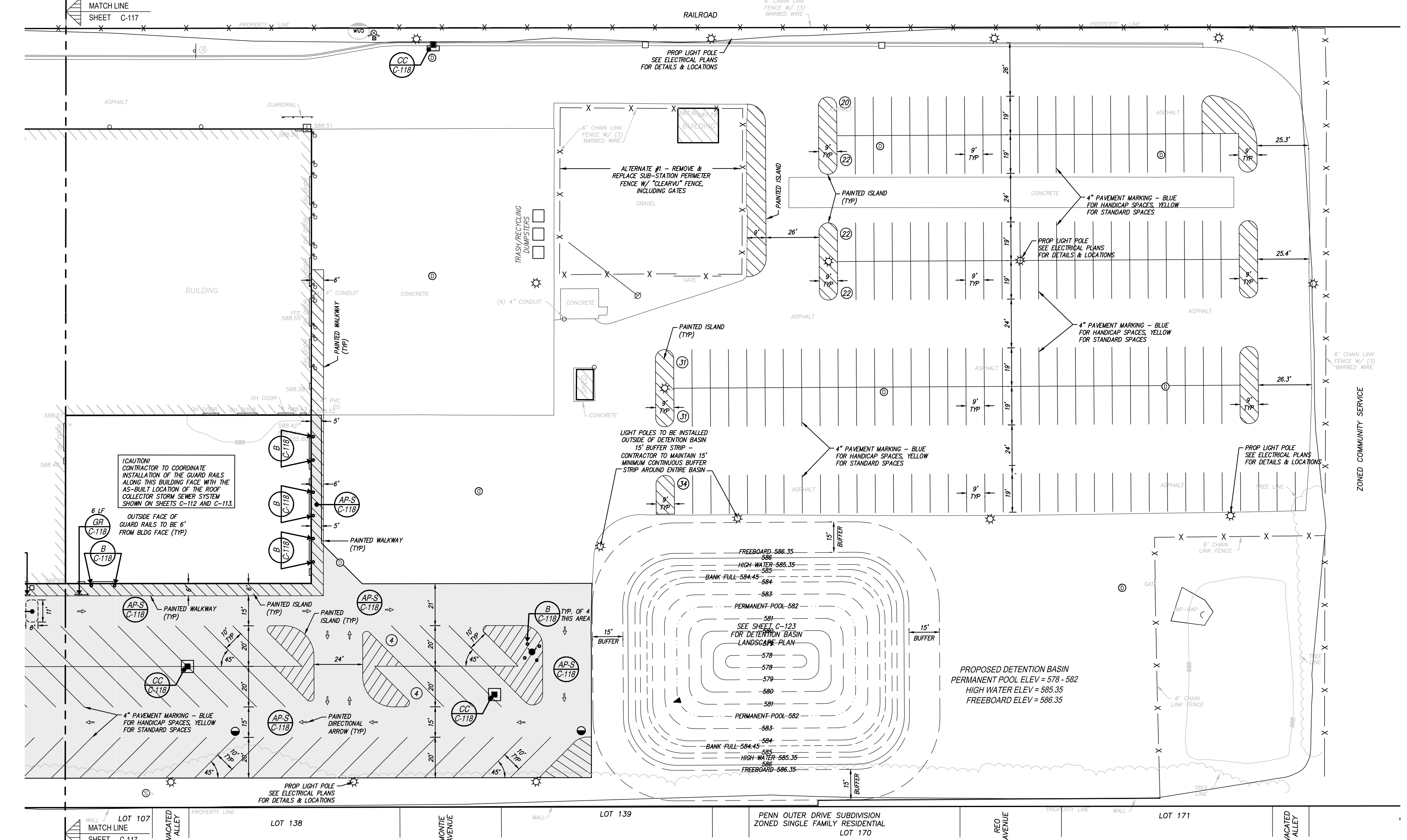
DETAIL MDOT DETAIL R-28-J MODIFIED SIDEWALK RAMP TYPE P (PARALLEL RAMP)



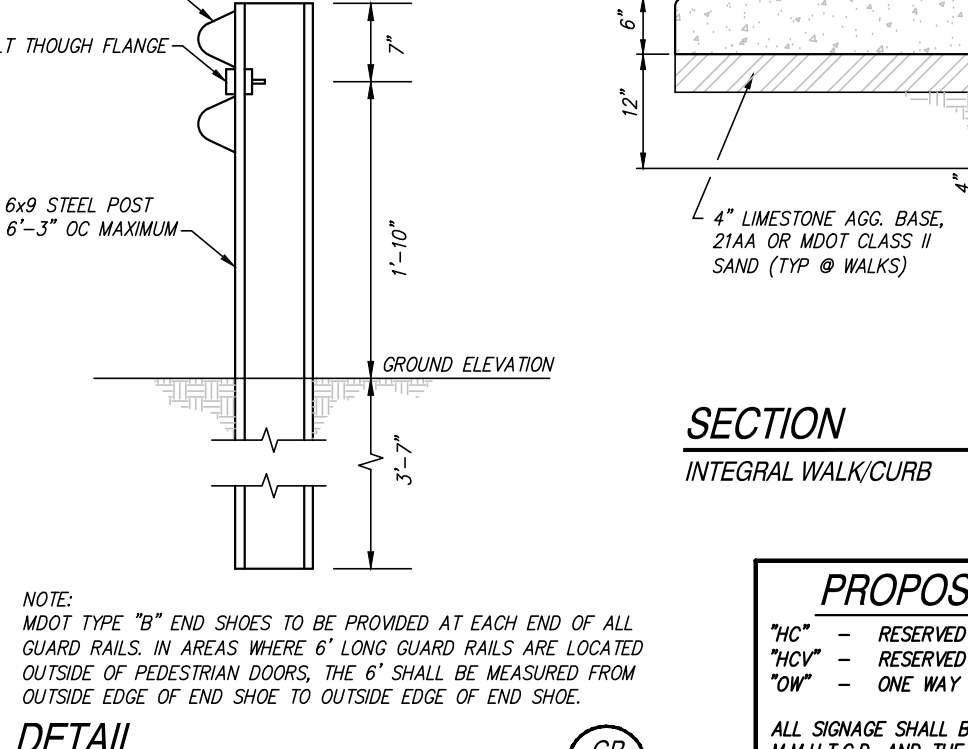
DETAIL MDOT DETAIL R-28-J MODIFIED SIDEWALK RAMP TYPE P (PARALLEL RAMP)

PARTIAL SITE - NEW WORK PAVING AND LAYOUT PLAN SOUTH

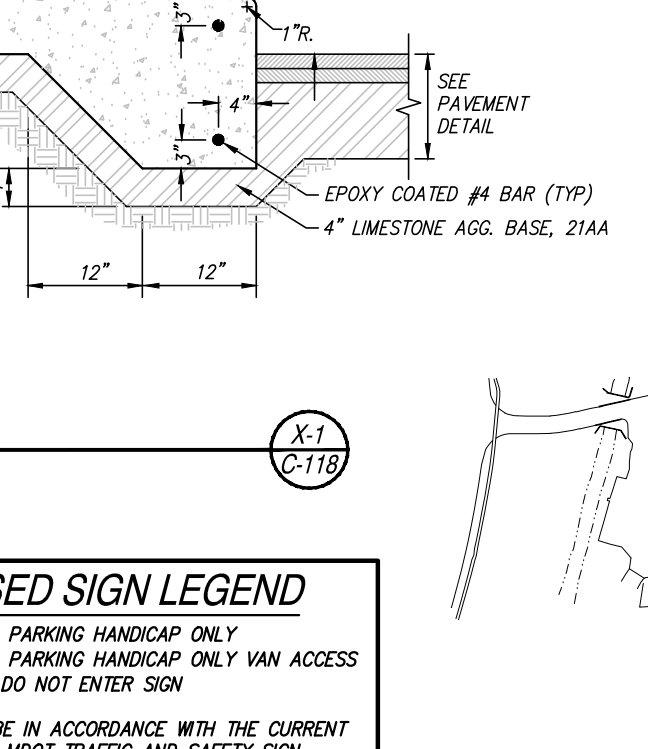
SCALE: 1" = 30'



DETAIL BOLLARD DETAIL

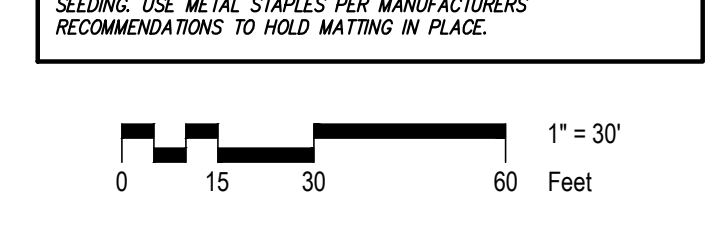


DETAIL GUARD RAIL DETAIL



SECTION INTEGRAL WALK/CURB

RESTORATION NOTE: RESTORE ALL NON-PAVED AREAS WITH 3 inch OF CLEAN TOPSOIL AND SEED MIX (30% KENTUCKY BLUEGRASS, 20% PERENNIAL PEGRAMMA, 50% GREENING RED FESCUE). PLACE MULCH IN ALL SEEDING AREAS ON SLOPES IN EXCESS OF 10% HORIZONTAL TO 1 VERTICAL PLACE NORTH AMERICAN GREEN SOYBEAN MULCH IMMEDIATELY AFTER SEEDING. USE METAL STAPLES PER MANUFACTURER'S RECOMMENDATIONS TO HOLD MULCH IN PLACE.



KEY PLAN NO SCALE

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UAW - FORD TECHNICAL TRAINING CENTER, 25500 OUTER DRIVE, LINCOLN PARK MI 48146. BUILDING SITE CODE: 5012.

CIVIL ENGINEER / SURVEYOR: SPALDING DeDECKER Engineers | Surveyors. 905 South Blvd. East, Rochester Hills, MI 48307.

DCS (Detroit) Single Design Inc. 163011, 163012, 163013, 163014, 163015, 163016, 163017, 163018, 163019, 163020, 163021, 163022, 163023, 163024, 163025, 163026, 163027, 163028, 163029, 163030, 163031, 163032, 163033, 163034, 163035, 163036, 163037, 163038, 163039, 163040, 163041, 163042, 163043, 163044, 163045, 163046, 163047, 163048, 163049, 163050, 163051, 163052, 163053, 163054, 163055, 163056, 163057, 163058, 163059, 163060, 163061, 163062, 163063, 163064, 163065, 163066, 163067, 163068, 163069, 163070, 163071, 163072, 163073, 163074, 163075, 163076, 163077, 163078, 163079, 163080, 163081, 163082, 163083, 163084, 163085, 163086, 163087, 163088, 163089, 163090, 163091, 163092, 163093, 163094, 163095, 163096, 163097, 163098, 163099, 163100.

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Revision table with columns for date, description, and initials. Includes entries for site plan review, bid, permit revisions, revision, issued for permits, 80% construction, 90% owner review, 60% submission, and parking layout.

IN CHARGE: TJS, DRAWN BY: TEL, DESIGNED BY: TEL, CHECKED BY: TJS, APPROVED BY: TJS. SHEET TITLE: PARTIAL SITE - NEW WORK PAVING AND LAYOUT PLAN SOUTH. SHEET NUMBER: C-118.

XREF: MP18201P  
XREF: MP18201M  
XREF: E5012-101-APM-000

**RESTORATION NOTE**  
RESTORE ALL NON-PAVED AREAS WITH 1" OF CLEAN TOPSOIL AND SEED MIX (30% KENTUCKY BLUEGRASS, 20% PERENNIAL Ryegrass, 50% CREEPING RED FESCUE), PLACE MULCH IN ALL SEEDING AREAS ON SLOPES IN EXCESS OF 10 HORIZONTAL TO 1 VERTICAL. PLACE NORTH AMERICAN GREEN D1550 MULCH BLANKET IMMEDIATELY AFTER SEEDING. USE METAL STRAKS PER MANUFACTURERS' RECOMMENDATIONS TO HOLD MATING IN PLACE.

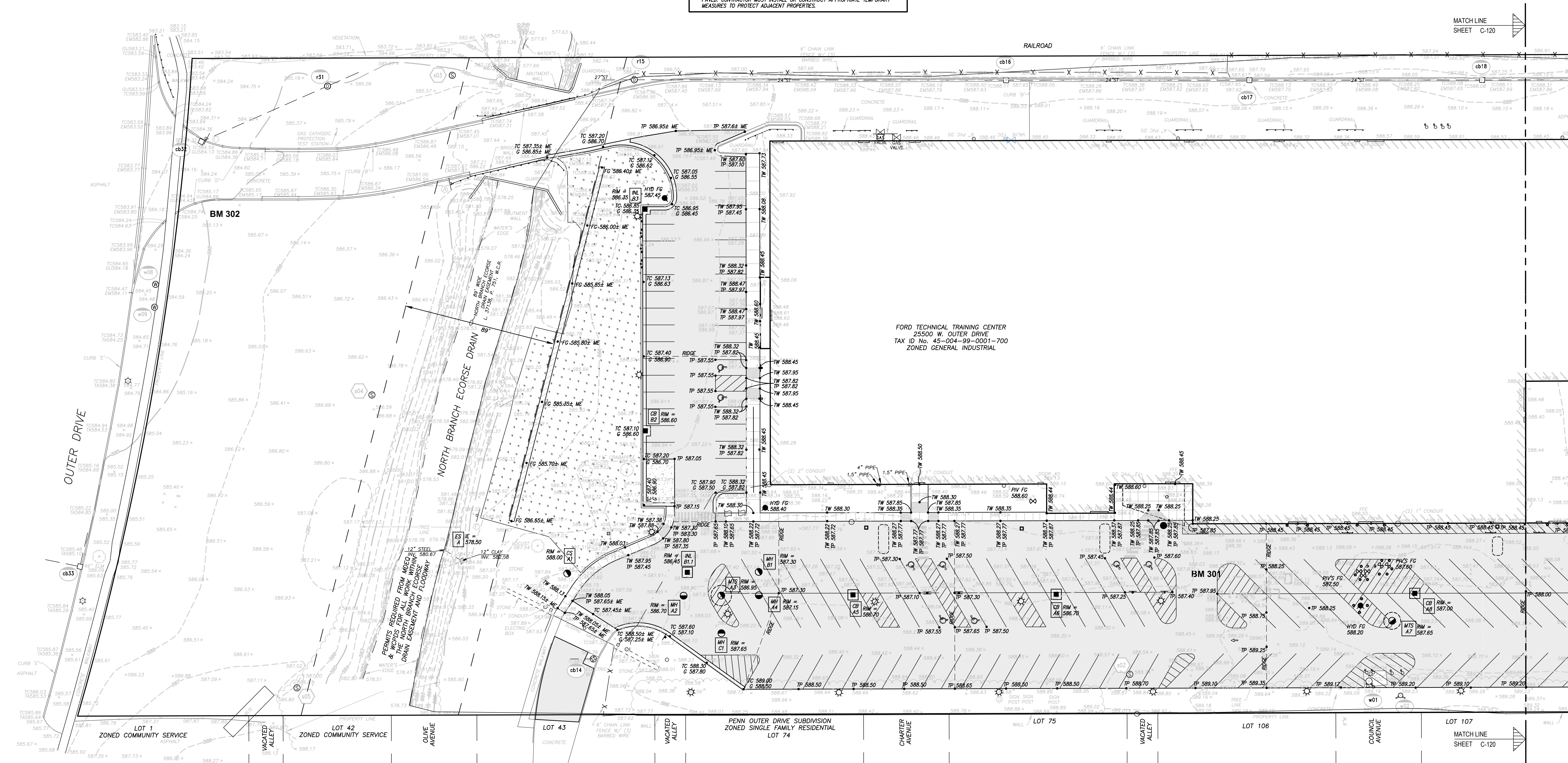
**GRADING NOTE**  
1. PROPOSED GRADES ARE SOMETIMES BASED ON AN INTERPOLATION OF DATA SHOWN ON THE TOPOGRAPHIC SURVEY. THIS INTERPOLATED DATA IS APPROXIMATE AND COULD DIFFER SLIGHTLY BASED ON THE ACCURACY OF THE SURVEY. CONTRACTOR SHALL VERIFY THAT THE PROPOSED GRADES SHOWN ON THIS PLAN WILL NOT CREATE A STANDING WATER CONDITION (IE: A LOW SPOT ON PAVEMENT SLOPES LESS THAN 1% ON AN UNSAFE CONDITION WITH SLOPES IN EXCESS OF 5% CONTRACTOR SHALL ADVISE ENGINEER IMMEDIATELY IF THEY BELIEVE THAT ONE OF THESE SITUATIONS WILL OCCUR BASED ON THE PROPOSED GRADES.  
2. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING STORMWATER RUNOFF DURING CONSTRUCTION OPERATIONS. OF PARTICULAR CONCERN WILL BE THE TIME PERIOD AFTER THE SITE HAS BEEN STRIPPED AND NOT YET RESTORED, BUILT UPON, OR PAVED. CONTRACTOR MUST INSTALL OR CONSTRUCT APPROPRIATE TEMPORARY MEASURES TO PROTECT ADJACENT PROPERTIES.

**GRADING LEGEND**

---	EXISTING ELEVATION
● TC 000.00	PROPOSED TOP OF CURB ELEVATION
○ 000.00	PROPOSED OUTER ELEVATION
○ 00 000.00	OUTSIDE GRADE ELEVATION
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
● TP 000.00	TOP OF PAVEMENT ELEVATION
● TW 000.00	TOP OF WALK ELEVATION
● FG 000.00	FINISH GRADE ELEVATION
● T/WALL 000.00	TOP OF WALL ELEVATION
● ME 000.00	MATCH EXISTING ELEVATION
→	FLOW ARROW

**LEGEND**

---	PROPOSED FIRE WATER MAIN	STANDARD BITUMINOUS PAVEMENT
---	PROPOSED SANITARY	CONCRETE PAVEMENT
---	PROPOSED HYDRANT	GREENSPACE RESTORATION
○	PROPOSED GATE VALVE & WELL (GVW)	UTILITY CROSSING (SEE DATA TABLE)
○	PROPOSED POST INDICATOR VALVE (PIV)	STRUCT. TYPE
○	PROPOSED SAN MANHOLE (SAN)	STRUCT. NO.
○	PROPOSED STORM MANHOLE (SM)	STRUCT. TYPE
○	PROPOSED CATCH BASIN (CB)	STRUCT. NO.
○	PROPOSED INLET (INL)	STRUCT. TYPE
○	PROPOSED END SECTION (ES)	STRUCT. NO.
○	PROPOSED FIELD CATCH BASIN (FCB) W/RETENTIVE COVER OR STANDING (SP) W/ GRATE COVER	STRUCT. TYPE



FORD TECHNICAL TRAINING CENTER  
25500 W. OUTER DRIVE  
TAX ID No. 45-004-99-0001-700  
ZONED GENERAL INDUSTRIAL

**PARTIAL SITE - NEW WORK GRADING PLAN NORTH**  
SCALE: 1" = 30'

**FORDLAND**  
330 TOWN CENTER DRIVE, SUITE 1100  
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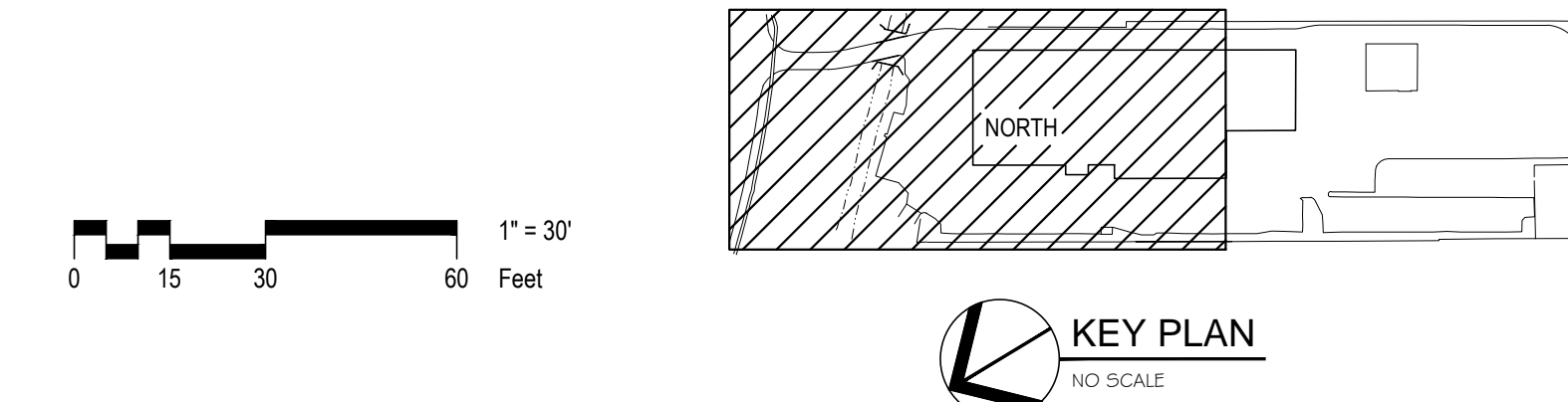
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**PARTIAL SITE - NEW WORK GRADING PLAN NORTH**  
FORD DWG NO. E5012-101  
SHEET NUMBER  
**C-119**



XREF: MP1829P  
XREF: MP1829L  
XREF: MP1829R  
XREF: E5012-101-APP1-500

**RESTORATION NOTE**  
RESTORE ALL UNPAVED AREAS WITH 1" OF CLEAN TOPSOIL AND SEED MIX (50% KENTUCKY BLUEGRASS, 20% PERENNIAL RYEGRASS, 30% CREeping RED FESCUE), PLACE MULCH IN ALL SEEDING AREAS ON SLOPES IN EXCESS OF 10 HORIZONTAL TO 1 VERTICAL. PLACE NORTH AMERICAN GREEN DISTO MULCH BLANKET IMMEDIATELY AFTER SEEDING. USE METAL STRIPS FOR MANUFACTURER'S RECOMMENDATIONS TO HOLD MATING IN PLACE.

**GRADING NOTE**  
1. PROPOSED GRADES ARE BASED ON AN INTERPOLATION OF DATA SHOWN ON THE TOPOGRAPHIC SURVEY. THIS INTERPOLATED DATA IS APPROXIMATE AND COULD DIFFER SLIGHTLY BASED ON THE ACCURACY OF THE SURVEY. CONTRACTOR SHALL VERIFY THAT THE PROPOSED GRADES SHOWN ON THIS PLAN WILL NOT CREATE A STANDING WATER CONDITION (I.E. A LOW SPOT OR PAVED SLOPES LESS THAN 1% ON AN UNSAFE CONDITION WITH SLOPES IN EXCESS OF 5%. CONTRACTOR SHALL ADVISE ENGINEER IMMEDIATELY IF THEY BELIEVE THAT ONE OF THESE SITUATIONS WILL OCCUR BASED ON THE PROPOSED GRADES.  
2. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING STORMWATER RUNOFF DURING CONSTRUCTION OPERATIONS. OF PARTICULAR CONCERN WILL BE THE TIME PERIOD AFTER THE SITE HAS BEEN STRIPPED AND NOT YET RESTORED, BUILT UPON, OR PAVED. CONTRACTOR MUST INSTALL OR CONSTRUCT APPROPRIATE TEMPORARY MEASURES TO PROTECT ADJACENT PROPERTIES.

**GRADING LEGEND**

---	EXISTING ELEVATION
● TC 000.00	PROPOSED TOP OF CURB ELEVATION
○ 0 000.00	PROPOSED OUTER ELEVATION
● 00 000.00	OUTSIDE GRADE ELEVATION
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
TP 000.00	TOP OF PAVEMENT ELEVATION
TW 000.00	TOP OF WALK ELEVATION
FG 000.00	FINISH GRADE ELEVATION
T/WALL 000.00	TOP OF WALL ELEVATION
ME 000.00	MATCH EXISTING ELEVATION
→	FLOW ARROW

**LEGEND**

---	PROPOSED FIRE WATER MAIN	STANDARD BITUMINOUS PAVEMENT
---	PROPOSED SANITARY	CONCRETE PAVEMENT
○	PROPOSED HYDRANT	GREENSPACE RESTORATION
●	PROPOSED GATE VALVE & WELL (GVW)	UTILITY CROSSING (SEE DATA TABLE)
○	PROPOSED POST INDICATOR VALVE (PIV)	STORM STRUCTURE
●	PROPOSED SAN MANHOLE (SAN)	CP 2 --- STRUCT. TYPE
●	PROPOSED STORM MANHOLE (SM)	STRUCT. NO.
■	PROPOSED CATCH BASIN (CB)	SANITARY STRUCTURE
■	PROPOSED INLET (INL)	20 --- STRUCT. NO.
▶	PROPOSED END SECTION (ES)	WATERMAIN STRUCTURE
○	PROPOSED FIELD CATCH BASIN (FCB) WHEREVER OTHER OR STANDARD (SP) W/ 6" GRATE COVER	10 XXX --- STRUCT. NO.

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USA

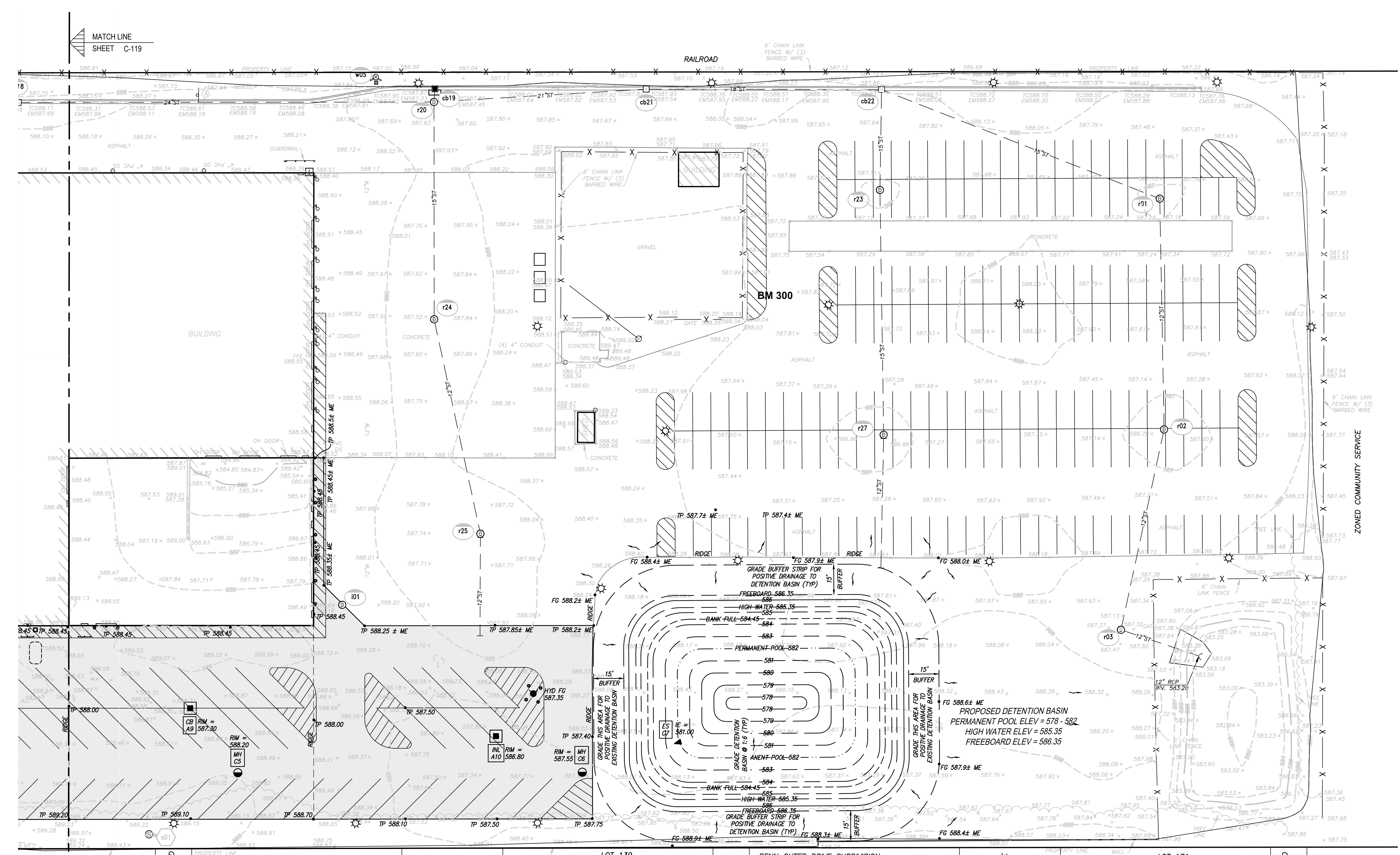
**UAW - FORD TECHNICAL TRAINING CENTER**  
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LINCOLN PARK MI 48146

BUILDING SITE CODE: 5012  
FORD PROJECT NUMBER:

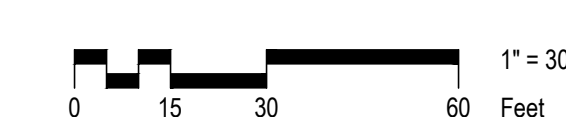
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**PARTIAL SITE - NEW WORK GRADING PLAN SOUTH**  
SCALE: 1" = 30'



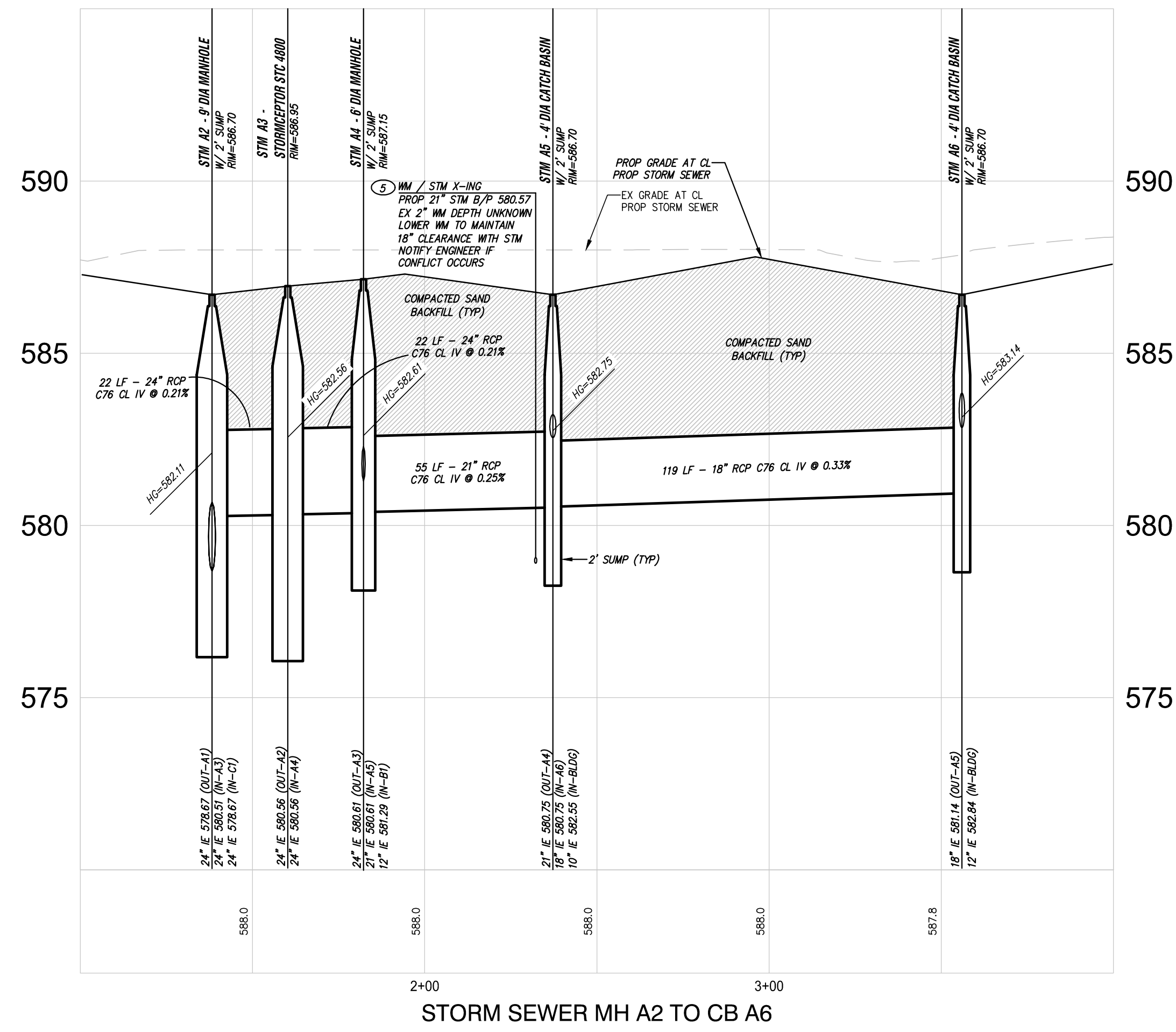
**KEY PLAN**  
NO SCALE

08.14.2017	• SITE PLAN REVIEW
08.04.2017	• BID
07.07.2017	• PERMIT REVISIONS
06.23.2017	• REVISION
06.30.2017	• ISSUED FOR PERMITS
04.10.2017	• BID/CONSTRUCTION
02.27.2017	• 90% OWNER REVIEW
02.13.2017	• 60% SUBMISSION
01.31.2017	• PARKING LAYOUT
DATE	ISSUED FOR

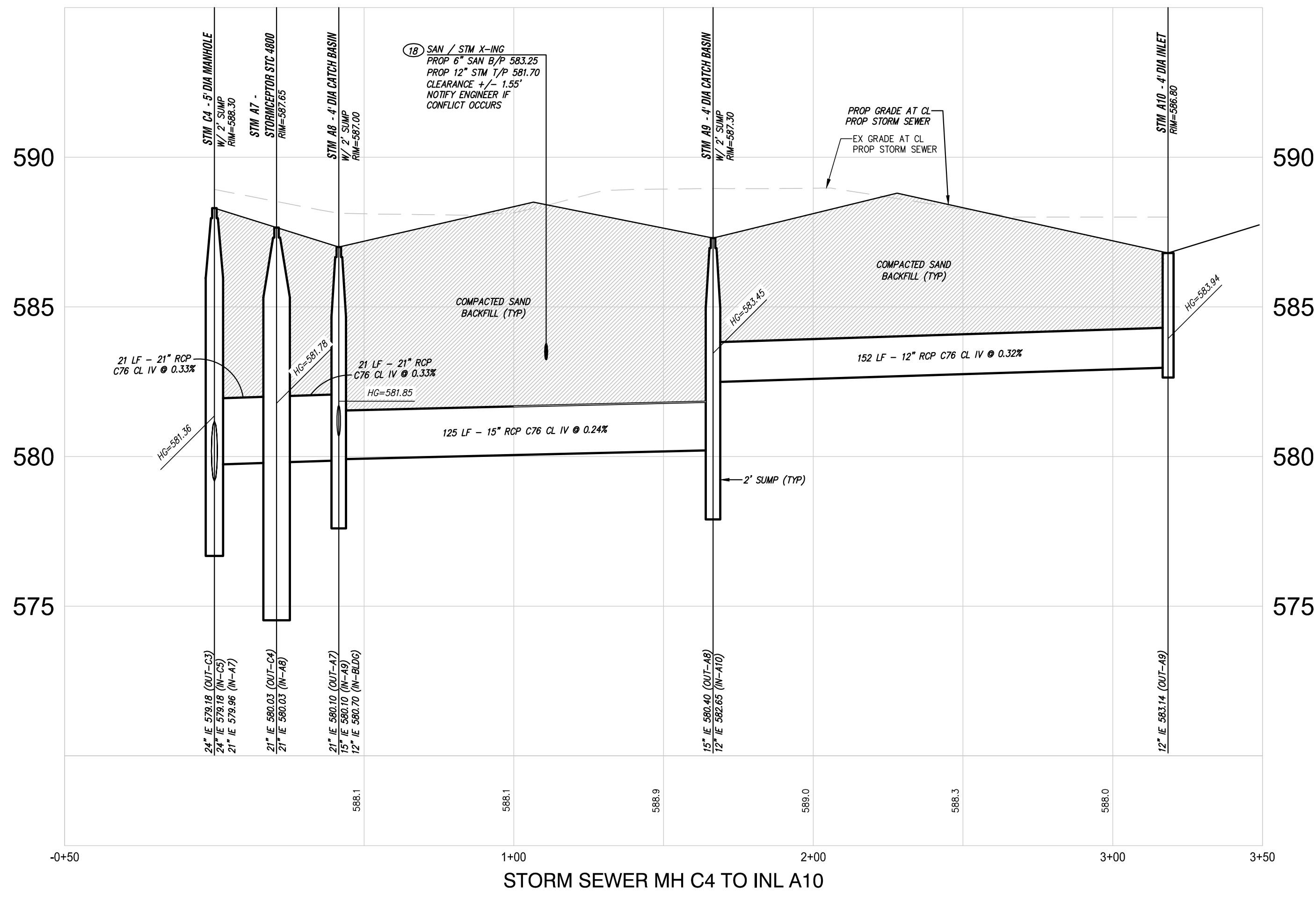
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DRAWN BY:	TEL
DESIGNED BY:	TEL
CHECKED BY:	TJS
APPROVED BY:	TJS

**PARTIAL SITE - NEW WORK GRADING PLAN SOUTH**  
FORD DWG NO. E5012-101  
REV. #  
**C-120**

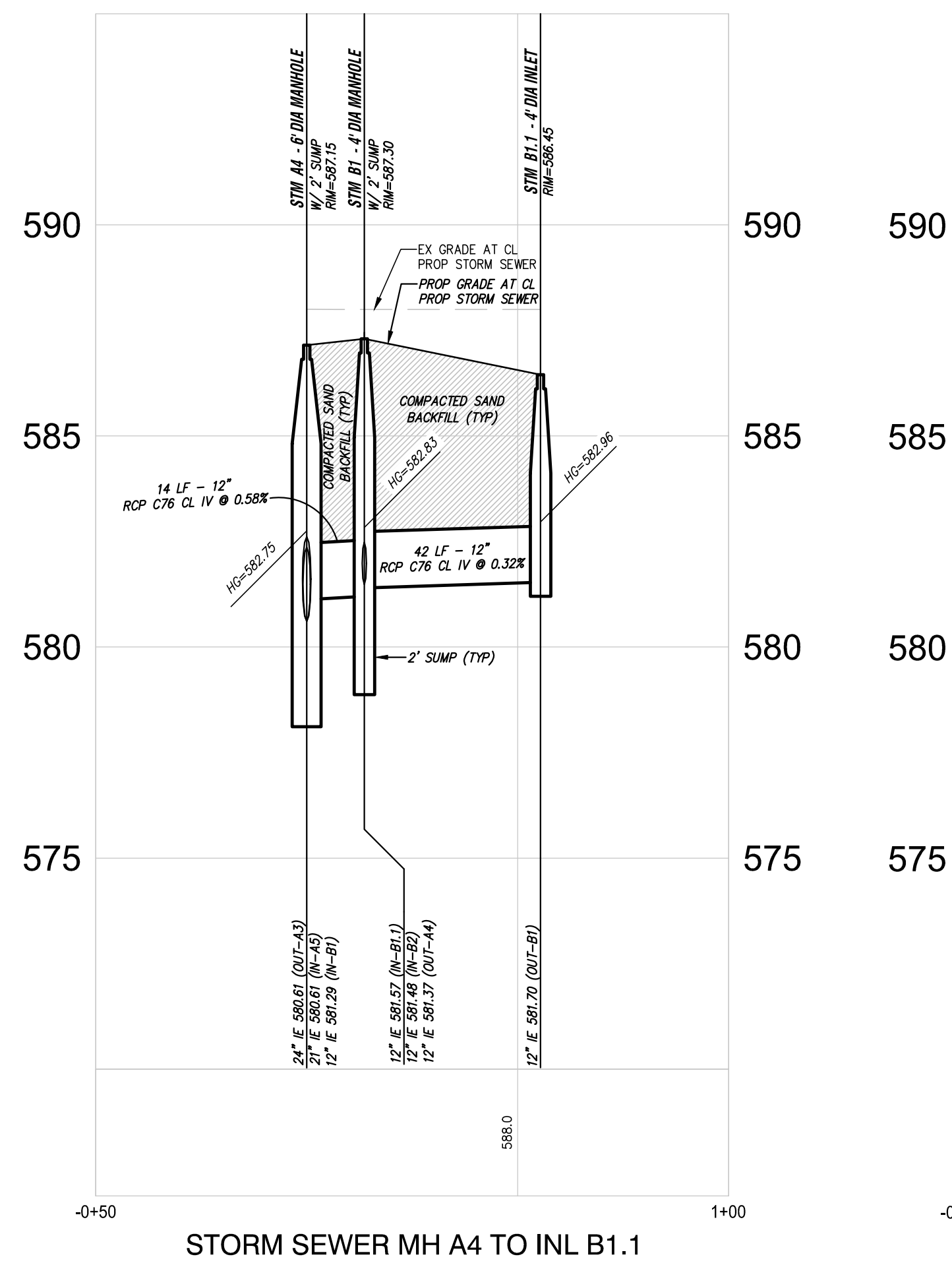
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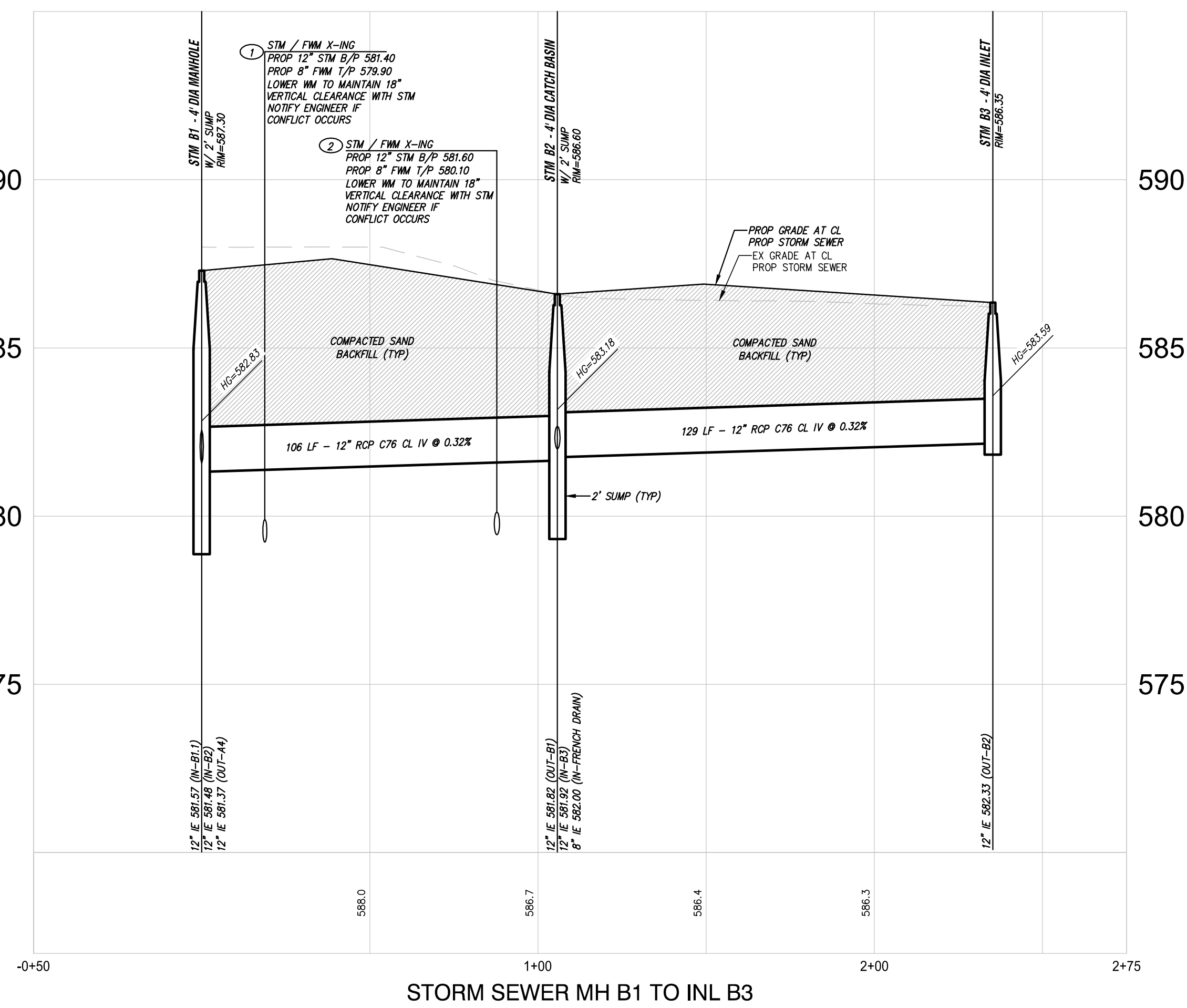
STORM SEWER MH A2 TO CB A6



STORM SEWER MH C4 TO INL A10



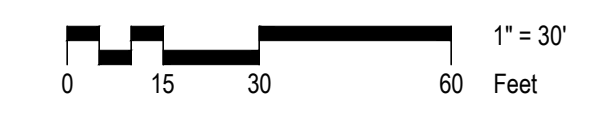
STORM SEWER MH A4 TO INL B1.1



STORM SEWER MH B1 TO INL B3

OVERALL SITE - NEW WORK  
 STORM SEWER PROFILES

SCALE: HORIZ. 1" = 30'  
 VERT. 1" = 3'



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08.04.2017	BID
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06.30.2017	ISSUED FOR PERMITS
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02.27.2017	60% OWNER REVIEW
02.13.2017	60% SUBMISSION
01.31.2017	PARKING LAYOUT
DATE	ISSUED FOR

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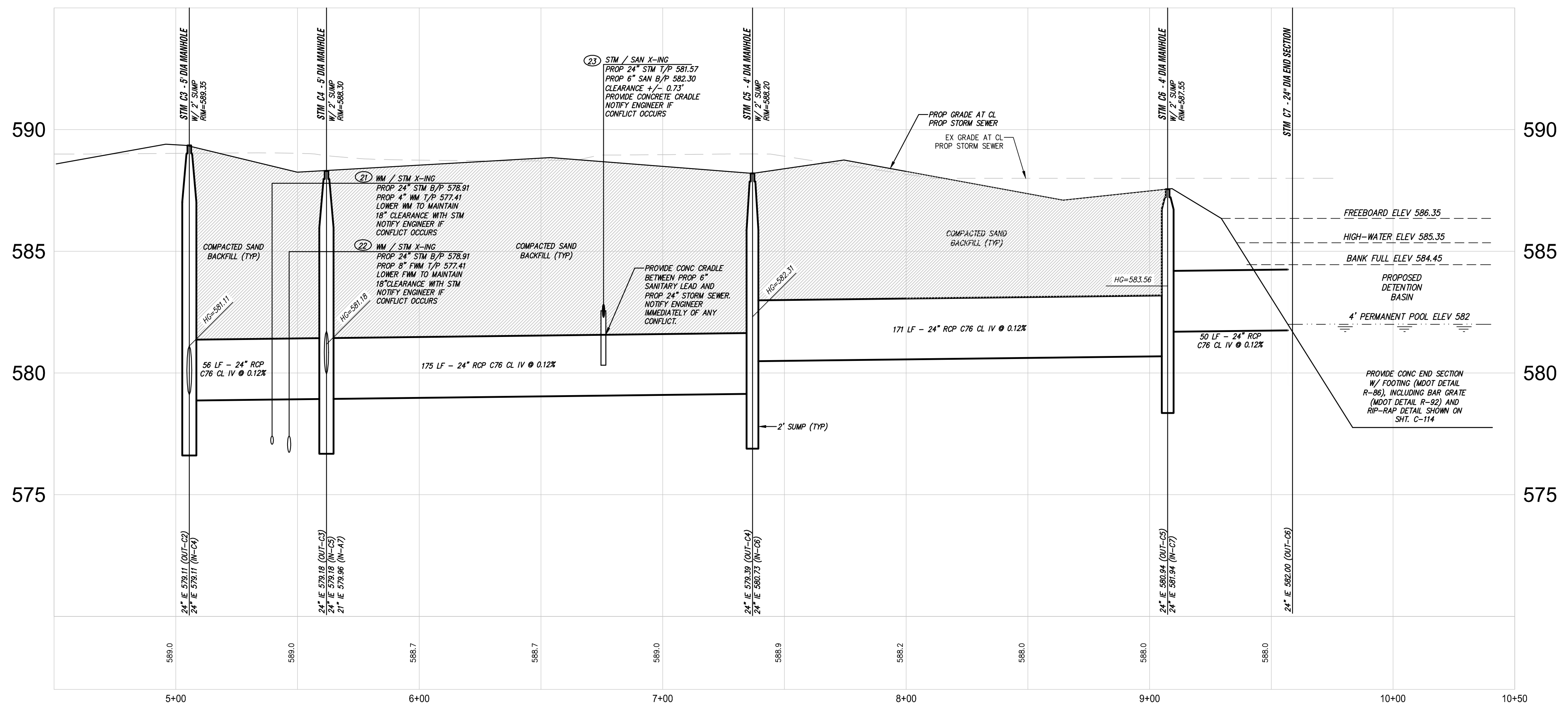
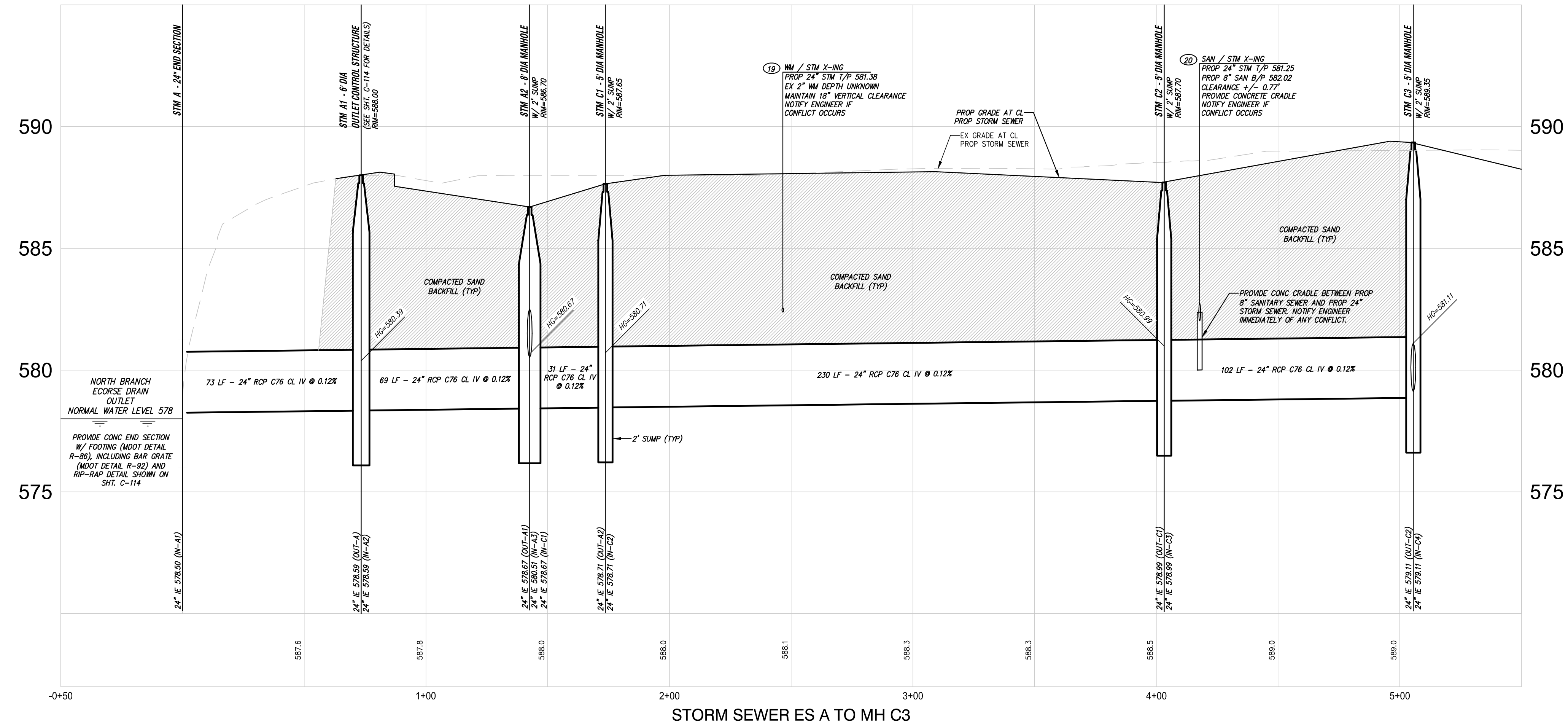
SHEET TITLE  
**OVERALL SITE - NEW WORK  
 STORM SEWER PROFILES 1**

FORD DWG NO. E5012-101 REV. #

SHEET NUMBER  
**C-121**

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 XREF: M162951P  
 XREF: M162951P  
 XREF: E5012-101-000-PLAN



**OVERALL SITE - NEW WORK  
 STORM SEWER PROFILES 2**

SCALE: HORIZ. 1" = 30'  
 VERT. 1" = 3'



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07.07.2017	PERMIT REVISIONS
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01.31.2017	PARKING LAYOUT
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SHEET TITLE  
**OVERALL SITE - NEW WORK  
 STORM SEWER PROFILES 2**  
 FORD DWG NO. E5012-101 REV. #  
 SHEET NUMBER  
**C-122**



XREF: NP16291P  
XREF: NP16292P  
XREF: NP16293P  
XREF: E5102-101-APP1-000

**Native Plants for Pond Zone (minimum 4 species)**

Scientific Name	Common Name	Spacing (inches on center)	Scientific Name	Common Name	Spacing (inches on center)
<i>Acorus calamus</i>	Sweet flag	24	<i>Polygonum amphibium</i>	Water knotweed	36
<i>Carex lasiocaris</i>	Common lake sedge	24	<i>Potamogeton pectinatus</i>	Pickered weed	24
<i>Cephalanthus occidentalis</i>	Butterbush	5 feet	<i>Potamogeton natans</i>	Common pondweed	36
<i>Decodon verticillatus</i>	Swamp Loosetrife	24	<i>Potamogeton zosterifolius</i>	Sago pondweed	36
<i>Elydaea canadensis</i>	Common waterweed	36	<i>Sagittaria latifolia</i>	Common arrowhead	24
<i>Hibiscus laevis</i>	Halberd-leaved rose mallow	24	<i>Scirpus acutus</i>	Hard-stemmed bulrush	18
<i>Hibiscus palustris</i>	Swamp rose mallow	24	<i>Scirpus atrovirens</i>	Dark green rush	18
<i>Iris virginica</i>	Blue flag iris	18	<i>Scirpus capricornis</i>	Wool grass	24
<i>Justicia americana</i>	Water willow	5 feet	<i>Scirpus fluvialis</i>	River bulrush	18
<i>Nelumbo lutea</i>	Lotus	48	<i>Scirpus validus</i>	Great bulrush	18
<i>Najas advena</i>	Yellow pond lily	36	<i>Spartanium angustifolium</i>	American bar reed	18
<i>Nymphaea tuberosa</i>	White water lily	36	<i>Spartanium angustifolium</i>	Common bar reed	18
<i>Peltandra virginica</i>	Arrow arum	18	<i>Vallisneria spiralis</i>	Tape grass	36

Note: Plant species selected should cover 25% of the pond zone and should also cover the range of water depths within the pond zone (0 to 10 ft). (For example, 4 plant species may not all be placed at an 18-inch water depth covering 25% of the pond zone.)

**OPEN DETENTION BASINS: EDGE ZONE VEGETATION**

A variety of trees, shrubs, wildflowers, and grasses may be planted in the edge zone along the banks of detention basins. A native wetland edge or native sedge meadow seed mix is recommended.

Scientific Name	Common Name	Scientific Name	Common Name
<i>Carex lasiocaris</i>	Bottlebrush sedge	<i>Juncus effusus</i>	Common rush
<i>Carex vulpinoidea</i>	Brown fox sedge	<i>Leersia oryzoides</i>	Rice cut grass
<i>Echinochloa crusgalli</i>	Barnyard grass	<i>Scirpus acutus</i>	Hard-stemmed bulrush
<i>Elymus canadensis</i>	Canada wild rye	<i>Scirpus atrovirens</i>	Dark green rush
<i>Glyceria striata</i>	Fowl manna grass	<i>Scirpus pungens</i>	Chairmaker's rush
		<i>Scirpus validus</i>	Great bulrush (softstem)

Scientific Name	Common Name	Scientific Name	Common Name
<i>Acorus calamus</i>	Sweet flag		
<i>Actinomeria alternifolia</i>	Wingstem	<i>Mimulus ringens</i>	Monkey flower
<i>Alisma subcordatum</i>	Common water plantain	<i>Peltandra virginica</i>	Arrow arum
<i>Asclepias incarnata</i>	Swamp milkweed	<i>Polygonum pennsylvanicum</i>	Pinkweed
<i>Aster simplex</i>	Panicled aster	<i>Potamogeton cordata</i>	Pickered weed
<i>Bidens spp.</i>	Mulens, various	<i>Rosa palustris</i>	Swamp rose
<i>Canna hebeocarpa</i>	Wild canna	<i>Rudbeckia hirta</i>	Wild golden glow
<i>Eupatorium perfoliatum</i>	Common bonset	<i>Sagittaria latifolia</i>	Common arrowhead
<i>Helianthus autumnale</i>	Sneezeweed	<i>Spiraea alba</i>	Meadowsweet
<i>Iris virginica</i>	Blue flag iris	<i>Verbena hastata</i>	Blue vervain
<i>Lachytia alternifolia</i>	Seedbox	<i>Veronica fasciculata</i>	Common ironweed

Scientific Name	Common Name	Scientific Name	Common Name
<i>Alnus rugosa</i>	Speckled alder	<i>Ilex verticillata</i>	Winterberry (MI Italy)
<i>Artemisia vulgaris</i>	Black chokeberry	<i>Potentilla fruticosa</i>	Shrub cinquefoil
<i>Betula pumila</i>	Bog birch	<i>Sambucus canadensis</i>	Elderberry
<i>Cephalanthus occidentalis</i>	Butterbush (plant in min. 4" water)	<i>Spiraea alba</i>	Meadowsweet
<i>Cornus amomum</i>	Silly dogwood	<i>Viburnum lentago</i>	Nannyberry
<i>Cornus stolonifera</i>	Red-clover dogwood	<i>Viburnum trilobum</i>	American highbush cranberry

Scientific Name	Common Name	Scientific Name	Common Name
<i>Acer saccharinum</i>	Silver maple	<i>Quercus bicolor</i>	Swamp white oak
<i>Betula nigra</i>	River birch	<i>Liquidambar styraciflua</i>	Sweetgum
<i>Carpinus caroliniana</i>	American hornbeam	<i>Liriodendron tulipifera</i>	Tuliptree
<i>Nyssa sylvatica</i>	Black gum	<i>Quercus palustris</i>	Pink oak
<i>Platanus occidentalis</i>	Sycamore	<i>Salix nigra</i>	Black willow

Scientific Name	Common Name	Scientific Name	Common Name
<i>Colymboparis canadensis</i>	Blue joint grass	<i>Glyceria striata</i>	Fowl manna grass
<i>Carex comosa</i>	Bristly sedge	<i>Juncus effusus</i>	Common rush
<i>Carex hystericina</i>	Porcupine sedge	<i>Leersia oryzoides</i>	Rice cut grass
<i>Carex stricta</i>	Common tussock sedge	<i>Panicum virgatum</i>	Switch grass
<i>Carex vulpinoidea</i>	Brown fox sedge	<i>Scirpus atrovirens</i>	Dark green rush
<i>Echinochloa crusgalli</i>	Barnyard grass	<i>Scirpus validus</i>	Great bulrush
<i>Elymus canadensis</i>	Canada wild rye	<i>Spartina pectinata</i>	Prairie cord grass

Scientific Name	Common Name	Scientific Name	Common Name
<i>Agalinis tenuifolia</i>	Slender false froglove	<i>Juncus effusus</i>	Common rush
<i>Alisma subcordatum</i>	Common water plantain	<i>Liatris spicata</i>	Marsh blazing star
<i>Angelica atropurpurea</i>	Great angelica	<i>Lobelia cardinalis</i>	Cardinal flower
<i>Asclepias incarnata</i>	Swamp milkweed	<i>Lobelia siphilitica</i>	Great blue lobelia
<i>Aster nasutus</i>	New England aster	<i>Ludwigia alternifolia</i>	Seedbox
<i>Aster paniculatus</i>	Bristly aster	<i>Peltandra virginica</i>	Arrow arum
<i>Aster simplex</i>	Panicled aster	<i>Physostegia virginiana</i>	Obedient plant
<i>Aster umbellatus</i>	Flat-top aster	<i>Pycnanthemum virginianum</i>	Common mountain mint
<i>Bidens cernua</i>	Nodding burr marigold	<i>Sagittaria latifolia</i>	Common arrowhead
<i>Canna hebeocarpa</i>	Wild canna	<i>Sagittaria perfoliata</i>	Cup plant
<i>Cornus rugosa</i>	Yell. dogwood	<i>Scilla maritima</i>	Rough pinkroot
<i>Eupatorium maculatum</i>	Spotted Joe-pye-weed	<i>Spartanium angustifolium</i>	Common bar reed
<i>Eupatorium perfoliatum</i>	Common bonset	<i>Spiraea alba</i>	Meadowsweet
<i>Geranium andrewsii</i>	Bottle gentian	<i>Verbena hastata</i>	Blue vervain
<i>Helianthus autumnale</i>	Sneezeweed	<i>Veronica fasciculata</i>	Common ironweed
<i>Iris virginica</i>	Blue flag iris	<i>Zizia aurea</i>	Golden alexanders

Notes:  
• An quick growing species such as annual rye grass (*Lolium multiflorum*) and species which will provide the permanent cover (e.g., seed oats) should also be included in all Upland Zone seed mixes.  
• These native plants are appropriate for the Upland Zone; from the bank full elevation to the 100-year flood elevation and beyond. This seed selection consists of sedge meadow, wet-to-mesic prairie, and dry-to-mesic prairie plant species.

Scientific Name	Common Name	Scientific Name	Common Name
<i>Ceanothus americanus</i>	New Jersey tea (dry-mesic)	<i>Lindera benzoin</i>	Spicebush (mesic)
<i>Cornus foemina</i>	Grey dogwood	<i>Physocarpus opulifolius</i>	Ninebark (dry or mesic)
<i>C. racemosa</i>	(dry to wet-mesic)	<i>Rhus aromatica</i>	Fragrant sumac (dry)
<i>Corylus americana</i>	American hickory (dry or mesic)	<i>Sambucus canadensis</i>	Elderberry (wet-mesic)
<i>Hamamelis virginiana</i>	Witch-hazel (dry-mesic)	<i>Viburnum dentatum</i>	Arrowwood (dry-mesic)

Scientific Name	Common Name	Scientific Name	Common Name
<i>Acer rubrum</i>	Red maple (mesic)	<i>Cercis canadensis</i>	Redbud (mesic)
<i>Acer saccharum</i>	Sugar maple (mesic)	<i>Cyatopus crugalli</i>	Cockspur hawthorn (dry)
<i>Amelanchier arborea</i>	Serv. viberry (huckleberry) (dry or mesic)	<i>Gymnocladia dioica</i>	Kentucky coffeetree (mesic)
<i>Betula alleghaniensis</i>	Yellow birch (mesic)	<i>Ostrya virginiana</i>	Hip-hornbeam Ironwood (dry-mesic)
<i>Carya cordiformis</i>	Bitternut hickory (mesic)	<i>Quercus alba</i>	White oak (mesic)
<i>Carya glabra</i>	Pignut hickory (dry)	<i>Quercus imbricaria</i>	Shingle oak (mesic)
<i>Carya laciniosa</i>	Shallbark hickory (mesic)	<i>Quercus macrocarpa</i>	Bar oak (dry or mesic)
<i>Carya ovata</i>	Shagbark hickory (dry-mesic)	<i>Quercus prinus</i>	Chickapin oak (dry or mesic)
<i>Colts occidentalis</i>	Hackberry (mesic)	<i>Quercus prinoides</i>	Dwarf chinkapin oak (dry)
<i>Colts tenuifolia</i>	Dwarf hackberry (dry-mesic)	<i>Quercus rubra</i>	Red Oak (mesic)
		<i>Tilia americana</i>	American basswood (mesic)

Note: These plants range from dry to mesic according to the moisture conditions in the Upland Zone. Small sizes of native trees and shrubs may be proposed to increase plant diversity. The total tree caliper inches must equal the calculated caliper inches of required trees.

**LANDSCAPE LEGEND**

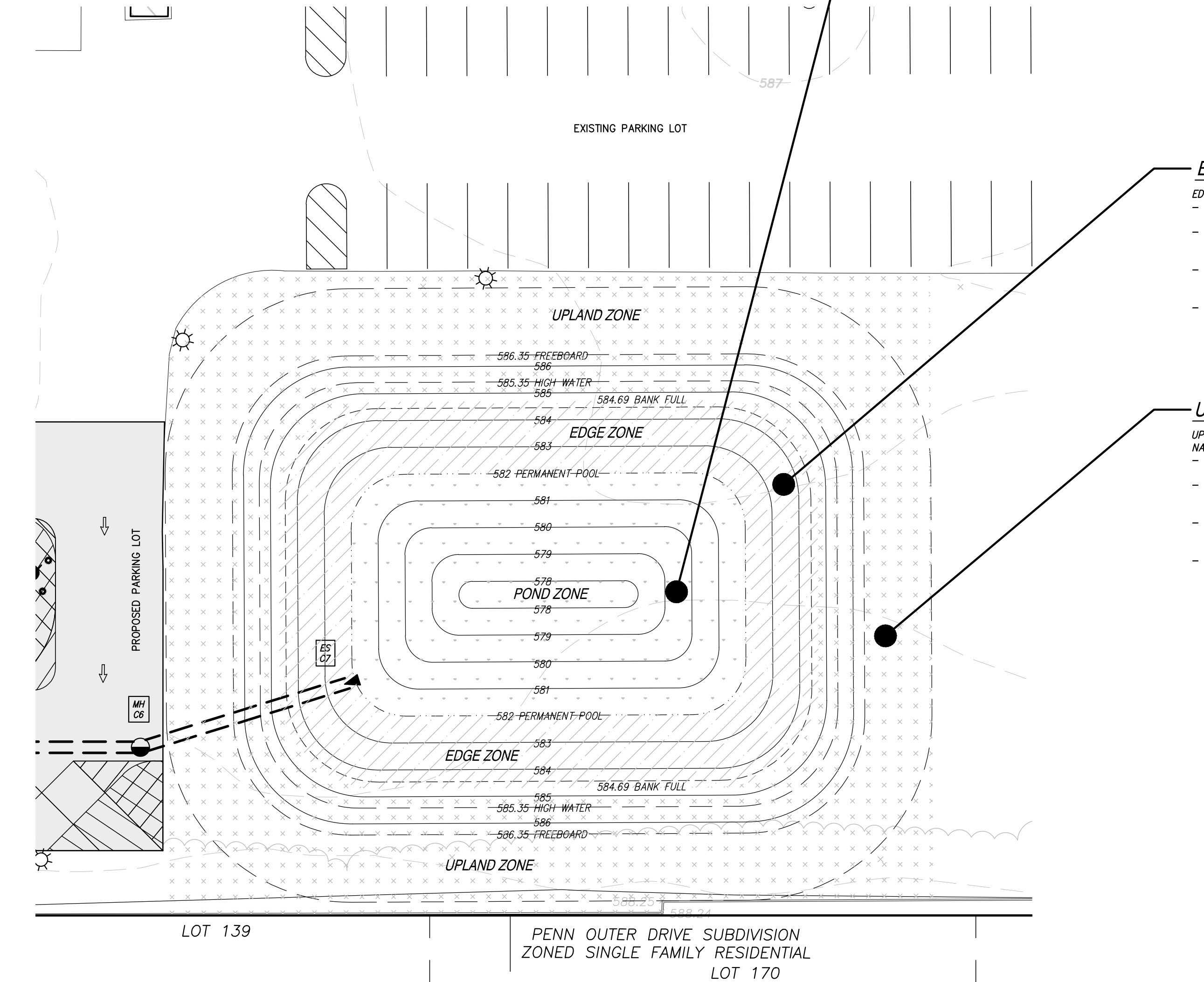
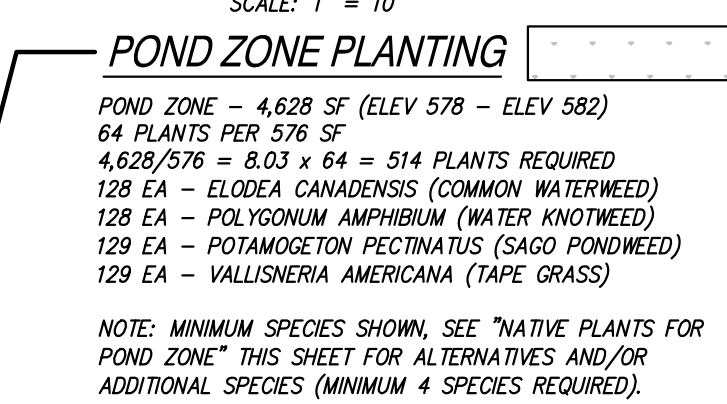
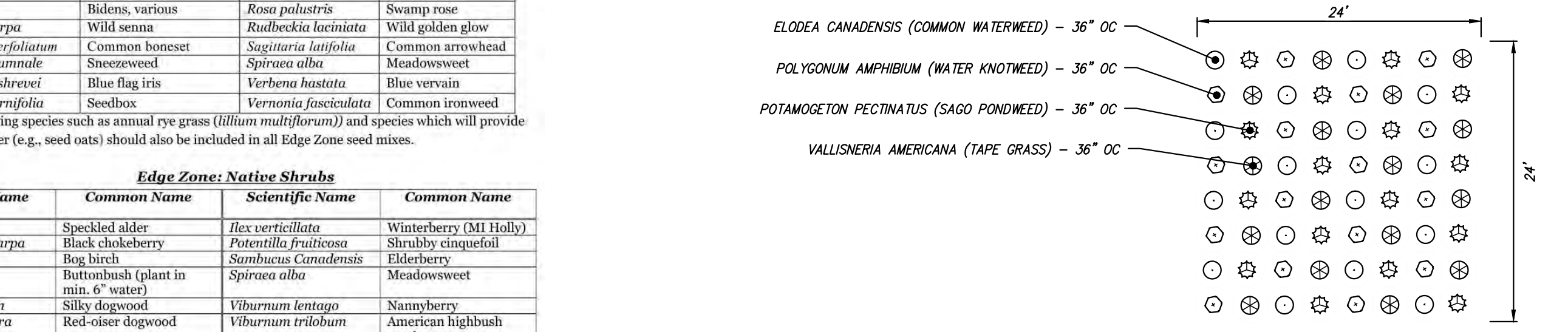
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- EDGE ZONE - 5,329 SF (ELEV 582 TO ELEV 584.69)
- UPLAND ZONE - 14,300 SF (ELEV 584.69 TO BUFFER LIMITS)

**LANDSCAPE PLAN GENERAL NOTES**

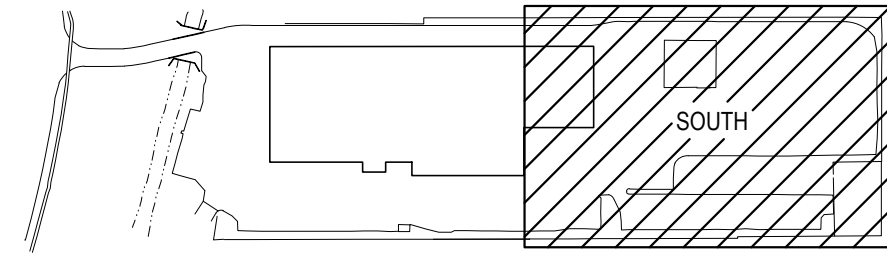
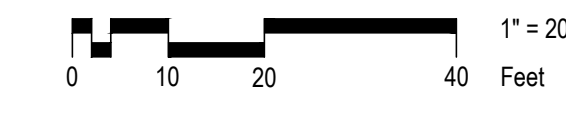
- AREA TO BE PLANTED AND SEEDS SHALL BE PREPARED WITH AT LEAST 3 INCHES DEEP, ALL LARGE CLODS AND LIMPS SHALL BE PULVERIZED, AND ROCKS, ROOTS AND OTHER FOREIGN MATTER SHALL BE RAKED OUT. THE AREA SHALL BE GRADED AND MADE SMOOTH AND UNIFORM TO CONFORM TO THE FINISHED GRADES AND CROSS SECTIONS SHOWN ON THE CONSTRUCTION PLANS. EARTH-FRIENDLY FORMULATION FERTILIZERS SHALL BE APPLIED JUST PRIOR TO PLANTING AND SEEDING.
- ALL PLANT MATERIAL AND PLANTING APPLICATIONS SHALL MEET ALL GUIDELINES SET BY THE AMERICAN STANDARD OF NURSERY STOCK.
- ALL PLANT STOCK SHOULD BE GROWN BY SUPPLIERS OR NURSERIES CERTIFIED BY THE MICHIGAN NATIVE PLANT PRODUCERS ASSOCIATION.
- ALL SEEDS ARE TO BE PROPERLY STABILIZED WITH A MULCH BLANKET PEGGED IN PLACE.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT WAJNE COUNTY STORM WATER STANDARDS MANUAL, MOST SPECIFICALLY CHAPTER 8, SECTION 1, DETENTION AND RETENTION, INCLUDING ATTACHMENTS "A" AND "B".

**DETENTION BASIN LANDSCAPE MAINTENANCE PLAN**

- Inspect and clean the storm sewer system and catch basins upstream from the detention basin (every five years or as needed).
- Inspect for sediment accumulation at the inlet pipes and remove sediment which may be impeding flow (semi-annually and after rain events).
- Inspect inlets, outlets, and appurtenances (e.g., gates) annually for structural integrity.
- Check the outlets regularly for clogging and clean when necessary, especially after large storm events.
- Inspect the stone around riser-type outlet structures semi-annually and after rain events. If stone has accumulated sediment, vegetation and/or debris to an extent that water is not flowing through the stone and out of the pond as originally designed, then the stone should be replaced.
- Check for floatables and debris and remove as necessary.
- Remove dead vegetation that obstructs flow (early spring).
- Check banks and bottom for erosion, and regrade or reshape as necessary (annually).
- Remove sediment when accumulation reaches 6 - 12 inches or if resuspension is observed.
- Re-seed banks near inlet/outlet and stabilize eroded banks as necessary.
- Inspect detention basin and buffer strip zone for invasive species such as purple loosestrife, phragmites, buckthorn (common & glossy), honeysuckle and autumn olive that out-compete native vegetation (annually - July).
- Have a professional selectively remove invasive species (annually, July-August). Purple loosestrife flower heads can be clipped off to reduce seed production until plant removal may be achieved. If woody debris is cut, the cut should be four inches above the ground surface and the stumps should be treated with herbicide immediately after cutting, and monitor for sucker growth. Use of chemicals within the pond (e.g., for control of algae or invasive species) requires a permit from the MDEQ.
- Plantings must be monitored for two years after establishment. Replacement will be necessary as determined by the agency having jurisdiction over the system.
- During the first two growing seasons, all areas planted with native prairie seed mix should be mowed three times at a height of 6-8 inches in order to control weeds. Beginning in the third year, a burning or mowing regimen should be instituted, either burning or mowing once in spring, or once in the fall.
- Except as described herein, ensure that no mowing, chemical application, or construction has occurred in the buffer strip (annually). If it has, take corrective action to ensure these activities do not occur in the future.
- Except as described herein, ensure that chemicals are not applied to any aspect of the open detention basin, including the bottom, side slopes or buffer strip.
- If the outlet is pumped, then only a licensed electrician or company that provided the pump system should conduct maintenance.



**PARTIAL SITE - NEW WORK DETENTION BASIN LANDSCAPE PLAN**



**FORDLAND**  
330 TOWN CENTER DRIVE, SUITE 1100  
DEARBORN, MICHIGAN 48126-2738  
USA

UAW - FORD TECHNICAL TRAINING CENTER  
25500 OUTER DRIVE  
LINCOLN PARK MI 48146  
BUILDING SITE CODE: 5102  
FORD PROJECT NUMBER:

CIVIL ENGINEER / SURVEYOR  
**SPALDING DeDECKER**  
Engineers | Surveyors  
905 South Blvd. East Phone: (248) 844-5400  
Rochester Hills, MI 48307 Fax: (248) 844-5404  
www.sds-eng.com

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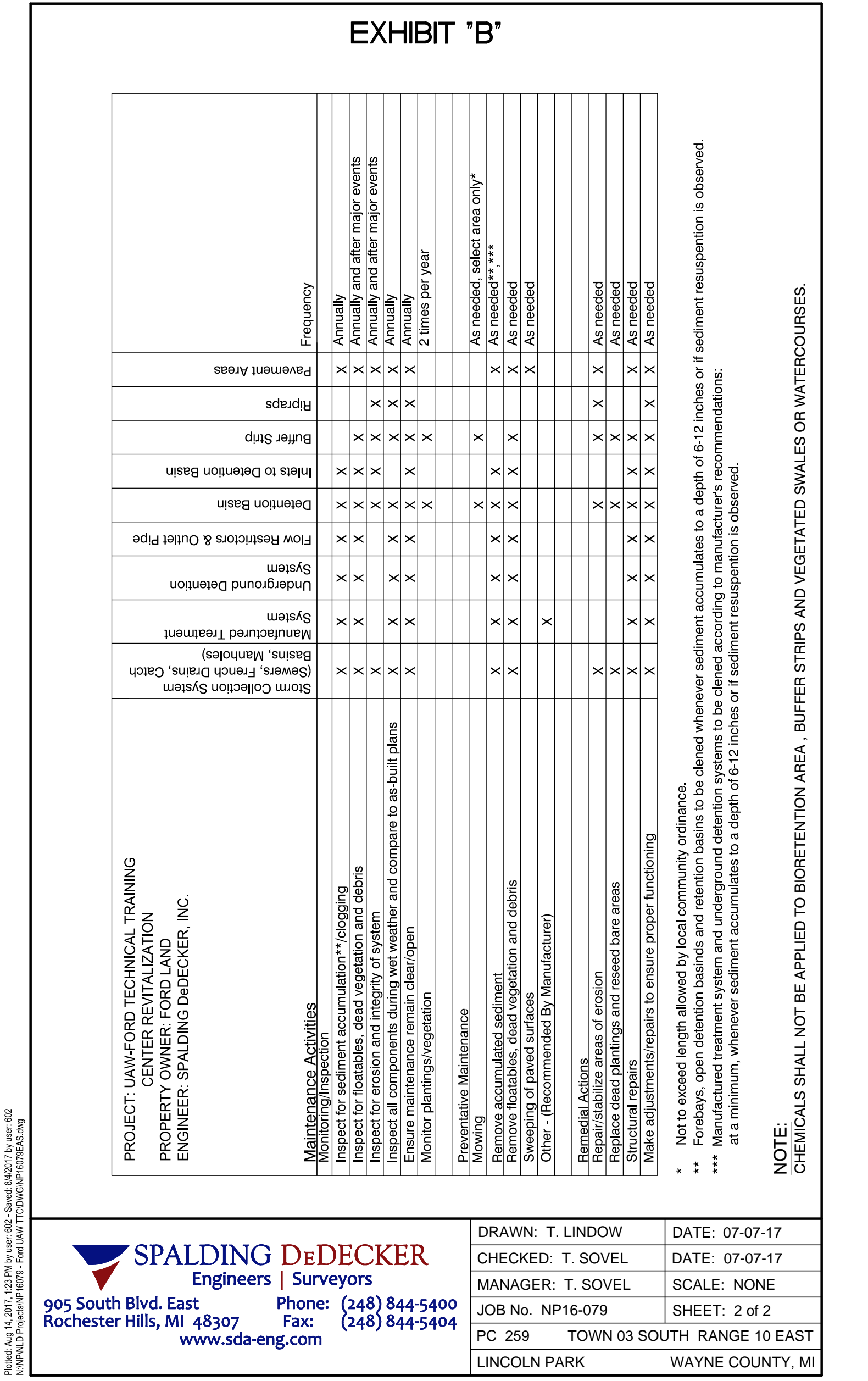
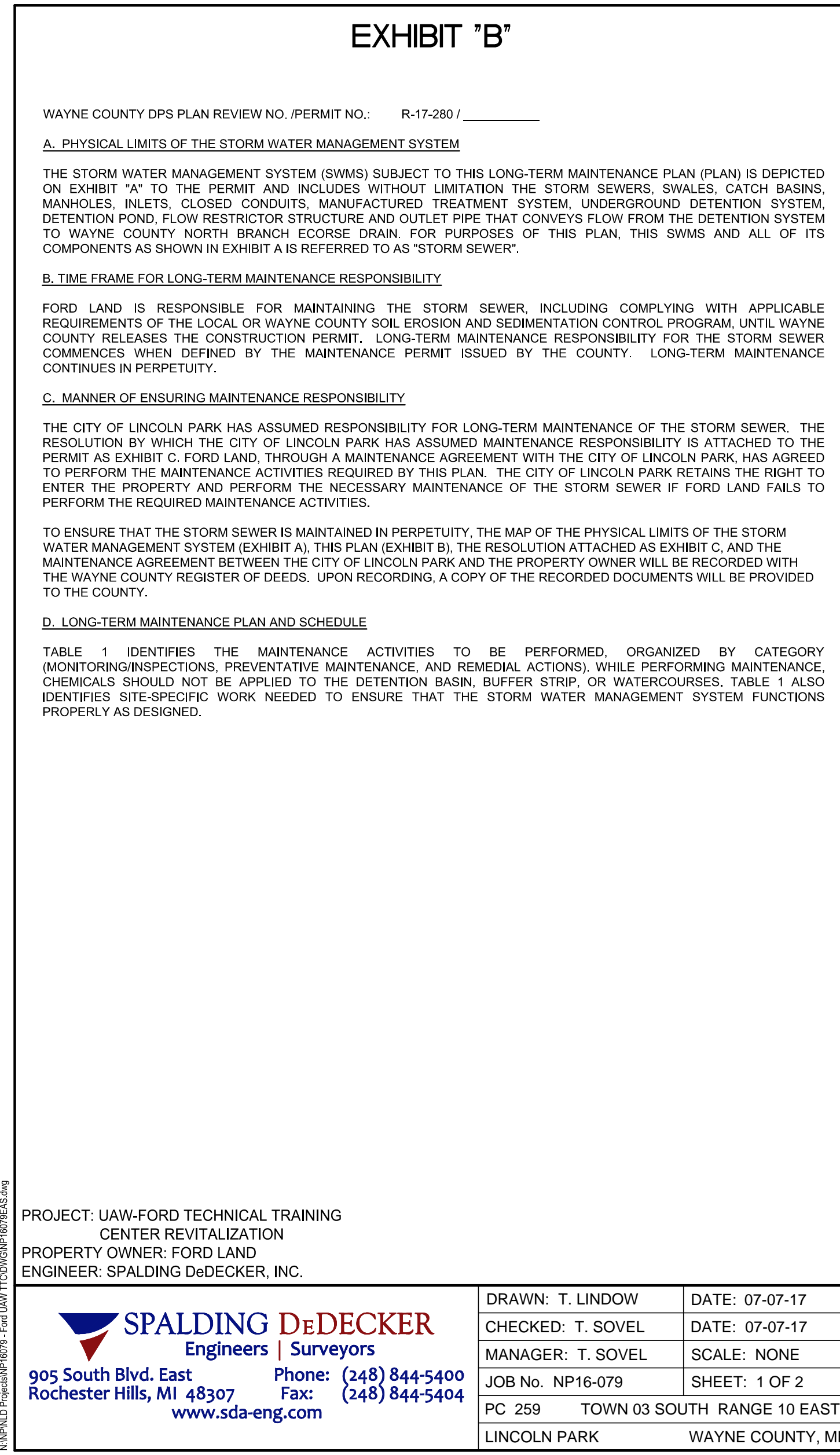
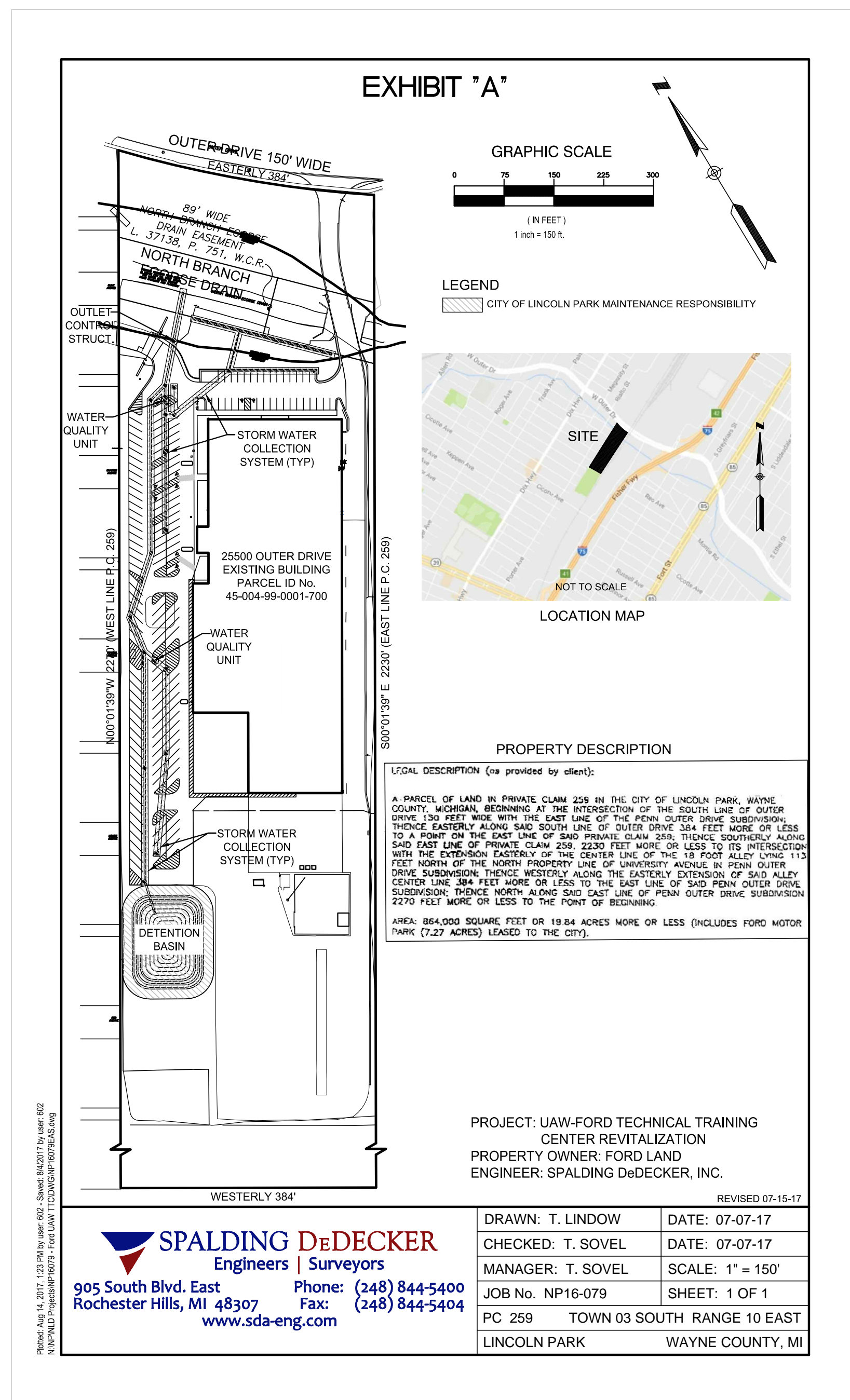
08.14.2017	• SITE PLAN REVIEW
08.04.2017	• BID
07.07.2017	• PERMIT REVISIONS
06.23.2017	• REVISION
06.30.2017	• ISSUED FOR PERMITS
04.10.2017	• BID/CONSTRUCTION
02.27.2017	• 90% OWNER REVIEW
02.13.2017	• 60% SUBMISSION
01.31.2017	• PARKING LAYOUT
DATE	ISSUED FOR

IN CHARGE:	TJS
DESIGNED BY:	TEL
CHECKED BY:	TJS
APPROVED BY:	TJS

SHEET TITLE:  
**PARTIAL SITE - NEW WORK DETENTION BASIN LANDSCAPE PLAN**  
FORD DWG NO. E5102-101 REV. #  
SHEET NUMBER:  
**C-123**



XREF: NP16-079  
 XREF: NP16-079  
 XREF: NP16-079  
 XREF: E5012-101-APM-500



**FORDLAND**

330 TOWN CENTER DRIVE, SUITE 1100  
 DEARBORN, MICHIGAN 48126-2738  
 USA

UAW - FORD TECHNICAL TRAINING CENTER  
 25500 OUTER DRIVE  
 LINCOLN PARK MI 48146

BUILDING SITE CODE: 5012  
 FORD PROJECT NUMBER:

CIVIL ENGINEER / SURVEYOR

**SPALDING DeDECKER**  
 Engineers | Surveyors  
 905 South Blvd. East Phone: (248) 844-5400  
 Rochester Hills, MI 48307 Fax: (248) 844-5404  
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10/20/2017  
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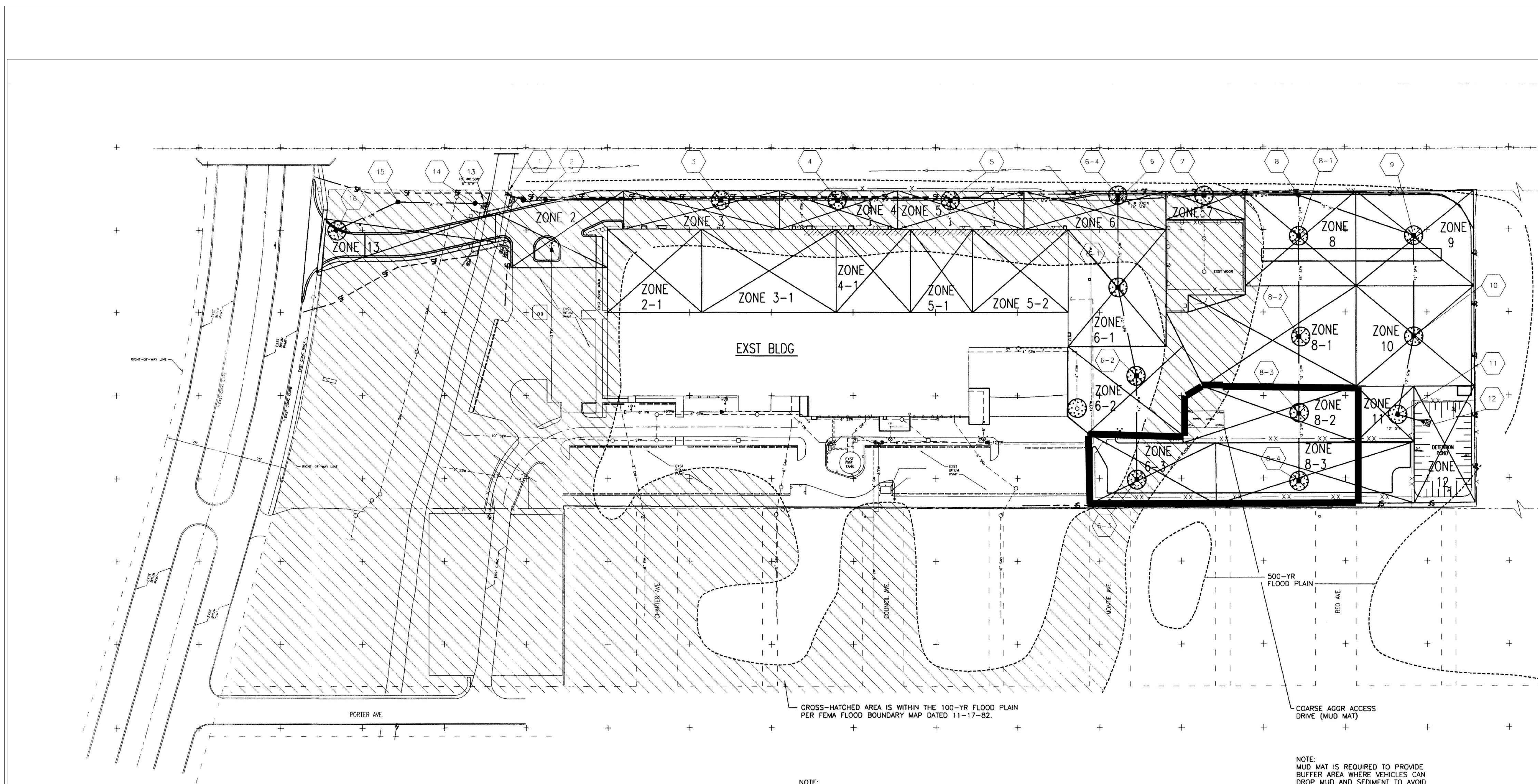
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DATE	ISSUED FOR
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IN CHARGE:	TJS
DRAWN BY:	TEL
DESIGNED BY:	TEL
CHECKED BY:	TJS
APPROVED BY:	TJS

SHEET TITLE  
**STORM WATER MANAGEMENT EXHIBIT DOCUMENTS**

FORD DWG NO. E5012-101 REV. #  
 SHEET NUMBER  
**C-125**



**STORM SEWER DESIGN - 10 YEAR STORM**

UPST STR #	DNST STR #	THRE (FT)	ADDS (ACRES)	C	AC	SUM AC	TIME (MIN)	I (IN/HR)	Q (ACF)	R (IN)	V (FPS)	F1 TIME	INVERT ELEV.	DNST ELEV.	HYD. GRADE LINE ELEV.	Q (CFS)	HYD. GR. LINE SLP(%)	TE	COVER T/PIPE TO SURF	
12	11	30	0.25	0.20	0.05	0.05	20.00	3.89	0.19	12	0.310	2.53	583.21	583.12	583.92	1.88	0.003	---	---	
11	10	36	0.11	0.20	0.02	0.07	20.20	3.87	0.28	12	0.310	2.53	583.05	582.75	583.56	3.01	0.008	587.40	3.18	
10	9	121	0.43	0.80	0.36	0.43	20.85	3.82	1.64	12	0.310	2.53	582.69	582.31	583.37	5.81	0.019	587.20	3.59	
9	8	149	0.39	0.85	0.33	0.76	21.65	3.75	2.84	15	0.230	2.52	582.23	581.88	583.17	5.82	0.019	587.25	3.59	
8.4	8.3	82	0.43	0.67	0.29	0.29	20.00	3.89	1.11	12	0.450	3.04	583.75	583.38	584.26	3.39	0.10	587.60	2.68	
8.3	8.2	94	0.34	0.20	0.07	0.35	20.41	3.85	1.35	12	0.450	3.04	583.51	582.90	583.83	6.09	0.14	587.40	2.92	
8.2	8.1	122	0.35	0.80	0.47	0.82	20.95	3.81	3.13	15	0.330	3.02	582.82	582.41	583.70	5.81	0.23	587.20	2.95	
8.1	8	50	0.39	0.85	0.30	1.12	21.62	3.75	4.20	15	0.340	3.87	582.21	582.08	583.29	5.83	0.42	587.25	3.46	
7	6	115	0.00	0.00	0.00	1.88	22.61	3.67	6.91	18	0.440	3.94	581.80	581.30	583.00	6.97	0.43	588.10	4.59	
6	5	106	0.29	0.59	0.17	2.05	23.10	3.61	7.45	21	0.230	3.16	581.22	580.98	582.61	5.82	0.22	587.75	4.55	
6.3	6.2	125	0.29	0.66	0.19	0.19	20.00	3.89	0.75	12	0.450	3.04	583.75	583.19	584.04	5.83	0.04	587.50	2.58	
6.2	6.1	109	0.39	0.85	0.33	0.52	20.69	3.83	2.00	12	0.450	3.04	583.12	582.53	583.77	5.83	0.31	588.00	3.71	
6.1	6	106	0.19	0.85	0.16	0.68	21.26	3.76	2.58	15	0.330	3.02	582.58	582.20	583.37	5.83	0.16	587.25	3.27	
6.4	6	6	0.12	0.85	0.10	0.10	20.00	3.89	0.40	12	0.450	3.04	583.75	583.20	584.04	5.83	0.01	587.65	4.34	
6.5	204	0.00	0.00	2.84	23.66	3.60	10.19	24	0.230	3.45	0.99	580.90	580.43	582.45	5.82	0.20	587.75	4.60		
RD	5	40	0.12	0.85	0.10	0.10	20.00	3.89	0.40	12	0.450	3.04	583.75	583.20	584.04	5.83	0.27	587.65	4.06	
RD	5	40	0.08	0.85	0.07	0.07	20.00	3.89	0.26	4	2.000	3.08	584.00	583.20	584.24	5.83	4.7	588.50	4.06	
5	4	138	0.15	0.85	0.14	3.15	24.60	3.52	11.08	24	0.280	3.81	580.36	579.98	581.81	5.81	0.24	587.45	4.84	
RD	4	40	0.09	0.85	0.08	0.08	20.00	3.89	0.30	4	2.000	3.08	584.00	583.20	584.70	5.83	2.44	587.45	3.01	
RD	4	40	0.15	0.85	0.14	3.15	25.25	3.48	11.58	24	0.280	3.81	580.62	579.91	581.49	5.81	0.27	587.45	5.29	
RD	3	40	0.16	0.85	0.14	0.21	20.00	3.89	0.83	4	2.000	3.08	584.00	583.20	584.04	5.83	0.27	587.65	3.01	
RD	2	227	0.21	0.85	0.18	3.74	25.87	3.44	12.86	24	0.330	4.14	579.45	578.70	580.91	5.80	0.32	587.45	5.75	
RD	2	40	0.15	0.85	0.11	0.11	20.00	3.89	0.43	4	2.000	3.08	584.00	583.20	583.47	5.83	5.10	587.45	3.01	
2.1	2	80	0.21	0.85	0.18	0.18	20.00	3.89	0.70	12	0.450	3.04	581.80	581.44	582.27	5.82	2.39	588.00	2.83	
2	1	35	0.00	0.00	0.00	3.92	26.79	3.38	13.24	8	1.200	3.79	578.70	578.26	581.31	5.78	1.32	120.0	5.75	
15	15	83	0.19	0.85	0.16	0.16	20.00	3.89	0.61	8	0.530	2.52	580.00	579.56	580.31	5.80	0.26	583.72	2.91	
15	14	94	0.00	0.00	0.00	0.16	20.00	3.84	0.61	8	0.530	2.52	579.00	578.50	579.25	5.79	0.25	583.50	3.20	
14	13	16	0.00	0.00	0.00	0.16	21.17	3.79	0.60	8	0.530	2.52	0.10	578.93	578.85	579.42	5.79	0.88	584.50	4.77

**DETENTION POND DESIGN**

**STORAGE VOLUME CALCULATIONS**  
 A = PROPOSED DRAINAGE AREA = 6.36 ACRE  
 C = RUNOFF COEFFICIENT = 0.80  
 MAXIMUM ALLOWABLE OUTFLOW = 0.2 CFS/ACRE  
 Q<sub>a</sub> = TOTAL ALLOWABLE DISCHARGE = 0.2 x A = 0.2 x 6.36 = 1.27 CFS  
 Q<sub>a</sub> = MAXIMUM OUTFLOW = 1.27 CFS  
 T = TIME IN MINUTES THAT THE MAX. VOLUME OF STORAGE WILL OCCUR  
 = 25 +  $\sqrt{\frac{6562.5}{Q_a}} = 25 + \sqrt{\frac{6562.5}{0.25}} = 137.02$  MIN.  
 V<sub>s</sub> = MAX. VOLUME OF STORAGE PER ACRE IMPERVIOUSNESS = 10500(T) = 10500(137.02) = 1,438,665 CU. FT PER ACRE IMPERVIOUSNESS  
 V<sub>s</sub> = TOTAL VOLUME OF STORAGE REQUIRED FOR ENTIRE SITE = V<sub>s</sub> x A x C = 7509.63 x 6.36 x 0.80 = 38209 CFS  
 VOLUME OF STORAGE IN PIPES = 3892 CFS  
 VOLUME OF STORAGE IN MANHOLES = 1500 CFS  
 VOLUME OF STORAGE IN PARKING = 7927 CFS  
 VOLUME OF DETENTION POND = 25107 CFS  
 @ ELEVATION 588.00

TOTAL VOLUME OF STORAGE PROVIDED = 38426 CFS  
 VOLUME OF STORAGE REQUIRED = 38209 CFS  
**ORIFICE CALCULATIONS**  
 Q<sub>o</sub> = ALLOWABLE DISCHARGE = 0.620/24h  
 h = HEAD, DISTANCE FROM WATER SURFACE TO THE CENTERLINE OF OUTFLOW PIPE  
 h = 588.00 - 579.03 = 8.96 FT.  
 o = AREA OF ORIFICE = 0.62  $\frac{24^3}{h^{3/2}}$  = 0.62  $\frac{24^3}{8.96^{3/2}}$  = 0.085 SQ. FT.  
 d = DIA. OF ORIFICE = 3.96 INCHES  
 PROVIDE ORIFICE DIA. = 4.0 INCHES

**2017 Project Calculations**  
 The 2017 improvement project reduces the site discharge from this project by approximately 1.82 CFS by removing the highlighted drainage areas shown above.  
 Area 6-3 = 0.75 CFS  
 Area 8-2 = 0.24 CFS  
 Area 8-3 = 0.83 CFS  
 Total = 1.82 CFS +/-

IN CHARGE: J BOURGEOIS  
 DRAWN BY: P. MURAD  
 CHECKED BY: C.J.Z.  
 APPROVED BY: P. GILNET  
 PROJECT ENGINEER/ARCHITECT: R. MORGAN  
 PROJECT NO.: 97062

**DRAINAGE PLAN**  
 SHEET NUMBER: CE-11

DATE: 04/07/1999  
 ISSUED FOR: WCDPS PERMIT NO. C-27103 (03-21-01)

**Giffels Associates, Inc.**  
 Architects Engineers Planners  
 25200 Telegraph Road  
 Southfield, MI 48066-5025

**FORDLAND**  
 330 TOWN CENTER DRIVE, SUITE 1100  
 DEARBORN, MICHIGAN 48126-2738  
 USA

**FORD MOTOR LAND SERVICES CORPORATION**

**FORD MOTOR CO.**  
 DEARBORN MICHIGAN  
**LINCOLN PARK TRANSPORTATION SERVICES**  
 T&T BUILDING RELOCATION  
 TRUCK REPAIR FACILITY  
 LINCOLN PARK WAYNE COUNTY MI  
 FORD PROJECT NUMBER: 97062

**CIVIL ENGINEER / SURVEYOR**  
**SPALDING DeDECKER**  
 Engineers | Surveyors  
 905 South Blvd. East Phone: (248) 844-5400  
 Rochester Hills, MI 48307 Fax: (248) 844-5404  
 www.sds-eng.com

**1** hereby certify that this plan dated 04/07/1999 is a true and accurate copy of the plan approved by Hennessy Engineers, Inc. dated July 11, 2000.  
 Signature: \_\_\_\_\_  
 P.E. License No. \_\_\_\_\_  
 Date: \_\_\_\_\_  
 SCALE: 1" = 60'

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DATE: 08.14.2017  
 08.04.2017  
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 06.23.2017  
 06.20.2017  
 04.10.2017  
 02.27.2017  
 02.13.2017  
 01.31.2017

IN CHARGE: TJS  
 DRAWN BY: TEL  
 DESIGNED BY: TEL  
 CHECKED BY: TJS  
 APPROVED BY: TJS

SHEET TITLE: OVERALL SITE - OLD WORK HISTORIC SITE DRAINAGE AREA MAP  
 SHEET NUMBER: C-126

XREF: MFDENR/STP  
XREF: MFDENR/PA  
XREF: MFDENR/UTL  
XREF: ESD-101-APP1-000

**EXISTING LEGEND**

EX CONTOUR	---
EX INDEX CONTOUR	---
WATER MAIN	---
SANITARY SEWER	---
SANITARY SEWER LABEL	---
STORM SEWER	---
STORM SEWER LABEL	---
OVERHEAD	---
FENCE	---
GAS	---
PHONE	---
ELECTRIC	---
GAS RISER	---
SION	---
LIGHT POLE	---
UTILITY POLE	---
BOLLARD	---
GROUND LIGHT	---
EVERGREEN TREE	---
DEODOROUS TREE	---
MORNING	---
FOUND IRON ROD	---
SET IRON ROD	---
GATE VALVE IN WELL	---
GATE VALVE IN BOX	---
SOL BORING	---
TRAVERSE POINT	---

**SIGN TABLE**

Ⓢ	SPEED 20 MPH
Ⓣ	STOP/SPEED 15 MPH
Ⓢ	HANDICAP SIGN
Ⓣ	DO NOT FLOW OVER STEEL PLATE
Ⓢ	VISITOR PARKING
Ⓣ	EVACUATION ASSEMBLY AREA
Ⓢ	COMPANY VEHICLE 725
Ⓣ	MAN LOBBY S&R
Ⓢ	STOP

**LE TRAVERSE #1**  
N 280436.13  
E 13444732.99

**LE TRAVERSE #2**  
N 280983.07  
E 13444720.46

**LE TRAVERSE #3**  
N 280805.00  
E 13444973.23

**LE TRAVERSE #4**  
N 281349.21  
E 13445259.11

**LE TRAVERSE #5**  
N 281300.56  
E 13444853.72

**LE TRAVERSE #6**  
N 281534.08  
E 13445092.73

BENCHMARK #300  
CHISELED "X" ON N. SIDE OF  
CONCRETE LIGHT POLE BASE  
ELEVATION = 580.96

BENCHMARK #301  
CHISELED "X" IN NE CORNER OF  
CONCRETE TRANSFORMER PAD  
ELEVATION = 588.96

NOTE:  
TOPOGRAPHIC SURVEY PERFORMED BY LIVINGSTON  
ENGINEERING ON AUGUST 23, 2016.

NOTE:  
NORTHINGS AND EASTINGS SHOWN ON THIS DRAWING ARE BASED ON  
MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, INTERNATIONAL  
FEET (NAD83), ELEVATION BASED UPON NAVD83 DATUM FROM RTK GPS  
OBSERVATIONS.

**SOIL EROSION/SEDIMENTATION CONTROL CONSTRUCTION SEQUENCE**

- INSTALL SILT FENCE AROUND DEFINED PERIMETER AS SHOWN, INSTALL TREE PROTECTION AND CONSTRUCT TEMPORARY CONSTRUCTION ACCESS.
  - CLEAR, GRUB AND STRIP TOPSOIL IN AREAS OF EARTH DISRUPTION.
  - CLEAR LAND BALANCING OPERATIONS.
  - INSTALL UNDERGROUND UTILITIES AND PLACE INLET FILTERS WHERE INDICATED.
  - PERFORM PAING OPERATIONS, FINE GRADING, LANDSCAPING.
  - EROSION CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL THE CITY AND/OR COUNTY GRANTS ITS APPROVAL. INLET FILTERS SHALL BE PERIODICALLY INSPECTED AND CLEANED/REPLACED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED APPROXIMATELY ACCORDING TO THE FOLLOWING SEQUENCE OF CONSTRUCTION.
- PROJECT COMMENCEMENT ON OR ABOUT AUGUST 2017.
- SCHEDULE**
- |  |         |
|--|---------|
| A. INSTALL SILT FENCE AS SHOWN ON PLANS.   | 2 DAYS  |
| B. STRIP AND STOCKPILE TOPSOIL AND ROUGH GRADE SITE.   | 3 WEEKS |
| C. INSTALL UNDERGROUND UTILITIES.  | 5 WEEKS |
| D. FINE GRADE SITE, PAVE, INSTALL LANDSCAPING AND ESTABLISH VEGETATION.  | 5 WEEKS |
| E. CLEAN PAVEMENTS, WALKS, CURBS, AND WATERCOURSES OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH REMOVING ALL TEMPORARY DEVICES. | 1 WEEK  |
- PROJECT COMPLETION ON OR ABOUT SEPTEMBER 2018

**SOIL EROSION/SEDIMENTATION CONTROL NOTES**

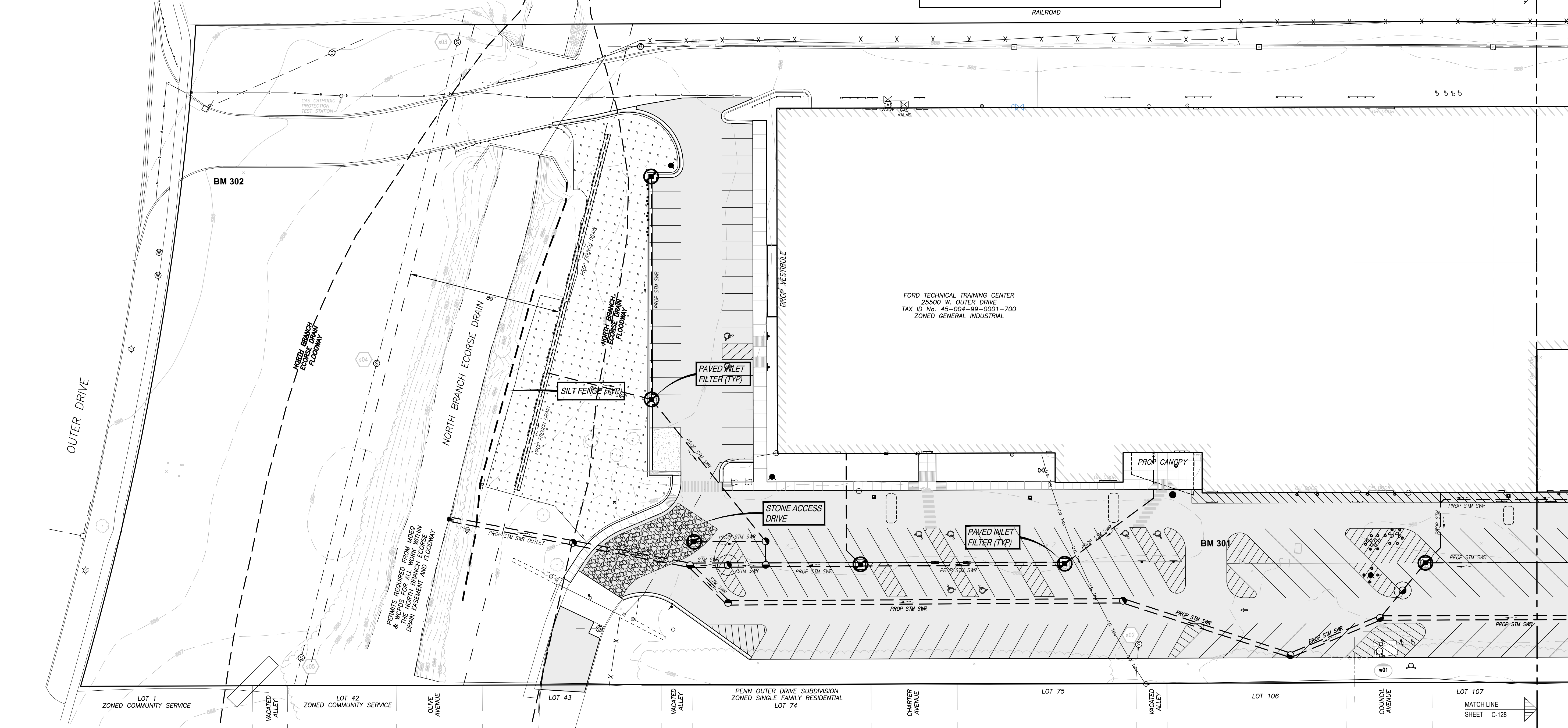
- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF LINCOLN PARK AND/OR THE COUNTY OF WAYNE.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL DEVICES AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND ANY SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES AS REQUIRED AND AS DIRECTED ON THESE PLANS. HE SHALL REMOVE TEMPORARY DEVICES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED AND APPROVED BY THE CITY AND/OR COUNTY.
- DEBRIS FROM PROJECT WILL BE LEFT ON THE SITE BY DELIVERY OF CONSTRUCTION VEHICLES THROUGH THE USE OF CLEAN STONE CURBS. SHOULD THE STONE BECOME LESS EFFECTIVE IT WILL BE REPLACED. ALL CONSTRUCTION TRAFFIC WILL USE THE CLEAN STONE CURB.
- DUST CONTROL WILL BE EXERCISED AT ALL TIMES WITHIN THE PROJECT BY THE CONTRACTORS. SPRINKLING TANK TRUCKS WILL BE AVAILABLE AT ALL TIMES TO BE USED ON HAUL ROUTES OR OTHER PLACES WHERE DUST BECOMES A PROBLEM.
- IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDING AREAS WITH UNWEATHERED SMALL GRAIN STRAW OR HAY. SPREAD UNIFORMY AT A RATE OF 1 1/2 TO 2 TONS PER ACRE OR 0.10 POUNDS PER SQUARE FOOT. ANCHOR MULCH WITH SOIL TYPE MULCH ANCHORING TOOL.
- ALL MUD, DIRT, AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR OR BULDOZED. ALL MUD, DIRT, AND DEBRIS TRACKED OR SPOILED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- PERMANENT SOIL EROSION CONTROL DEVICES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH CHANGES HAVE BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHILE SIGNIFICANT EARTH CHANGE ACTIVITY OCCURS TEMPORARY SOIL EROSION CONTROL DEVICES SHALL BE MAINTAINED WITHIN 30 CALENDAR DAYS. ALL TEMPORARY SOIL EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION DEVICES ARE IMPLEMENTED AND/OR ESTABLISHED. ALL PERMANENT SOIL EROSION CONTROL DEVICES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF INSURANCE IS ISSUED.
- ALL CONTRACTORS ARE TO KEEP EXCAVATED MATERIAL ON SITE. PARTICULAR CARE SHOULD BE TAKEN WHEN WORKING ALONG THE PERIMETER OF THE SITE. IN NO EVENT SHALL THE WORK AREA EXTEND BEYOND THE LIMITS INDICATED ON THE PLANS.
- THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR.

**LEGEND**

---	PROPOSED FIRE WATER MAIN	---	STANDARD BITUMINOUS PAVEMENT
---	PROPOSED SANITARY	---	CONCRETE PAVEMENT
---	PROPOSED STORM SEWER	---	GREENSPACE RESTORATION
●	PROPOSED HYDRANT	---	STORM SEWER STRUCTURE
○	PROPOSED GATE VALVE IN WELL (GVW)	---	UTILITY CROSSING (SEE DATA TABLE)
○	PROPOSED POST INDICATOR VALVE (PIV)	---	STRUCT. TYPE
●	PROPOSED SAN MANHOLE (SAN)	---	STRUCT. NO.
●	PROPOSED SAN MANHOLE (SAN)	---	STRUCT. TYPE
●	PROPOSED SAN MANHOLE (SAN)	---	STRUCT. NO.
■	PROPOSED CATCH BASIN (CB)	---	STRUCT. TYPE
■	PROPOSED CATCH BASIN (CB)	---	STRUCT. NO.
■	PROPOSED CATCH BASIN (CB)	---	STRUCT. TYPE
■	PROPOSED CATCH BASIN (CB)	---	STRUCT. NO.
■	PROPOSED END SECTION (ES)	---	STRUCT. TYPE
■	PROPOSED END SECTION (ES)	---	STRUCT. NO.
■	PROPOSED END SECTION (ES)	---	STRUCT. TYPE
■	PROPOSED END SECTION (ES)	---	STRUCT. NO.

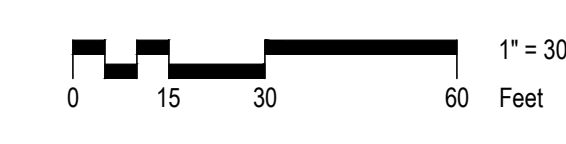
**SOIL EROSION CONTROL DEVICES**

○	PAVED INLET FILTER
⊗	REAR YARD INLET FILTER
---	24" SILT FENCE



**PARTIAL SITE - NEW WORK SESC PLAN NORTH**  
SCALE: 1" = 30'

SEE SHEET C-128 FOR SOIL EROSION CONTROL DETAILS



**KEY PLAN**  
NO SCALE

**FORDLAND**

330 TOWN CENTER DRIVE, SUITE 1100  
DEARBORN, MICHIGAN 48126-2738  
USA

**UAW - FORD TECHNICAL TRAINING CENTER**

25500 OUTER DRIVE  
LINCOLN PARK MI 48146

BUILDING SITE CODE: 5012  
FORD PROJECT NUMBER:

**CIVIL ENGINEER / SURVEYOR**

**SPALDING DeDECKER**  
Engineers | Surveyors

905 South Blvd. East Phone: (248) 844-5400  
Rochester Hills, MI 48307 Fax: (248) 844-5404  
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**SDS** Design Group, Inc.

12121 Chalmers Street, Suite 100  
Rochester Hills, MI 48309  
Phone: (248) 844-5400  
Fax: (248) 844-5404  
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08.14.2017	• SITE PLAN REVIEW
08.04.2017	• BID
07.07.2017	• PERMIT REVISIONS
06.23.2017	• REVISION
06.30.2017	• ISSUED FOR PERMITS
04.10.2017	• BID/CONSTRUCTION
02.27.2017	• 90% OWNER REVIEW
02.13.2017	• 60% SUBMISSION
01.31.2017	• PARKING LAYOUT
DATE	ISSUED FOR

IN CHARGE:	TJS
DRAWN BY:	TEL
DESIGNED BY:	TEL
CHECKED BY:	TJS
APPROVED BY:	TJS

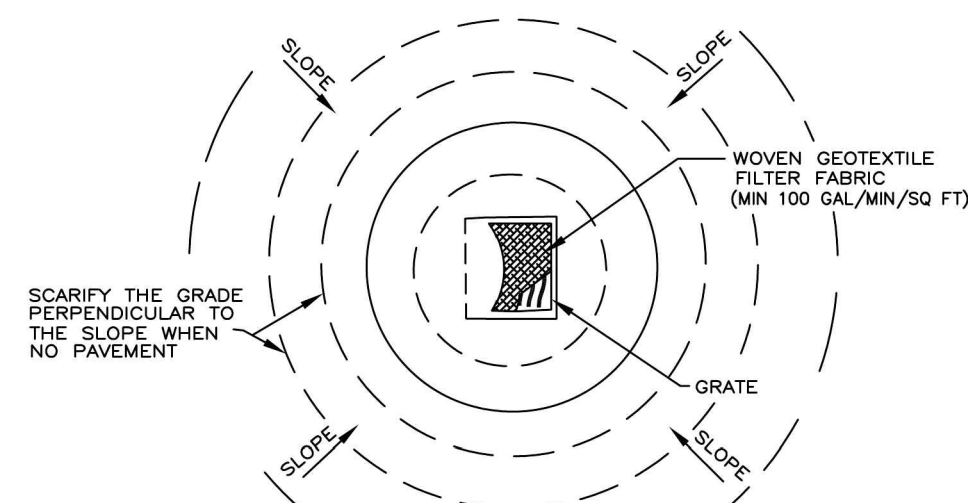
**PARTIAL SITE - NEW WORK SESC PLAN NORTH**

FORD DWG NO. E5012-101 REV. #

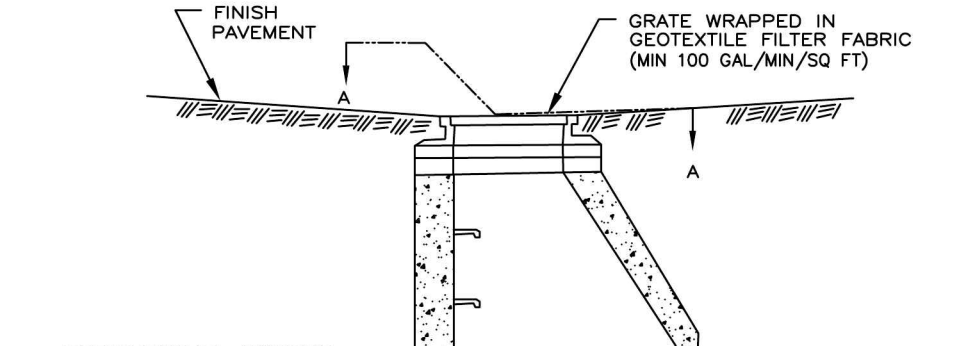
SHEET NUMBER  
**C-127**

XREF: MPE020P  
XREF: MPE020P  
XREF: MPE020P  
XREF: E5012-101-APP-100

**LOW POINT INLET FILTER (SI-2)**  
ALTERNATIVE INLET FILTER MUST BE USED IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING.

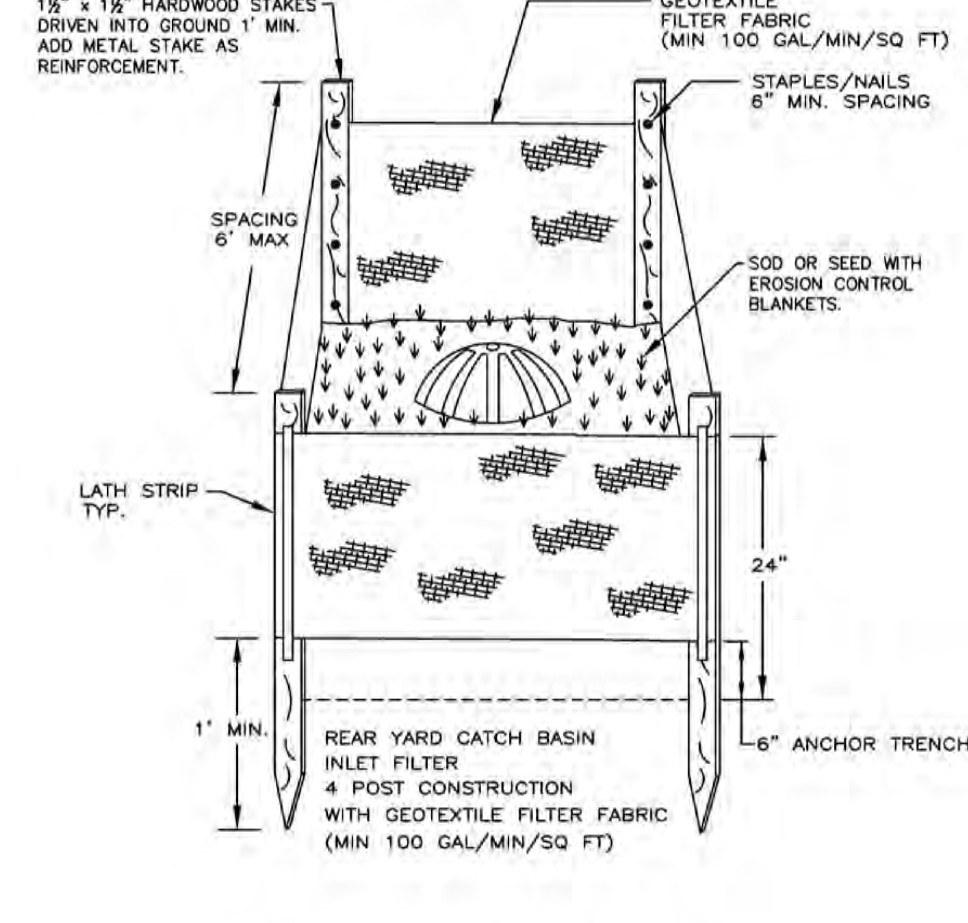


**SECTION A-A**



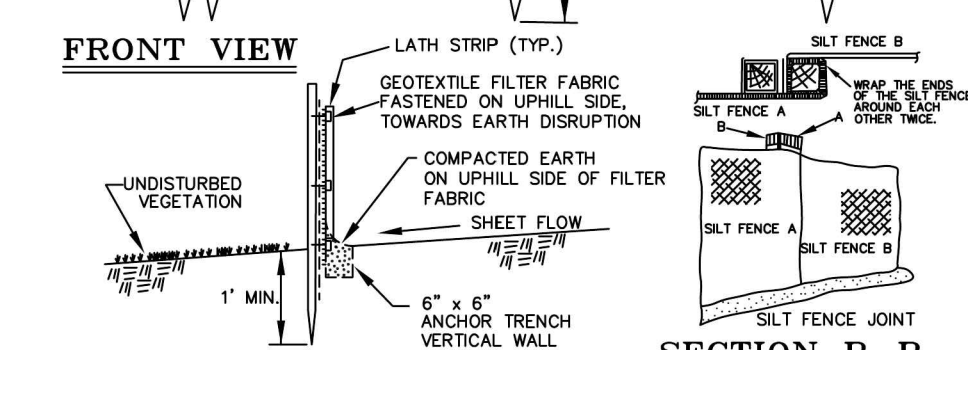
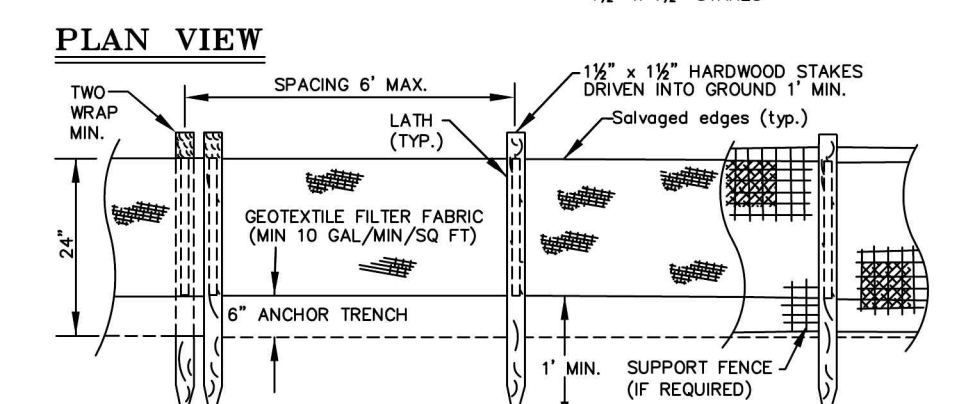
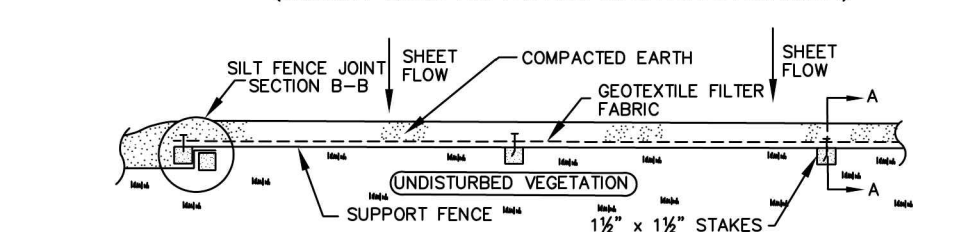
**PROFILE VIEW**  
FILL: WMC SOIL EROSION MANUAL

**RYCB INLET FILTER (SI-3)**

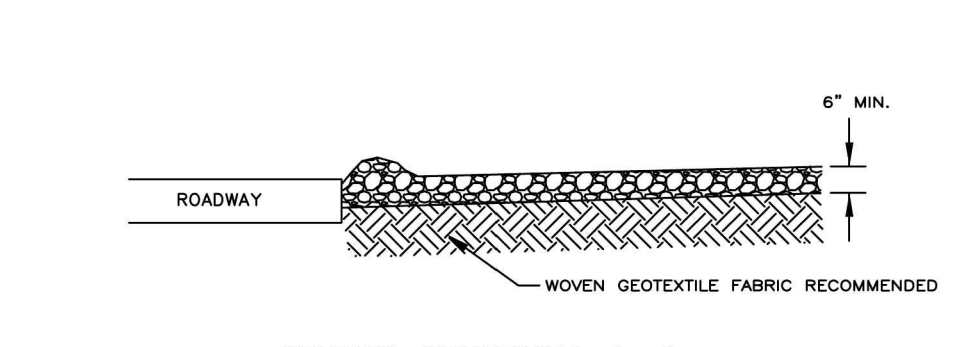


**NOTE: MATERIAL IS NOT SILT FENCE MATERIAL.**  
FOR SLOPE AND/OR CHANNEL PROTECTION SEE OTHER BMP'S ON THIS SHEET OR IN THE WMC SOIL EROSION MANUAL.

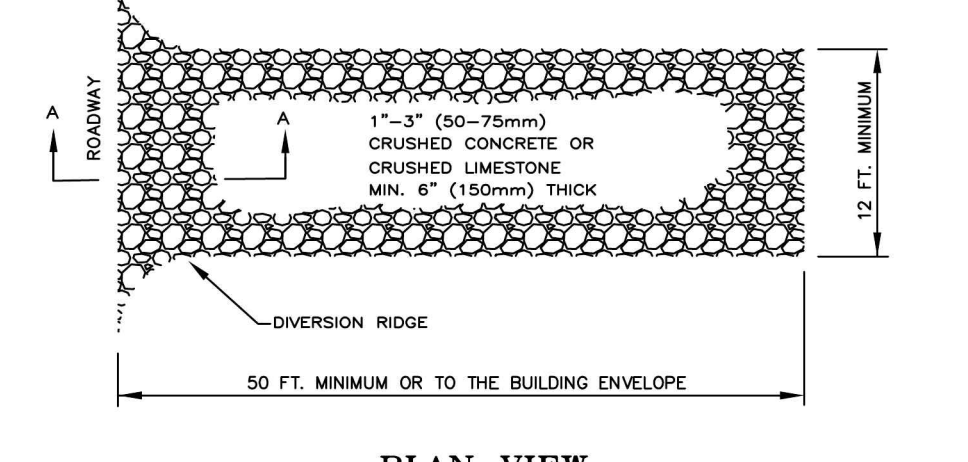
**SILT FENCE (SP-2)**  
(MATERIAL: AMCOO PRO PEX 2130 OR APPROVED EQUIVALENT)



**TEMPORARY STONE ACCESS DRIVE (SP-9)**



**CROSS SECTION A-A**



**PLAN VIEW**

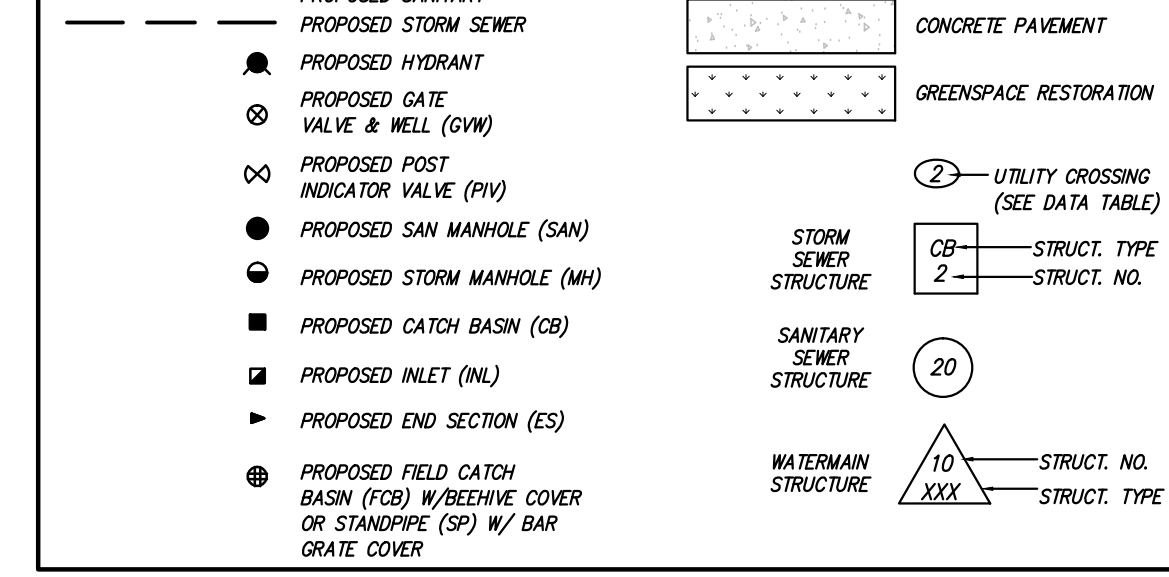
**SOIL EROSION/SEDIMENTATION CONTROL CONSTRUCTION SEQUENCE**

- INSTALL SILT FENCE AROUND DEFINED PERIMETER AS SHOWN, INSTALL TREE PROTECTION AND CONSTRUCT TEMPORARY CONSTRUCTION ACCESS.
  - CLEAR, GRUB AND STRIP TOPSOIL IN AREAS OF EARTH DISRUPTION.
  - COMPLETE LAND BALANCING OPERATIONS.
  - INSTALL UNDERGROUND UTILITIES AND PLACE INLET FILTERS WHERE INDICATED.
  - PERFORM PAING OPERATIONS, FINE GRADING, LANDSCAPING.
  - EROSION CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL THE CITY AND/OR COUNTY GRANTS ITS APPROVAL. INLET FILTERS SHALL BE PERIODICALLY INSPECTED AND CLEANED/REPLACED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED APPROXIMATELY ACCORDING TO THE FOLLOWING SEQUENCE OF CONSTRUCTION.
- PROJECT COMMENCEMENT ON OR ABOUT AUGUST 2017.
- | SCHEDULE   | 2 DAYS | 3 WEEKS | 5 WEEKS | 1 WEEK |
|--|--------|---------|---------|--------|
| A. INSTALL SILT FENCE AS SHOWN ON PLANS.   |        |         |         |        |
| B. STRIP AND STOCKPILE TOPSOIL AND ROUGH GRADE SITE.   |        |         |         |        |
| C. INSTALL UNDERGROUND UTILITIES.  |        |         |         |        |
| D. FINE GRADE SITE, PAVE, INSTALL LANDSCAPING AND ESTABLISH VEGETATION.  |        |         |         |        |
| E. CLEAN PAVEMENTS, WALKS, CURBS, AND WATERCOURSES OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH REMOVING ALL TEMPORARY DEVICES. |        |         |         |        |
- PROJECT COMPLETION ON OR ABOUT SEPTEMBER 2018

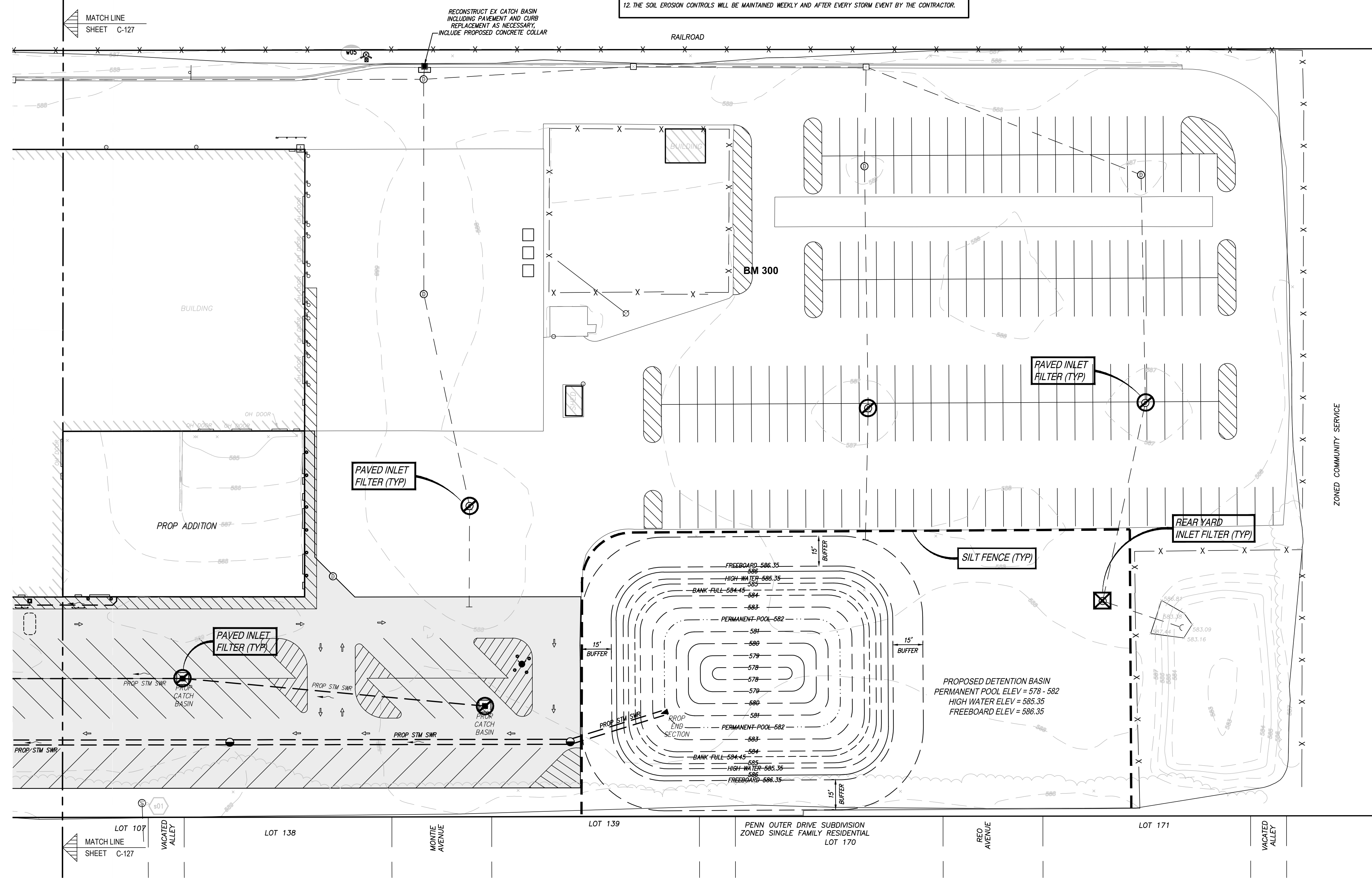
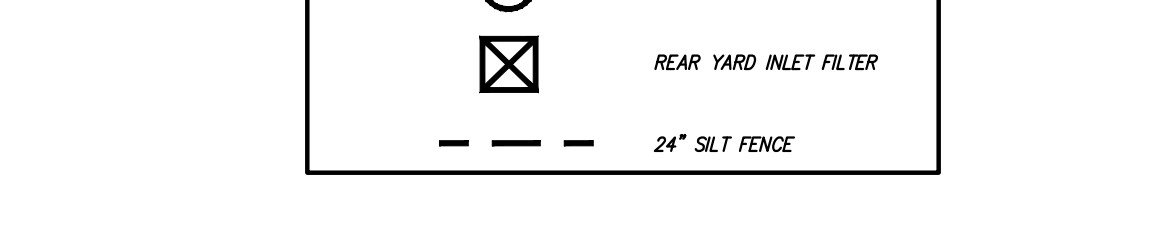
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**LEGEND**

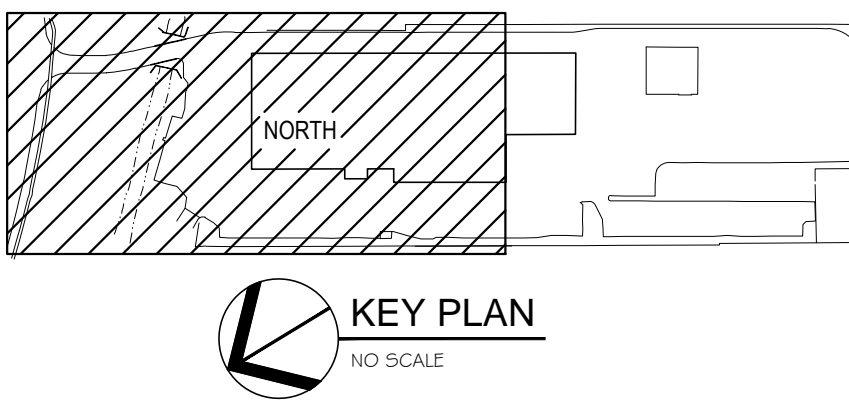


**SOIL EROSION CONTROL DEVICES**



**PARTIAL SITE - NEW WORK  
SESC PLAN SOUTH**

SCALE: 1" = 30'



**FORDLAND**  
330 TOWN CENTER DRIVE, SUITE 1100  
DEARBORN, MICHIGAN 48126-2738  
USA  
Ford

**UAW - FORD TECHNICAL TRAINING CENTER**  
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12/26/2016 Single Design Inc.  
16.3011  
12/26/2016 Single Design Inc.  
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12/26/2016 Single Design Inc.  
16.3011

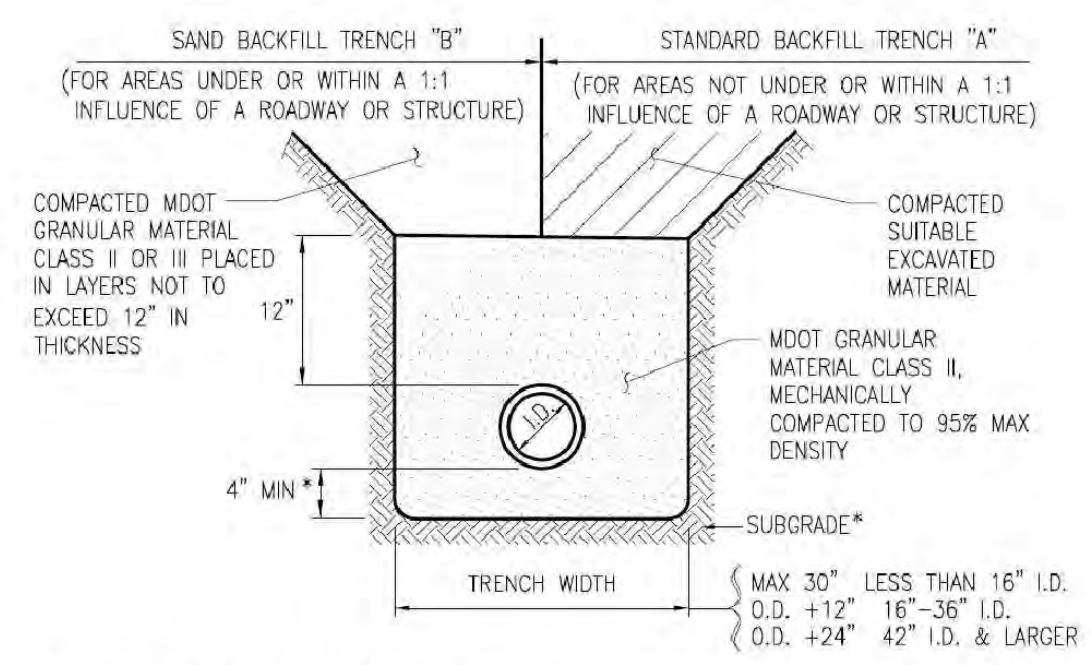
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DATE	ISSUED FOR
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04.10.2017	• BID/CONSTRUCTION
02.27.2017	• 90% OWNER REVIEW
02.13.2017	• 60% SUBMISSION
01.31.2017	• PARKING LAYOUT

IN CHARGE:	TJS
DRAWN BY:	TEL
DESIGNED BY:	TEL
CHECKED BY:	TJS
APPROVED BY:	TJS

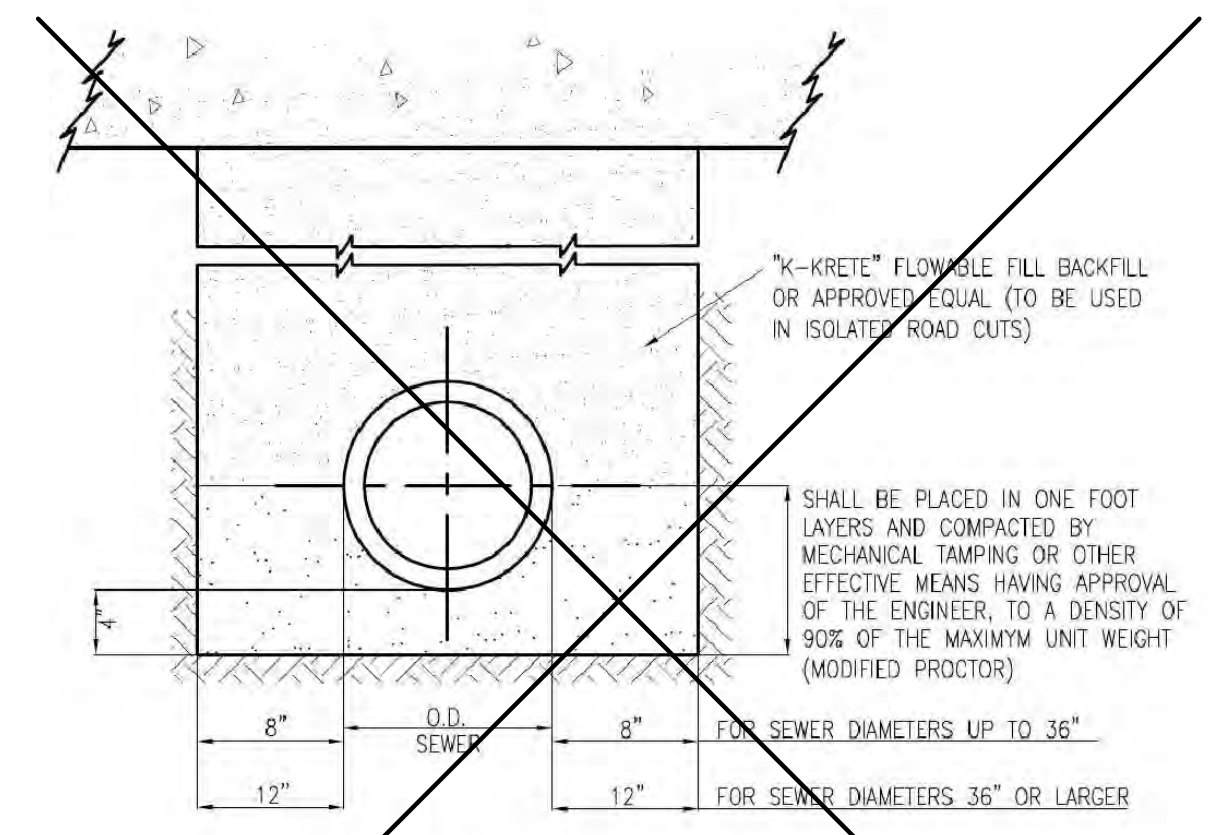
**PARTIAL SITE - NEW WORK  
SESC PLAN SOUTH**  
FORD DWG NO. E5012-101 REV. #  
SHEET NUMBER  
**C-128**





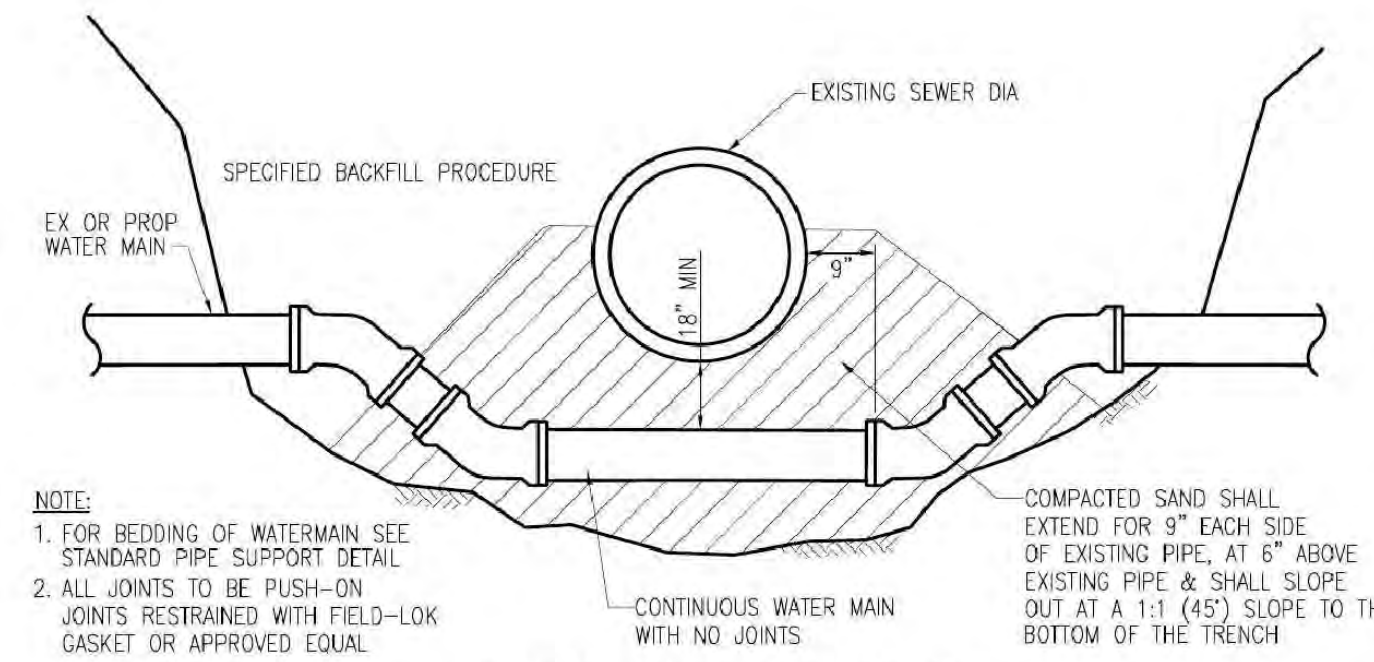
**STANDARD BEDDING AND TRENCH BACKFILL DETAIL FOR WATER MAIN**

\*NOTE: IF THE EXISTING SUBGRADE SOILS MEET THE REQUIREMENTS FOR MOAT GRANULAR MATERIAL, CLASS II (MINIMUM 4" THICK), THEN THE WATER MAIN MAY BE Laid DIRECTLY ON THE COMPACTED NATIVE SUBGRADE SOILS.



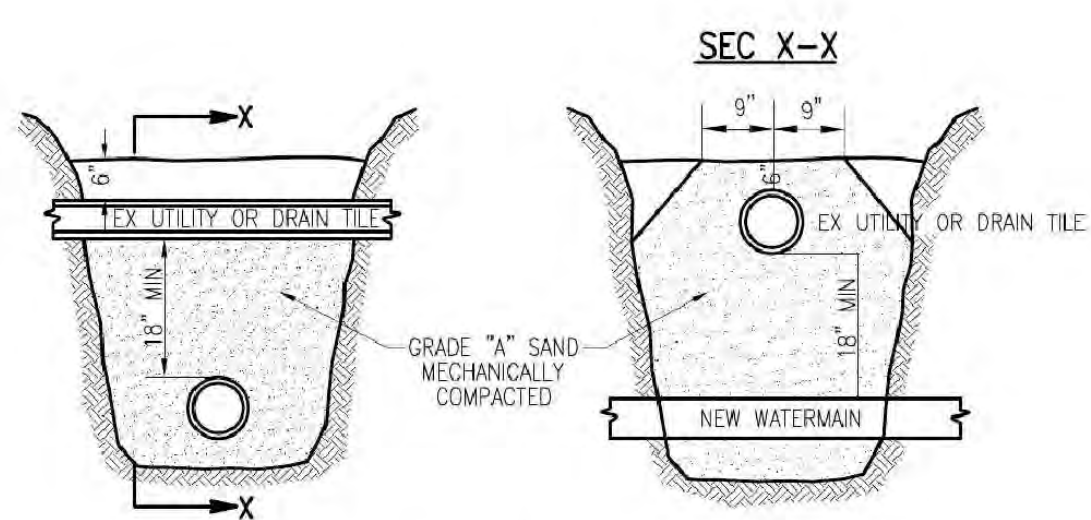
**SEWER TRENCH "C"**

NOTE: PVC PIPE: MIN. TRENCH WIDTH = 1.5 X O.D.+12" (FOR ALL INSTALLATION DEPTHS). HDPE PIPE, PER MANUFACTURER'S RECOMMENDATIONS.



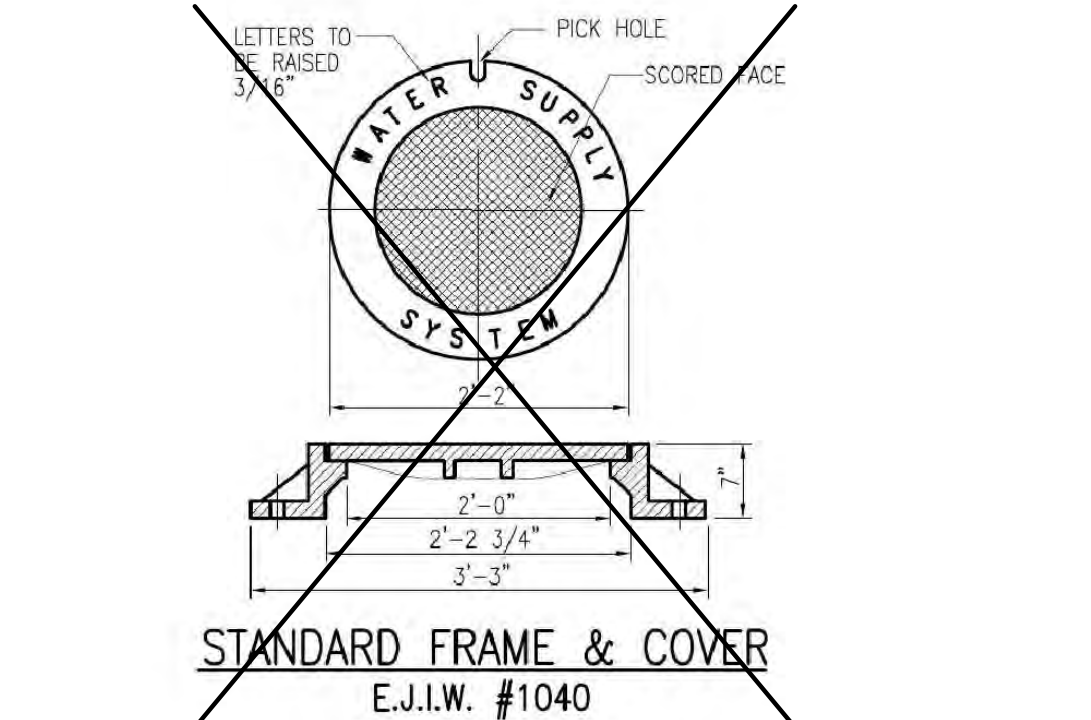
**WATER MAIN LOWERING**

NOTE:  
1. FOR BEDDING OF WATERMAIN SEE STANDARD PIPE SUPPORT DETAIL.  
2. ALL JOINTS TO BE PUSH-ON JOINTS RESTRAINED WITH FIELD-LOK GASKET OR APPROVED EQUAL.



**STANDARD PIPE SUPPORT**

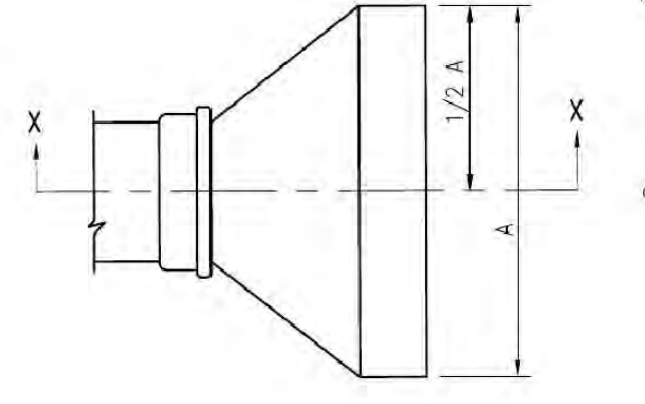
NOTE:  
1. WHERE CONCRETE ENCASUREMENT IS SPECIFIED FOR NEW UTILITY A 6" MINIMUM LAYER OF MECHANICALLY COMPACTED SAND SHALL BE MAINTAINED BETWEEN EX UTILITY & TOP OF CONCRETE ENCASUREMENT.  
2. COMPACTED SAND SHALL EXTEND FOR 9" EACH SIDE OF EXISTING PIPE, AT 6" ABOVE EXISTING PIPE & SHALL SLOPE OUT AT A 1:1 (45°) SLOPE TO THE BOTTOM OF THE TRENCH.



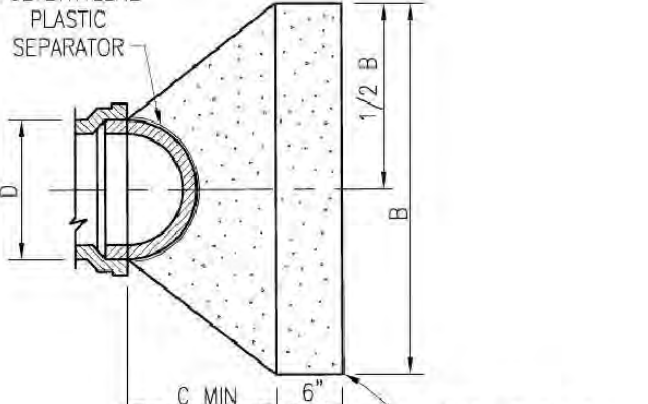
**STANDARD FRAME & COVER**

E.J.I.W. #1040

DIA. OF WATER MAIN	THRUST BLOCK		
	A	B	C
6"	18"	18"	9"
8"	24"	24"	12"
12"	30"	30"	15"
16"	42"	42"	18"
20"	48"	48"	21"
24"	54"	54"	24"

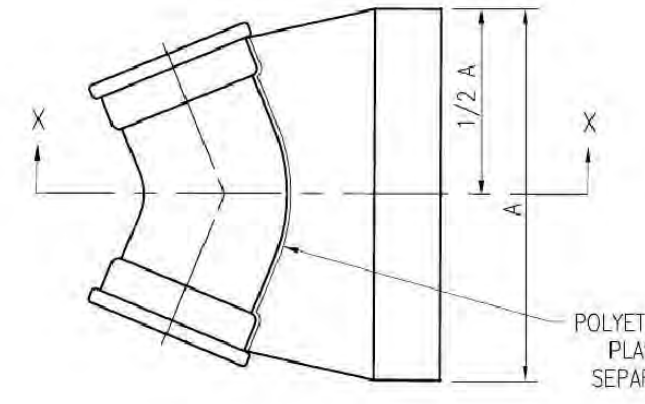


**THRUST BLOCK AT PLUG**

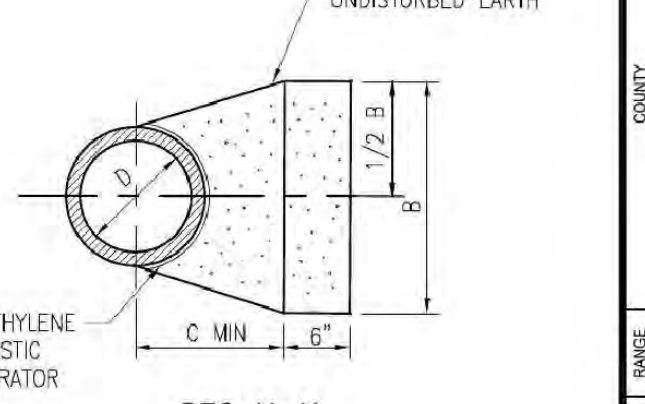


**THRUST BLOCK AT 45° BEND**

DIA. OF WATER MAIN	THRUST BLOCK		
	A	B	C
6"	24"	18"	12"
8"	30"	24"	15"
12"	36"	30"	18"
16"	42"	36"	21"

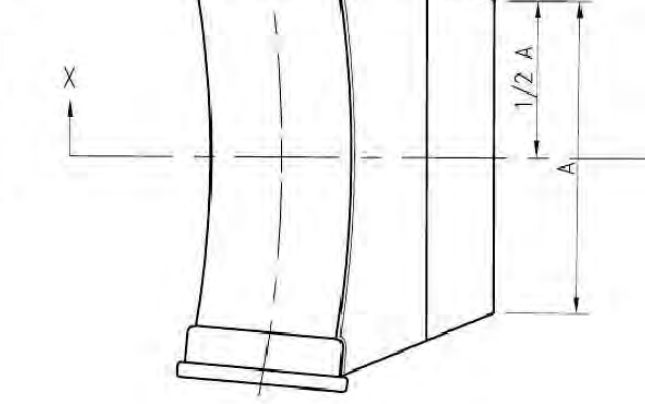


**THRUST BLOCK AT 90° BEND**

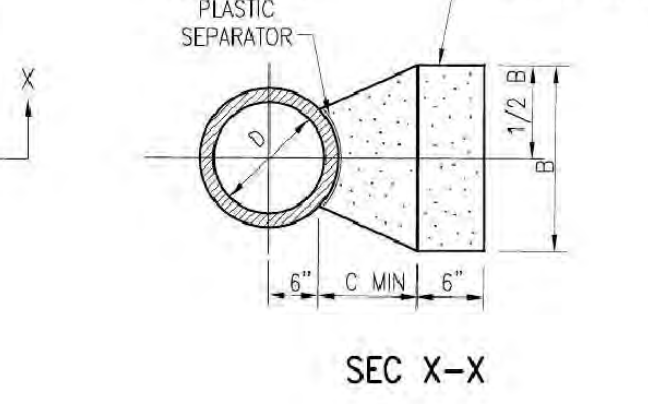


**THRUST BLOCK AT 11 1/4° BEND**

DIA. OF WATER MAIN	THRUST BLOCK		
	A	B	C
6"	24"	18"	12"
8"	30"	24"	15"
12"	36"	30"	18"
16"	42"	36"	21"
20"	48"	42"	24"

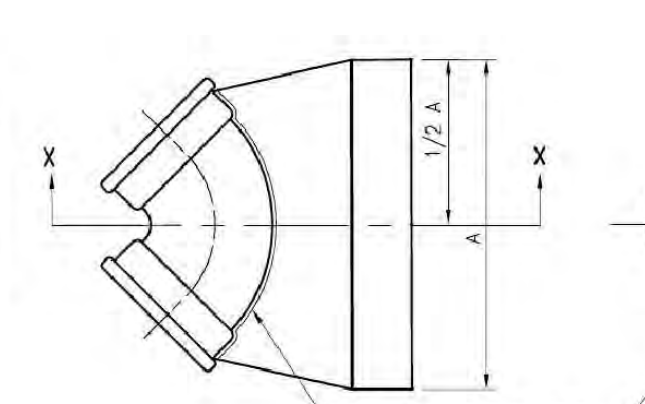


**THRUST BLOCK AT 22 1/2° BEND**

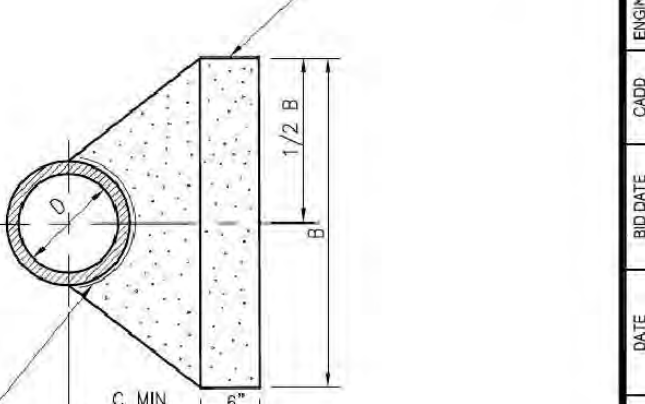


**THRUST BLOCK AT TEE**

DIA. OF WATER MAIN	THRUST BLOCK		
	A	B	C
6"	24"	18"	12"
8"	30"	24"	15"
12"	36"	30"	18"
16"	42"	36"	21"
20"	48"	42"	24"



**THRUST BLOCK AT TEE**



**THRUST BLOCK AT TEE**

**OHM**

34000 Plymouth Road | Livonia, MI 48150 | P (734) 522-6711 | F (734) 522-6427 | WWW.OHM-ADVISORS.COM

CITY OF LINCOLN PARK  
WAYNE COUNTY, MICHIGAN

STANDARD WATER MAIN DETAILS  
CITY OF LINCOLN PARK  
WAYNE COUNTY, MICHIGAN

SHEET  
**WM2**

**FORDLAND**

330 TOWN CENTER DRIVE, SUITE 1100  
DEARBORN, MICHIGAN 48126-2738  
USA

915 SOUTH BLVD. EAST  
ROCHESTER HILLS, MI 48307

25500 OUTER DRIVE  
LINCOLN PARK MI 48146

5102

**SPALDING DeDECKER**  
Engineers | Surveyors

905 South Blvd. East  
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Phone: (248) 844-5400  
Fax: (248) 844-5404  
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16.3011  
MICHIGAN REGISTERED PROFESSIONAL ENGINEER

16.3011  
MICHIGAN REGISTERED PROFESSIONAL SURVEYOR

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08.14.2017 • SITE PLAN REVIEW  
08.04.2017 • BID  
07.07.2017 • PERMIT REVISIONS  
06.23.2017 • REVISION  
06.30.2017 • ISSUED FOR PERMITS  
04.10.2017 • BID/CONSTRUCTION  
02.27.2017 • 90% OWNER REVIEW  
01.13.2017 • 60% SUBMISSION  
01.31.2017 • PARKING LAYOUT

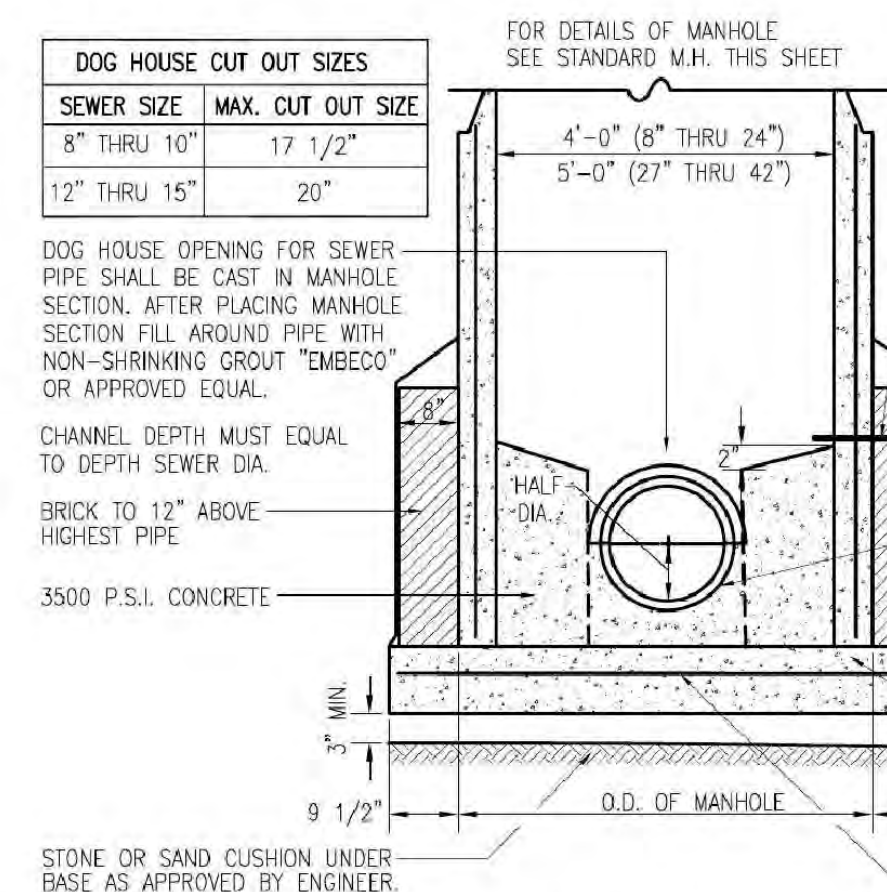
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DRAWN BY: TEL  
DESIGNED BY: TEL  
CHECKED BY: TJS  
APPROVED BY: TJS

OVERALL SITE - NEW WORK  
STANDARD WATER MAIN DETAILS 2  
FORD DWG NO. E5012-101  
REV. #

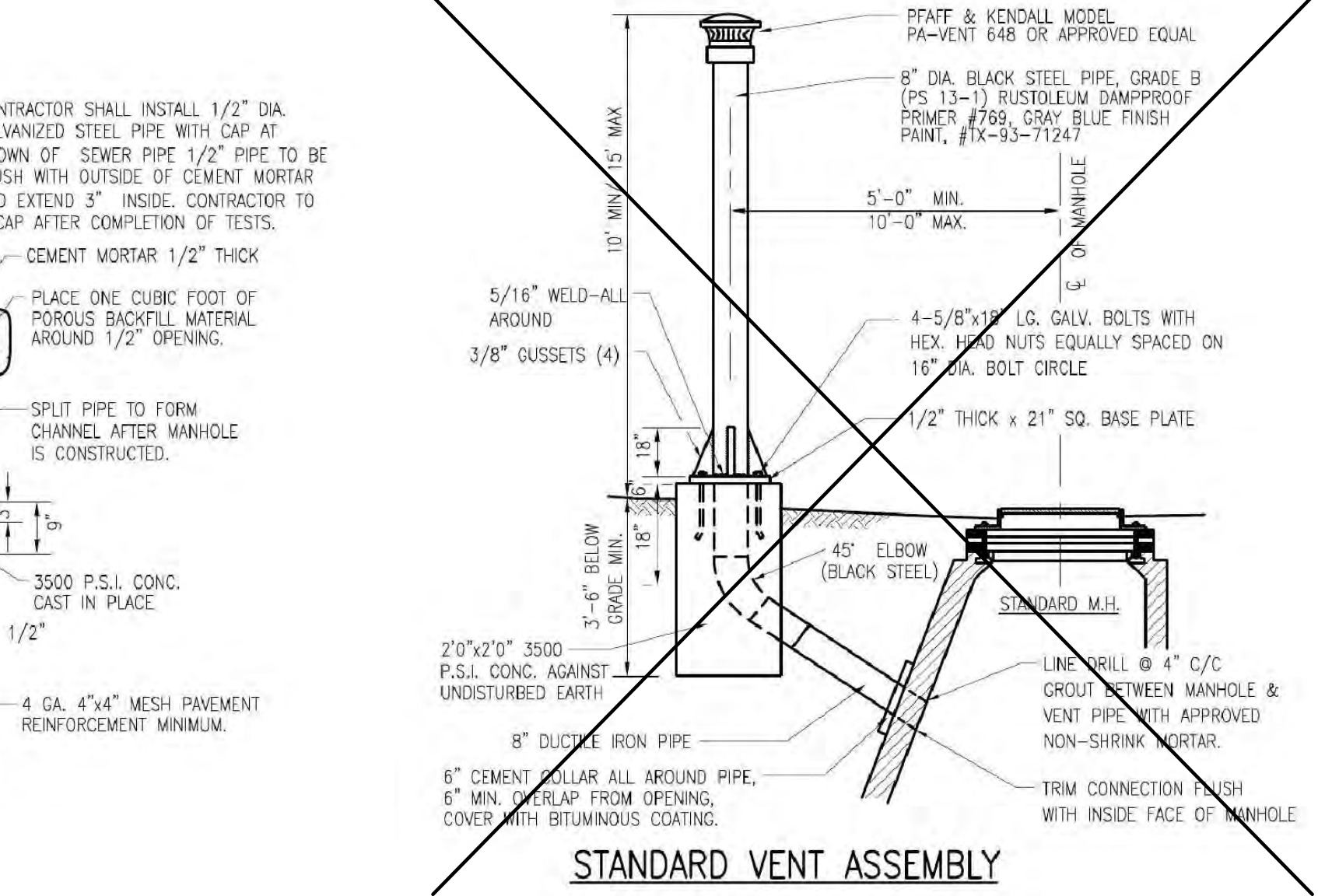
**C-130**



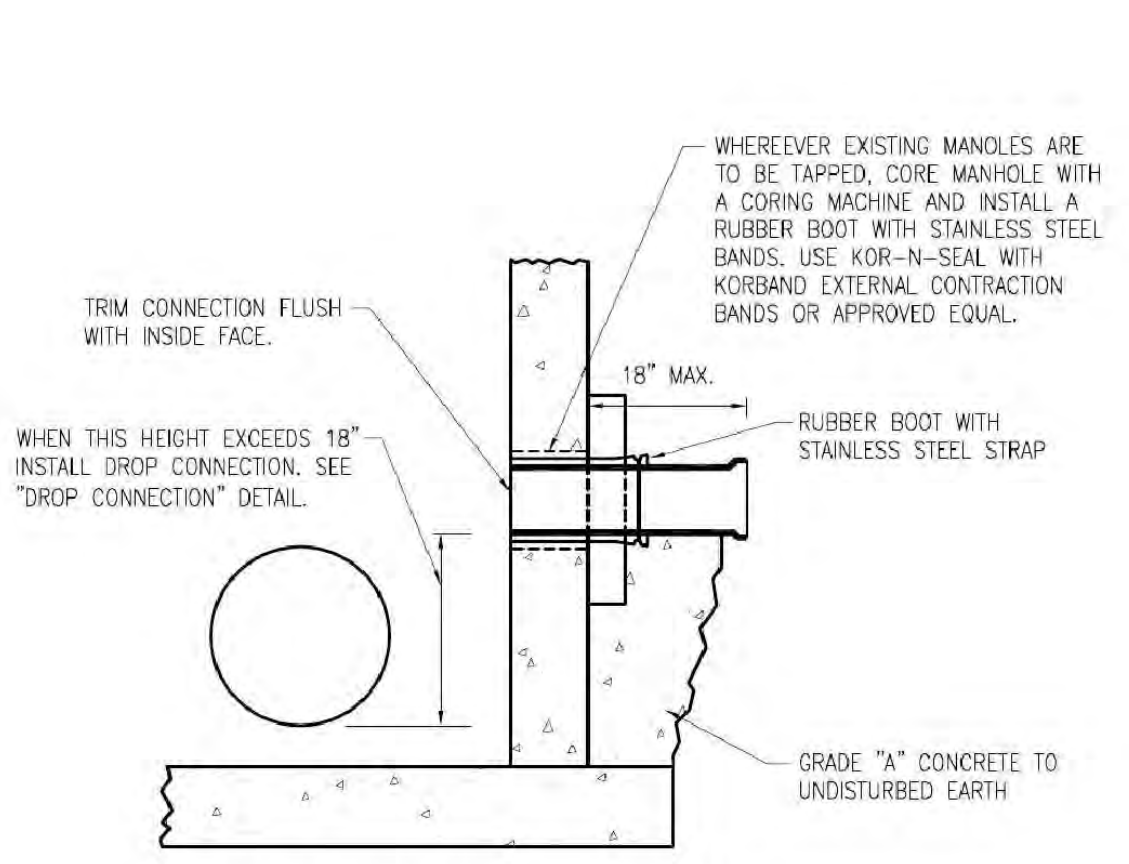
SEWER SIZE	MAX. CUT OUT SIZE
8" THRU 10"	17 1/2"
12" THRU 15"	20"



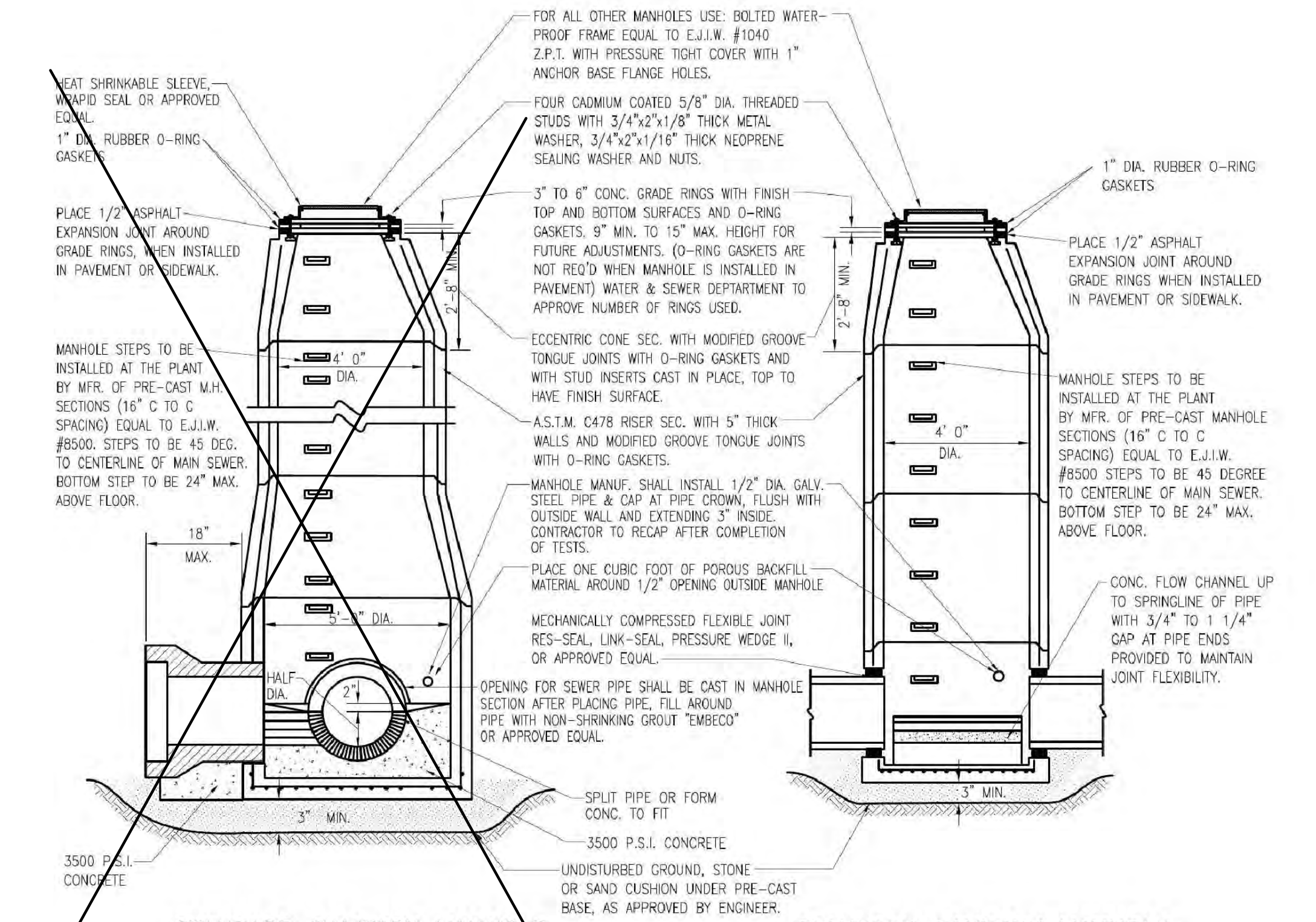
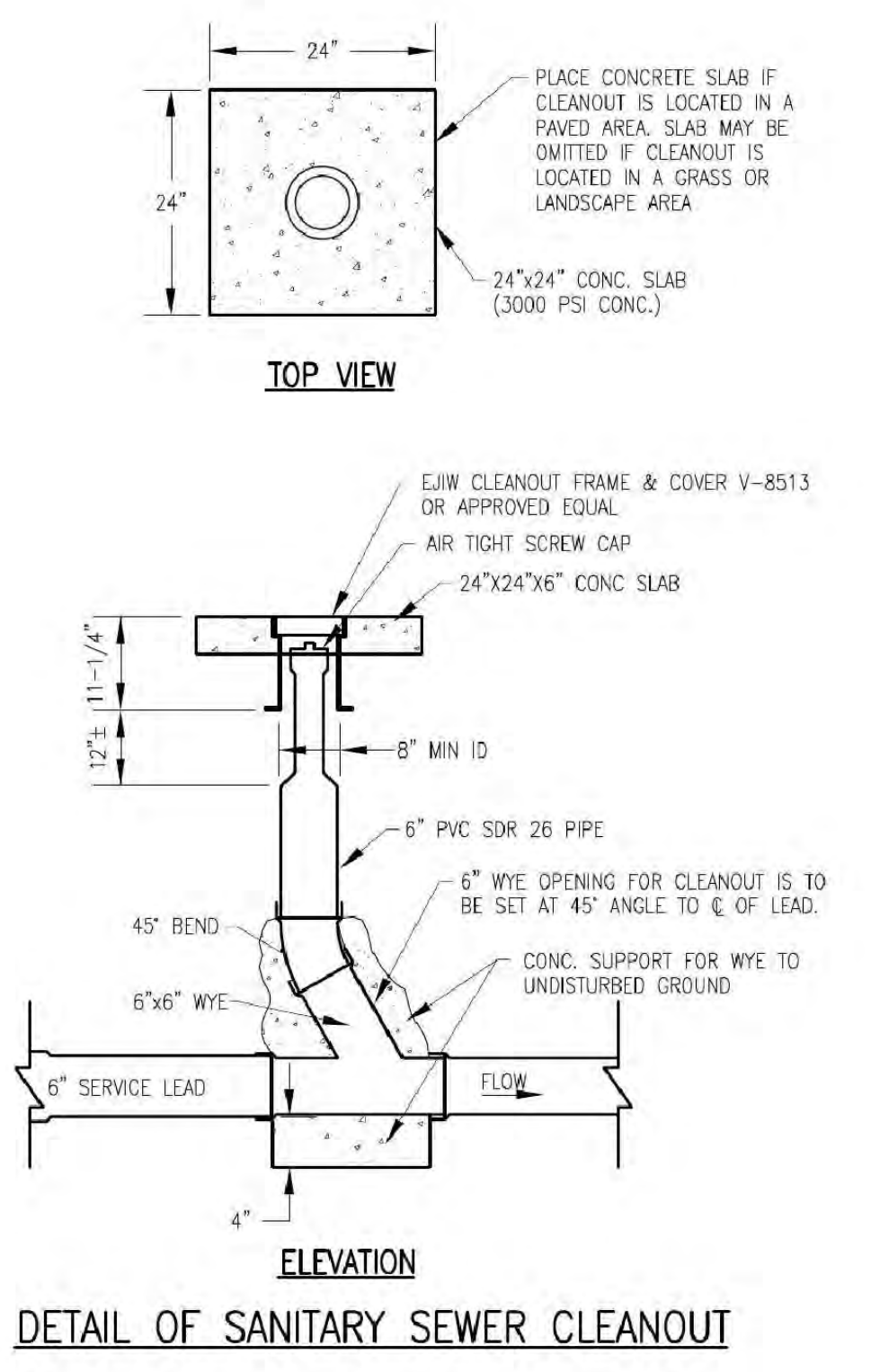
**STANDARD SANITARY MANHOLE ON EXISTING SEWERS 8" THRU 42"**



**STANDARD VENT ASSEMBLY**

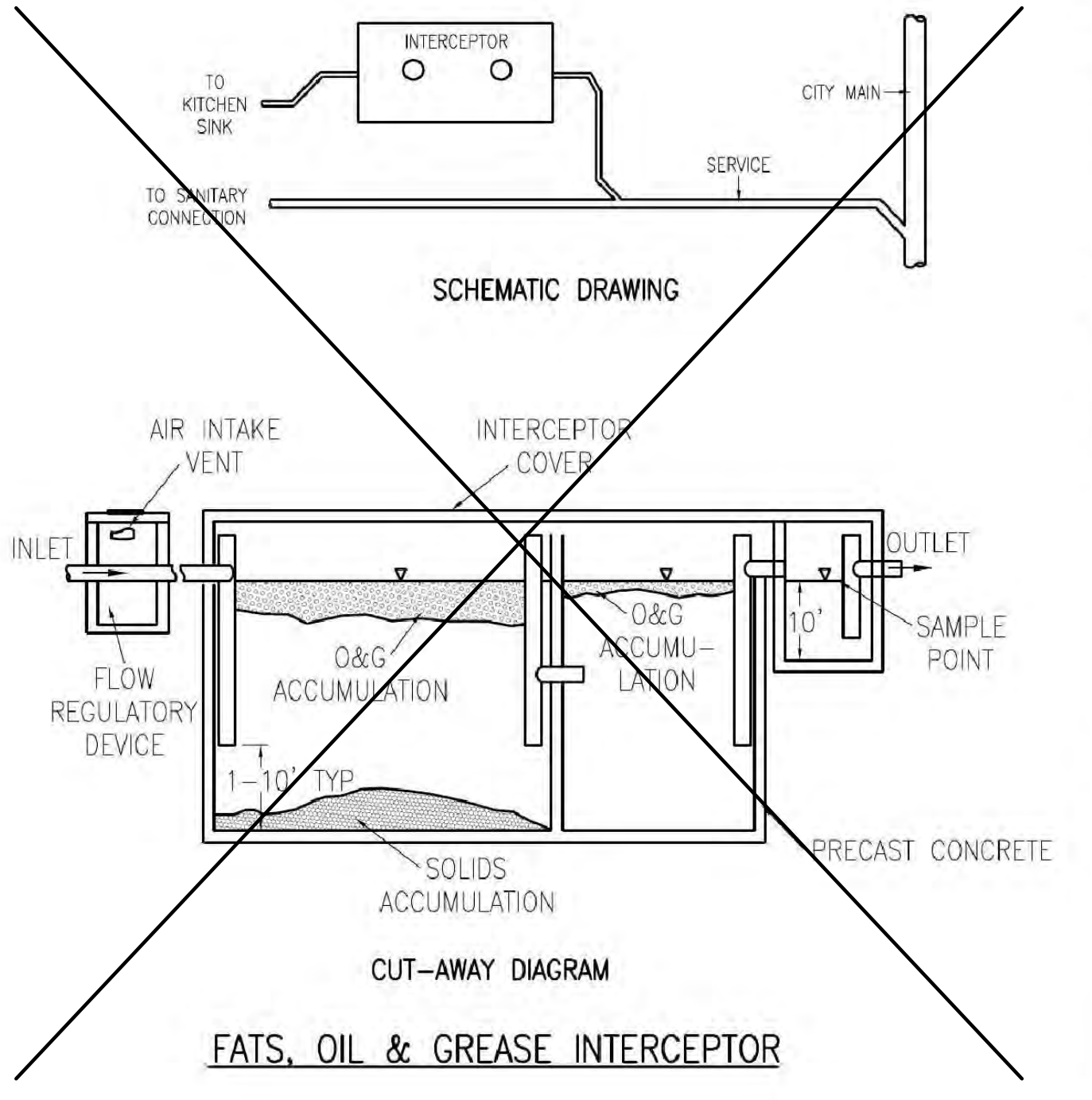
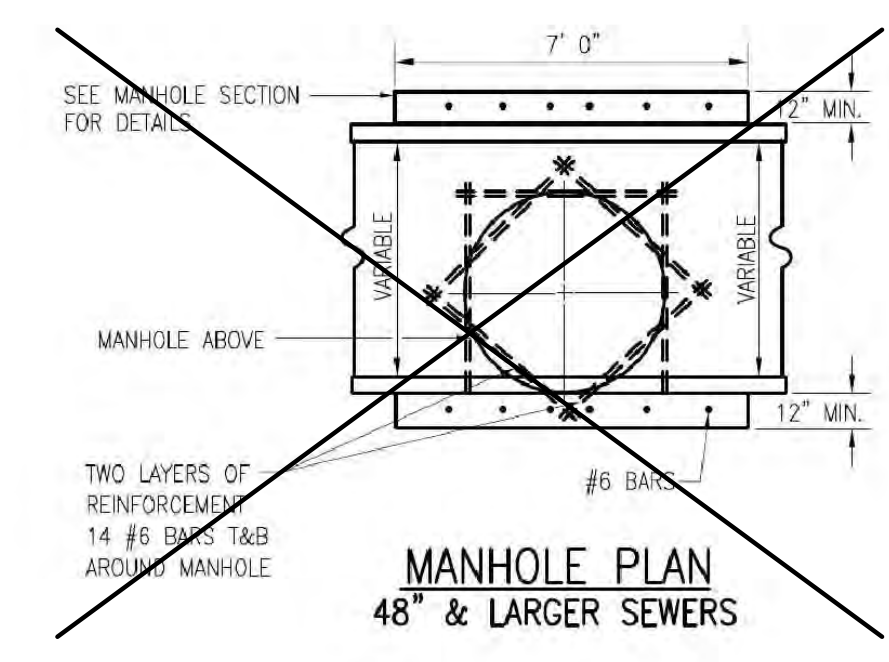


**STANDARD CONNECTION TO EXISTING MANHOLE**



**STANDARD SANITARY MANHOLE FOR SEWERS 27" THRU 42"**

**STANDARD SANITARY MANHOLE FOR SEWERS 8" THRU 24"**




DRAWING DATE: 11/05/2010 08:00:00 AM

NO.	DATE	DESCRIPTION
1	11/05/2010	ISSUED FOR PERMITS
2	04/10/2017	BID/CONSTRUCTION
3	02/27/2017	90% OWNER REVIEW
4	02/13/2017	60% SUBMISSION
5	01/31/2017	PARKING LAYOUT
6		ISSUED FOR


STANDARD SANITARY DETAILS  
CITY OF LINCOLN PARK  
WAYNE COUNTY, MICHIGAN

SHEET  
**SAN1**



**FORDLAND**

330 TOWN CENTER DRIVE, SUITE 1100  
DEARBORN, MICHIGAN 48126-2738  
USA



---

UAW - FORD TECHNICAL TRAINING CENTER

**25500 OUTER DRIVE  
LINCOLN PARK MI 48146**

---

BUILDING SITE CODE: 5102  
FORD PROJECT NUMBER:

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**SDS** Engineering and Architecture  
10000 Woodward Ave., Suite 400  
Rochester Hills, MI 48309  
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08.14.2017	• SITE PLAN REVIEW
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06.23.2017	• REVISION
06.30.2017	• ISSUED FOR PERMITS
04.10.2017	• BID/CONSTRUCTION
02.27.2017	• 90% OWNER REVIEW
02.13.2017	• 60% SUBMISSION
01.31.2017	• PARKING LAYOUT
DATE	ISSUED FOR

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APPROVED BY:	TJS

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SHEET TITLE  
**OVERALL SITE - NEW WORK  
STANDARD SANITARY SEWER DETAILS 1**

FORD DWG NO. E5012-101 REV. #  
SHEET NUMBER  
**C-131**



330 TOWN CENTER DRIVE, SUITE 1100  
DEARBORN, MICHIGAN 48126-2738  
USA

UAW - FORD TECHNICAL TRAINING CENTER  
25500 OUTER DRIVE  
LINCOLN PARK MI 48146

BUILDING SITE CODE: 5102  
FORD PROJECT NUMBER:

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City of Lincoln Park  
Wayne County, Michigan

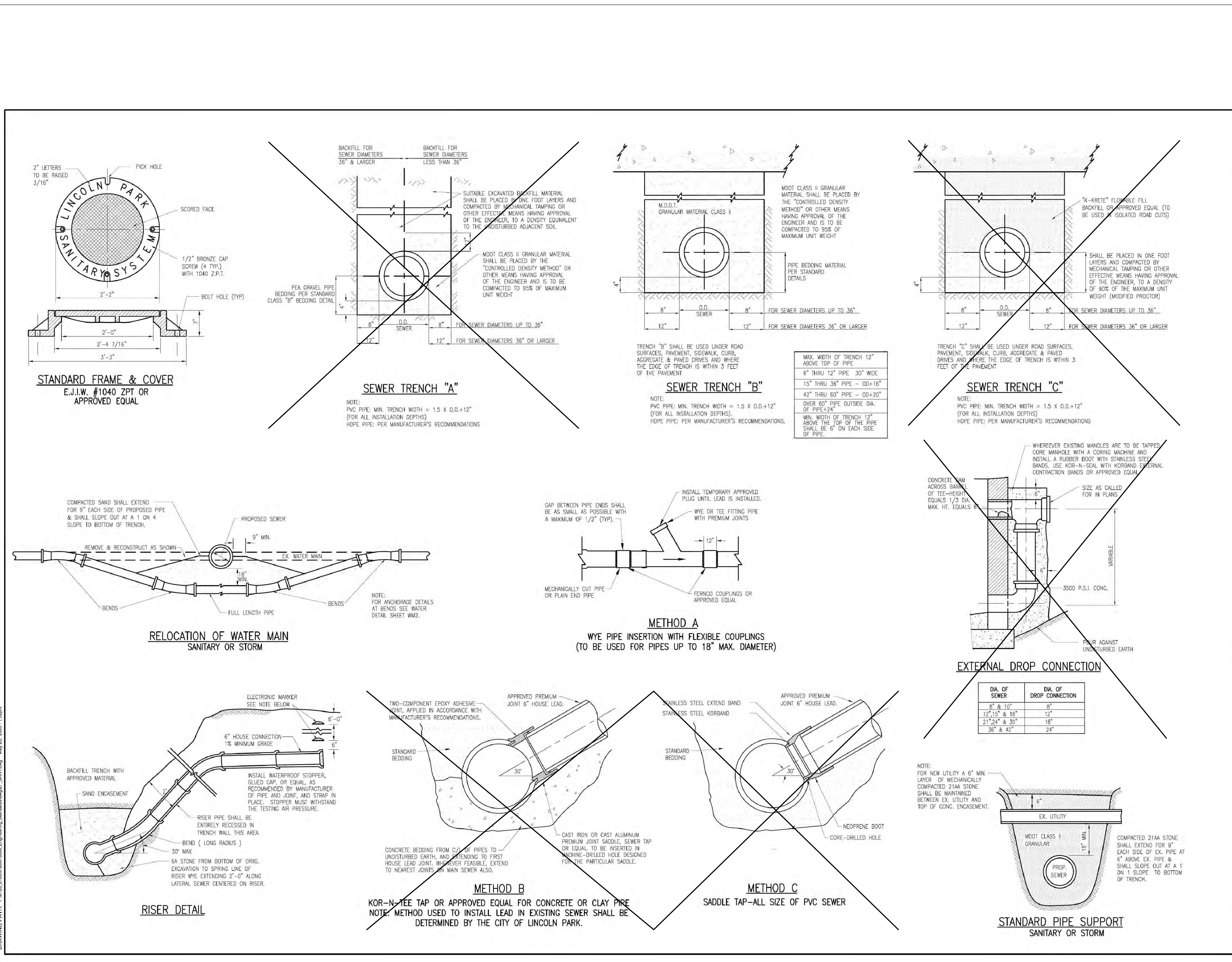
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DATE: 08/14/2017  
DRAWN BY: TEL  
DESIGNED BY: TEL  
CHECKED BY: TJS  
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STANDARD SANITARY DETAILS  
CITY OF LINCOLN PARK  
WAYNE COUNTY, MICHIGAN

SHEET  
**SAN2**

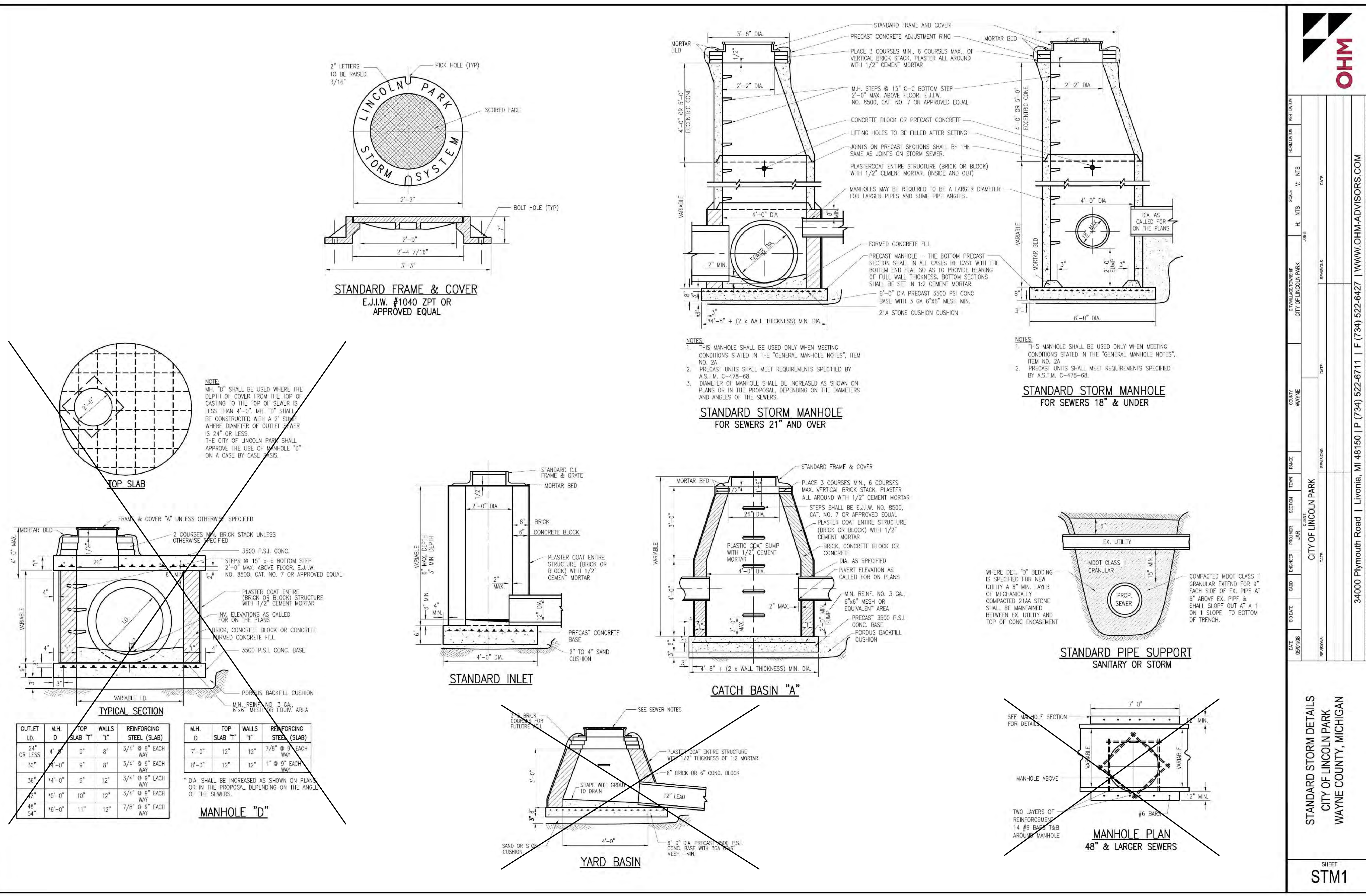
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DATE: 08/14/2017  
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07/07/2017  
06/23/2017  
06/30/2017  
04/10/2017  
02/27/2017  
02/13/2017  
01/31/2017  
DATE ISSUED FOR:  
• SITE PLAN REVIEW  
• BID  
• PERMIT REVISIONS  
• REVISION  
• ISSUED FOR PERMITS  
• BID/CONSTRUCTION  
• 90% OWNER REVIEW  
• 60% SUBMISSION  
• PARKING LAYOUT



DRAWING PATH: P:\1018\01501200102001\_Engraving\_Sanitary\SAN2.dwg May 28, 2008 11:52am

OVERALL SITE - NEW WORK  
STANDARD SANITARY SEWER DETAILS 2



**OHM**  
OHM ADVISORS  
34000 Plymouth Road | Livonia, MI 48150 | P (734) 622-8711 | F (734) 622-8711 | WWW.OHM-ADVISORS.COM

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**STANDARD STORM SEWER DETAILS**  
**CITY OF LINCOLN PARK**  
**WAYNE COUNTY, MICHIGAN**

---

SHEET **STM1**

**FORDLAND**

330 TOWN CENTER DRIVE, SUITE 1100  
DEARBORN, MICHIGAN 48126-2738  
USA

BUILDING SITE CODE: **5102**  
FORD PROJECT NUMBER:

**UAW - FORD TECHNICAL TRAINING CENTER**

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**CIVIL ENGINEER / SURVEYOR**  
  
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DDA Consultants Group Design Inc.  
16201  
16201  
16201

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DATE	ISSUED FOR
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08.04.2017	• BID
07.07.2017	• PERMIT REVISIONS
06.23.2017	• REVISION
06.30.2017	• ISSUED FOR PERMITS
04.10.2017	• BID/CONSTRUCTION
02.27.2017	• 90% OWNER REVIEW
02.13.2017	• 60% SUBMISSION
01.31.2017	• PARKING LAYOUT

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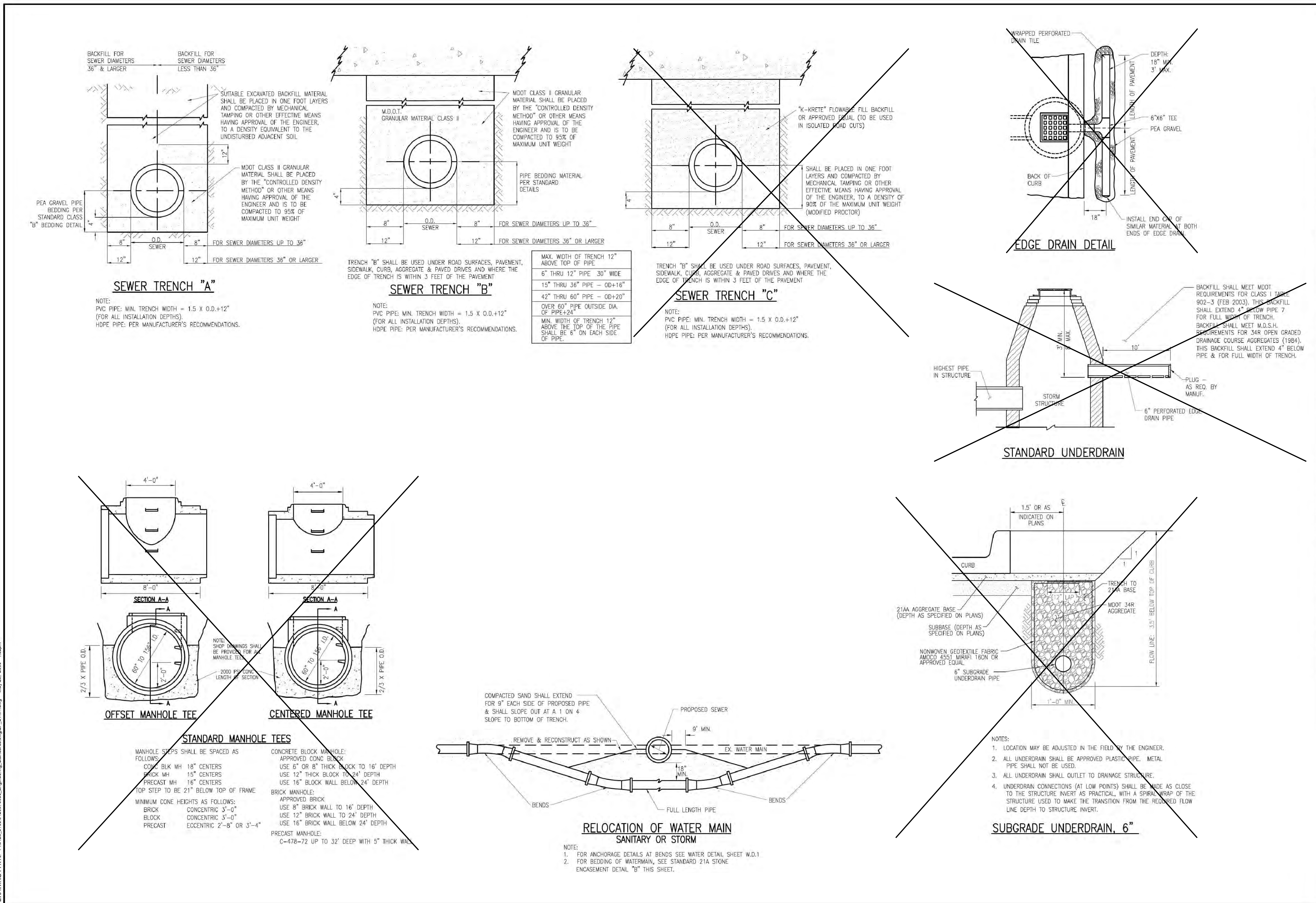
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CHECKED BY	TJS
APPROVED BY	TJS

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**OVERALL SITE - NEW WORK**  
**STANDARD STORM SEWER DETAILS 1**

REVISION #

**C-133**



PROJECT NO.	15010000000000000000
DATE	08/14/2017
PROJECT NAME	STANDARD STORM SEWER DETAILS 2
CITY	CITY OF LINCOLN PARK
STATE	MI
COUNTY	WAYNE
ADDRESS	34000 Plymouth Road   Livonia, MI 48150   P (734) 522-6711   F (734) 522-6427   WWW.OHM-ADVISORS.COM
DESIGNED BY	TJS
CHECKED BY	TJS
DATE	08/14/2017
PROJECT NO.	15010000000000000000
DATE	08/14/2017
PROJECT NAME	STANDARD STORM SEWER DETAILS 2
CITY	CITY OF LINCOLN PARK
STATE	MI
COUNTY	WAYNE
ADDRESS	34000 Plymouth Road   Livonia, MI 48150   P (734) 522-6711   F (734) 522-6427   WWW.OHM-ADVISORS.COM
DESIGNED BY	TJS
CHECKED BY	TJS
DATE	08/14/2017

**FORDLAND**

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DEARBORN, MICHIGAN 48126-2738  
USA

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UAW - FORD TECHNICAL TRAINING CENTER

**25500 OUTER DRIVE  
LINCOLN PARK MI 48146**

BUILDING SITE CODE: 5102  
FORD PROJECT NUMBER:

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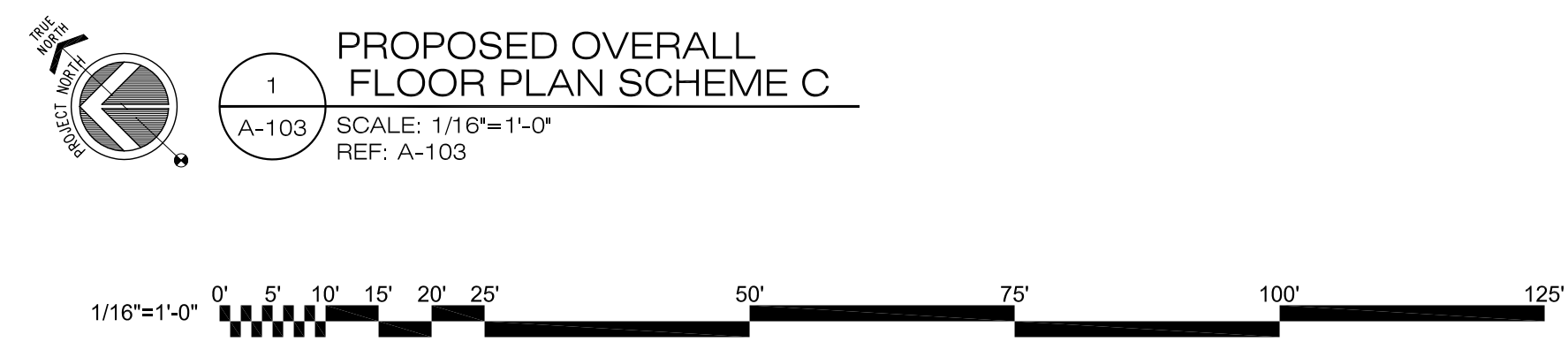
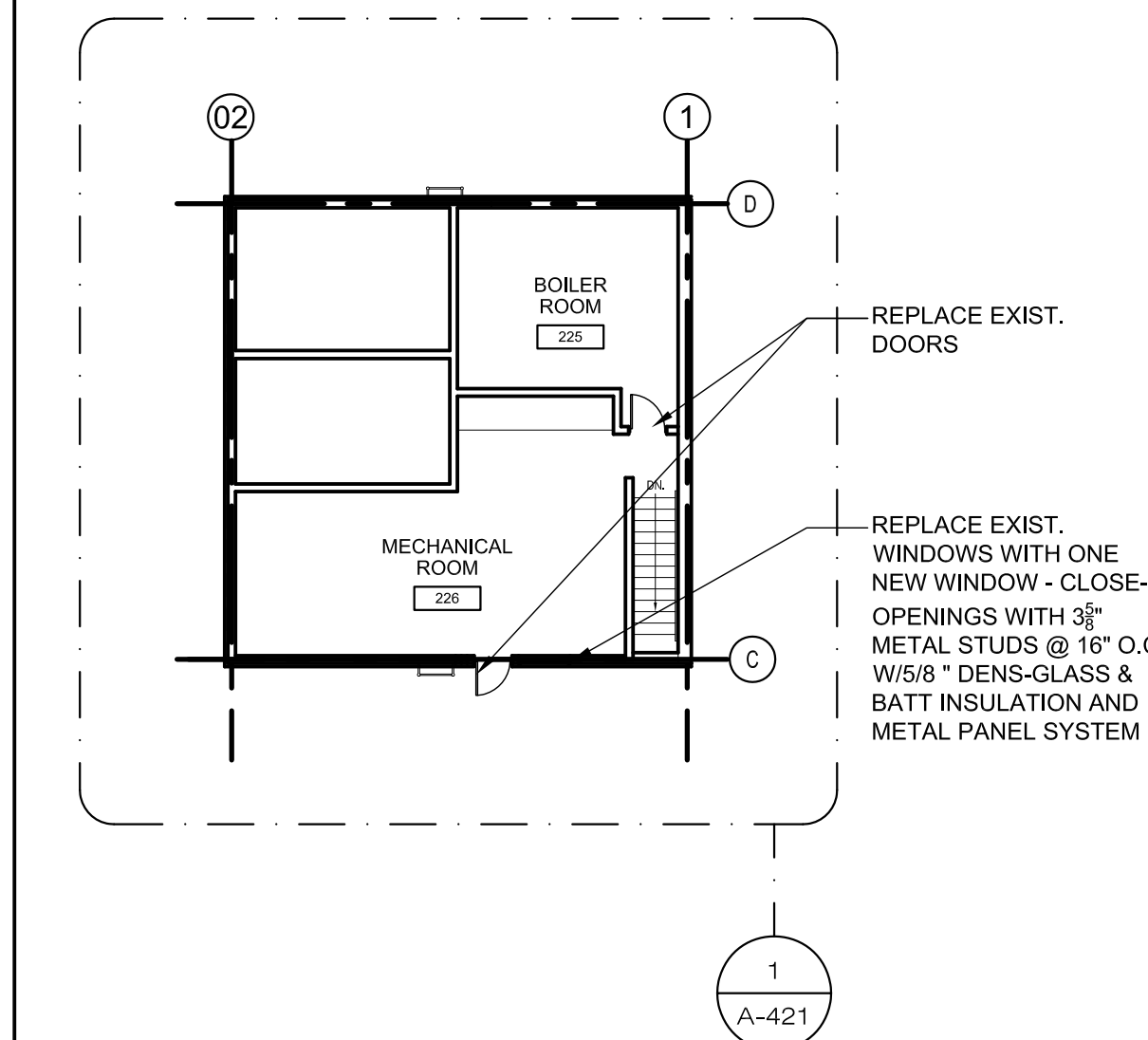
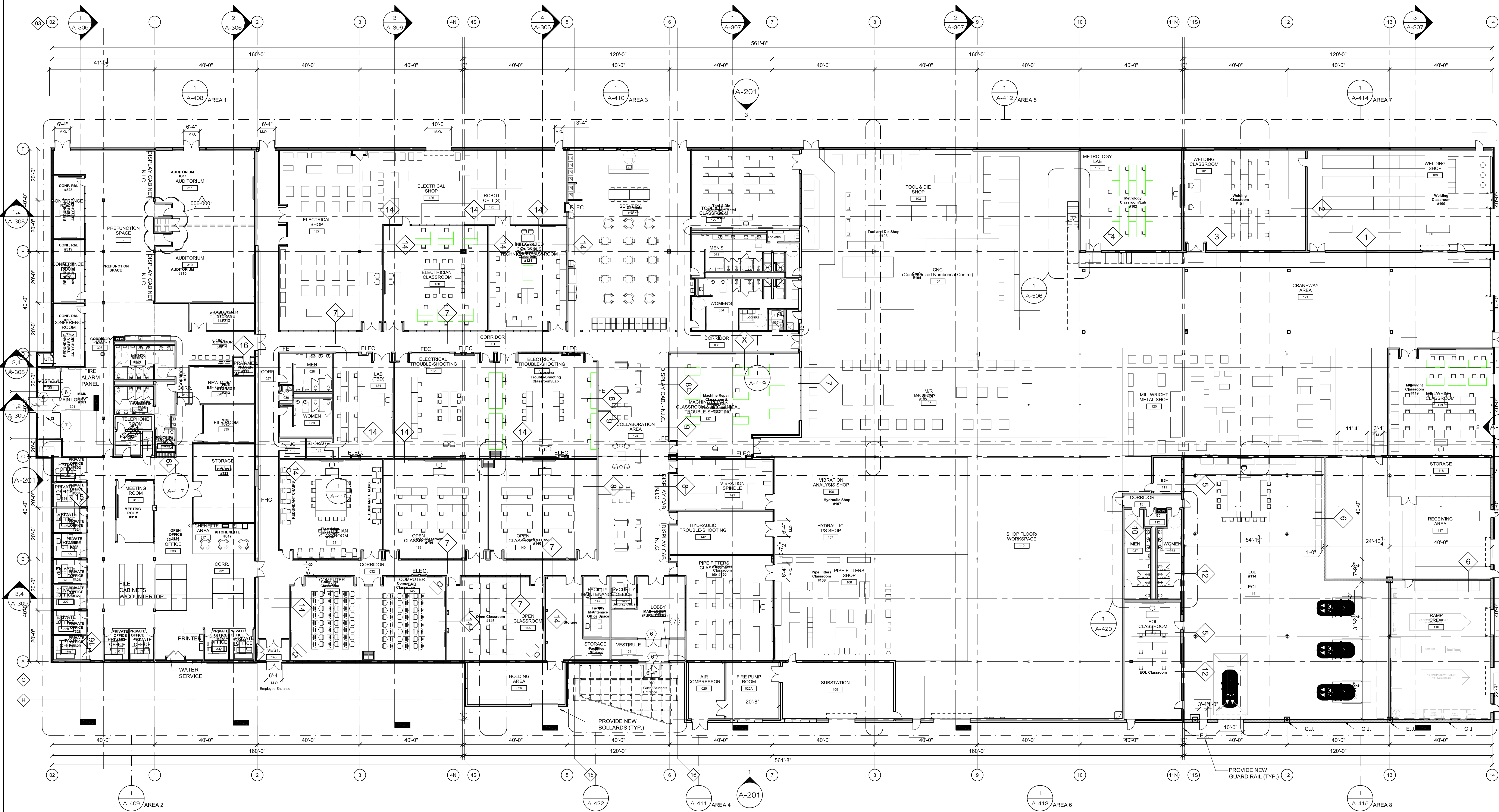
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DATE	08/04/2017	REVISION	2. BID
DATE	07/07/2017	REVISION	3. PERMIT REVISIONS
DATE	06/23/2017	REVISION	4. REVISION
DATE	06/30/2017	REVISION	5. ISSUED FOR PERMITS
DATE	04/10/2017	REVISION	6. BID/CONSTRUCTION
DATE	02/27/2017	REVISION	7. 90% OWNER REVIEW
DATE	02/13/2017	REVISION	8. 60% SUBMISSION
DATE	01/31/2017	REVISION	9. PARKING LAYOUT
DATE		REVISION	

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DRAWN BY	TEL
DESIGNED BY	TEL
CHECKED BY	TJS
APPROVED BY	TJS
SHEET TITLE	<b>OVERALL SITE - NEW WORK STANDARD STORM SEWER DETAILS 2</b>
FORD Dwg No.	E5012-101
REV.	#
SHEET NUMBER	<b>C-134</b>

OVERALL SITE - NEW WORK  
STANDARD STORM SEWER DETAILS 2





**PROPOSED OVERALL FLOOR PLAN SCHEME C**  
SCALE: 1/16"=1'-0"  
REF: A-103

**GENERAL FLOOR PLAN NOTES**

- COORDINATE ALL REQUIRED WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
- FIELD VERIFY ALL DIMENSIONS IN FIELD PRIOR TO WORK. COORDINATE ALL NEW WORK WITH EXISTING CONDITIONS.
- ALL FURNITURE AND EQUIPMENT BY OWNER.
- SEE ENLARGED FLOOR PLAN FOR DOOR NUMBERS.
- SEE ENLARGED FLOOR PLAN FOR WINDOW NUMBERS.
- NEW KAWNEER STOREFRONT SYSTEM AND DOORS
- NEW PEDIMAT

PARTITION TYPE: SEE SHEETS A-503, A-504 & A-505 FOR PARTITION TYPE NUMBERS

DOOR TAG: SEE SHEETS A-601 & A-602 FOR DOOR SCHEDULE  
WINDOW TAG: SEE SHEET A-603 FOR SCHEDULE

**LEGEND**

EXISTING TO REMAIN

NEW WALL - SEE LARGER PLANS & SHEETS A-503 - A-505A FOR PARTITION TYPES WHETHER POCHÉ OR NOT

DATE	ISSUED FOR
08.31.2017	ADDENDUM 006
08.28.2017	ADDENDUM 005
08.25.2017	ADDENDUM 005
08.07.2017	ADDENDUM 004
05.12.2017	ISSUE 001-ADDENDUM
04.10.2017	BID/CONSTRUCTION
02.27.2017	90% OWNERS' REVIEW
02.08.2017	SCHEMATIC DESIGN SIGN-OFF
02.06.2017	60% DESIGN DEVELOPMENT REVIEW
01.11.2017	SCHEMATIC DESIGN REVIEW

IN CHARGE:	L.CALHOUN
DRAWN BY:	V.GLOVER, L.CALHOUN
DESIGNED BY:	L.CALHOUN, V.GLOVER
CHECKED BY:	M.CROSS
APPROVED BY:	M.CROSS

SHEET TITLE:  
**PROPOSED OVERALL FLOOR PLAN SCHEME B**


FORD DWG NO. E5012-101  
SHEET NUMBER:  
**A-103**

**PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/16"=1'-0"  
REF: A-421



**FORDLAND**  
 330 TOWN CENTER DRIVE, SUITE 1100  
 DEARBORN, MICHIGAN 48126-2738  
 USA

**UAW/FORD TECHNICAL TRAINING CENTER**  
 25500 OUTER DRIVE  
 LINCOLN PARK, MI 48146



**SDG Architects + Planners**  
 815 Griswold  
 Detroit, MI 48226  
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DATE	DESCRIPTION
04.10.2017	BIDDING CONSTRUCTION
02.27.2017	90% OWNERS REVIEW
02.08.2017	SCHEMATIC DESIGN SIGNOFF
02.08.2017	100% DESIGN DEVELOPMENT REVIEW
01.11.2017	SCHEMATIC DESIGN REVIEW

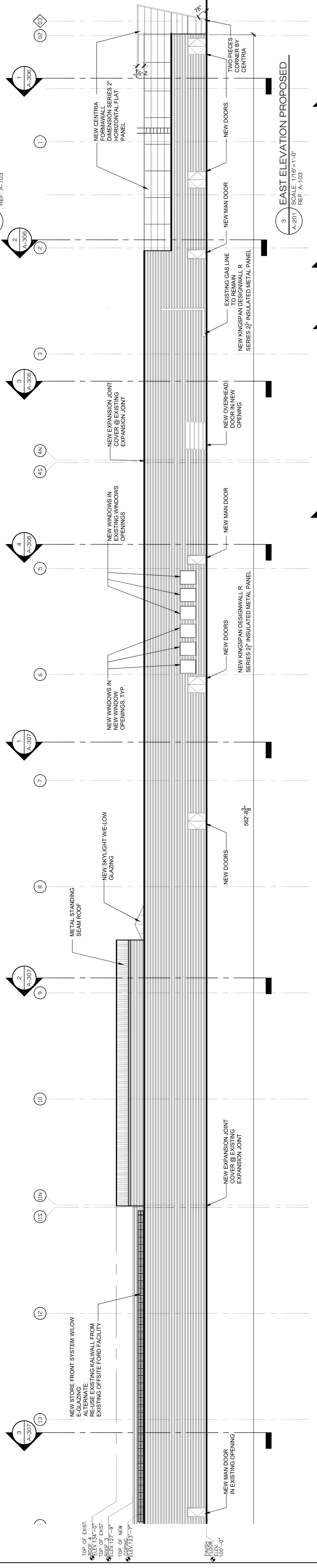
**PROPOSED OVERALL ELEVATIONS**

DESIGNER: L. CALHOUN  
 DRAWN BY: V. GLOVER  
 CHECKED BY: L. CALHOUN  
 APPROVED BY: M. CROSS

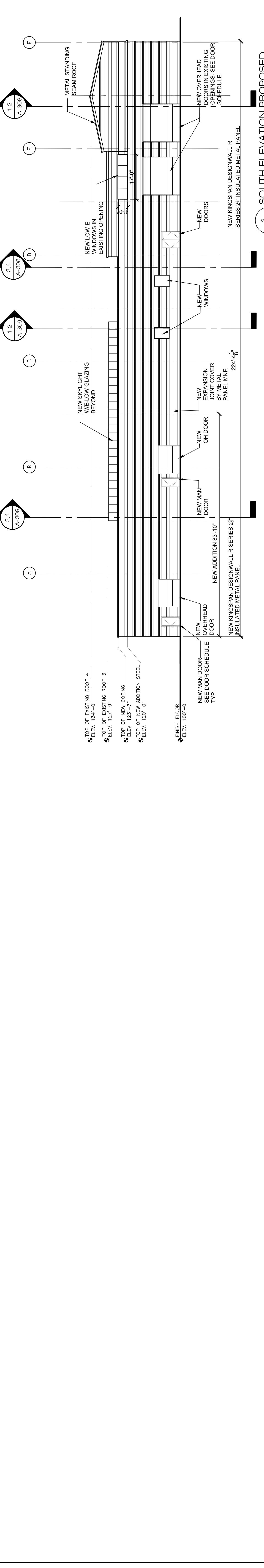
PROJECT NUMBER: A-201  
 SHEET NUMBER: #



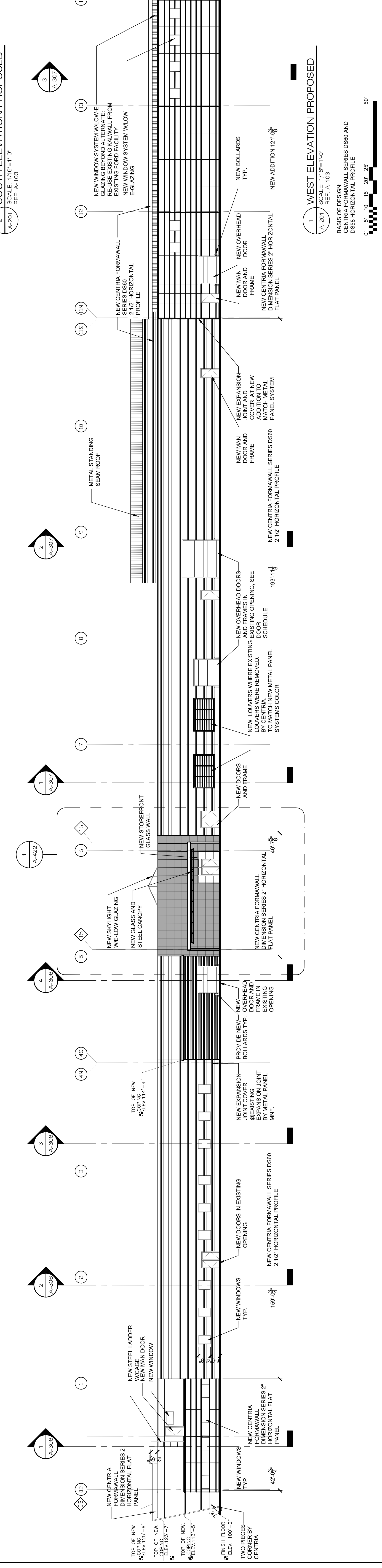
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 A-201 SCALE: 1/16"=1'-0"  
 REF: A-103



3 EAST ELEVATION PROPOSED  
 A-201 SCALE: 1/16"=1'-0"  
 REF: A-103



2 SOUTH ELEVATION PROPOSED  
 A-201 SCALE: 1/16"=1'-0"  
 REF: A-103



1 WEST ELEVATION PROPOSED  
 A-201 SCALE: 1/16"=1'-0"  
 REF: A-103

BASIS OF DESIGN: DIMENSIONAL SERIES D560 AND D588 HORIZONTAL PROFILE

# OSQ Series

OSQ™ LED Area/Flood Luminaire – Medium

## Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weathertight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The 'B' Input power designator is a suitable upgrade for HID applications up to 250 Watt, and the 'K' Input power designator is a suitable upgrade for HID applications up to 400 Watt.

**Applications:** Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

## Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Made in the U.S.A. of U.S. and imported parts

**Initial Delivered Lumens:** Up to 17,291

**Efficacy:** Up to 136 LPW

**CRI:** Minimum 70 CRI (4000K & 5700K; 3000K asymmetric optics); 80 CRI (3000K symmetric optics)

**CCT:** 3000K (+/- 300K), 4000K (+/- 300K), 5700K (+/- 500K)

**Limited Warranty\*:** 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

\* See <http://lighting.cree.com/warranty> for warranty terms

## Accessories

Field-Installed	
<b>Backlight Shield</b> OSQ-BLSMF – Front facing optics OSQ-BLSMR – Rotated optics	<b>Hand-Held Remote</b> XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

## Ordering Information

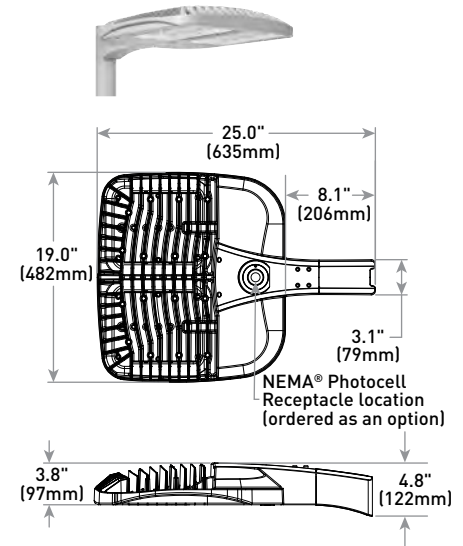
Fully assembled luminaire is composed of two components that must be ordered separately:  
 Example: **Mount:** OSQ-AASV + **Luminaire:** OSQ-A-NM-2ME-B-40K-UL-SV

Mount (Luminaire must be ordered separately)		
OSQ-		
OSQ-AA Adjustable Arm OSQ-DA Direct Arm	Color Options:	SV Silver BK Black BZ Bronze WH White

Luminaire (Mount must be ordered separately)									
OSQ	A	NM							
Product	Version	Mounting	Optic	Input Power Designator	CCT	Voltage	Color Options	Options	
OSQ	A	NM No Mount	<b>Asymmetric</b> 2ME* Type II Medium 4ME* Type IV Medium 3ME* Type III Medium  <b>Symmetric</b> 5ME Type V Medium 5SH Type V Short WSN Wide Sign 15D 15° Flood	B 86W K 130W	30K 3000K 40K 4000K 57K 5700K	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver WH White	<b>DIM 0-10V Dimming</b> - Control by others - Refer to <a href="#">Dimming spec sheet</a> for details - Can't exceed wattage of specified input power designator  <b>F Fuse</b> - When code dictates fusing, use time delay fuse  <b>ML Multi-Level</b> - Refer to <a href="#">ML spec sheet</a> for details - High: 100%, Low: 30% - Available with UL voltage only - Intended for downlight applications at 0° tilt  <b>PML Programmable Multi-Level, 20-40' Mounting Height</b> - Refer to <a href="#">PML spec sheet</a> for details - Available with UL voltage only - Intended for downlight applications at 0° tilt	<b>PML2 Programmable Multi-Level, 10-30' Mounting Height</b> - Refer to <a href="#">PML spec sheet</a> for details - Available with UL voltage only - Intended for downlight applications at 0° tilt  <b>Q9 Field Adjustable Output</b> - Refer to <a href="#">Field Adjustable Output spec sheet</a> for details  <b>R NEMA® Photocell Receptacle</b> - Intended for downlight applications with maximum 45° tilt - 3-pin receptacle per ANSI C136.10 - Photocell and shorting cap by others  <b>RL Rotate Left</b> - LED and optic are rotated to the left  <b>RR Rotate Right</b> - LED and optic are rotated to the right

\* Available with Backlight Shield when ordered with field-installed accessory (see table above)

## DA Mount



Weight
26.5 lbs. (12kg)



Rev. Date: V11 09/27/2016



US: [lighting.cree.com/lighting](http://lighting.cree.com/lighting)

T (800) 236-6800 F (262) 504-5415

Canada: [www.cree.com/canada](http://www.cree.com/canada)

T (800) 473-1234 F (800) 890-7507



**Product Specifications**

**CONSTRUCTION & MATERIALS**

- Slim, low profile design minimizes wind load requirements
- Luminaire housing is rugged die cast aluminum with an integral, weathertight LED driver compartment and high performance heat sink
- Convenient interlocking mounting method on direct arm mount. Mounting adaptor is rugged die cast aluminum and mounts to 3-6" (76-152mm) square or round pole, secured by two 5/16-18 UNC bolts spaced on 2" (51mm) centers
- Mounting for the adjustable arm mount adaptor is rugged die cast aluminum and mounts to 2" (51mm) IP, 2.375" (60mm) O.D. tenon
- Adjustable arm mount can be adjusted 180° in 2.5° increments
- Designed for uplight and downlight applications
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, bronze, black, and white are available
- **Weight:** 26.5 lbs. (12kg)

**ELECTRICAL SYSTEM**

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- **10V Source Current:** 0.15mA

**REGULATORY & VOLUNTARY QUALIFICATIONS**

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without R option
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- DLC and DLC Premium qualified versions available. Some exceptions apply. Please refer to [www.designlights.org/QPL](http://www.designlights.org/QPL) for most current information
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT. Please refer to <http://darksky.org/fsa/fsa-products/> for most current information

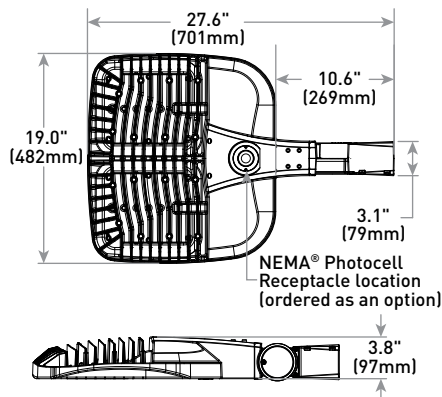
Electrical Data*							
Input Power Designator	System Watts 120-480V	Total Current (A)					
		120V	208V	240V	277V	347V	480V
B	86	0.73	0.43	0.37	0.32	0.25	0.19
K	130	1.09	0.65	0.56	0.49	0.38	0.28

\* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-480V +/-10%

Recommended OSQ Series Lumen Maintenance Factors (LMF) <sup>1</sup>						
Ambient	Optic	Initial LMF	25K hr Projected <sup>2</sup> LMF	50K hr Projected <sup>2</sup> LMF	75K hr Projected <sup>2</sup> LMF	100K hr Calculated <sup>3</sup> LMF
5°C (41°F)	Asymmetric	1.04	0.99	0.93	0.89	0.84
	Symmetric	1.05	1.00	0.96 <sup>3</sup>	0.92 <sup>3</sup>	0.88 <sup>3</sup>
10°C (50°F)	Asymmetric	1.03	0.98	0.93	0.88	0.83
	Symmetric	1.04	0.99	0.95 <sup>3</sup>	0.91 <sup>3</sup>	0.87 <sup>3</sup>
15°C (59°F)	Asymmetric	1.02	0.97	0.92	0.87	0.82
	Symmetric	1.02	0.98	0.94 <sup>3</sup>	0.90 <sup>3</sup>	0.87 <sup>3</sup>
20°C (68°F)	Asymmetric	1.01	0.96	0.91	0.86	0.82
	Symmetric	1.01	0.96	0.92 <sup>3</sup>	0.88 <sup>3</sup>	0.85 <sup>3</sup>
25°C (77°F)	Asymmetric	1.00	0.95	0.90	0.85	0.81
	Symmetric	1.00	0.95	0.91 <sup>3</sup>	0.88 <sup>3</sup>	0.84 <sup>3</sup>

<sup>1</sup> Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ luminaire testing  
<sup>2</sup> In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (IDUT) i.e. the packaged LED chip  
<sup>3</sup> In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (IDUT) i.e. the packaged LED chip

**AA Mount**



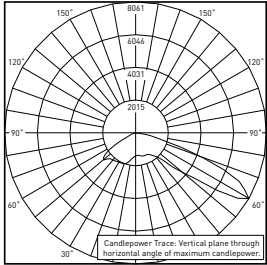
Weight
26.5 lbs. (12kg)



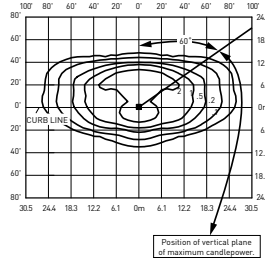
**Photometry**

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/area/osq-series>

**2ME**



**RESTL Test Report #:** PL08877-001  
**OSQ-A\*\*-2ME-B-30K-UL**  
**Initial Delivered Lumens:** 10,381



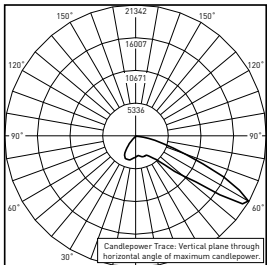
**OSQ-A\*\*-2ME-B-40K-UL**  
**Mounting Height:** 25' (7.6m) A.F.G.  
**Initial Delivered Lumens:** 11,424  
**Initial FC at grade**

**Type II Medium Distribution**

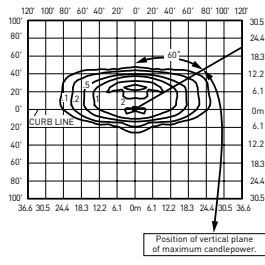
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	10,738	B2 U0 G2	11,424	B2 U0 G2	11,648	B2 U0 G2
K	16,022	B3 U0 G3	16,959	B3 U0 G3	17,291	B3 U0 G3

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt



**CESTL Test Report #:** PL07700-001A  
**OSQ-A\*\*-2ME-U-57K-UL w/OSQ-BLSLF**  
**Initial Delivered Lumens:** 22,822



**OSQ-A\*\*-2ME-U-57K-UL w/OSQ-BLSLF**  
**Mounting Height:** 25' (7.6m) A.F.G.  
**Initial Delivered Lumens:** 8,779  
**Initial FC at grade**

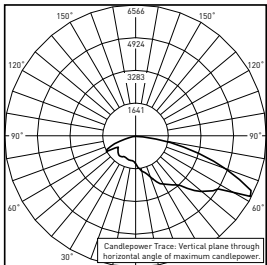
**Type II Medium w/BLS Distribution**

Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11
B	8,251	B2 U0 G2	8,779	B2 U0 G2	8,950	B2 U0 G2
K	12,312	B2 U0 G2	13,032	B2 U0 G2	13,286	B2 U0 G2

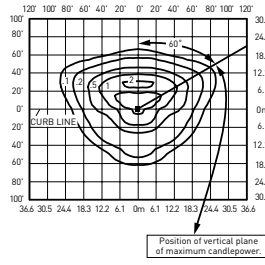
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt

**3ME**



**RESTL Test Report #:** PL08876-001A  
**OSQ-A\*\*-3ME-B-30K-UL**  
**Initial Delivered Lumens:** 10,421



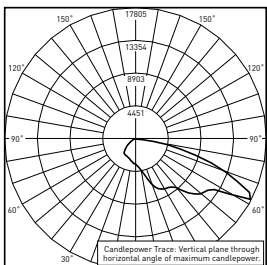
**OSQ-A\*\*-3ME-B-40K-UL**  
**Mounting Height:** 25' (7.6m) A.F.G.  
**Initial Delivered Lumens:** 11,424  
**Initial FC at grade**

**Type III Medium Distribution**

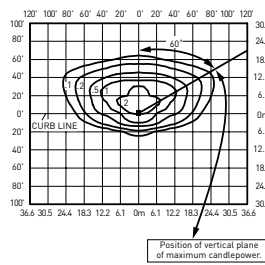
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11
B	10,738	B3 U0 G3	11,424	B3 U0 G3	11,648	B3 U0 G3
K	16,022	B3 U0 G3	16,959	B3 U0 G3	17,291	B3 U0 G3

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt



**CESTL Test Report #:** PL07699-001A  
**OSQ-A\*\*-3ME-U-57K-UL w/OSQ-BLSLF**  
**Initial Delivered Lumens:** 23,601



**OSQ-A\*\*-3ME-U-57K-UL w/OSQ-BLSLF**  
**Mounting Height:** 25' (7.6m) A.F.G.  
**Initial Delivered Lumens:** 9,019  
**Initial FC at grade**

**Type III Medium w/BLS Distribution**

Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	8,477	B1 U0 G2	9,019	B1 U0 G2	9,196	B1 U0 G2
K	12,649	B2 U0 G2	13,389	B2 U0 G2	13,650	B2 U0 G2

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

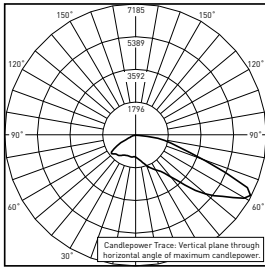
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt



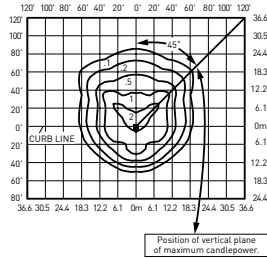
**Photometry**

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/area/osq-series>

**4ME**



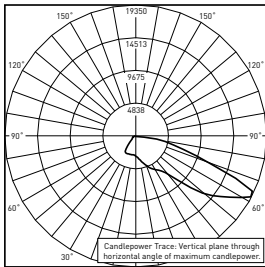
RESTL Test Report #: PL08878-001A  
OSQ-A-\*\*-4ME-B-30K-UL  
Initial Delivered Lumens: 10,230



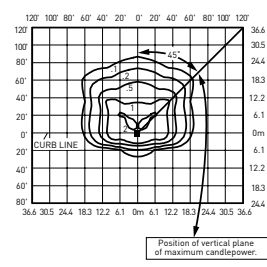
OSQ-A-\*\*-4ME-B-40K-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 11,424  
Initial FC at grade

Type IV Medium Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	10,738	B2 U0 G2	11,424	B2 U0 G2	11,648	B2 U0 G2
K	16,022	B3 U0 G3	16,959	B3 U0 G3	17,291	B3 U0 G3

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt



CESTL Test Report #: PL07692-001A  
OSQ-A-\*\*-4ME-U-57K-UL w/OSQ-BLSLF  
Initial Delivered Lumens: 22,793

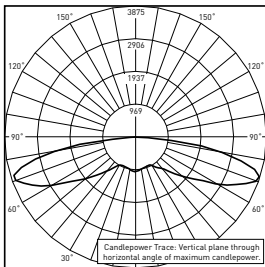


OSQ-A-\*\*-4ME-B-40K-UL w/OSQ-BLSMF  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 8,779  
Initial FC at grade

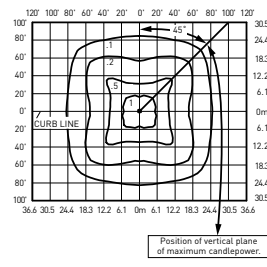
Type IV Medium w/BLS Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11
B	8,251	B1 U0 G2	8,779	B1 U0 G2	8,950	B1 U0 G2
K	12,312	B2 U0 G2	13,032	B2 U0 G2	13,286	B2 U0 G2

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt

**5ME**



CESTL Test Report #: PL08101-001C  
OSQ-A-\*\*-5ME-B-30K-UL  
Initial Delivered Lumens: 9,304

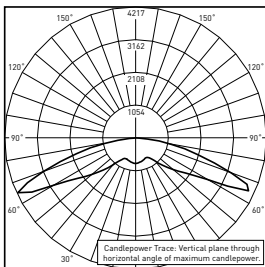


OSQ-A-\*\*-5ME-B-40K-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 10,867  
Initial FC at grade

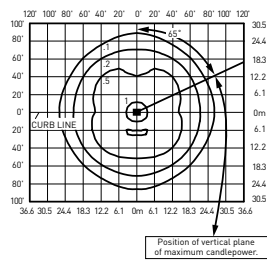
Type V Medium Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	9,387	B3 U0 G3	10,867	B4 U0 G4	11,056	B4 U0 G4
K	13,819	B4 U0 G4	15,999	B4 U0 G5	16,277	B4 U0 G5

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt

**5SH**



CESTL Test Report #: PL08102-001B  
OSQ-A-\*\*-5SH-B-30K-UL  
Initial Delivered Lumens: 9,935



OSQ-A-\*\*-5SH-B-40K-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 11,478  
Initial FC at grade

Type V Short Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11
B	9,914	B4 U0 G3	11,478	B4 U0 G3	11,678	B4 U0 G3
K	14,595	B4 U0 G3	16,897	B4 U0 G3	17,191	B4 U0 G3

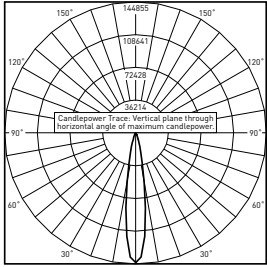
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt



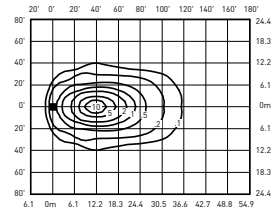
**Photometry**

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/area/osq-series>

**15D**



CESTL Test Report #: PL07689-001A  
OSQ-A\*\*-15D-U-30K-UL  
Initial Delivered Lumens: 23,254



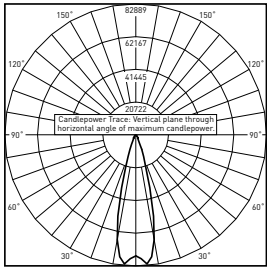
OSQ-A\*\*-15D-B-40K-UL  
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
Initial Delivered Lumens: 11,478  
Initial FC at grade

**15° Flood Distribution**

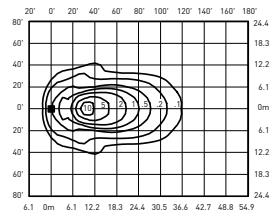
Input Power Designator	3000K	4000K	5700K
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
B	9,914	11,478	11,678
K	14,595	16,897	17,191

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

**25D**



CESTL Test Report #: PL07687-001A  
OSQ-A\*\*-25D-U-30K-UL  
Initial Delivered Lumens: 23,265



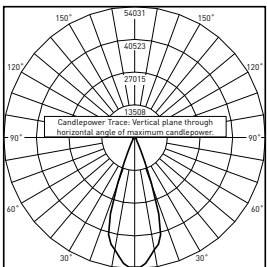
OSQ-A\*\*-25D-B-40K-UL  
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
Initial Delivered Lumens: 11,478  
Initial FC at grade

**25° Flood Distribution**

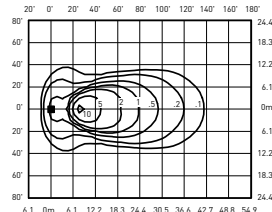
Input Power Designator	3000K	4000K	5700K
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
B	9,914	11,478	11,678
K	14,595	16,897	17,191

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

**40D**



CESTL Test Report #: PL07697-001A  
OSQ-A\*\*-40D-U-30K-UL  
Initial Delivered Lumens: 22,943



OSQ-A\*\*-40D-B-40K-UL  
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
Initial Delivered Lumens: 11,478  
Initial FC at grade

**40° Flood Distribution**

Input Power Designator	3000K	4000K	5700K
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
B	9,914	11,478	11,678
K	14,595	16,897	17,191

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

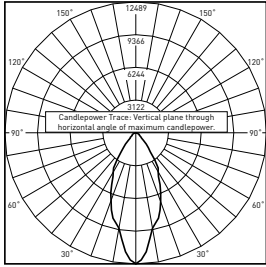


OSQ™ LED Area/Flood Luminaire – Medium

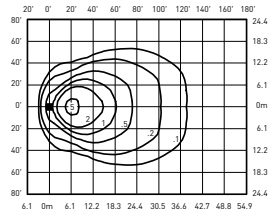
**Photometry**

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/area/osq-series>

**60D**



CESTL Test Report #: PL08100-001B  
OSQ-A-\*\*-60D-B-30K-UL  
Initial Delivered Lumens: 10,079

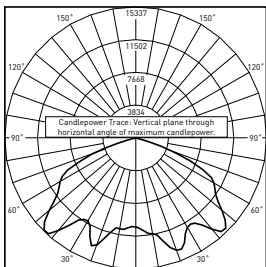


OSQ-A-\*\*-60D-B-40K-UL  
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
Initial Delivered Lumens: 11,478  
Initial FC at grade

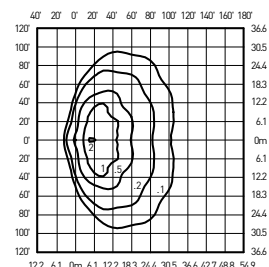
60° Flood Distribution			
Input Power Designator	3000K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*
B	9,914	11,478	11,678
K	14,595	16,897	17,191

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

**WSN**



CESTL Test Report #: PL07695-001A  
OSQ-A-\*\*-WSN-U-30K-UL  
Initial Delivered Lumens: 23,116

















OSQ-A-\*\*-WSN-B-40K-UL  
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
Initial Delivered Lumens: 11,478  
Initial FC at grade

Wide Sign Distribution			
Input Power Designator	3000K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*
B	9,914	11,478	11,678
K	14,595	16,897	17,191

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

**Luminaire EPA**

<b>Fixed Arm Mount – OSQ-DA</b> Weight: 26.5 lbs. (12kg)					
Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	4 @ 90°
					
0.74	1.48	1.19	1.93	1.63	2.38

<b>Adjustable Arm Mount – OSQ-AA</b> Weight: 26.5 lbs. (12kg)							
Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	3 @ 180°	4 @ 180°	4 @ 90°
<b>Tenon Configuration</b> [0° -80° Tilt]; If used with Cree tenons, please add tenon EPA with Luminaire EPA							
							
PB-1A*; PT-1; PW-1A3**	PB-2A*; PB-2R2.375; PD-2A4(180); PT-2(180); PW-2A3**	PB-2A*; PD-2A4(90); PT-2(90)	PB-3A*; PD-3A4(90); PT-3(90)	PB-3A*; PT-3(120)	PB-3A*; PB-3R2.375	PB-4A*(180)	PB-4A*(90); PB-4R2.375; PD-4A4(90); PT-4(90)
<b>0° Tilt</b>							
0.74	1.48	1.19	1.93	1.63	3.33	4.66	2.38
<b>10° Tilt</b>							
0.75	1.48	1.49	2.23	2.15	4.22	5.84	2.98
<b>20° Tilt</b>							
1.12	1.48	1.86	2.60	2.85	5.31	7.32	3.72
<b>30° Tilt</b>							
1.46	1.48	2.20	2.94	3.56	6.34	8.68	4.40
<b>45° Tilt</b>							
1.96	1.96	2.69	3.43	4.54	7.83	10.68	5.38
<b>60° Tilt</b>							
2.33	2.33	3.07	3.81	5.11	8.94	12.16	6.14
<b>70° Tilt</b>							
2.49	2.49	3.23	3.97	5.11	9.43	12.80	6.46
<b>80° Tilt</b>							
2.58	2.58	3.32	4.06	5.11	9.71	13.16	6.64
<b>Tenon Configuration</b> [90° Tilt]; If used with Cree tenons, please add tenon EPA with Luminaire EPA							
PB-1A*; PT-1; PW-1A3**	PB-2A*; PB-2R2.375; PD-2A4(180); PT-2(180); PW-2A3**	PB-2A*	PB-3A*	PB-3A*; PT-3(120)	PB-3A*; PB-3R2.375	PB-4A*(180)	PB-4A*(90); PB-4R2.375
<b>90° Tilt</b>							
2.61	2.61	4.44	6.05	5.11	9.79	13.28	10.39

\* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation  
 \*\* These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]



**Tenon EPA**

Part Number	EPA
PB-1A*	None
PB-2A*	0.82
PB-3A*	1.52
PB-4A*(180)	2.22
PB-4A*(90)	1.11
PB-2R2.375	0.92
PB-3R2.375	1.62
PB-4R2.375	2.32
PD Series Tenons	0.09
PT Series Tenons	0.10
PW-1A3**	0.47
PW-2A3**	0.94
WM-2	0.08
WM-4	0.25
WM-DM	None

\* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation  
 \*\* These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenons and Brackets* (must specify color)	
<b>Square Internal Mount Vertical Tenons (Steel)</b> - Mounts to 3-6" [76-152mm] square aluminum or steel poles PB-1A* – Single                      PB-4A*(90) – 90° Quad PB-2A* – 180° Twin                PB-4A*(180) – 180° Quad PB-3A* – 180° Triple	<b>Round External Mount Vertical Tenons (Steel)</b> - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons PB-2R2.375 – Twin                      PB-4R2.375 – Quad PB-3R2.375 – Triple
<b>Square Internal Mount Horizontal Tenons (Aluminum)</b> - Mounts to 4" (102mm) square aluminum or steel poles PD-2A4(90) – 90° Twin                PD-3A4(90) – 90° Triple PD-2A4(180) – 180° Twin            PD-4A4(90) – 90° Quad	<b>Round External Mount Horizontal Tenons (Aluminum)</b> - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons - Mounts to square pole with PB-1A* tenon PT-1 – Single (Vertical)                PT-3(90) – 90° Triple PT-2(90) – 90° Twin                    PT-4(90) – 90° Quad PT-2(180) – 180° Twin
<b>Wall Mount Brackets</b> - Mounts to wall or roof WM-2 – Horizontal for OSQ-AA mount WM-4 – L-Shape for OSQ-AA mount WM-DM – Plate for OSQ-DA mount	<b>Mid-Pole Bracket</b> - Mounts to square pole PW-1A3** – Single                      PW-2A3** – Double
	<b>Ground Mount Post</b> - For ground mounted flood luminaires PGM-1 - for OSQ-AA mount

\* Refer to the [Bracket and Tenons spec sheet](#) for more details

**Direct Mount Configurations**

Compatibility with OSQ-DA Direct Mount Bracket					
Input Power Designator	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°
<b>3" Square</b>					
B & K	N/A	✓	N/A	N/A	N/A
<b>3" Round</b>					
B & K	N/A	✓	N/A	N/A	N/A
<b>4" Square</b>					
B & K	✓	✓	✓	N/A	✓
<b>4" Round</b>					
B & K	✓	✓	✓	✓	✓
<b>5" Square</b>					
B & K	✓	✓	✓	N/A	✓
<b>5" Round</b>					
B & K	✓	✓	✓	✓	✓
<b>6" Square</b>					
B & K	✓	✓	✓	N/A	✓
<b>6" Round</b>					
B & K	✓	✓	✓	✓	✓



# XSP Series

XSPW™ LED Wall Mount Luminaire

## Product Description

The XSPW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes. The luminaire allows for through-wired or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weathertight LED driver compartment and thermal management. Optic design features industry-leading NanoOptic® Precision Delivery Grid™ system in multiple distributions.

**Applications:** General area and security lighting

## Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Made in the U.S.A. of U.S. and imported parts

**CRI:** Minimum 70 CRI

**CCT:** 4000K (+/- 300K), 5700K (+/- 500K)

**Limited Warranty\*:** 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

\* See <http://lighting.cree.com/warranty> for warranty terms

## Accessories

### Field-Installed

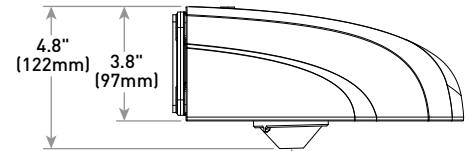
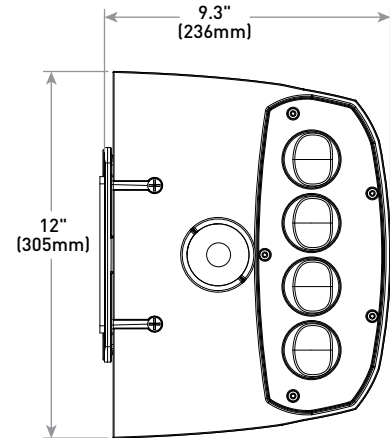
#### Beauty Plate

WM-PLT12\*\* - 12" (305mm) Square

WM-PMT14\*\* - 14" (356mm) Square

- Covers holes left by incumbent wall packs

\*\* Must specify color



Multi-Level Sensor location  
(ordered as an option)

### Weight

9.5 lbs. (4.3kg)

## Ordering Information

Example: XSPW-A-0-2-F-C-U-Z

Product	Version	Mounting	Optic	Modules	Input Power Designator	Voltage	Color Options	Options
XSPW	A	0 Wall	2 Type II Medium 3 Type III Medium	F 4000K M 5700K	C 42W G 25W	U Universal 120-277V 1 120V 2 208-277V 6* 347V	S Silver T Black W White Z Bronze	K <b>Multi-Level</b> - Refer to ML spec sheet for details - Available with Input Power Designator C only - Available with U voltage only P <b>Photocell</b> - Not available with K option - Must specify 1, 2, or 6 voltage

\* Available in Canada only. 347V utilizes magnetic step-down transformer. For input power for 347V, refer to the Electrical Data table

**NOTE:** Price adder may apply depending on configuration



Rev. Date: V7 08/11/2016



US: [lighting.cree.com/lighting](http://lighting.cree.com/lighting)

T (800) 236-6800 F (262) 504-5415

Canada: [www.cree.com/canada](http://www.cree.com/canada)

T (800) 473-1234 F (800) 890-7507



**Product Specifications**

**CONSTRUCTION & MATERIALS**

- Slim, low profile design
- Luminaire housing specifically designed for LED applications with advanced LED thermal management and driver
- Luminaire mounting box designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes
- Luminaire can also be direct mounted to a wall and surface wired
- Secures to wall with four 3/16" (5mm) screws (by others)
- Conduit entry from top, bottom, sides, and rear
- Designed and UL approved for easy through-wiring
- Designed for downlight applications only
- Exclusive Colorfast DeltaGuard® finish features an E-coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, black, white and bronze are available
- **Weight:** 9.5lbs. (4.3kg)

**ELECTRICAL SYSTEM**

- **Input Voltage:** 120-277V or 347V, 50/60Hz
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Class 2 driver
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- C Input Power Designator is designed with 0-10V dimming capabilities standard. Controls by others
- **10V Source Current:** 0.15 mA

**REGULATORY & VOLUNTARY QUALIFICATIONS**

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529
- DLC qualified. Please refer to [www.designlights.org/QPL](http://www.designlights.org/QPL) for most current information
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details

Electrical Data*							
Input Power Designator	System Watts 120-277V	System Watts 347V	Total Current (A)				
			120V	208V	240V	277V	347V
C	42	46	0.36	0.21	0.19	0.16	0.14
G	25	27	0.22	0.13	0.11	0.10	0.08

\* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-347V +/- 10%

Recommended XSPW Series Lumen Maintenance Factors (LMF) <sup>1</sup>						
Ambient	Input Power Designator	Initial LMF	25K hr Projected <sup>2</sup> LMF	50K hr Projected <sup>2</sup> LMF	75K hr Projected <sup>2</sup> LMF	100K hr Calculated <sup>3</sup> LMF
5°C (41°F)	C	1.04	1.02	1.01	1.00	1.00
	G					
10°C (50°F)	C	1.03	1.01	1.00	0.99	0.99
	G					
15°C (59°F)	C	1.02	1.00	0.99	0.98	0.98
	G					
20°C (68°F)	C	1.01	0.99	0.98	0.97	0.97
	G					
25°C (77°F)	C	1.00	0.98	0.97	0.96	0.96
	G					

<sup>1</sup> Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ luminaire testing

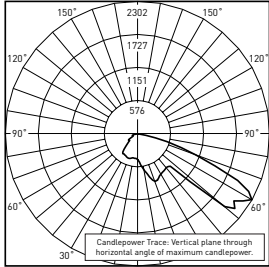
<sup>2</sup> In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip

<sup>3</sup> In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip

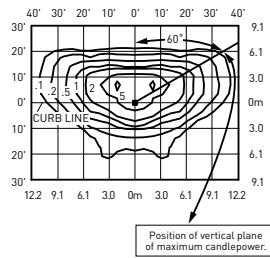
**Photometry**

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/wall-mount/xsp-series-wall>

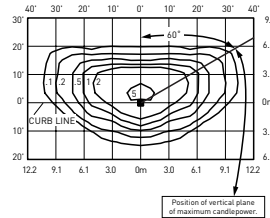
2



**CESTL Test Report #: 2014-0017**  
**XSPW-A\*-2-F-G-U-S**  
**Initial Delivered Lumens: 2,739**



**XSPW-A\*-2-F-C-U-S**  
**Mounting Height: 10' (3.0m) A.F.G.**  
**Initial Delivered Lumens: 3,819**  
**Initial FC at grade**

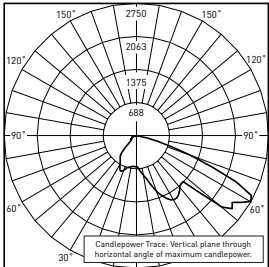


**XSPW-A\*-2-F-G-U-S**  
**Mounting Height: 10' (3.0m) A.F.G.**  
**Initial Delivered Lumens: 2,529**  
**Initial FC at grade**

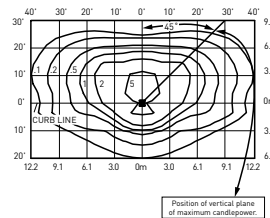
Type II Medium Distribution				
Input Power Designator	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
C	3,819	B1 U0 G1	4,109	B1 U0 G1
G	2,529	B1 U0 G1	2,722	B1 U0 G1

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf)

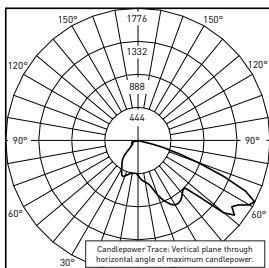
3



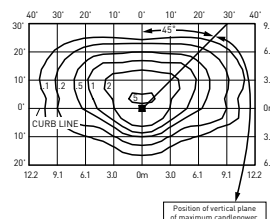
**CESTL Test Report #: 2014-0018**  
**XSPW-A\*-3-F-C-U-S**  
**Initial Delivered Lumens: 4,187**



**XSPW-A\*-3-F-C-U-S**  
**Mounting Height: 10' (3.0m) A.F.G.**  
**Initial Delivered Lumens: 3,819**  
**Initial FC at grade**



**CESTL Test Report #: 2014-0019**  
**XSPW-A\*-3-F-G-U-S**  
**Initial Delivered Lumens: 2,692**



**XSPW-A\*-3-F-G-U-S**  
**Mounting Height: 10' (3.0m) A.F.G.**  
**Initial Delivered Lumens: 2,529**  
**Initial FC at grade**

Type III Medium Distribution				
Input Power Designator	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
C	3,819	B1 U0 G1	4,109	B1 U0 G1
G	2,529	B1 U0 G1	2,722	B1 U0 G1

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf)



# D-Series Size 1 LED Wall Luminaire



Catalog  
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

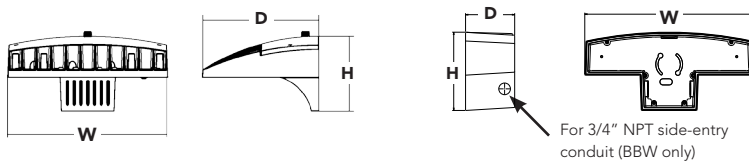
d#series

## Specifications Luminaire

<b>Width:</b>	13-3/4" (34.9 cm)	<b>Weight:</b>	12 lbs (5.4 kg)
<b>Depth:</b>	10" (25.4 cm)		
<b>Height:</b>	6-3/8" (16.2 cm)		

## Back Box (BBW, ELCW)

<b>Width:</b>	13-3/4" (34.9 cm)	<b>BBW Weight:</b>	5 lbs (2.3 kg)
<b>Depth:</b>	4" (10.2 cm)	<b>ELCW Weight:</b>	10 lbs (4.5 kg)
<b>Height:</b>	6-3/8" (16.2 cm)		



## Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

## Ordering Information

**EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DBTxD**

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium ASYDF Asymmetric diffuse	MVOLT <sup>1</sup> 120 <sup>1</sup> 208 <sup>1</sup> 240 <sup>1</sup> 277 <sup>1</sup> 347 <sup>2</sup> 480 <sup>2</sup>	<b>Shipped included</b> (blank) Surface mounting bracket <b>BBW</b> Surface-mounted back box (for conduit entry) <sup>3</sup>	<b>Shipped installed</b> <b>PE</b> Photoelectric cell, button type <sup>4</sup> <b>DMG</b> 0-10V dimming driver (no controls) <b>PIR</b> 180° motion/ambient light sensor, <15' mtg ht <sup>5</sup> <b>PIRH</b> 180° motion/ambient light sensor, 15-30' mtg ht <sup>5</sup> <b>PIR1FC3V</b> Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>5</sup> <b>PIRH1FC3V</b> Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>5</sup> <b>ELCW</b> Emergency battery backup (includes external component enclosure) <sup>6</sup>

## Other Options

## Finish (required)

### Shipped installed

SF	Single fuse (120, 277 or 347V) <sup>7</sup>
DF	Double fuse (208, 240 or 480V) <sup>7</sup>
HS	House-side shield <sup>8</sup>
SPD	Separate surge protection <sup>9</sup>

### Shipped separately<sup>8</sup>

BSW	Bird-deterrent spikes
WG	Wire guard
VG	Vandal guard
DDL	Diffused drop lens

DDBXD	Dark bronze	DSSXD	Sandstone
DBLXD	Black	DBTxD	Textured dark bronze
DNAXD	Natural aluminum	DBLBXD	Textured black
DWHXD	White	DNATXD	Textured natural aluminum

DWHGXD	Textured white
DSSTXD	Textured sandstone

## Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1WG U	Wire guard accessory
DSXW1VG U	Vandal guard accessory

## NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- PIR and PIR1FC3V specifies the [Sensor Switch SBGR-10-ODP](#) control; PIRH specifies the [Sensor Switch SBGR-6-ODP](#) control; see [Motion Sensor Guide](#) for details. Includes ambient light sensor. Not available with "PE" option (button type photocell). Dimming driver standard. Not available with 20 LED/1000 mA configuration (DSXW1 LED 20C 1000).
- Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at [www.lithonia.com](#)
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option. Not available with ELCW.
- Also available as a separate accessory; see Accessories information.
- See the electrical section on page 3 for more details.



# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K					40K					50K					AMBER				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
(10 LEDs)	350mA	14W	T2S	1,415	0	0	1	101	1,520	0	0	1	109	1,529	0	0	1	109	894	0	0	1	64
			T2M	1,349	0	0	1	96	1,449	0	0	1	104	1,458	0	0	1	104	852	0	0	1	61
			T3S	1,400	0	0	1	100	1,503	0	0	1	107	1,512	0	0	1	108	884	0	0	1	63
			T3M	1,386	0	0	1	99	1,488	0	0	1	106	1,497	0	0	1	107	876	0	0	1	63
			T4M	1,358	0	0	1	97	1,458	0	0	1	104	1,467	0	0	1	105	858	0	0	1	61
			TFTM	1,411	0	0	1	101	1,515	0	0	1	108	1,525	0	0	1	109	892	0	0	1	64
	ASDYF	1,262	0	0	1	90	1,355	1	0	1	97	1,363	1	0	1	97	797	0	0	1	57		
	530 mA	20W	T2S	2,054	1	0	1	103	2,205	1	0	1	110	2,219	1	0	1	111	1,264	0	0	1	63
			T2M	1,957	1	0	1	98	2,102	1	0	1	105	2,115	1	0	1	106	1,205	0	0	1	60
			T3S	2,031	0	0	1	102	2,181	0	0	1	109	2,195	0	0	1	110	1,250	0	0	1	63
			T3M	2,010	1	0	1	101	2,159	1	0	1	108	2,172	1	0	1	109	1,237	0	0	1	62
			T4M	1,970	1	0	1	99	2,115	1	0	1	106	2,128	0	0	1	106	1,212	0	0	1	61
			TFTM	2,047	0	0	1	102	2,198	0	0	1	110	2,212	0	0	1	111	1,260	0	0	1	63
	ASDYF	1,830	1	0	1	92	1,966	1	0	1	98	1,978	1	0	1	99	1,127	0	0	1	56		
	700 mA	27W	T2S	2,623	1	0	1	97	2,816	1	0	1	104	2,834	1	0	1	105	1,544	0	0	1	57
			T2M	2,499	1	0	1	93	2,684	1	0	1	99	2,701	1	0	1	100	1,472	0	0	1	55
			T3S	2,593	1	0	1	96	2,785	1	0	1	103	2,802	1	0	1	104	1,527	0	0	1	57
			T3M	2,567	1	0	1	95	2,757	1	0	1	102	2,774	1	0	1	103	1,512	0	0	1	56
			T4M	2,515	1	0	1	93	2,701	1	0	1	100	2,718	1	0	1	101	1,481	0	0	1	55
			TFTM	2,614	1	0	1	97	2,807	1	0	1	104	2,825	1	0	1	105	1,539	0	0	1	57
	ASDYF	2,337	1	0	1	87	2,510	1	0	1	93	2,526	1	0	1	94	1,376	0	0	1	51		
	1000 mA	40W	T2S	3,685	1	0	1	92	3,957	1	0	1	99	3,982	1	0	1	100	2,235	1	0	1	58
			T2M	3,512	1	0	1	88	3,771	1	0	1	94	3,795	1	0	1	95	2,130	1	0	2	55
			T3S	3,644	1	0	1	91	3,913	1	0	1	98	3,938	1	0	1	98	2,210	1	0	2	57
T3M			3,607	1	0	1	90	3,874	1	0	1	97	3,898	1	0	1	97	2,187	1	0	2	56	
T4M			3,534	1	0	1	88	3,795	1	0	1	95	3,819	1	0	1	95	2,143	1	0	2	55	
TFTM			3,674	1	0	1	92	3,945	1	0	1	99	3,969	1	0	1	99	2,228	1	0	2	57	
ASDYF	3,284	1	0	1	82	3,527	1	0	1	88	3,549	1	0	1	89	1,991	1	0	2	51			
(20 LEDs)	350mA	24W	T2S	2,820	1	0	1	118	3,028	1	0	1	126	3,047	1	0	1	127	1,777	1	0	1	74
			T2M	2,688	1	0	1	112	2,886	1	0	1	120	2,904	1	0	1	121	1,693	1	0	1	71
			T3S	2,789	1	0	1	116	2,995	1	0	2	125	3,013	1	0	2	126	1,757	0	0	1	73
			T3M	2,761	1	0	1	115	2,964	1	0	2	124	2,983	1	0	2	124	1,739	1	0	1	72
			T4M	2,705	1	0	1	113	2,904	1	0	2	121	2,922	1	0	2	122	1,704	1	0	1	71
			TFTM	2,811	1	0	1	117	3,019	1	0	2	126	3,038	1	0	2	127	1,771	0	0	1	74
	ASDYF	2,513	1	0	1	105	2,699	1	0	2	112	2,716	1	0	2	113	1,584	1	0	1	66		
	530 mA	36W	T2S	4,079	1	0	1	113	4,380	1	0	1	122	4,408	1	0	1	122	2,504	1	0	1	70
			T2M	3,887	1	0	1	108	4,174	1	0	1	116	4,200	1	0	1	117	2,387	1	0	1	66
			T3S	4,034	1	0	1	112	4,332	1	0	1	120	4,359	1	0	1	121	2,477	1	0	1	69
			T3M	3,993	1	0	1	111	4,288	1	0	1	119	4,315	1	0	1	120	2,451	1	0	2	68
			T4M	3,912	1	0	2	109	4,201	1	0	2	117	4,227	1	0	1	117	2,402	1	0	1	67
			TFTM	4,066	1	0	1	113	4,367	1	0	1	121	4,394	1	0	1	122	2,496	1	0	1	69
	ASDYF	3,635	1	0	2	101	3,904	1	0	2	108	3,928	1	0	2	109	2,232	1	0	1	62		
	700 mA	47W	T2S	5,188	1	0	1	110	5,571	1	0	1	119	5,606	1	0	1	119	3,065	1	0	1	65
			T2M	4,945	1	0	1	105	5,310	1	0	1	113	5,343	1	0	1	114	2,921	1	0	1	62
			T3S	5,131	1	0	1	109	5,510	1	0	2	117	5,544	1	0	2	118	3,031	1	0	1	64
			T3M	5,079	1	0	2	108	5,454	1	0	2	116	5,488	1	0	2	117	3,000	1	0	1	64
			T4M	4,976	1	0	2	106	5,343	1	0	2	114	5,377	1	0	2	114	2,939	1	0	1	63
			TFTM	5,172	1	0	2	110	5,554	1	0	2	118	5,589	1	0	2	119	3,055	1	0	1	65
	ASDYF	4,624	1	0	2	98	4,966	1	0	2	106	4,997	1	0	2	106	2,732	1	0	1	58		
	1000 mA	74W	T2S	7,205	1	0	1	97	7,736	1	0	1	105	7,785	1	0	1	105	4,429	1	0	1	61
			T2M	6,866	1	0	2	93	7,373	1	0	2	100	7,419	1	0	2	100	4,221	1	0	2	58
			T3S	7,124	1	0	2	96	7,650	1	0	2	103	7,698	1	0	2	104	4,380	1	0	2	60
T3M			7,052	1	0	2	95	7,736	1	0	2	105	7,620	1	0	2	103	4,335	1	0	2	59	
T4M			6,910	1	0	2	93	7,420	1	0	2	100	7,466	1	0	2	101	4,248	1	0	2	58	
TFTM			7,182	1	0	2	97	7,712	1	0	2	104	7,760	1	0	2	105	4,415	1	0	2	60	
ASDYF	6,421	1	0	2	87	6,895	2	0	2	93	6,938	2	0	2	94	3,947	1	0	2	54			

## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	1.00
40°C	104°F	0.98

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW1 LED 20C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

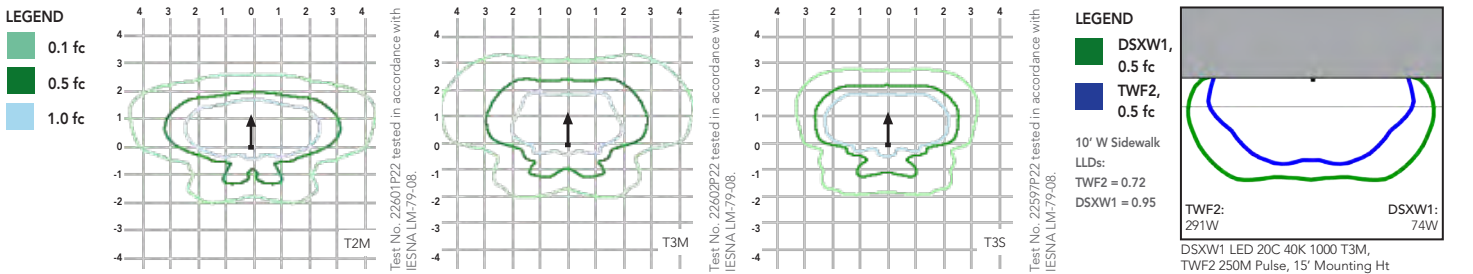
### Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
10C	350	14 W	0.13	0.07	0.06	0.06	-	-
	530	20 W	0.19	0.11	0.09	0.08	-	-
	700	27 W	0.25	0.14	0.13	0.11	-	-
	1000	40 W	0.37	0.21	0.19	0.16	-	-
20C	350	24 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74 W	0.69	0.40	0.35	0.30	0.23	0.17

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Wall Size 1 homepage](#).

Isfootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').



## Options and Accessories



T3M (left), ASYDF (right) lenses



HS - House-side shields



BSW - Bird-deterrent spikes



WG - Wire guard



VG - Vandal guard



DDL - Diffused drop lens

## FEATURES & SPECIFICATIONS

### INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

### CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

### OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

### ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a

power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

### INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

### LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org) to confirm which versions are qualified.

### WARRANTY

Five-year limited warranty. Complete warranty terms located at [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx).

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



# RE: Review request: 3461 Fort St - Lincoln Perk

Robert Wright <RWright@citylp.com>

Fri 9/1/2017 1:30 PM

To: Leah DuMouchel <ldumouchel@bria2.com>;

Hi Leah,

As best as I can see , at this point everything looks good except for the following.

I don't see a height for the drive through lane but we would be parking the engine on Fort Street if needed anyway.

The only other request is from page A101. For the exit signs, we'd like to have the businesses use the exit signs with built in emergency egress lights on the side.

Have a great weekend

Bob Wright

Lieutenant/Fire Inspector

Lincoln Park Fire Department

1355 Cleophus

Lincoln Park, MI 48146

Office (313) 381-1100

Station (313) 381-1975

Fax (313) 381-1831

[rwright@citylp.com](mailto:rwright@citylp.com)

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From: Leah DuMouchel [<mailto:ldumouchel@bria2.com>]

Sent: Monday, August 28, 2017 2:16 PM

To: [jdhollandsworth457@gmail.com](mailto:jdhollandsworth457@gmail.com); Robert Wright; Ray Watters; Krystina Erdos; John Kozuh

Cc: Giles Tucker; John Meyers; Laura Gray

Subject: Review request: 3461 Fort St - Lincoln Perk

Hello, Lincoln Park review team!

Please find attached a submission for site plan review to convert a drive-thru bank into a local coffee establishment. It will be undergoing Conceptual Review at the September Planning Commission meeting. Your preliminary comments are requested by Friday, September 1.

You will see that the submission is not in the standard format, though we have been working hard with the applicants, who are not development professionals. To accommodate their effort to date, I have offered to begin the conceptual review process on these documents. In your reply to me, please feel free to let me know if you do not have sufficient information or the correct format for your assessment, and I will ensure that the correct documents are produced for Final Review and submitted to you.

Please do not hesitate to contact me if you have any questions!

Leah DuMouchel, AICP

Senior Associate

Case No. \_\_\_\_\_

Date Submitted \_\_\_\_\_

**City of Lincoln Park**

***APPLICATION FOR SITE PLAN REVIEW***

**NOTICE TO APPLICANT:** Applications for Site Plan Review by the Planning Commission must be submitted to the City in *substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the first Tuesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

**TO BE COMPLETED BY APPLICANT:**

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Email: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Property Owner(s) Name (if different from Applicant): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Applicant(s) Explanation of Legal Interest in Property:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Location of Property: Street Address: \_\_\_\_\_

Nearest Cross Streets: \_\_\_\_\_

Sidwell Number (Parcel ID#): \_\_\_\_\_

**Property Description:**

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Property Size (Square Ft): \_\_\_\_\_ (Acres): \_\_\_\_\_

**Existing Zoning (please check):**

- SFRD Single Family Residential District
- MFRD Multiple Family Residential District
- MHRD Mobile Home Park District
- NBD Neighborhood Business District
- MBD Municipal Business District
- PUD Planned Unit Development District

- RBD Regional Business District
- CBD Central Business District
- GID General Industrial District
- LID Light Industrial District
- CSD Community Service District

Present Use of Property: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Proposed Use of Property: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial			
Industrial			
Other			

**Professionals Who Prepared Plans:**

A. Name: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 \_\_\_\_\_  
 Email Address: \_\_\_\_\_  
 Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_

B. Name: \_\_\_\_\_  
 Mailing \_\_\_\_\_ Address: \_\_\_\_\_  
 \_\_\_\_\_ Email  
 Address: \_\_\_\_\_  
 Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_

C. Name: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 \_\_\_\_\_  
 Email Address: \_\_\_\_\_  
 Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_



**ATTACH THE FOLLOWING:**

1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. A brief written description of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:
  - G Wayne County Road Commission                      G Wayne County Drain Commission
  - G Wayne County Health Division                      G Michigan Department of Natural Resources
  - G Michigan Department of Transportation              G Michigan Department of Environmental Quality

**PLEASE NOTE:** The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

**APPLICANT=ENDORSEMENT:**

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

Signature of Applicant	Date
Signature of Applicant	Date
Signature of Property Owner Authorizing this Application	Date

**TO BE COMPLETED BY THE CITY**

Case No. \_\_\_\_\_

Date Submitted: \_\_\_\_\_

Fee Paid: \_\_\_\_\_

By: \_\_\_\_\_

Date of Public Hearing: \_\_\_\_\_

**PLANNING COMMISSION ACTION**

Approved: \_\_\_\_\_ Denied: \_\_\_\_\_ Date of Action: \_\_\_\_\_

## 3461 Fort Street - Lincoln Perk Site Plan Review

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<b>Applicant:</b>	Teresa Lupinski and Rudolph Cianfarani
<b>Project:</b>	Lincoln Perk, Coffee Shop Drive- Through
<b>Address:</b>	3461 Fort Street, Lincoln Park, MI 48146
<b>Date:</b>	September 13 <sup>th</sup> 2017
<b>Request:</b>	Conceptual Review
<b>Recommendation:</b>	<b>None, advisory only</b>

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### GENERAL

*All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).*

### Project and Site Description

The applicant proposes to convert a vacant bank into a drive-through coffee shop. Located on Fort Street, a heavily transited road, this property would be a commercial use with 524 square feet of gross floor area and 3 employees on its largest shift. The property's parking lot is U-shaped because it previously featured a drive through for the bank's clientele.

#### *Site conditions*

The site is located between Liberty Avenue and Buckingham Avenue on Fort Street and is zoned Neighborhood Business. On the parcel sits a modest, vacant brick building. The site is accessible by foot via the sidewalk and by vehicle through one ingress point on the southern portion of the parcel that wraps around the building into three covered lanes.

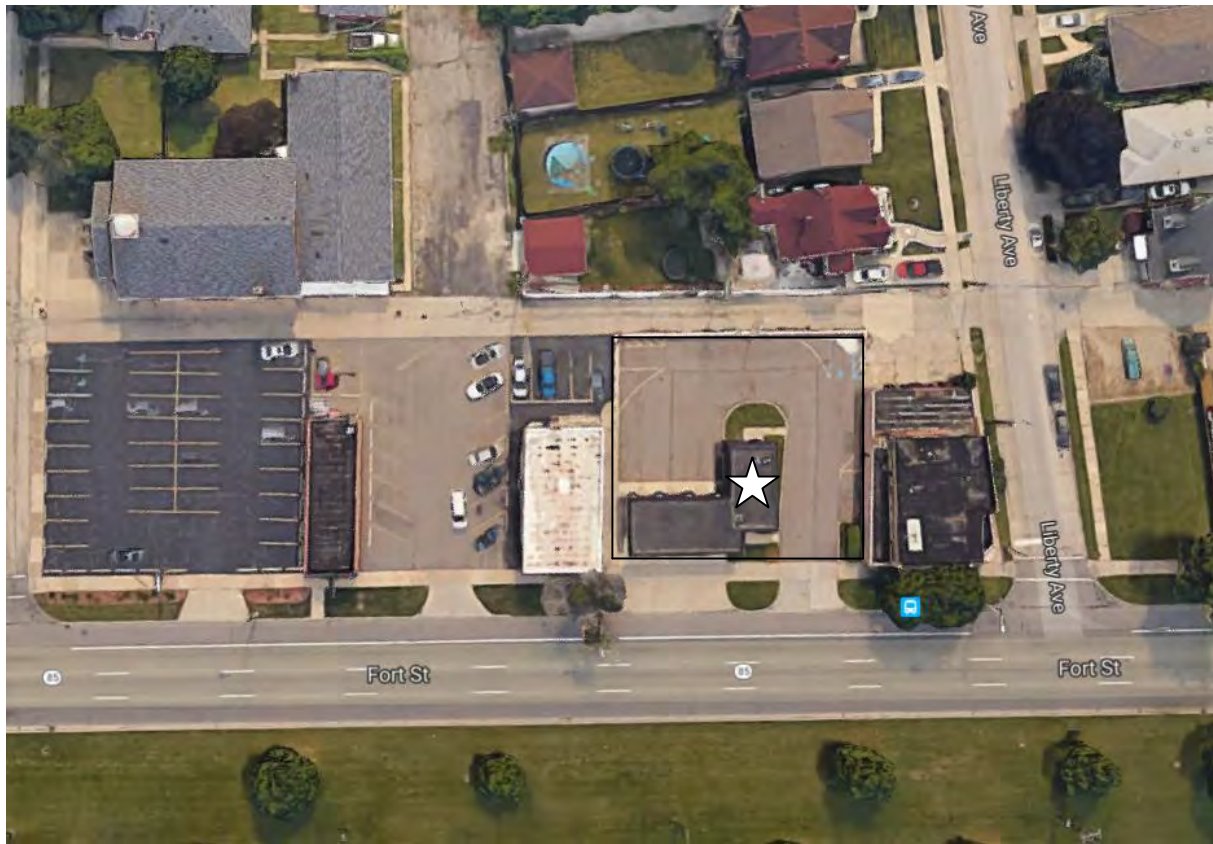


Figure 1: Aerial View

### Master Plan

#### *Future Land Use Classification*

The site is intended for Neighborhood Business District.

#### *Intent; Desirable Uses and Elements*

“The Neighborhood Business District (NBD) is intended to permit retail business and service uses which are needed to serve an immediate neighborhood’s nearby residential areas. In order to promote such business developments so far as is possible and appropriate in each area, uses which would create hazards, offensive and loud noises, vibration, smoke, glare, heavy truck traffic or late hours of operation, are prohibited.”

*The permitted uses specifically calls for coffee houses; this condition is met.*

### Land Use and Zoning

#### *Zoning*

The site is zoned Neighborhood Business District. The permitted uses for this zone are intended to service

the adjacent residential neighborhoods without disrupting them. “The intent of the District is also to encourage the concentration of neighborhood business areas that harmonize with the character of surrounding uses to the mutual advantage of both consumers and merchants and thereby to promote the best use of land at certain strategic locations and to avoid the continuance of encouraging marginal, strip, business development along major thoroughfares. The intended potential customer base for these uses are the residential neighborhoods immediately adjacent to a Neighborhood Business District (NBD).”

*Drive throughs serving food and/or beverages are permitted after special land use approval is granted in the Neighborhood Business District.*



Figure 3: Zoning Map

*Proposed and Existing Uses*

Site	Drive through coffee shop/Neighborhood Business District
North	Commercial, Neighborhood Business District
East	Residential, Single-Family Residential
South	Commercial, Neighborhood Business District
West	Commercial, Neighborhood Business District

### Dimensional Standards

The dimensional requirements of the NBD district are described in the chart below. (§1294.32, except where noted.)

	Required	Provided	Compliance
<b>Lot Width</b>	40 ft.	88 ft.	Met
<b>Street Frontage</b> (§1294.09)	Shrubbery and low retaining walls 2 ½' < height < 8'	Proposed shrubbery is 24". Applicant to document that tree branches will be trimmed higher than 18"	<b>Unclear</b>
<b>Lot Area</b>	4,000 sq. ft.	88 ft. x 95 ft.= 8,360	Met
<b>Lot Coverage</b>	50%	549/8,360= 6.5%	Met
<b>Height</b>	2 stories, or 25 ft.	13.3 ft	Met
<b>Setback – Front</b>	40% or more of the frontage within the same block.	15 ft. The 3 existing commercial buildings on the block have that range from 0-13 ft.	Met
<b>Setback – Sides</b>	0 ft.	36.6ft/45.3 ft	Met
<b>Setback – Rear</b>	0 ft. when abuts a public alley	45.7 ft	Met

### Items to be addressed

- Applicant to document that tree branches in planting strip will be trimmed higher than 8'

### BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> <li>• Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500'</li> </ul> <p><i>This condition is met.</i></p>	Met
<ul style="list-style-type: none"> <li>• Architectural variety</li> <li>• Similar materials and entrances to buildings within 500'</li> </ul> <p><i>This condition is met.</i></p>	Met

<ul style="list-style-type: none"> <li>Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW)</li> </ul> <p><i>Materials are primarily natural products. Applicant to supply product percentages for elevation drawings.</i></p> <ul style="list-style-type: none"> <li>25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly-reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block)</li> <li>Natural colors (bright for decorative features only)</li> </ul> <p><i>Applicant to supply product percentages for elevation drawings.</i></p>	<p><b>Unknown</b></p>
<ul style="list-style-type: none"> <li>Façade: &lt;100' uninterrupted</li> </ul> <p><i>Façade is less than 100'</i></p> <ul style="list-style-type: none"> <li>If &gt;100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches</li> <li>All sides similar</li> </ul> <p><i>All side are made of the same material; this condition is met.</i></p>	<p><b>Met</b></p>
<ul style="list-style-type: none"> <li>Windows: vertical, recessed, visually-obvious sills</li> <li>Spaces between windows = columns, mullions, or material found elsewhere on the façade</li> <li>Front facades &gt; 25% windows</li> <li>Size, shape, orientation, spacing to match buildings within 500'</li> </ul> <p><i>The 3-lane drive through occupies the majority of the site's frontage. There are no windows in the small building, and no room on the street-facing façade to add them.</i></p>	<p><b>Met</b></p>
<ul style="list-style-type: none"> <li>Main entrances: doors larger</li> <li>Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls)</li> </ul> <p><i>This is a drive-through only establishment; there is no main entrance</i></p>	<p><b>N/A</b></p>
<ul style="list-style-type: none"> <li>Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1</li> </ul> <p><i>Flat roof is existing</i></p> <ul style="list-style-type: none"> <li>Rooflines &gt;100' = roof forms, parapets, cornice lines</li> </ul> <p><i>Roofline is less than 100'.</i></p> <ul style="list-style-type: none"> <li>Roof-top mechanical equipment screened by roof form.</li> </ul> <p><i>No screening details provided. No roof-top mechanical equipment is visible currently, and no changes are proposed.</i></p>	<p><b>Met</b></p>

**Items to be addressed**

- Applicant to supply product percentages for elevation drawings

**PRESERVATION OF SIGNIFICANT NATURAL FEATURES**

*Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.*

There are no significant natural features to preserve.

**Items to be addressed**

None

**SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION**

*The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.*

The site is served by one sidewalk running along Fort Street to the west of the property. It is not serviced by a crosswalk because it is not located on a corner parcel. Approximately two-thirds of the site’s frontage is taken up by two curb cuts: a 23’ curb cut for vehicles to enter the site, and a 43’ curb cut through which as many as four vehicles could exit the site at once. The proposed drawings do not offer striping, arrows, signage, or any other features to mitigate a collision between vehicles and pedestrians. Additionally, the required stacking spaces are shown across the sidewalk on both entry and exit, which is not permitted.

There are no bicycle lanes along Fort Street, and the proposed drive-through use is specifically auto-oriented. No bicycle parking is requested.

**Items to be addressed**

- Signage, striping, and other features to be provided to direct pedestrian and vehicular traffic
- Required stacking spaces to be removed from public ROW

**PARKING**

*The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.*

Use	Required	Proposed	Compliance
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<p><b>§1290.02 Drive-in and drive- through restaurants</b></p>	<p>One (1) for every two (2) seats in an established seating plan area = 0</p> <p>Plus one (1) for every fifteen (15) square feet of usable customer area other than in an established seating plan area = 0</p> <p>Plus one (1) for every two (2) employees based upon maximum employment shift (3 employees) = 2</p> <p>Plus one (1) for every outside customer automobile service stall area = 0</p> <p>Total = 2</p> <p>Plus required vehicle stacking spaces = see below</p>	<p>No seating area=0</p> <p>0</p> <p>2</p> <p>0</p> <p>4 proposed</p>	<p style="text-align: center;"><b>Not met</b></p>
<p><b>§1290.03 Stacking spaces</b></p>	<p>Ten (10) 10' x 24' stacking spaces per window = 10 spaces</p>	<p>10</p>	<p style="text-align: center;">Met</p>

Parking space detail is needed to determine whether the spaces meet ordinance standards. Parking lot striping shall be shown in order to determine the measurements and orientation of the parking spaces. Stacking space detail is needed to determine whether the spaces meet the ordinance standards. Stacking spaces may not include the use of any public space, street, alley, or sidewalk (§1290.03). Paving detail is required for all areas which need repaving; those areas are to be determined by the City of Lincoln Park Department of Public Works.

**§1290.05 Off-Street Parking B Areas; Business Districts.**

Off-street parking in a Neighborhood Business District (NBD), Municipal Business District (MBD), Central Business District (CBD), or Regional Business District (RBD) shall conform to the following requirements:

Off-street parking B areas shall be curbed with concrete curbs and gutters. Necessary curbs or other protection for the public and for the protection of adjoining properties, streets and sidewalks shall be provided and maintained.

*Curb and gutter already exist on the property.*

Whenever such parking facility adjoins residential property and/or a residential street or alley, a solid masonry wall, ornamental on both sides, and not less than six (6) feet in height, shall be erected and maintained. Such walls shall be constructed of the same materials as that of the main or principal building, and be faced with either brick, decorative block, or pre-cast concrete formed into a decorative pattern and painted in the same color scheme as that of the principal building. The location of the wall and lot barrier facing a residential street shall be determined with due regard for side yard requirements and the building setback line adjoining the Residential District, as may be required in the particular business district. Bumper guards of a type described in subsection (k) hereof shall be provided to prevent vehicles from striking the wall.



The eastern side of the parcel abuts a residential zone. There is a 16 foot alley separating the Lincoln Perk parcel and a residential zone. A wall is proposed but the type of material used is not mentioned, and the proposed wall is only 5’ tall where the requirement is 6’ (the landscaping plan says 6’ but the Enlarged Plan says 5’). Detail for the installation of the wall is required.

The entrance to such area shall be only from the adjoining principal use or adjoining alley. Parking lots shall be designed to prevent vehicles from backing into the street, backing into an access drive, or requiring the use of the street for maneuvering between parking rows.

*This condition is met.*

All illumination for such parking facilities shall be deflected away from residential areas and shall be installed in such manner as to allow the reduction of the amount of light after normal parking hours each day. All parking lot lighting shall be designed, located, and shielded to prevent glare onto adjacent properties, and shall be arranged to prevent adverse effects on motorist visibility on adjacent rights-of-way. The source of illumination shall not be more than twenty-five (25) feet above the parking surface.

*This is addressed under Lighting, below.*

In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set (3) three feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.

**Two or three parking facilities are shown abutting the public sidewalk (unclear without striping detail). No wall or curb is shown.**

1294.16(b) The entire parking area shall be paved with a permanent surface of concrete or plant- mixed bituminous material and shall be graded and drained in accordance with Section 1290.04(b)(4), Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts. Any unpaved area of the site shall be landscaped with lawn or other horticultural materials, maintained in a neat and orderly fashion at all times and separated from the paved area by a raised concrete curb, six (6) inches in height.

*Because the previous use was a drive-through it is likely that the parking area is paved with the correct materials, and that the curb cuts are 6 inches in height, however the site plan could provide confirmation of these two items. There are no proposed unpaved areas.*

#### Items to be addressed

- Applicant to provide parking space detail, including striping and measurements
- Applicant to provide stacking space detail, including measurements
- Stacking spaces to be removed from the public ROW
- Screening wall detail required
- Include wall and detail for all parking spaces abutting a public ROW

**BARRIER-FREE ACCESS**

*The site has been designed to provide barrier-free parking and pedestrian circulation.*

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1-25	1	1	Met

§1290.02(g) “Within each parking lot, signed and marked barrier-free spaces measuring twelve (12) feet in width shall be provided at a convenient location, in accordance with the following table. Barrier-free parking space requirements shall be in accordance with the Michigan Department of Labor, Construction Code Commission, Barrier Free Design Division.”

**Items to be addressed**

- Applicant to provide parking space detail, including striping and measurements.

**LOADING**

*All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.*

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
524	None	1	Met

The gross floor area of this site does not require a loading space. However, because one is proposed, it must follow the ordinance section below:

§1290.09(c) “No loading space shall be located closer than fifty (50) feet from any residentially zoned district unless located within a completely enclosed building or unless enclosed on all sides facing a residential district by a solid masonry wall, ornamental on both sides, and not less than six (6) feet in height. Such walls shall be constructed of the same materials as that of the main or principal building, and be faced with either brick, decorative block, or pre-cast concrete formed into a decorative pattern and painted in the same color scheme as that of the principal building. Lights used to illuminate loading areas shall be arranged so as to reflect away from adjacent areas.”

*The proposed distance exceeds 50 feet between the loading space and nearest residence. This condition is met.*

**Items to be addressed**

None

**ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION**

*Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.*

The proposed development is on Fort Street, which is subject to the Access Management standards of §1290.10.

Required	Provided	Compliance
<ul style="list-style-type: none"> <li>• Single two-way driveway or pair of one-way driveways</li> <li>• Two-way: 25' &lt; throat width &lt; 30' (face to face of curb). <b>One-way paired: each 20' measured perpendicularly.</b> May be separated by 10' median; sidewalks shall be continued or maintained</li> <li>• <b>25' radii; 30' radii where daily truck traffic expected</b></li> <li>• Corner lots: one access point per street with &gt;100' frontage</li> <li>• If frontage &gt;300' and documented need (ITE), may allow additional access with design restrictions</li> <li>• If frontage &gt;600', max of 3 drives may be allowed; one with design restrictions</li> </ul>	<ul style="list-style-type: none"> <li>• Pair of one-way drives</li> <li>• Entrance is 30' and <b>exit lanes are 10'.</b></li> <li>• <b>No turning radii provided</b></li> <li>• Frontage is less than 300'</li> <li>• The site is not a corner lot</li> </ul>	<p style="text-align: center;"><b>Not met</b></p>
<ul style="list-style-type: none"> <li>• Shared access: driveways along property lines, connecting parking lots, on-site frontage roads, rear service drives. Encouraged and may be required for sites within 1/4 mile of major intersections; having dual frontage; with &lt;300' frontage; with sight distance problems; along congested or accident-prone roadway segments</li> <li>• Connection to adjacent facilities may be required; site accommodation may be required for future connection to undeveloped adjacent property</li> <li>• Letters of agreement or access easements required</li> </ul>	<ul style="list-style-type: none"> <li>• Not current shared access, but is encouraged because the neighboring site and the proposed site combined have a frontage of less than 300'.</li> </ul>	<p style="text-align: center;"><b>Met</b></p>
<ul style="list-style-type: none"> <li>• Triangular unobstructed view areas: from corner of two ROWs, 25' along each; from corner of ROW and driveway, 10' along driveway and 5' along ROW</li> <li>• Grass / groundcover only in 3' strip abutting driveway and ROW</li> <li>• Trees permitted if trimmed between 30" and 6' from ground level</li> </ul>	<ul style="list-style-type: none"> <li>• View is unobstructed</li> <li>• No grass or groundcover dimensions proposed</li> <li>• No trees proposed</li> </ul>	<p style="text-align: center;"><b>Met</b></p>
<ul style="list-style-type: none"> <li>• May require drive to be located on the far side of the property from congested intersections</li> </ul>	<ul style="list-style-type: none"> <li>• The site is not within 200 ft of a signalized or 4-way stop.</li> </ul>	<p style="text-align: center;"><b>Met</b></p>

<ul style="list-style-type: none"> <li>• &gt;150' from signalized intersection or 4-way stop, or right-turn-only at 75' from intersection</li> <li>• &gt;100' otherwise</li> <li>• &gt;200' from centerline of I-75 access ramps</li> </ul>	<ul style="list-style-type: none"> <li>• The site is not on an access ramp for I-75.</li> </ul>	
<ul style="list-style-type: none"> <li>• <b>Same side of street: Driveway spacing determined by speed limits in §1290.10</b></li> <li>• Across the street: Driveways directly aligned or &gt;150' offset (excludes right-turn-only)</li> <li>• Directional driveways, divided driveways, and deceleration tapers and/or by-pass lanes may be required by the Planning Commission where they will reduce congestion and accident potential</li> </ul>	<ul style="list-style-type: none"> <li>• <b>Speed limit =45mph=230 minimum driveway spacing; spacing provided is only 70'7".</b></li> <li>• No data on congestion and accident potential accessing the site</li> </ul>	Not met

**Items to be addressed**

- Applicant to supply turning radii for both driveways
- Driveway spacing and measurements do not meet the access management standards of §1290.10.
- Planning Commission to consider whether the existing features, which are also the proposed features, represent the application to the maximum extent possible
- Fort St. (M-85) is under the jurisdiction of the Michigan Department of Transportation. Applicant to secure all appropriate permits and approvals from MDOT; it is recommended that the applicant seek immediate feedback on whether the proposal is consistent with MDOT's access management standards

**EMERGENCY VEHICLE ACCESS**

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Comments have not been received by the Lincoln Park Fire Department.

**Items to be addressed**

- Comments from the Lincoln Park Fire Department are to be received and incorporated.
- Comments from the Lincoln Park Police Department are to be received and incorporated.

**STREETS**

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

**LANDSCAPING, SCREENING, AND OPEN SPACE**

*The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.*

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	<ul style="list-style-type: none"> <li>6' greenbelt between street and sidewalk; 3.5' greenbelt on private side of walk = 9.5'</li> </ul>	Substantially met
	1 tree and 4 shrubs per 40' of street frontage 95 ft.= 2 trees and 9.5 (10) shrubs 30% gradual compliance = 1 tree and 3 shrubs	<ul style="list-style-type: none"> <li>1 tree and 4 shrubs</li> </ul>	Met
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	No obscuring hedge for employee parking spots	<b>Not met</b>
Interior Landscaping	10% of total lot area landscaped, including groundcover (8,360 Sq ft *0.1) = 836 Sq ft. landscaping	1001 ft	Met
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas		Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping 836 Sq ft = 2 trees and 3 shrubs	3 trees and 11 shrubs	Met
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces		N/A; fewer than 10 spaces required
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	No screening details for proposed dumpster are shown	<b>Not met</b>

§1294.28(a) Where a Business or Industrial District abuts directly upon a Residential District, a landscaped greenbelt meeting the requirements of Section 1296.03, Landscaping Standards, shall be provided and maintained along its entire length by the users of the business or industrially zoned property. In addition, such Business or Industrial District shall be screened from such contiguous, residentially zoned district by either a building housing a permitted use or by a solid masonry wall, ornamental on both sides, and not less than six (6) feet in height above grade, between the required greenbelt area and the commercial or industrial use. Such walls shall be constructed of the same materials as that of the main or principal building, and be faced with either brick, decorative block, or pre-cast concrete formed into a decorative pattern and painted in the same color scheme as that of the principal building.

§1294.16(a) When a drive-in or drive-through establishment adjoins property located in any Residential District, a solid masonry wall, ornamental on both sides, six (6) feet in height, shall be erected and maintained along the interior line, or if separated from the residential zone by an alley, then along the alley lot line. In addition, all outside trash areas shall be enclosed by such six (6)-foot masonry wall. Such walls shall be constructed of the same materials as that of the main or principal building, and be faced with either brick, decorative block, or pre-cast concrete formed into a decorative pattern and painted in the same color scheme as that of the principal building. Such wall shall be protected from possible damage inflicted by vehicles using the parking area by means of precast concrete wheel stops at least six (6) inches in height, or by firmly implanted bumper guards not attached to the wall, or by other suitable barriers.

#### Items to be addressed

- Applicant to include screening wall and detail for all parking spaces abutting a public ROW
- Applicant to provide waste receptacle detail, including required masonry enclosure

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#### SOIL EROSION CONTROL

*The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.*

Soil erosion measures are under the jurisdiction of Wayne County and shall comply with the applicable standards.

#### Items to be addressed

- Applicant to comply with all soil erosion control measures and permits issued by Wayne County.
-

## UTILITIES

*Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.*

The site is served by municipal water and sanitary sewer. Site plan is under review by the City of Lincoln Park Department of Public Works.

### Items to be addressed

- Comments from the Lincoln Park Department of Public Works to be received and incorporated.*

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## STORMWATER MANAGEMENT

*Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.*

Stormwater may be under the purview of Wayne County; applicant to work with City Engineer to determine the appropriate permitting process.

### Items to be addressed

- Applicant to work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

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## LIGHTING

*Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.*

### §1290.05(i) Off-Street Parking

All illumination for such parking facilities shall be deflected away from residential areas and shall be installed in such manner as to allow the reduction of the amount of light after normal parking hours each day. All parking lot lighting shall be designed, located, and shielded to prevent glare onto adjacent properties, and shall be arranged to prevent adverse effects on motorist visibility on adjacent rights-of-way. The source of illumination shall not be more than twenty-five (25) feet above the parking surface.

**No data was provided on location and arrangement of lighting. This condition is not met.**

### §1294.16(c) Drive-in and Drive Through Establishments

Lighting shall be installed in a manner which will not create a driving hazard on abutting streets or which will not cause direct illumination on adjacent residential properties, and shall comply with all other requirements of this Zoning Code.

No data was provided on location and arrangement of lighting. This condition is not met.

§1294.31(g) Performance Standards

Within five-hundred (500) feet of a residentially zoned area, bare bulbs which are visible in the residential area may not exceed fifteen (15) watts. Exterior lighting shall be so installed that the surface of the source of light shall not be visible from the nearest residential district boundary and it shall be so arranged to reflect light away from any residential use. In no case shall more than one (1) foot-candle power of light cross a lot line five (5) feet above the ground. In no case shall more than ten (10) foot-candle power of light exist at any given point on site. Illumination levels shall be measured with a foot-candle meter or sensitive photometer and expressed in foot-candles. Exterior spot lighting or other illumination shall be so installed as to eliminate any nuisance to adjoining Business and Industrial Districts or the creation of a traffic hazard on public highways.

No data was provided on the type of lighting or wattage that will be used. This condition is not met.

Items to be addressed

- Applicant to provide product specifications for all proposed lighting products

**NOISE**

*The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.*

§1294.31(a)(2) Decibels are not to exceed the frequencies listed in the table below.

<b>Center Frequency (cycles per second) (H2)</b>	<b><u>Day</u></b>	<b><u>Night</u></b>
31.5	77	72
63	73	68
125	67	62
250	62	57
500	55	50
1,000	51	46
2,000	44	39
4,000	37	32
8,000	33	28

It can be helpful to provide sound data from other franchises to provide an idea of how noisy the establishment could be.

The required solid masonry walls will also help buffer noise.



**Items to be addressed**

*If possible, estimate sound levels at property edges that abut residential zones.*

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**MECHANICAL EQUIPMENT**

*Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.*

The Equipment Schedule does not appear to have any equipment that is mounted to the roof. However, the Equipment Schedule does not mention air conditioning or heating units which are commonly located on the roof. No equipment is currently visible, and no changes are proposed.

**Items to be addressed**

None

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**SIGNS**

*The standards of the City's Sign Code are met.*

No sign plan was provided. Signs are reviewed and permitted by the City of Lincoln Park Building Department

**Items to be addressed**

- Applicant to submit a sign plan to the City of Lincoln Park Building Department and secure all required sign permits*
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**HAZARDOUS MATERIALS OR WASTE**

*For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.*

No hazardous or waste are expected from this development.

**Items to be addressed**

None

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## SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

*All applicable standards for uses permitted after special approval are met.*

- (a) When a drive-in or drive-through establishment adjoins property located in any Residential District, a solid masonry wall, ornamental on both sides, six (6) feet in height, shall be erected and maintained along the interior line, or if separated from the residential zone by an alley, then along the alley lot line. In addition, all outside trash areas shall be enclosed by such six (6)-foot masonry wall. Such walls shall be constructed of the same materials as that of the main or principal building, and be faced with either brick, decorative block, or pre-cast concrete formed into a decorative pattern and painted in the same color scheme as that of the principal building. Such wall shall be protected from possible damage inflicted by vehicles using the parking area by means of precast concrete wheel stops at least six (6) inches in height, or by firmly implanted bumper guards not attached to the wall, or by other suitable barriers.

*This condition is addressed under Screening, above.*

- (b) The entire parking area shall be paved with a permanent surface of concrete or plant-mixed bituminous material and shall be graded and drained in accordance with Section 1290.04(b)(4), Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts. Any unpaved area of the site shall be landscaped with lawn or other horticultural materials, maintained in a neat and orderly fashion at all times and separated from the paved area by a raised concrete curb, six (6) inches in height.

*This condition is addressed under Parking, above.*

- (c) Lighting shall be installed in a manner which will not create a driving hazard on abutting streets or which will not cause direct illumination on adjacent residential properties, and shall comply with all other requirements of this Zoning Code.

*This condition is addressed under Lighting, above.*

- (d) Adequate ingress and egress shall be provided as prescribed in Chapter 1290, Off-Street Parking and Loading.

*This condition is addressed under Access, above.*

- (e) Before approval is given for any use, a site plan shall be submitted to the Police Department and the Fire Department before submittal to the Planning Commission, for review pursuant to Section 1296.01, Site Plan Review, as to the suitability of the location of entrances and exits to the site, parking area, screening, lighting and other design features.

*This condition is addressed under Other Agency Reviews, below.*

## Items to be addressed

None

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## OTHER AGENCY REVIEWS

*The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.*

Permits shall be secured as necessary. Fort Street is under the jurisdiction of MDOT; stormwater will be reviewed by the Wayne County Drain Commission; restaurant licensing is the responsibility of the Wayne County Health Department.

### Items to be addressed

- Applicant to secure ROW permit from MDOT as required*
- Applicant to secure stormwater permit from Wayne County Drain Commissioner as required*
- Applicant to secure food licensing from Wayne County Health Department*
- Applicant to secure all other permits and licenses as required*

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## VARIANCES

No variances were requested.

### Items to be addressed

None

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## RECOMMENDATIONS

### Findings

The site plan provides sufficient detail to offer conceptual review comments.

### Conditions and Waivers

- Applicant to document that tree branches in planting strip will be trimmed higher than 8'*
- Applicant to supply product percentages for elevation drawings*
- Signage, striping, and other features to be provided to direct pedestrian and vehicular traffic*
- Required stacking spaces to be removed from public ROW*
- Applicant to provide parking space detail, including striping and measurements*

- Applicant to provide waste receptacle detail, including required masonry enclosure
- Detail required for screening wall separating project from residential use
- Include wall and detail for all parking spaces abutting a public ROW
- Applicant to supply turning radii for both driveways
- Applicant to provide product specifications for all proposed lighting products
- Driveway spacing and measurements do not meet the access management standards of §1290.10. Planning Commission to consider whether the existing features, which are also the proposed features, represent the application to the maximum extent possible
- Applicant to comply with all soil erosion control measures and permits issued by Wayne County.
- Comments from the Lincoln Park Fire Department are to be received and incorporated.
- Comments from the Lincoln Park Police Department are to be received and incorporated.
- Comments from the Lincoln Park Department of Public Works to be received and incorporated.
- Applicant to submit a sign plan to the City of Lincoln Park Building Department and secure all required sign permits
- Fort St. (M-85) is under the jurisdiction of the Michigan Department of Transportation. Applicant to secure all appropriate permits and approvals from MDOT; it is recommended that the applicant seek immediate feedback on whether the proposal is consistent with MDOT's access management standards
- Applicant to work with the City Engineer to review stormwater system to determine the appropriate permitting process.
- Applicant to secure stormwater permit from Wayne County Drain Commissioner as required
- Applicant to secure food licensing from Wayne County Health Department
- Applicant to secure all other permits and licenses as required

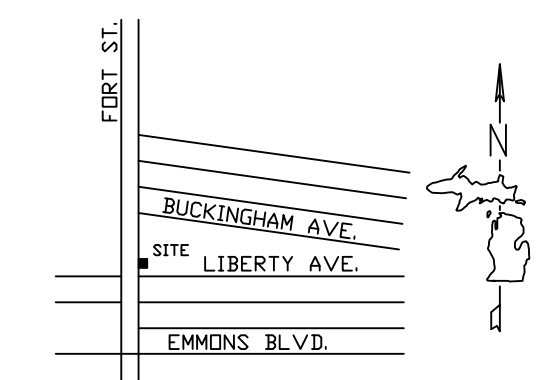
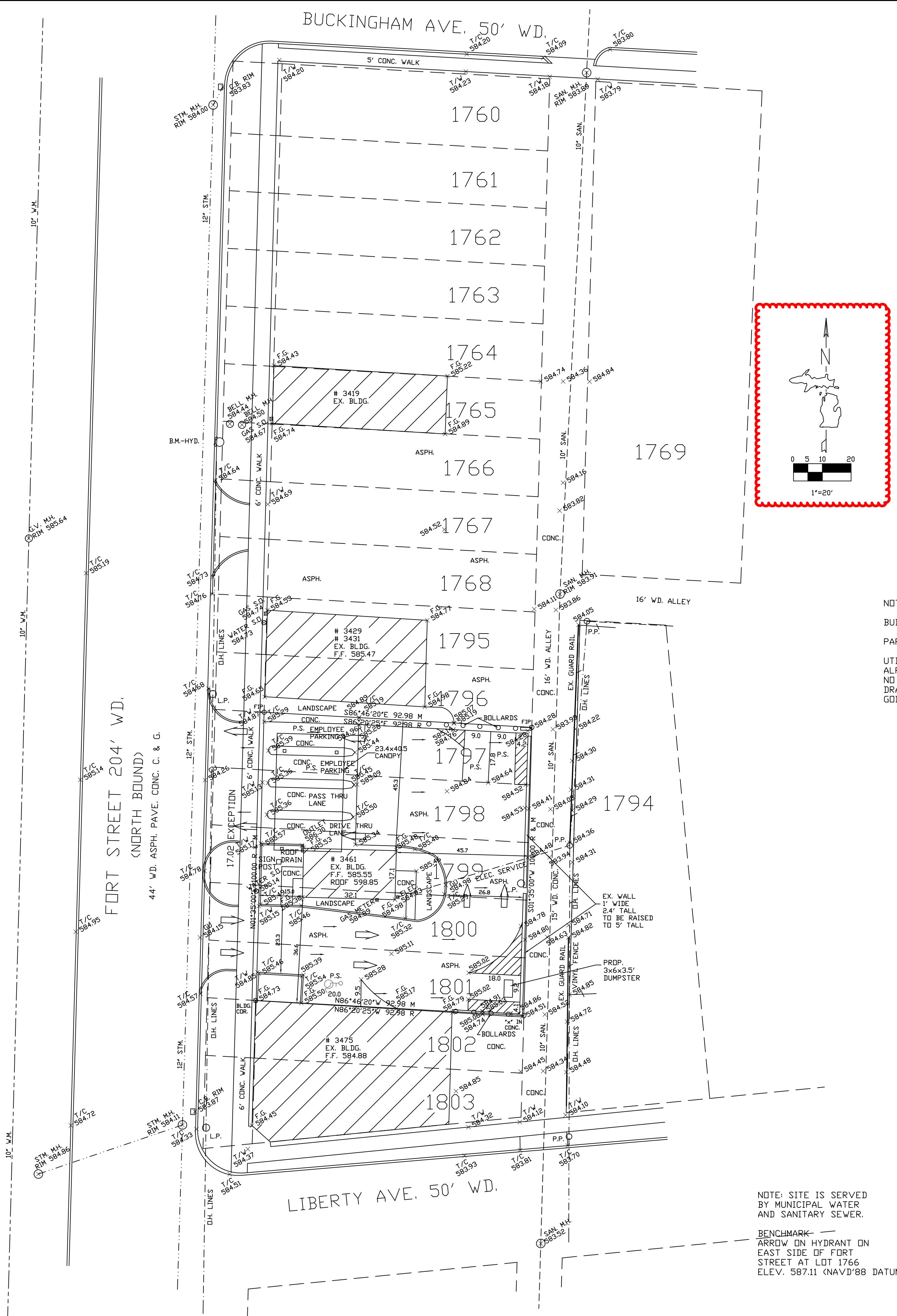
## Recommendations

No recommendations are associated with Conceptual Review; comments are advisory only.

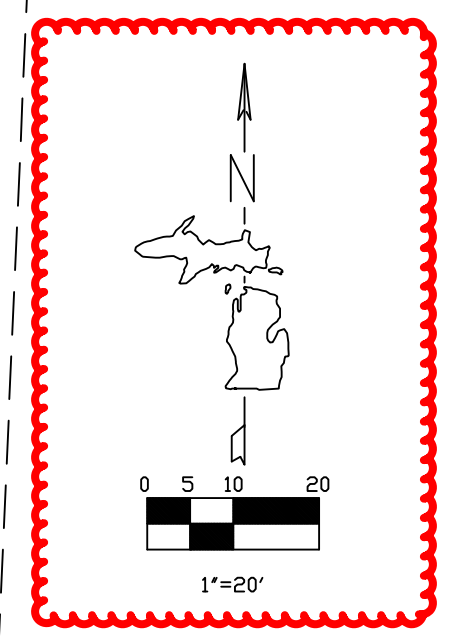
**Lincoln Perk – 3461 Fort St**

**Design Documents**

1 -	Title Page
2 -	Site Plan
3 -	Site Plan – Enlarged 1769-1802
4 -	Site Plan – Building Setbacks
5 -	Site Plan – Fire Lane
6 -	Site Plan – Utilities
7 -	Site Proximities
8 -	Landscaping – Site Plan
9 -	Landscaping – Notes and Details
10 -	Architectural – Elevations & Floor Plan
11 -	Architectural – Reflected Ceiling Plan & Details



LOCATION MAP



NOTES:

BUILDING SIZE - 17.1x32.1  
 HEIGHT - 13.3  
 PARKING SPACES (P.S.)  
 1 B.F. 4 OTHERS, 5 TOTAL  
 UTILITIES - EXISTING BUILDING IS  
 ALREADY CONNECTED TO ALL UTILITIES.  
 NO CHANGES ARE PROPOSED.  
 DRAINAGE IS SHEET FLOW. ALL  
 GOING TO ALLEY IN THE REAR.

OWNERS -  
 RUDDLPH CIANFARINI  
 2621 2ND ST.  
 WYANDOTTE, MI. 48192  
 313-310-1369

TERESA LUPINSKI  
 3461 FORT ST.  
 LINCOLN PARK, MI. 48146  
 313-266-6787

ARCHITECT -  
 PIZZO DEVELOPMENT GROUP, LLC  
 349 ANTOINE ST.  
 WYANDOTTE, MI. 48192  
 Z. TONY PIZZO  
 313-999-4549

ENGINEER -  
 DAVIS ENGINEERING  
 20960 MILWAUKEE RD.  
 BRITTON, MI. 49229  
 Z. MARC W. DAVIS, P.E.  
 734-755-9035

SURVEYOR -  
 APEX SURVEY  
 36554 GRANDON  
 LIVONIA, MI. 48150  
 Z. JOHN S. BLANCHARD, P.S.  
 734-634-3591

LEGEND

EXISTING	PROPOSED
○	●
□	■
⊗	⊙
— SAN	--- SAN
--- STORM	--- STORM
--- WM	--- WM
--- GASMAIN	--- GASMAIN
--- DH LINES	--- DH LINES
LP ○	LP ●
PP ○	PP ●
	MANHOLE
	CATCH BASIN
	GATE VALVE
	HYDRANT
	SANITARY SEWER
	STORM SEWER
	WATER MAIN
	GAS MAIN
	DH. LINES
	LIGHT POLE
	POWER POLE

DESCRIPTION (45-012-08-1797-001)

LOTS 1797 THRU 1801, INCLUSIVE, EXCEPTING THE WEST 17.02 FEET, THEREOF 'EMMONS ORCHARD SUB'DN NO. 2' OF PART OF LOTS 1-2-3 AND 9 OF THE McDONALD TRACT P.C. 48, TOWNSHIP OF ECORSE (NOW CITY OF LINCOLN PARK), WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 41 OF PLATS, PAGE 88, WAYNE COUNTY RECORDS.

CONTAINING 0.213 ACRES OF LAND MORE OR LESS.  
 SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD.

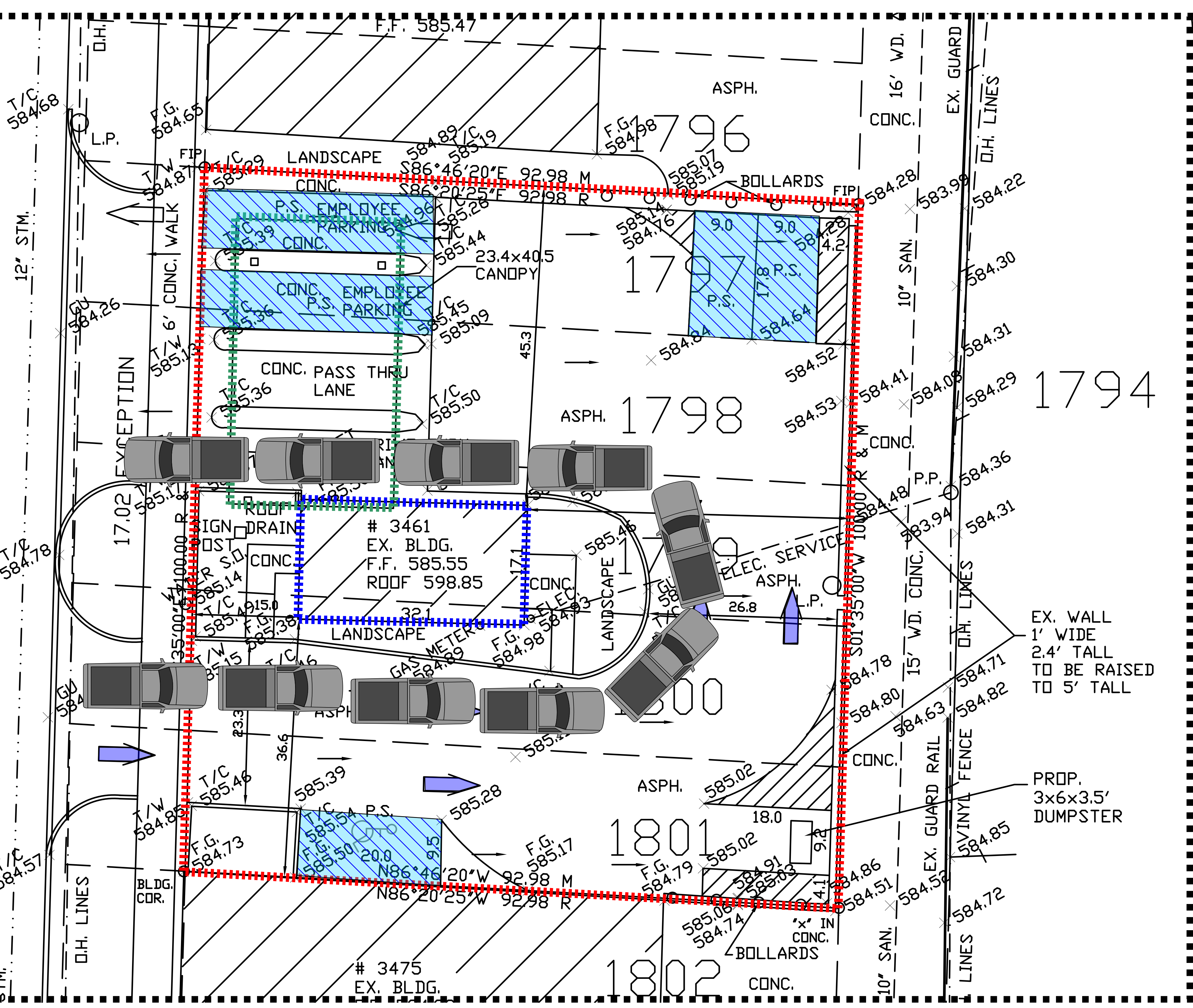
3 WORKING DAYS BEFORE YOU DIG  
 CALL MISS DIG 811 or missdig811.org  
 FOR FREE LOCATION OF PUBLIC UTILITIES

NOTE: SITE IS SERVED BY MUNICIPAL WATER AND SANITARY SEWER.  
 BENCHMARK - ARROW ON HYDRANT ON EAST SIDE OF FORT STREET AT LOT 1766 ELEV. 587.11 (NAVD'88 DATUM)

REVISIONS			SITE PLAN	
ITEM	DATE	BY	LINCOLN PERK	
			LOTS 1797 - 1801	
			EMMONS ORCHARD SUB. NO. 2	
			APEX SURVEY	
			36554 GRANDON	
			LIVONIA MICHIGAN 48150	
			LAND SURVEYOR # 27446	
			(734) 634-3591	
			FAX (734) 421-1036	
			JOB NO.	17-93
			SHEET NO.	1 of 1

FORT STREET 204' WD.  
(NORTH BOUND)

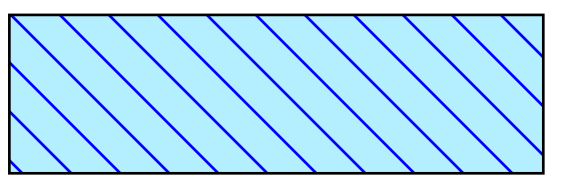
44' WD. ASPH. PAVE. CONC. C. & G.



Existing Lot Lines

Existing Building

Existing Structure (Canopy)



Parking

EX. WALL  
1' WIDE  
2.4' TALL  
TO BE RAISED  
TO 5' TALL

PROP.  
3x6x3.5'  
DUMPSTER



3 WORKING DAYS  
BEFORE YOU DIG  
CALL MISS DIG  
811 or  
missdig811.org  
FOR FREE LOCATION OF PUBLIC UTILITIES

REVISIONS		
ITEM	DATE	BY

**SITE PLAN**  
LINCOLN PERK **ENLARGED 1796-1802**

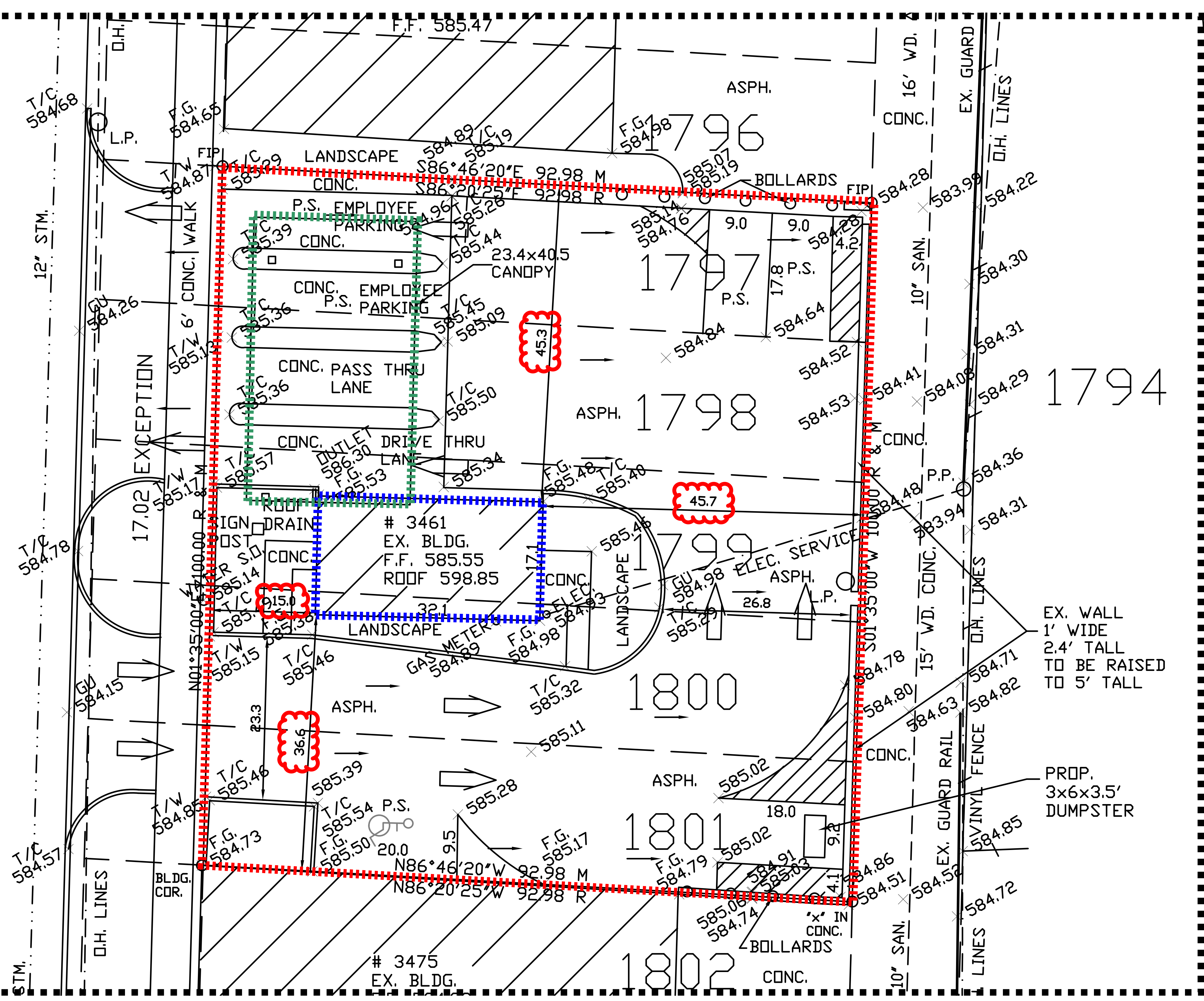
LOTS 1797 - 1801  
EMMONS ORCHARD SUB. NO. 2

<p>APEX SURVEY</p> <p>36554 GRANDON LIVONIA MICHIGAN 48150 LAND SURVEYOR # 27446 (734) 634-3591 FAX (734) 421-1036</p>	<p>FIELD BOOK NO.</p> <p>JOB NO. 17-93</p> <p>SHEET NO. 1 of 1</p>
--	--

DRAWN BY MWD DESIGNED BY DATE 8-3-17

FORT STREET 204' WD.  
(NORTH BOUND)

44' WD. ASPH. PAVE. CONC. C. & G.



- Existing Lot Lines
- Existing Building
- Existing Structure (Canopy)

EX. WALL  
1' WIDE  
2.4' TALL  
TO BE RAISED  
TO 5' TALL

PROP.  
3x6x3.5'  
DUMPSTER



3 WORKING DAYS  
BEFORE YOU DIG  
CALL MISS DIG  
811 or  
missdig811.org  
FOR FREE LOCATION OF PUBLIC UTILITIES

REVISIONS			SITE PLAN LINCOLN PERK	
ITEM	DATE	BY	BUILDING SETBACKS	

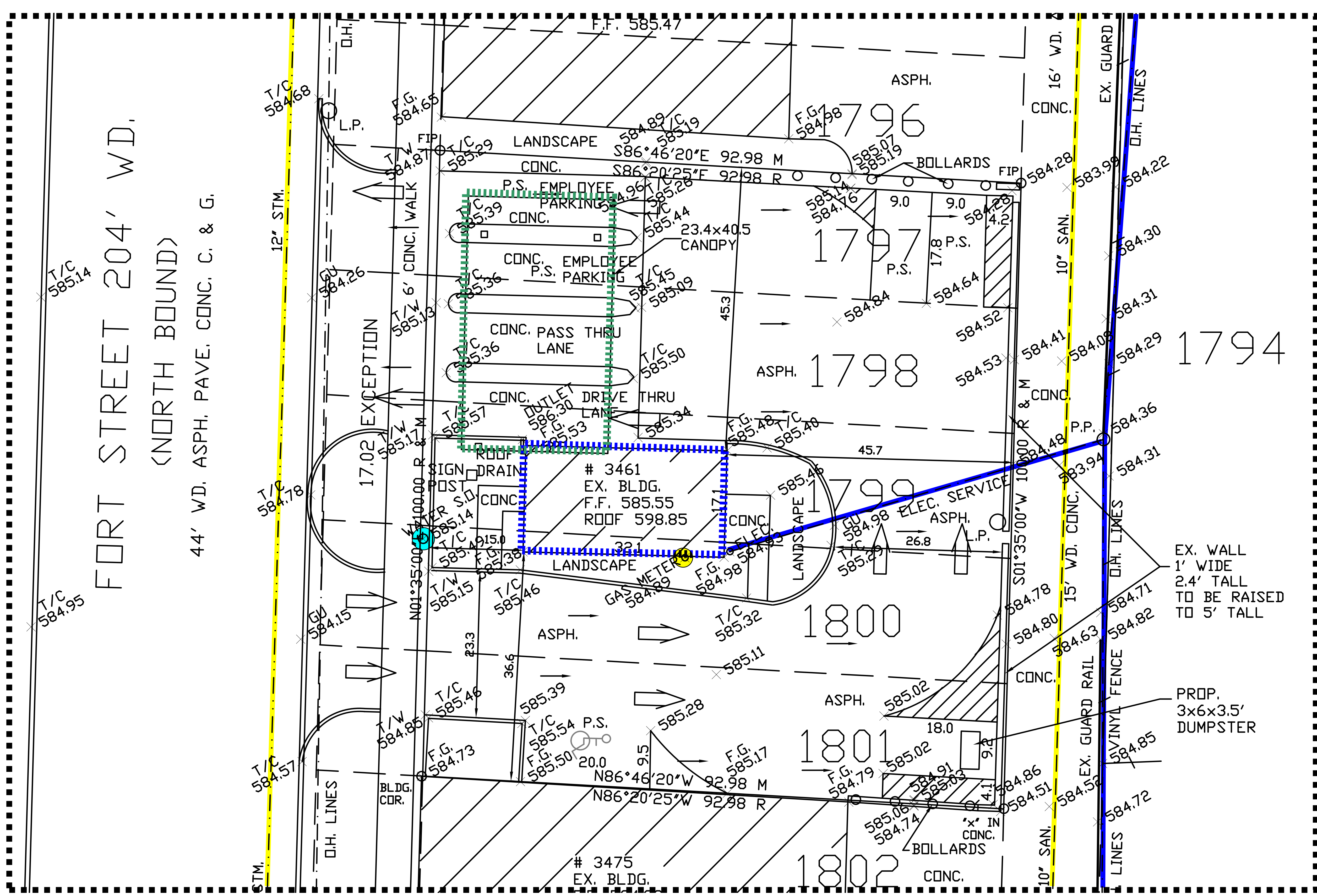
LOTS 1797 - 1801 EMMONS ORCHARD SUB. NO. 2		FIELD BOOK NO. JOB NO. 17-93
DRAWN BY MWD	DESIGNED BY ONE 8-3-17	APEX SURVEY 36554 GRANDON LIVONIA MICHIGAN 48150 LAND SURVEYOR # 27446 (734) 634-3591 FAX (734) 421-1036
SHEET NO. 1 of 1		SHEET NO. 1 of 1











FORT STREET 204' WD.  
(NORTH BOUND)

44' WD. ASPH. PAVE. CONC. C. & G.



-  Existing Building
-  Existing Structure (Canopy)
-  Electric
-  Storm/Sanitary
-  Gas
-  Water

EX. WALL  
1' WIDE  
2.4' TALL  
TO BE RAISED  
TO 5' TALL

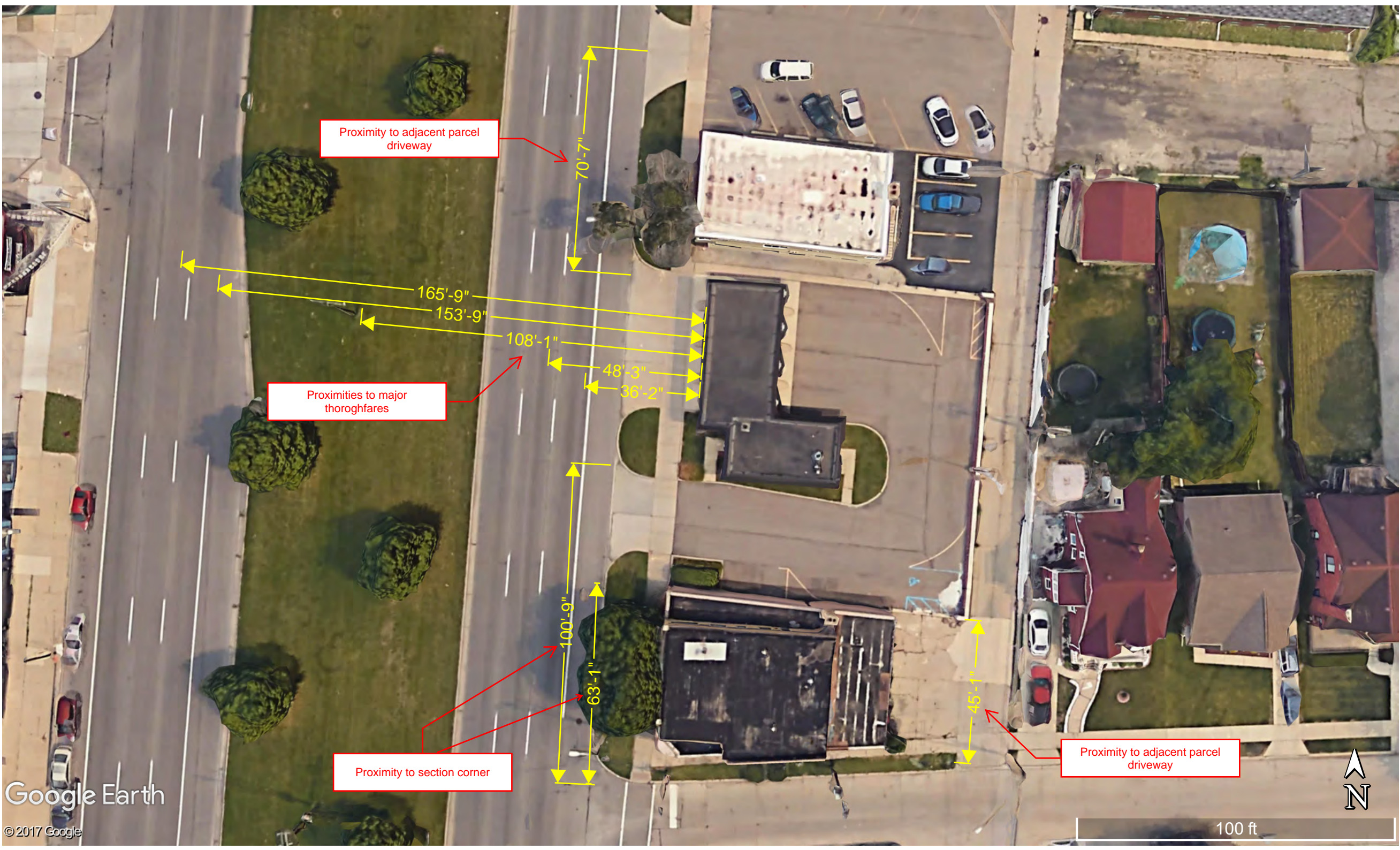
PROP.  
3x6x3.5'  
DUMPSTER



3 WORKING DAYS  
BEFORE YOU DIG  
CALL MISS DIG  
811 or  
missdig811.org  
FOR FREE LOCATION OF PUBLIC UTILITIES

REVISIONS			SITE PLAN LINCOLN PERK	UTILITIES
ITEM	DATE	BY		

LOTS 1797 - 1801 EMMONS ORCHARD SUB. NO. 2		FIELD BOOK NO. _____
APEX SURVEY 36554 GRANDON LIVONIA MICHIGAN 48150 LAND SURVEYOR # 27446 (734) 634-3591 FAX (734) 421-1036		JOB NO. 17-93 SHEET NO. 1 of 1



Proximity to adjacent parcel driveway

Proximities to major thoroughfares

Proximity to section corner

Proximity to adjacent parcel driveway

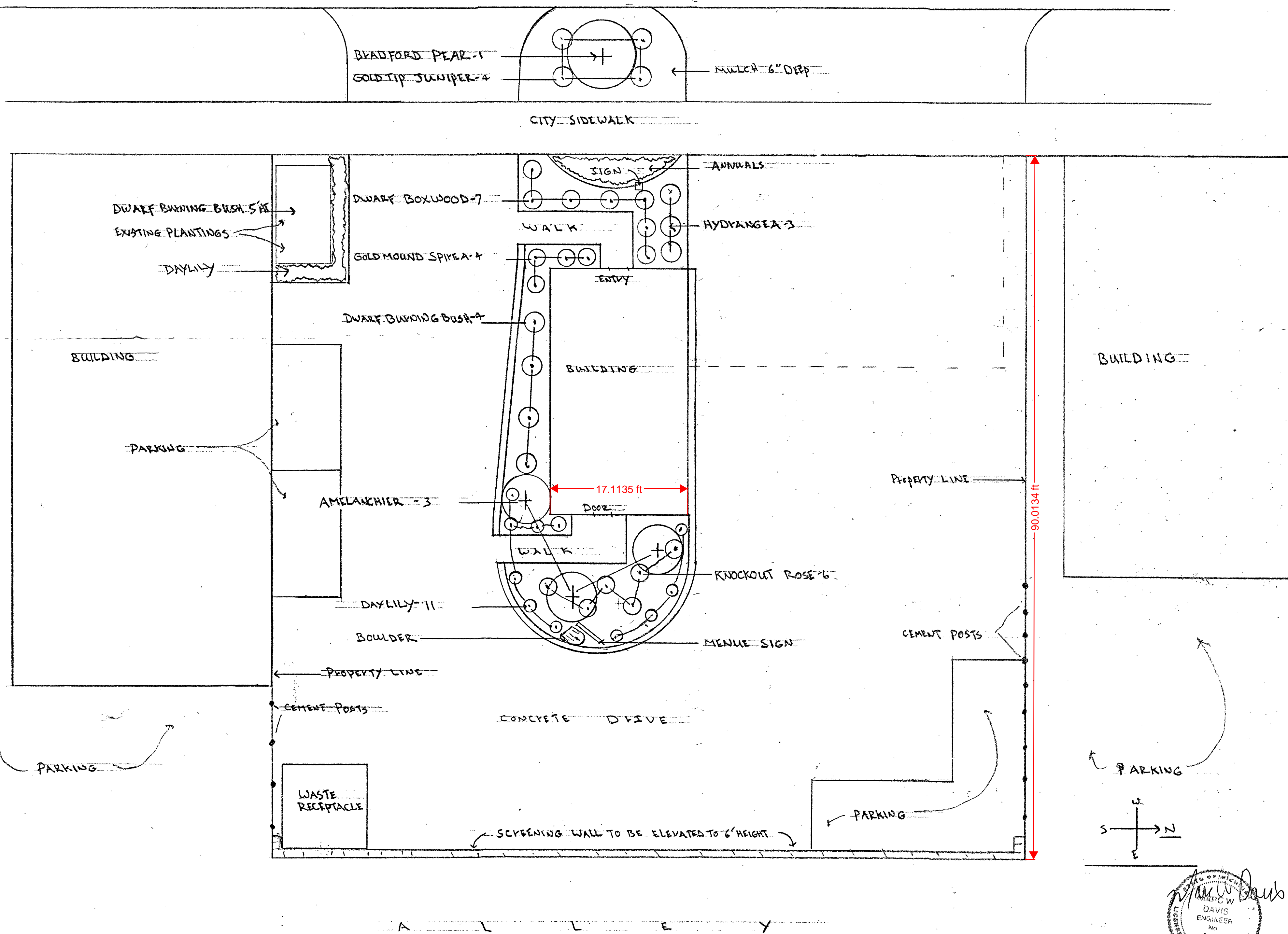


F O R T S T R E E T

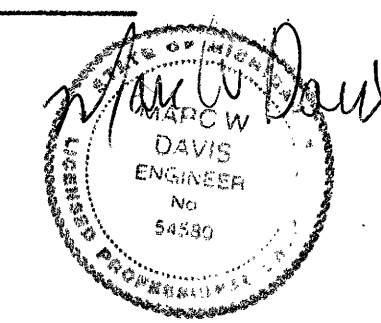
FOLIAGE CONCEPTS, INC.  
 P. O. BOX 228  
 GROSSE ILE, MI 48138  
 734-671-1551

PLANT LEGEND

Quantity	Plant Name	Plant Size
1	BRADFORD PEAR TREE	2.5" CAL.
4	GOLDTIP JUNIPER	24"
7	DWARF BOXWOOD	15"
3	HYDRANGEA	24"
4	GOLDMOUND SPIREA	24"
4	DWARF BURNING BUSH	24"
3	AMELANCHIER CANADENSIS	5' height
6	KNOCKOUT ROSES	24"
11	DAYLILY	



Lincoln Park Perk  
 3461 Fort Street  
 Lincoln Park Michigan 48146  
 Mr. Rudolph Cianfarani  
 Plan Scale 1/8" = 1'-0"  
 Design by FOLIAGE CONCEPTS, INC.  
 Design and Landscape Contractors  
 P. O. BOX 228  
 GROSSE ILE, MI 48138  
 734-671-1551  
 Serving our clients for 3 Generations



**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
09/21/13	BID SET

**LANDSCAPE NOTES**

**LANDSCAPE PLANTING**

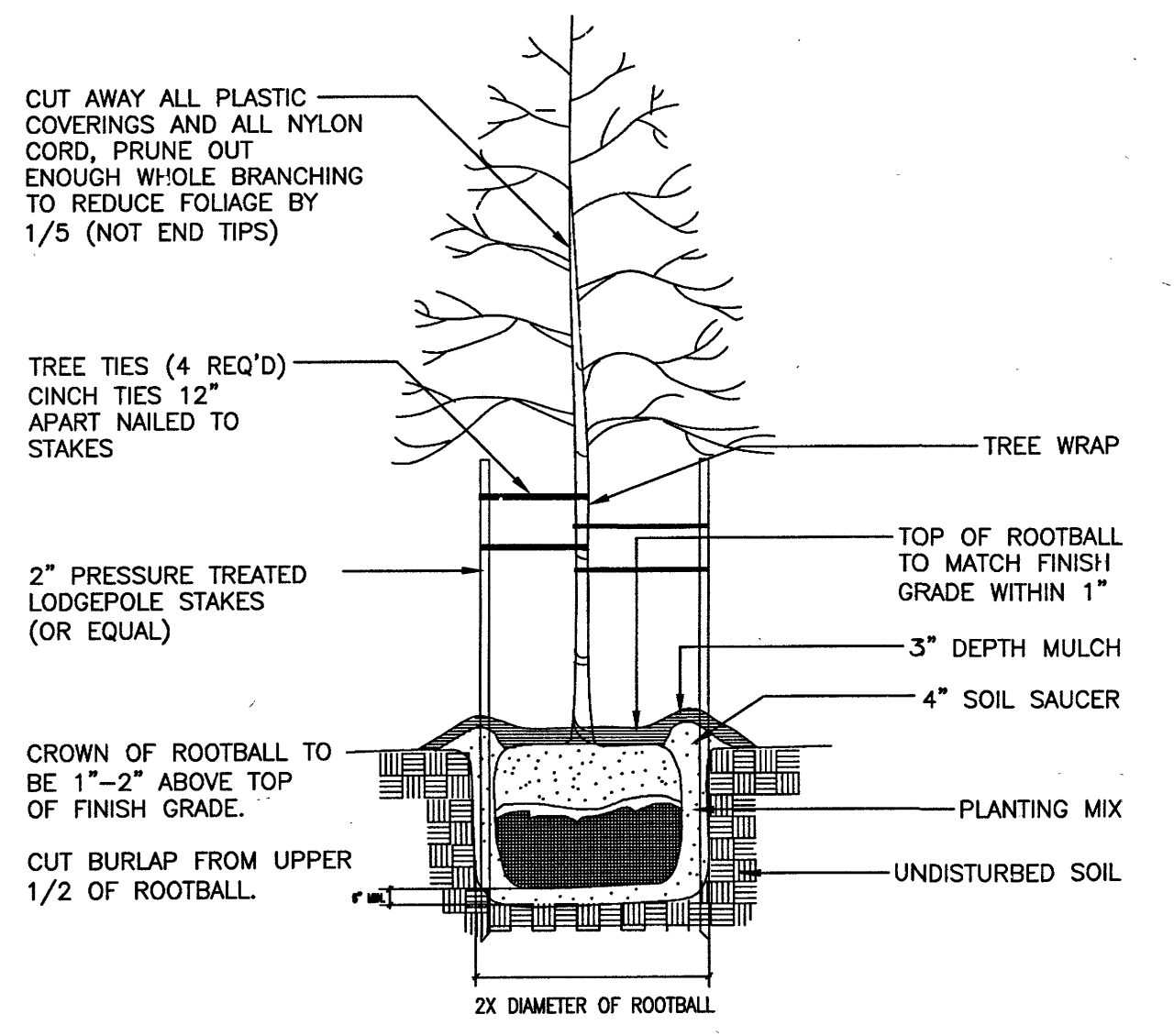
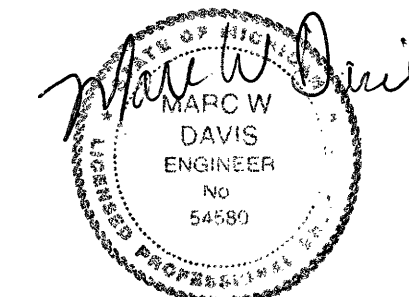
- THE LANDSCAPE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS AND VERIFY THEM TO HIS SATISFACTION. THE LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE CONDITIONS AND DO THE WORK SPECIFIED WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN.
- PRIOR TO CONSTRUCTION THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. SHOULD THE LANDSCAPE CONTRACTOR CAUSE DAMAGE TO ANY UTILITIES HE SHALL MAKE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE WITHOUT ADDITIONAL COMPENSATION.
- ALL PLANT MATERIAL SIZES AND MEASUREMENTS, INCLUDING TRUNK, HEAD, AND SPREAD SIZES, CONTAINER AND ROOTBALL SIZES, QUALITY AND CONDITION SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1).
- ALL PLANT MATERIAL ARE SUBJECT TO THE APPROVAL BY THE OWNER, AND MAY BE INSPECTED AT THE PLACE OF GROWTH OR ON SITE PRIOR TO PLANTING. LANDSCAPE ARCHITECT RETAINS THE RIGHT TO REJECT ANY PLANT MATERIAL WHICH IS NOT TO HIS SATISFACTION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING WORK (INCLUDING WATERING, SPRAYING FOR INSECTS AND DISEASE, MULCHING, MOWING, FERTILIZING, CULTIVATING, EDGING AND WEEDING) FOR A PERIOD OF 90 DAYS AFTER ACCEPTANCE BY THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL LANDSCAPE PLANTING WORK AND MATERIALS FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE THE WORK HAS BEEN APPROVED BY THE OWNER AS INSTALLED. ALL PLANT MATERIAL NOT HEALTHY GROWING CONDITION SHALL BE REMOVED IMMEDIATELY AND REPLACED AS SOON AS POSSIBLE WITH LIKE KIND AND SIZE AT NO CHARGE TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SOIL SAMPLES FROM SOIL AND NATIVE OR FILL SOILS AT THE SITE AND SUBMITTING THEM TO AN APPROVED SOIL TESTING LABORATORY, AND OBTAIN ANALYSES AND RECOMMENDATIONS FOR AMENDING THESE SOILS AND FERTILIZATION OF SPECIFIED PLANT MATERIAL. AT A MINIMUM ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12 LBS. /1000 SF OF 10-10-10 FERTILIZER.
- ALL PLANTING AREAS, SHRUB BEDS AND TREES SHALL BE MULCHED WITH A MINIMUM COMPACTED DEPTH OF THREE (3) INCHES OF MULCH AS SPECIFIED. PRIOR TO MULCHING APPLY A PRE-EMERGENT HERBICIDE (APPROVED BY OWNER) AS RECOMMENDED BY THE MANUFACTURER, TO PREVENT RECURRING WEED AND GRASS GROWTH.
- CONTRACTOR IS TO TAKE SPECIAL CARE WHEN INSTALLING NEW PLANT MATERIAL SO AS NOT TO DISTURB ANY EXISTING PLANTINGS DESIGNATED TO REMAIN. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE AND NO ADDITIONAL COST TO OWNER.

**TURF AND LAWNS**

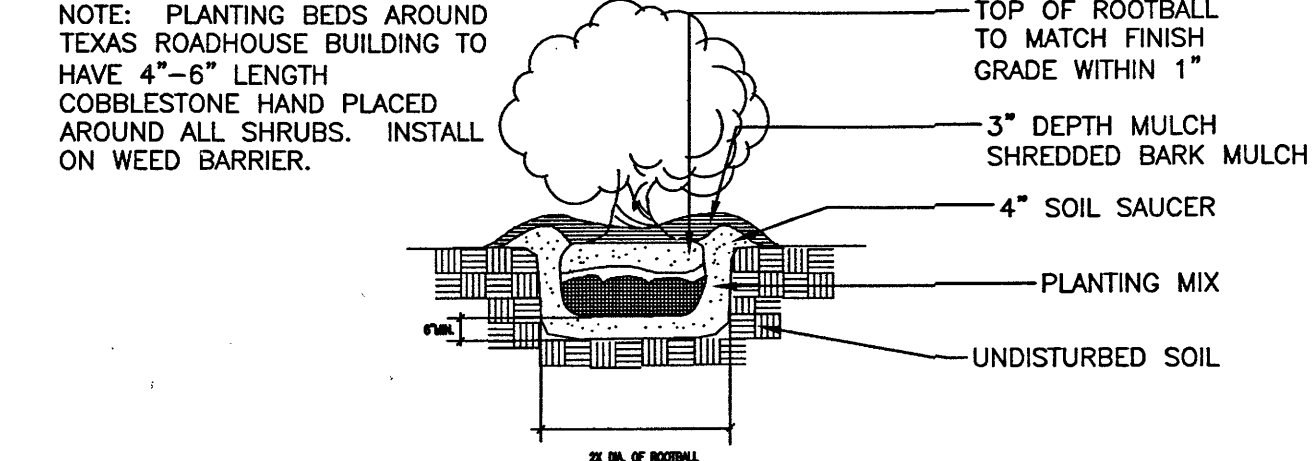
- ALL DISTURBED AREAS SHALL RECEIVE 4" MINIMUM OF TOPSOIL (COMPACTED) AND GRASSED WITH SOD OR SEED AS INDICATED ON PLAN. LANDSCAPE CONTRACTOR TO COORDINATE HIS/HER WORK WITH OTHER TRADES REGARDING FINISH GRADING. IF AVAILABLE CONTRACTOR IS TO USE STOCKPILED TOPSOIL ON SITE. IF NOT AVAILABLE THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR IMPORTING THE TOPSOIL NECESSARY TO MEET FINISH GRADE.
- TOPSOIL SHALL BE FERTILE, FRIABLE AND REPRESENTATIVE OF LOCAL PRODUCTIVE SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH AND FREE OF CLAY LUMPS, SUBSOIL, NOXIOUS WEEDS OR OTHER FOREIGN MATTER SUCH AS STONES, ROOTS, STICKS AND OTHER EXTRANEEOUS MATERIALS: NOT FROZEN OR MUDDY. PH OF TOPSOIL TO RANGE BETWEEN 5.5 AND 7.5.
- SODDED AREAS SHALL BE GRASSED KENTUCKY BLUEGRASS SOD. SOD SHALL BE LAID WITH CLOSE, TIGHT FITTING JOINTS, WHICH SHALL BE LAID IN ROWS PARALLEL TO THE CONTOUR LINES. ALL SODDED AREAS SHALL BE ROLLED TO ACHIEVE A SMOOTH, UNIFORM LAWN.
- SEEDDED AREAS SHALL BE GRASSED WITH KENTUCKY 31 TALL FESCUE AND BLUEGRASS AT A RATE OF (5) POUNDS PER 1000 SQ. FT. OF GRASSED AREA. SEED MAY BE APPLIED EITHER BY A MECHANICAL SPREADER OR HYDROSEEDING. WHICHEVER METHOD IS CHOSEN A THICK STAND OF GRASS SHALL BE ACHIEVED WITHIN 21 DAYS OR A SECOND OVERSEEDING WILL BE REQUIRED.
- FERTILIZATION AND SOIL AMENDMENTS FOR ALL GRASSED AREAS SHALL BE AS PER LABORATORY ANALYSIS. HYDROSEEDING MAY BE SUBSTITUTED FOR MECHANICAL SEEDING BY MIXING SEED, FERTILIZER AND PULVERIZED MULCH IN WATER, USING EQUIPMENT SPECIFICALLY DESIGNED FOR HYDROSEED APPLICATION. MIX UNTIL UNIFORMLY BLENDED INTO HOMOGENEOUS SLURRY SUITABLE FOR HYDRAULIC APPLICATION. APPLY UNIFORMLY AT A RATE AS REQUIRED TO OBTAIN SPECIFIED SEEDING RATE.
- ANY EXISTING LAWN AREA DISTURBED BY CONSTRUCTION IS TO BE REPAIRED TO ITS ORIGINAL CONDITION BY SEEDING.

**TREES AND SHRUBS**

- ALL TREES LOCATED IN GRASSED AREAS SHALL BE PLANTED AS PER DETAIL AND MULCHED WITH AT LEAST FOUR (4) FOOT DIAMETER OF SHREDDED BARK MULCH, TO A MINIMUM 3" DEPTH.
- SHRUB BEDS SHALL BE MOUNDED WITH TOPSOIL A MINIMUM OF 6" ABOVE TOP OF CURB AND SHALL BE MULCHED WITH A 3" DEPTH OF SHREDDED BARK MULCH.
- TREES SHALL BE PLANTED NO CLOSER THAN FIVE (5) FEET FROM BACK OF SIDEWALK OR BUILDING STRUCTURE.
- LOCATION AND LAYOUT OF ALL SHRUBS AND TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- ALL TREE PROTECTION DEVICES ARE TO BE INSTALLED PRIOR TO START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED.
- ALL TREES ARE TO BE STAKED AND GUYED PER PLANTING DETAILS.



**1 TREE PLANTING DETAIL**  
NOT TO SCALE 329343.39-01



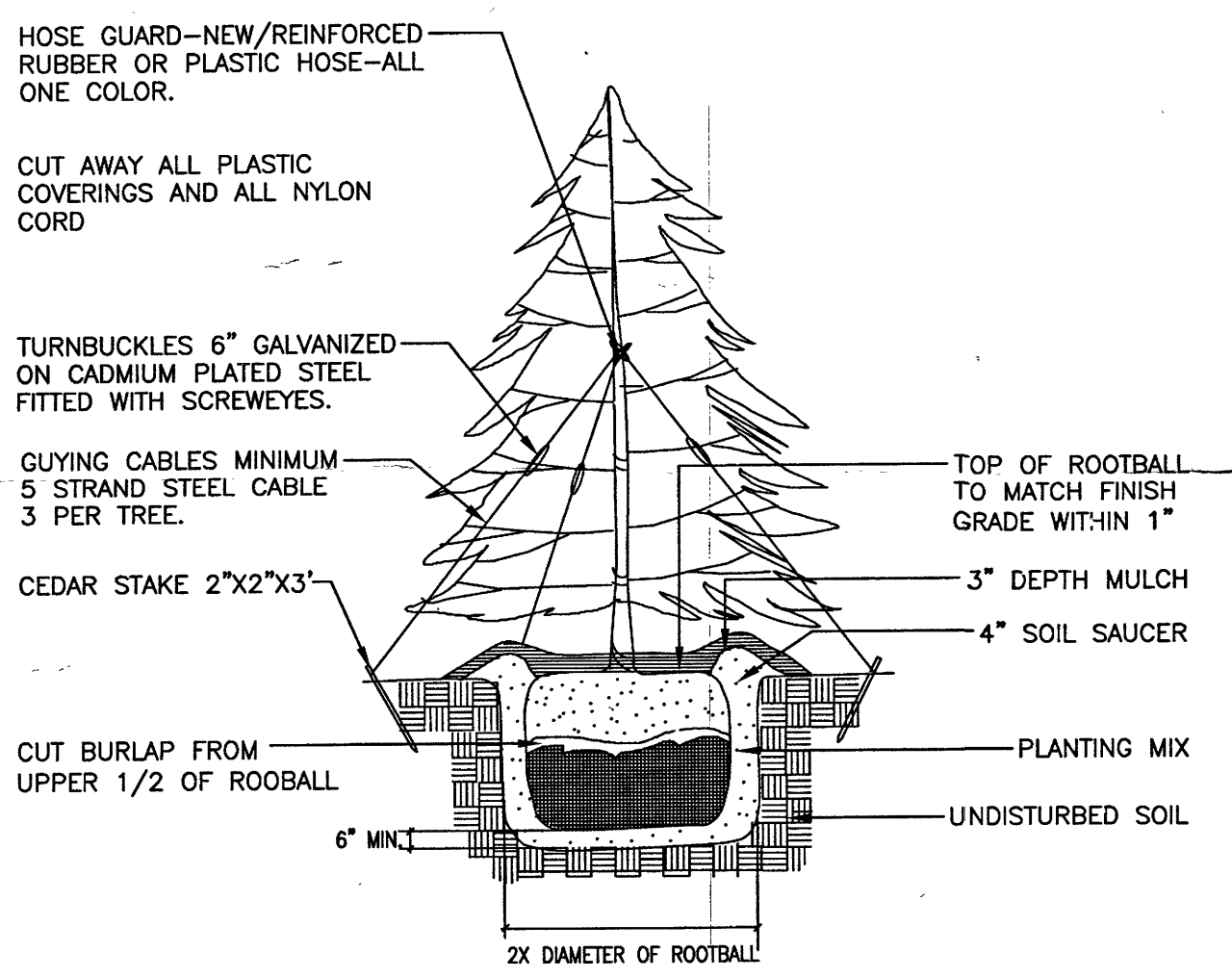
**4 SHRUB PLANTING DETAIL**  
NOT TO SCALE 329333.16-01

GROUND COVER TO BE PLANTED ON EQUIDISTANT TRIANGULAR GRID

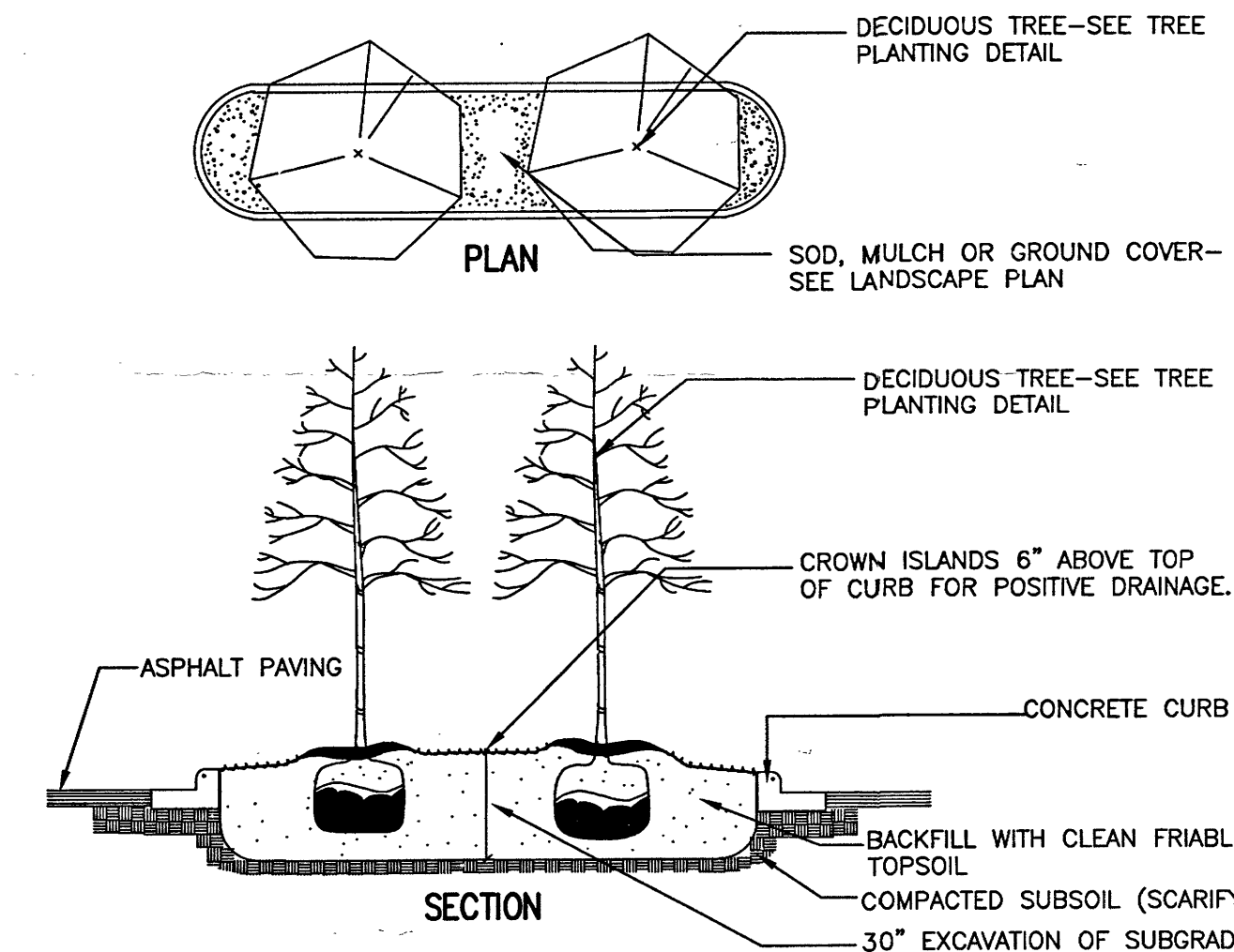
\*\*SEE PLAN FOR REQUIRED SPACING

SPACING "D"	ROW WIDTH "A"	NO. OF PLANTS/SF
6" O.C.	5.20"	4.61
8" O.C.	6.93"	2.60
10" O.C.	8.66"	1.66
12" O.C.	10.44"	1.15
15" O.C.	13.00"	.738
18" O.C.	15.60"	.512
24" O.C.	20.80"	.330

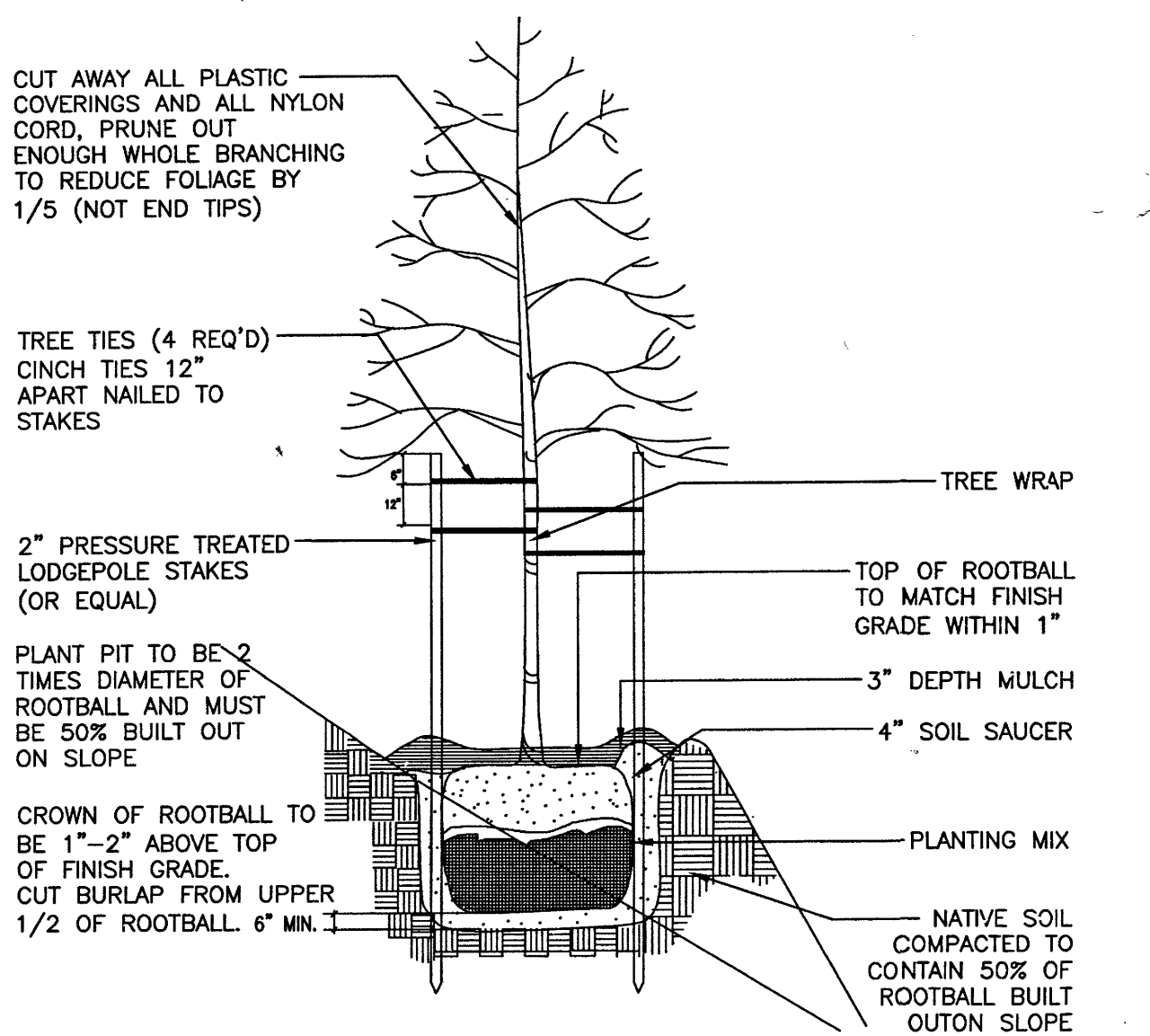
**5 GROUND COVER PLANTING DETAIL**  
NOT TO SCALE 329333.83-01



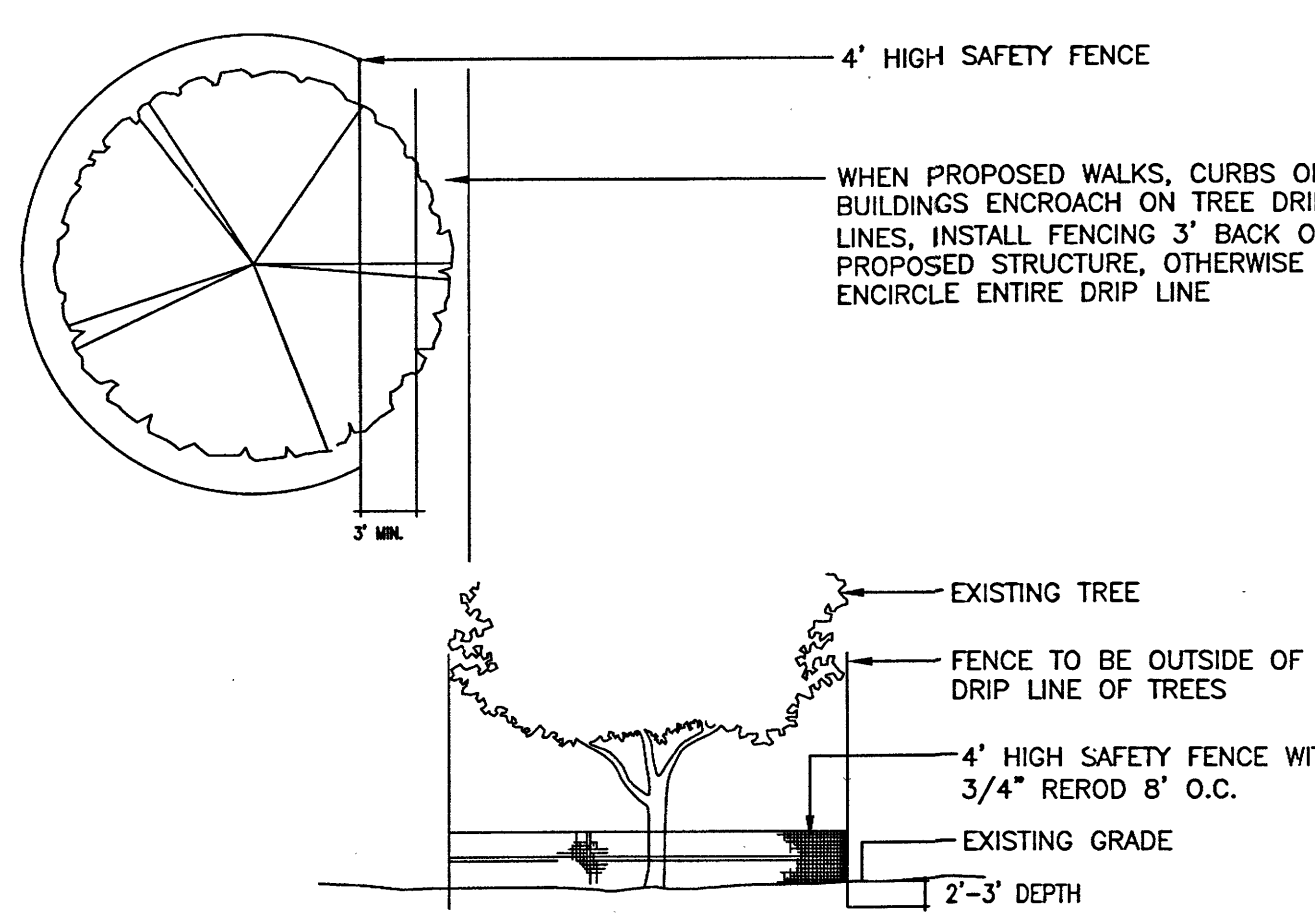
**2 EVERGREEN TREE PLANTING DETAIL**  
1" = 1" 329343.46-01



**6 TYPICAL ISLAND PLANTING DETAIL**  
NOT TO SCALE 329343.69-01



**3 TREE PLANTING DETAIL (SLOPE)**  
NOT TO SCALE 329343.39-02



**7 TREE PROTECTION DETAIL**  
NOT TO SCALE 329343.67-01

Drawing Name: L:\Drawing\081313\081313.dwg Date: 08/13/13 10:00 AM 329343.39-02

**PROJECT NUMBER**  
20130003.0

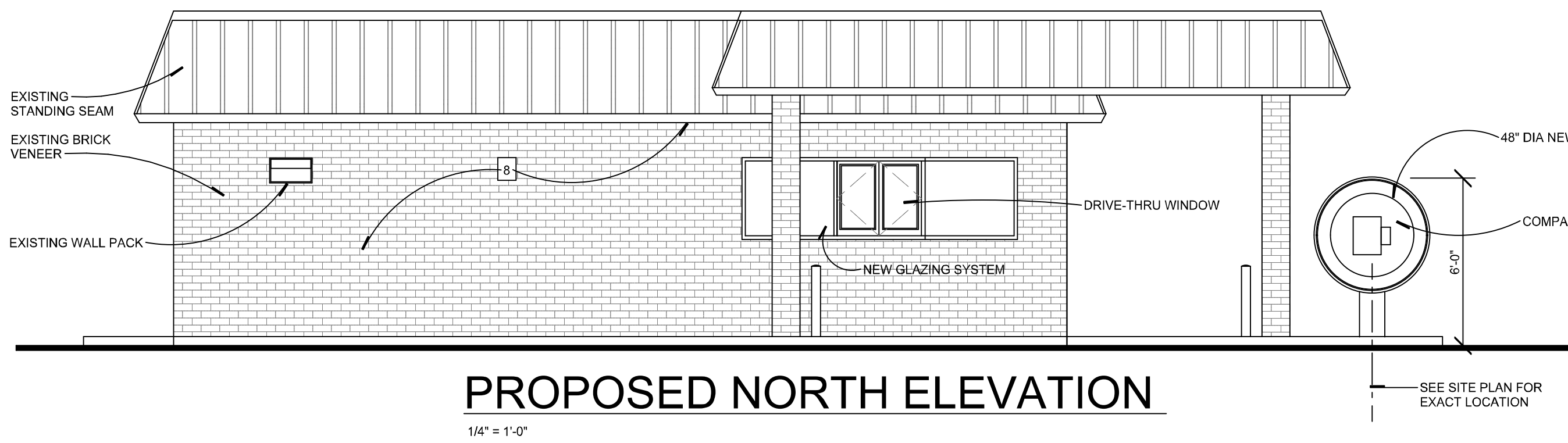
**SHEET TITLE**  
LANDSCAPE NOTES AND DETAILS

**SHEET NUMBER**  
L2.0

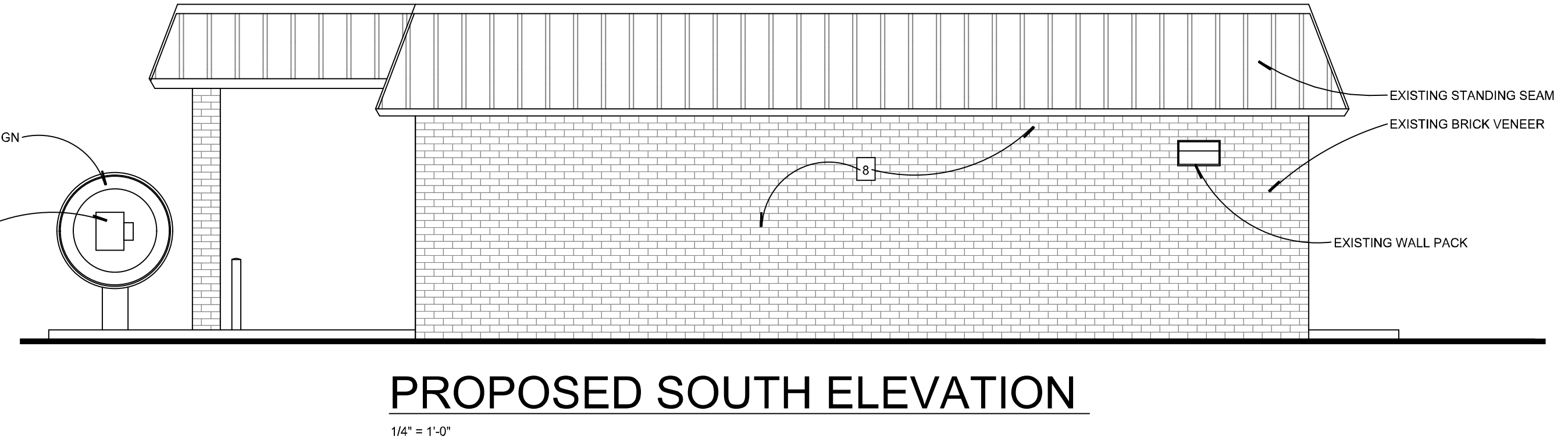


ISSUANCE:  
 SCHEMATIC  
 BIDDING  
 MUNI SUBMITTAL  
 CONSTRUCTION  
 OTHER:  
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS INDICATED

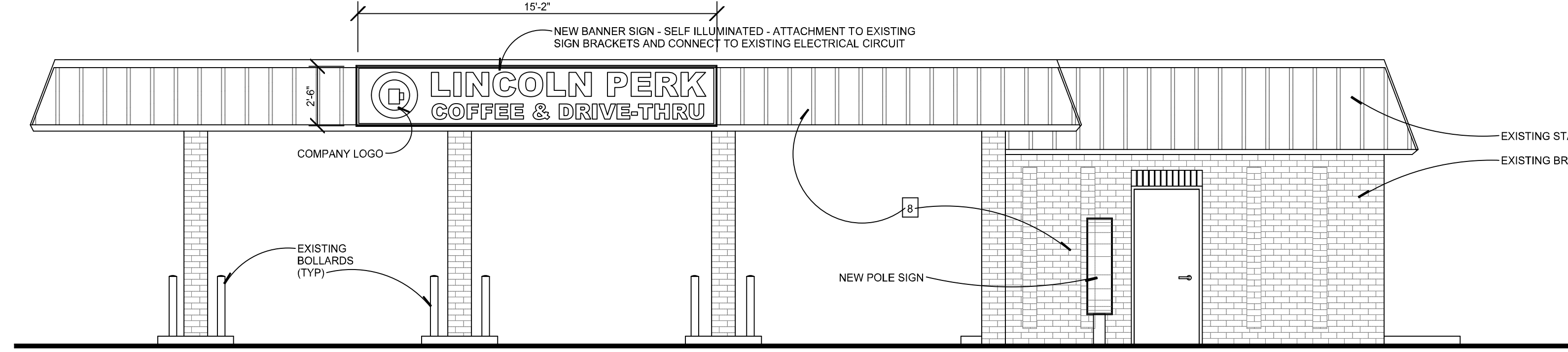
NO.	DESC.	DATE
1	PER OWNER / MUNI / HD	8-10-17



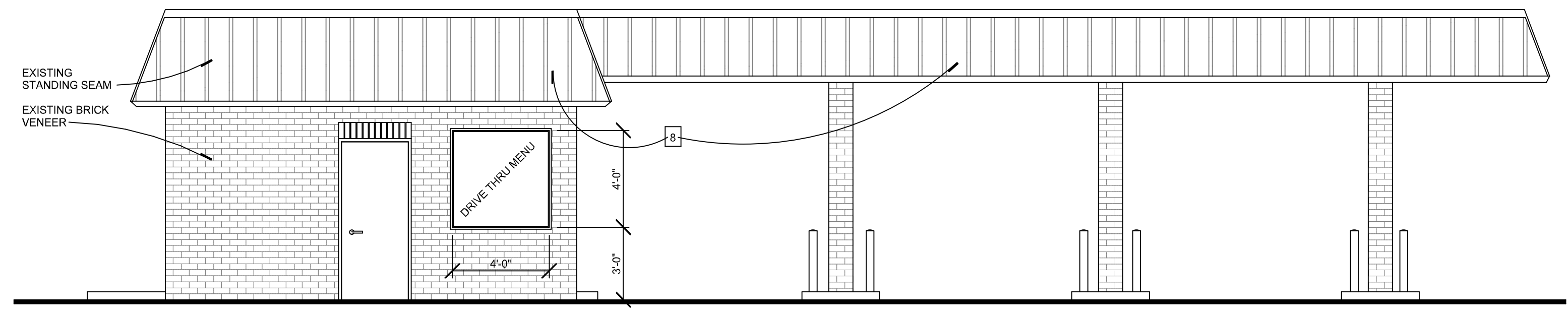
**PROPOSED NORTH ELEVATION**  
1/4" = 1'-0"



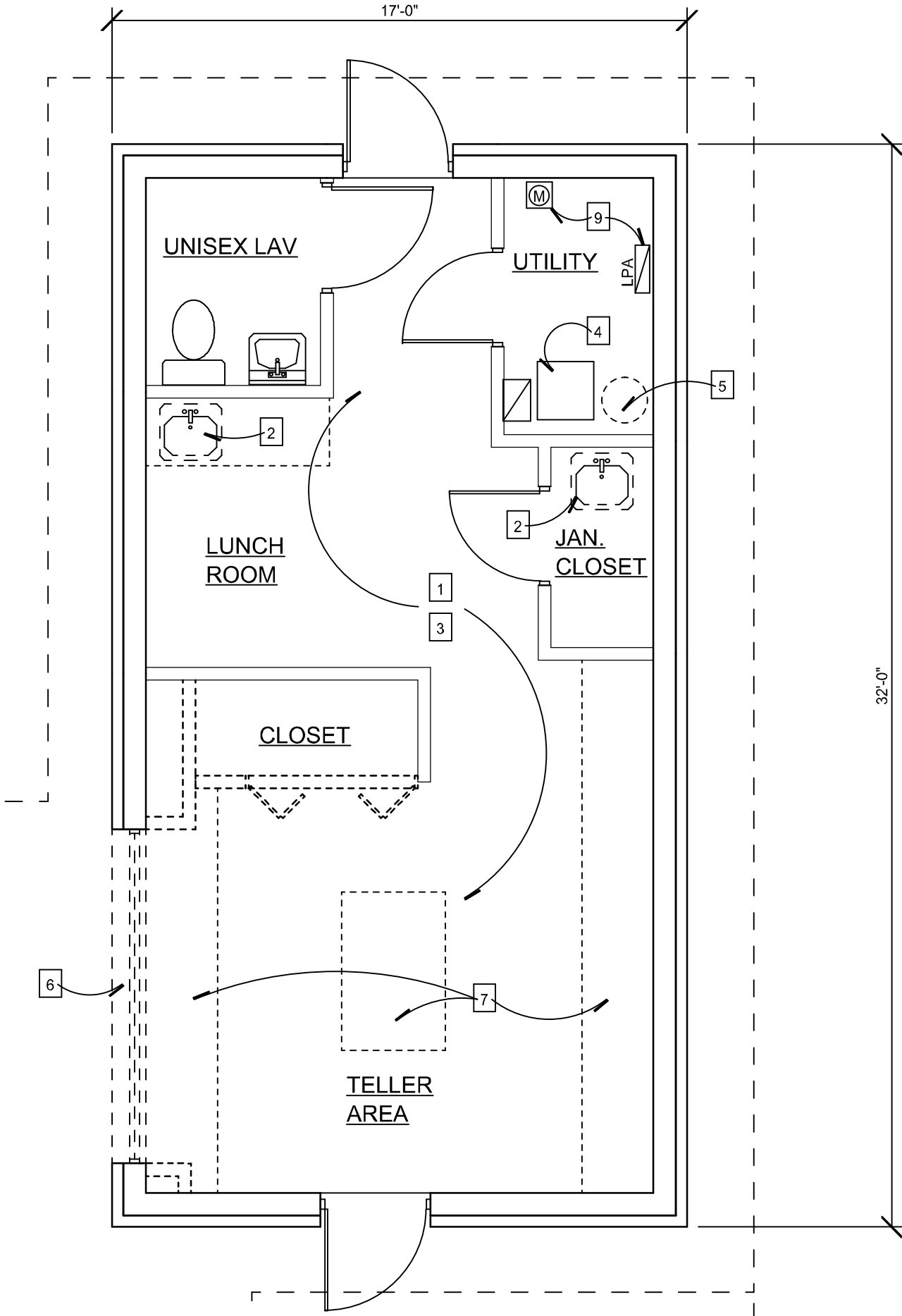
**PROPOSED SOUTH ELEVATION**  
1/4" = 1'-0"



**PROPOSED WEST ELEVATION**  
1/4" = 1'-0"



**PROPOSED EAST ELEVATION**  
1/4" = 1'-0"



**EXISTING FLOOR / DEMO PLAN**  
1/4" = 1'-0"

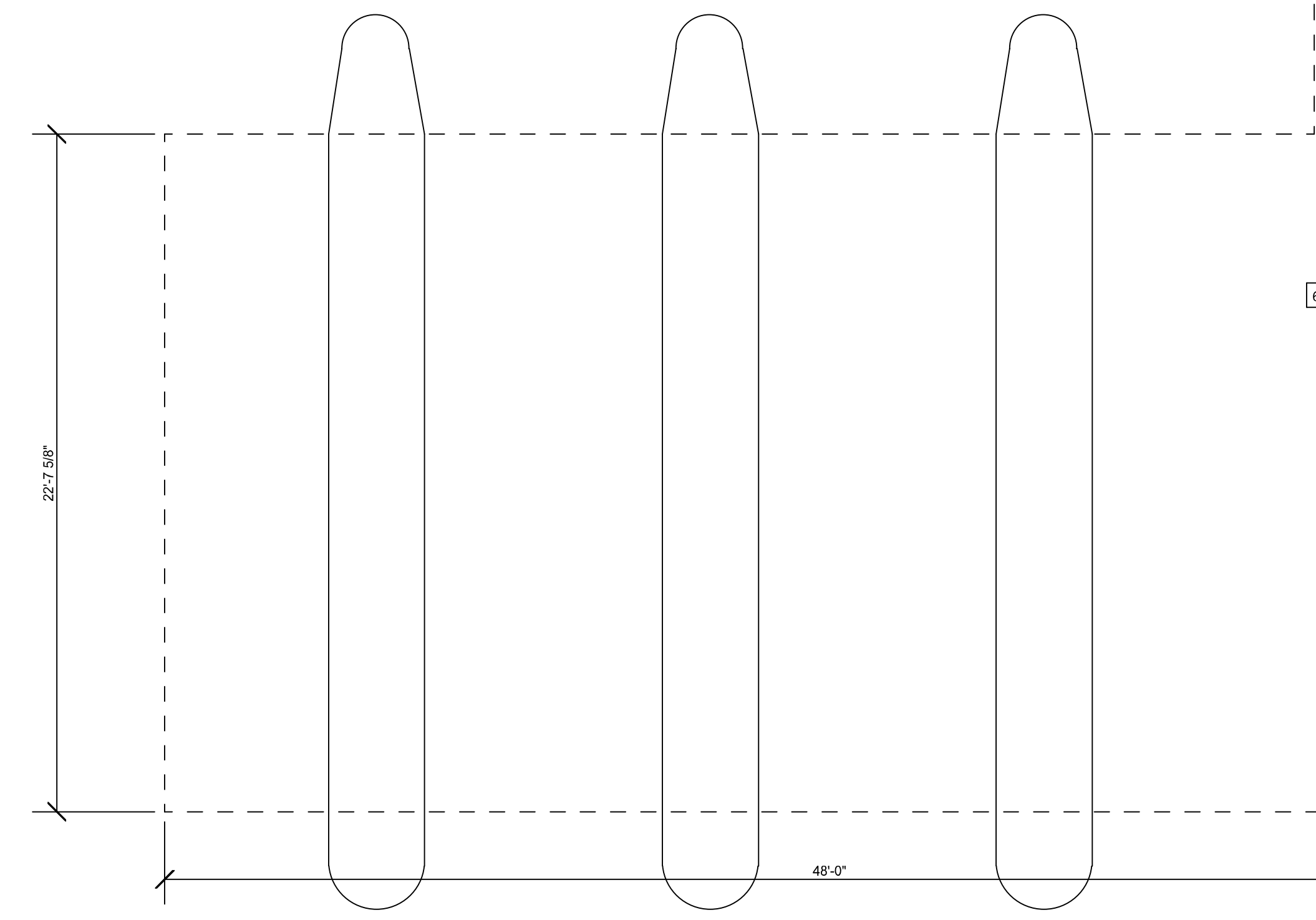
- 02 GENERAL SPECIFICATIONS FOR DEMOLITION:**
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. IF FIELD CONDITIONS ARE NOT AS SHOWN ON PLAN, CONTACT THE PROJECT ARCHITECT OR ENGINEER IMMEDIATELY PRIOR TO PROCEEDING WITH ANY WORK.
  - EXISTING BUILDING AND SITE WILL BE USED DURING DEMOLITION AND RECONSTRUCTION OF PROPOSED BUILDING. PROVIDE APPROPRIATE BARRICADES, SIGNAGE, AND OTHER SAFETY PRECAUTIONS SO AS TO PROTECT VISITORS, TRADESMEN, AND EXISTING REMAINING CONDITIONS.
  - COMPLETELY REMOVE ALL WORK AND RELATED WORK IN AREAS DESIGNATED ON THE PLAN.
  - DISCONNECT, REMOVE, AND CAP ALL EXISTING UTILITIES AS INDICATED AND REQUIRED TO PERMIT NEW WORK. ALL WORK TO BE COMPLETED BY APPROPRIATE, EXPERIENCED TRADES (I.E. ELECTRICAL DEMOLITION BY ELECTRICIANS, ETC.).
  - RESTORE EXISTING AREAS WHICH ARE DAMAGED DURING CONSTRUCTION. MATCH EXISTING MATERIAL AND FINISHES.
  - DO NOT USE EXPLOSIVES OR UNSAFE DEMOLITION METHODS.
  - REMOVE ALL DEBRIS FROM THE SITE. DO NOT BURN REFUSE ON SITE. MATERIAL TO BE TRANSPORTED TO AN APPROVED SITE.
  - COORDINATE SALVAGEABLE ITEMS WITH THE OWNER. STORE SALVAGEABLE ITEMS WITHIN DESIGNATED AREAS.
  - THE CONTRACTOR SHALL PROVIDE PROPER SHORING AND BRACING WHERE NEEDED.
  - ALL ABANDONED PLUMBING SUPPLY AND WASTE LINES TO BE CAPPED - FLOOR & WALLS AFFECTED SHALL BE REPAIRED AND FINISHED TO MATCH EXISTING FINISHES.
  - REMOVE ALL FLOOR COVERINGS.
  - REMOVE ALL GYP PARTITIONS AS NOTED INCLUDING DOORS AND FRAMES.
  - REMOVE ALL CEILING UNOS.
  - REMOVE ALL CEILING GRIDS, LIGHTS, AND HVAC DIFFUSERS.

**WALL SCHEDULE**

KEY	DESC
	TYPICAL WALL TO REMAIN
	WALL TO BE REMOVED

**NOTATION SCHEDULE**

KEY	DESC
1	ALL FLOOR AND CEILING FINISHES SHALL BE REMOVED THROUGHOUT
2	PLUMBING FIXTURES SHALL BE REMOVED AND PLUMBING SHALL BE TERMINATED FLUSH WITH EXISTING FLOOR
3	EXISTING DUCTWORK AND ELECTRICAL WORK SHALL BE REMAIN - RECONFIGURE FIXTURES TO PROPOSED PLAN
4	EXISTING HVAC SYSTEM TO REMAIN - RECONFIGURE DIFFUSERS PER PROPOSED PLAN
5	VERIFY CAPACITY AND REPLACE HOT WATER TANK AS PER PROPOSED PLAN
6	EXISTING GLAZING UNIT TO BE REMOVED
7	COUNTERS / CABINETS TO BE REMOVED
8	EXTERIOR ELEMENTS TO REMAIN
9	EXISTING WATER / ELECTRIC SERVICE - METERS AND PANELS / DISCONNECTS - TO REMAIN



**SHEET NOTES**

**GENERAL NOTES**

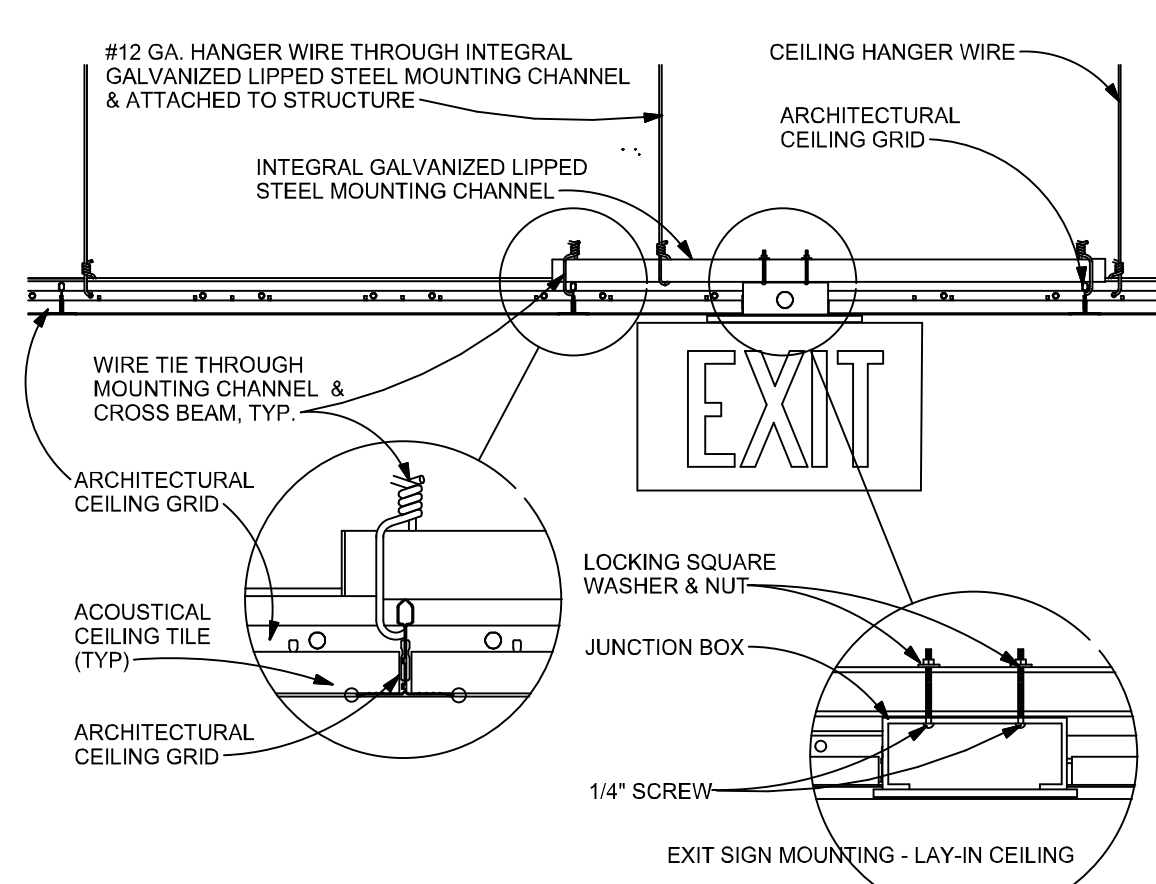
- FIELD VERIFY ALL EXISTING DIMENSIONS, HEIGHTS, AND CONDITIONS PRIOR TO DESIGN, INSTALLATION, OR MANUFACTURING OF ANY SYSTEM
  - THE ABBREVIATION "TOS" DENOTES THE TOP OF STEEL.
  - THE ABBREVIATION "TOC" DENOTES THE TOP OF COLUMN.
  - CONTRACTOR TO PROVIDE ALL PROPER MEANS OF UNDERPINNING AND SHORING DURING CONSTRUCTION TO ASSURE HUMAN SAFETY
  - ALL MASONRY CONSTRUCTION, AND MATERIALS TO COMPLY W/ ASTM STANDARDS
  - ALL WOOD CONSTRUCTION IN CONTACT WITH CONCRETE FLOOR SHALL BE PRESERVATIVELY TREATED.
- EXISTING CONDITIONS:**
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. IF FIELD CONDITIONS ARE NOT SHOWN ON PLAN, CONTACT THE PROJECT ARCHITECT OR ENGINEER IMMEDIATELY PRIOR TO PROCEEDING WITH ANY WORK.
  - EXISTING BUILDING AND SITE WILL BE USED DURING DEMOLITION AND RECONSTRUCTION OF PROPOSED BUILDING. PROVIDE APPROPRIATE BARRICADES, SIGNAGE, AND OTHER SAFETY PRECAUTIONS SO AS TO PROTECT VISITORS, TRADESMEN, AND EXISTING REMAINING CONDITIONS.
  - COMPLETELY REMOVE ALL WORK AND RELATED WORK IN AREAS DESIGNATED ON THE PLAN.
  - DISCONNECT, REMOVE, AND CAP ALL EXISTING UTILITIES AS INDICATED AND REQUIRED TO PERMIT NEW WORK. ALL WORK TO BE COMPLETED BY APPROPRIATE, EXPERIENCED TRADES (I.E. ELECTRICAL DEMOLITION BY ELECTRICIANS, ETC.)
  - RESTORE EXISTING AREAS WHICH ARE DAMAGED DURING CONSTRUCTION. MATCH EXISTING MATERIALS AND FINISHES.
  - DO NOT USE EXPLOSIVES OR UNSAFE DEMOLITION METHODS.
  - REMOVE ALL DEBRIS FROM THE SITE. DO NOT BURN REFUSE ON SITE. MATERIAL TO BE TRANSPORTED TO AN APPROVED SITE.
  - COORDINATE SALVAGEABLE ITEMS WITH THE OWNER. STORE SALVAGEABLE ITEMS WITHIN DESIGNATED AREAS.
  - THE CONTRACTOR SHALL PROVIDE PROPER SHORING AND BRACING WHERE NEEDED.

**STRUCTURAL**

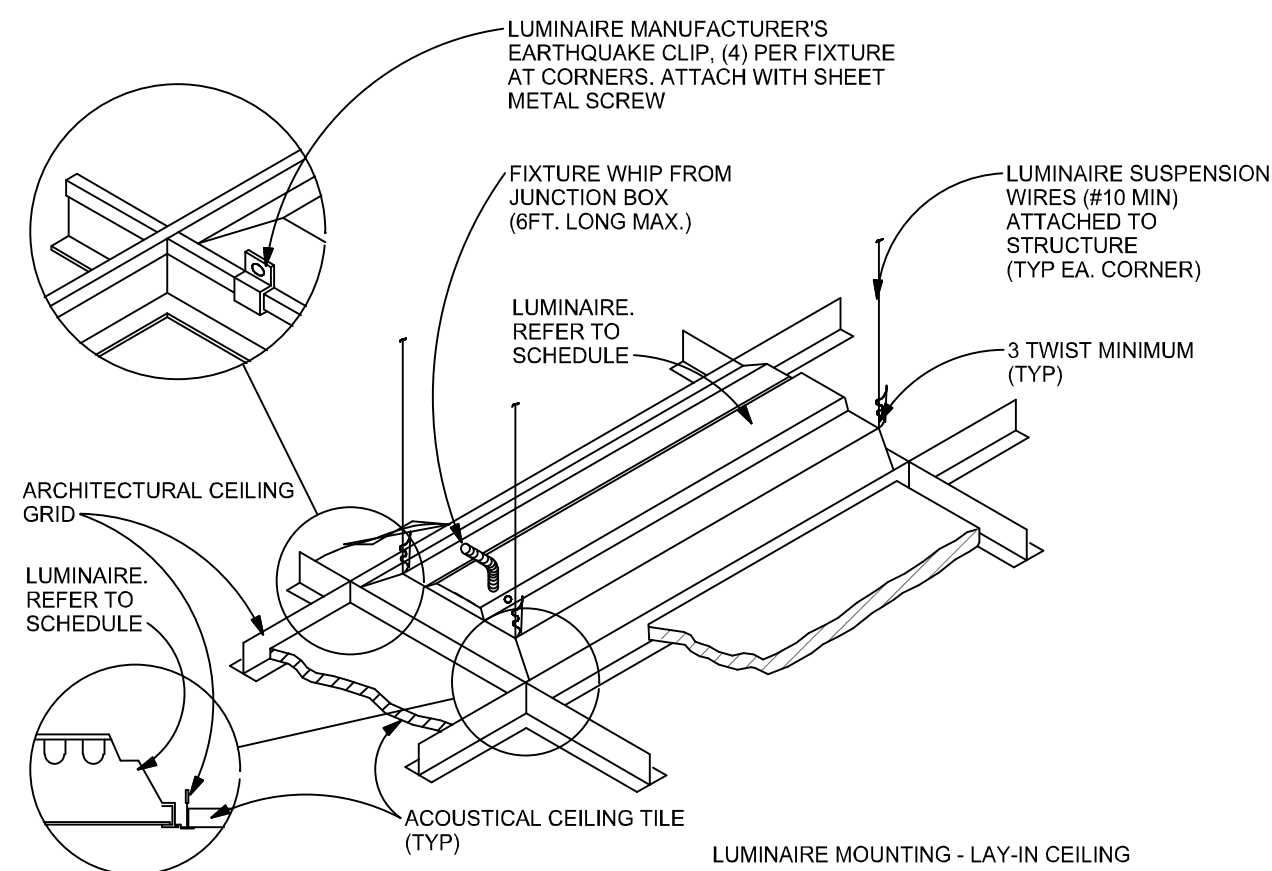
- ALL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36 KSI UNLESS OTHERWISE NOTED - IN COMPLIANCE WITH ASTM "A"
- ALL BOLTS SHALL HAVE A MINIMUM YIELD STRENGTH DESIGNATION IN COMPLIANCE W/ A325 OR GREATER FOR TYPE X OR N CONNECTIONS.
- FRAMING SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL BY THE ARCHITECT PRIOR TO FABRICATION
- ALL PROPOSED CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 KSI @ 28 DAYS.
- ALL MORTAR SHALL BE TYPE "M" OR "S".

**26 ELECTRICAL:**

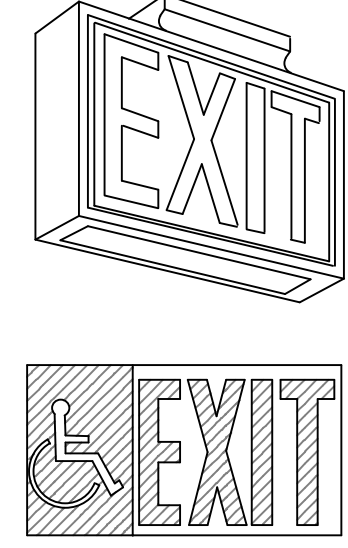
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
- CONTRACTOR TO VERIFY SIZE AND LOCATION OF TRANSFORMER WITH ELECTRIC CO.
- GUARANTEE BY THE ELECTRICAL CONTRACTOR TO THE OWNER FOR ONE YEAR WARRANTY AGAINST DEFECTS IN WORKMANSHIP, MATERIALS AND OPERATION.
- ELECTRICAL PANELS: CIRCUIT BREAKER TYPE, PAINTED STEEL CABINET & DOOR, FILLED OUT DIRECTORY, FLUSH MOUNT.
- ALL GROUNDING PER NATIONAL ELECTRICAL CODE (N.E.C.).
- ALL CONDUCTORS IN EMT CONDUIT.
- ALL CONDUCTORS TO BE COPPER.
- ALL BATTERY PACK, EXIT AND EMERGENCY LIGHTING TO BE TIED TO LIGHTING CIRCUIT.
- GALVANIZED ELECTRIC METALLIC TUBING MAY BE USED IN ALL AREAS. CONCEAL ALL CONDUIT IN WALLS OR CEILING SPACE. MIN. CONDUIT SIZE TO BE 1/2".
- BUILDING AND CONSTRUCTION WIRE SHALL BE COPPER, TYPE THHN, OR XHHW, 600 VOLTS, MINIMUM SIZE WIRE SHALL BE NO. 12.
- DISCONNECT SWITCHES SHALL BE HEAVY DUTY TYPE WITH FULL COVER INTERLOCK AND PROVISIONS FOR PADLOCKING, SQUARE D-HD TYPE OR EQUAL.
- FIXTURES SHALL BE COMPLETELY WIRED, EQUIPPED WITH LAMPS, BALLASTS AND BE LISTED WITH UNDERWRITERS LABORATORIES.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATIONS OF HIS EQUIPMENT AND WORK WITH OTHER BUILDING TRADES TO AVOID INTERFERENCE BETWEEN HIS WORK AND THE WORK OF OTHER BUILDING TRADES.
- CUTTING AND PATCHING REQUIRED SHALL BE PERFORMED AS PART OF ELECTRICAL WORK, UNLESS SPECIFICALLY SHOWN ON DRAWINGS AS BEING OTHERWISE. WORK SHALL BE DONE BY THOSE SKILLED IN THE TRADE INVOLVED. PATCHED AREAS SHALL BE RETURNED TO LIKE NEW CONDITION.
- DIRT AND RUBBISH FROM THIS WORK SHALL BE REMOVED FROM THE PREMISES DAILY.
- HOLES THROUGH WALLS OR PARTITIONS REQUIRED FOR ELECTRICAL WORK SHALL BE NEATLY CUT TO SIZE AND SEALED TO MATCH RATING OF WALL PENETRATED, FOR A NEAT AND FINISHED APPEARANCE.
- HOLES THROUGH EXTERIOR WALLS SHALL BE SEALED FROM ENTRANCE OF MOISTURE, DUST, ETC.
- ALL ELECTRICAL MATERIALS SHALL BE NEW AND BEAR THE "UL" LABEL OR LISTING.
- VERIFY EXACT LIGHTING FIXTURE MANUFACTURER, TYPE, AND LOCATIONS WITH THE OWNER.
- ALL EXTERIOR LIGHTING TO BE CONTROLLED VIA PHOTO CELL/ASTRONOMICAL TIMER (PHOTO CELL; LIGHTS ON; TIMER; LIGHTS OFF), PRESET PHOTO CELL FOR 5 FOOT - CANDLES.
- TEST CIRCUITS AS SOON AS CONDUCTORS ARE INSTALLED AND MAKE FINAL OPERATING TESTS WHEN WORK IS COMPLETED.
- DISCONNECT TO BE "FUSIBLE" & "CURRENT LIMITING TYPE".
- ALL BREAKERS FOR LIGHT SWITCHES TO BE S.W.P. TYPE.
- OBTAIN NECESSARY PERMITS AND INSPECTIONS.
- ELECTRICAL CONTRACTOR SHALL VERIFY FINAL LOADS AND CAPACITIES PRIOR TO COMMENCING WORK.
- CIRCUITS ARE DESIGNATED ON CORRESPONDING ELEMENTS BY THE PANEL LETTER FOLLOWED BY THE CIRCUIT NUMBER.
- CIRCUITS DESIGNATED FOR USE WITH COOLER COMPRESSOR/ CONDENSORS WITHOUT A COORELATING PLAN ITEM DESIGNATION MUST BE MATCHED WITH ITS RESPECTIVE EQUIPMENT.
- TRACK LIGHTING SHALL BE WIRED TO DIMMER SWITCHES.
- ELECTRICAL CONTRACTOR SHALL VERIFY FINAL LOADS AND CAPACITIES PRIOR TO COMMENCING WORK.
- LIGHTING FIXTURE STYLES AND TYPES SHALL BE SELECTED BY OWNER / CONTRACTOR.
- SEE SHEET M100 FOR PLACEMENT OF SUPPLY AND RETURN AIR VENTS, DUCTS, AND HVAC EQUIPMENT LOCATIONS.
- CIRCUITS ARE DESIGNATED ON CORRESPONDING ELEMENTS BY THE PANEL LETTER FOLLOWED BY THE CIRCUIT NUMBER.
- "SB"-SWITCH BANK; "S"-SWITCH; "DIM"-DIMMER
- ELECTRICAL FIXTURES SHALL BE MOUNTED AT HEIGHTS AFF DENOTED IN PLAN BY A NUMBER IN INCHES



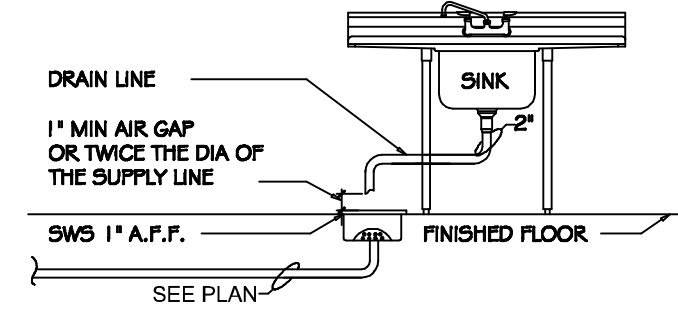
**5 EXIT SIGN MOUNTING - LAY-IN CEILING**  
NTS



**3 LUMINAIRE MOUNTING - LAY-IN CEILING**  
NTS



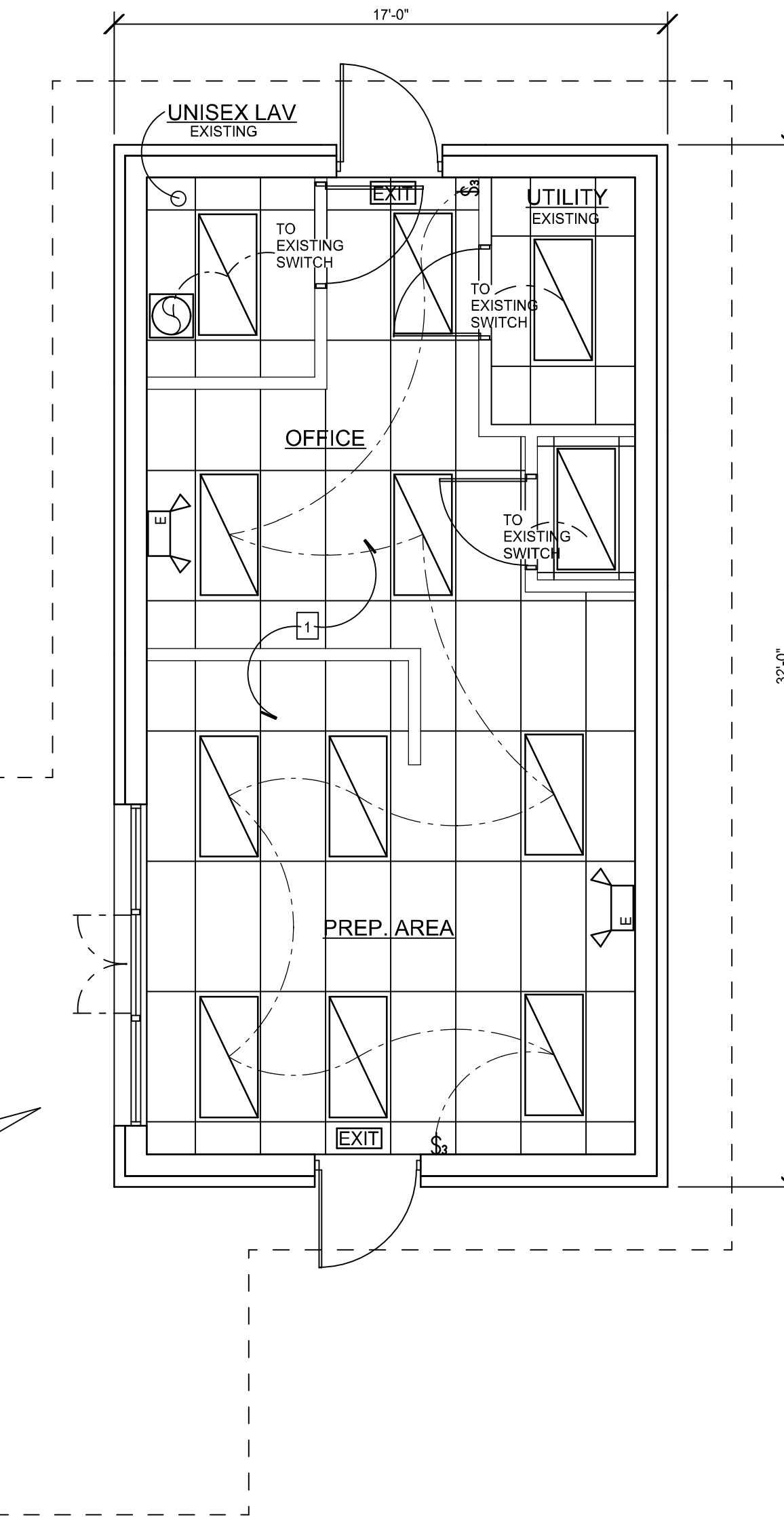
**4 EXIT SIGN**  
N.T.S.



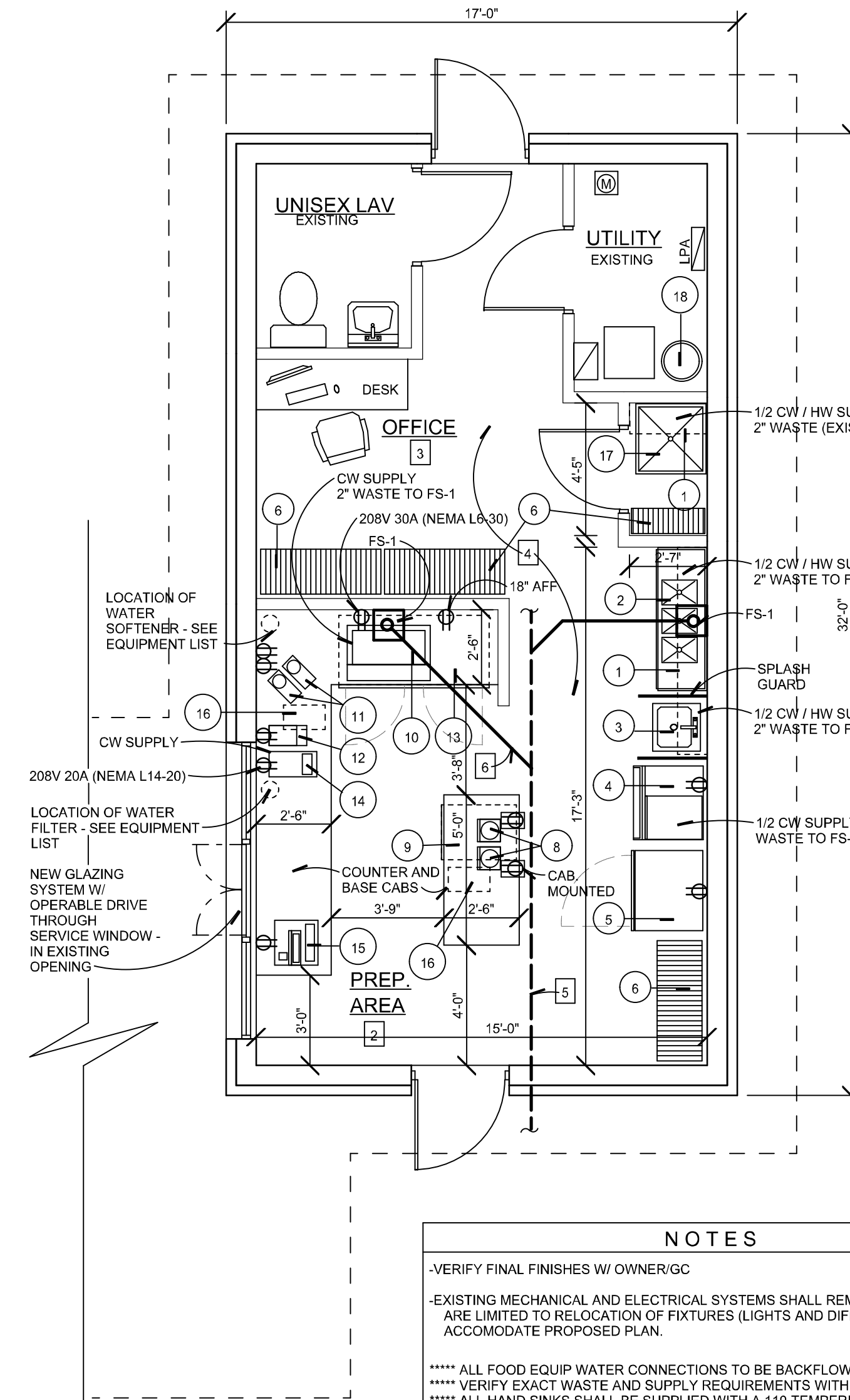
**2 SAFE WASTE SINK - TYPICAL**  
NO SCALE

**LUMINAIRE REQUIREMENTS**

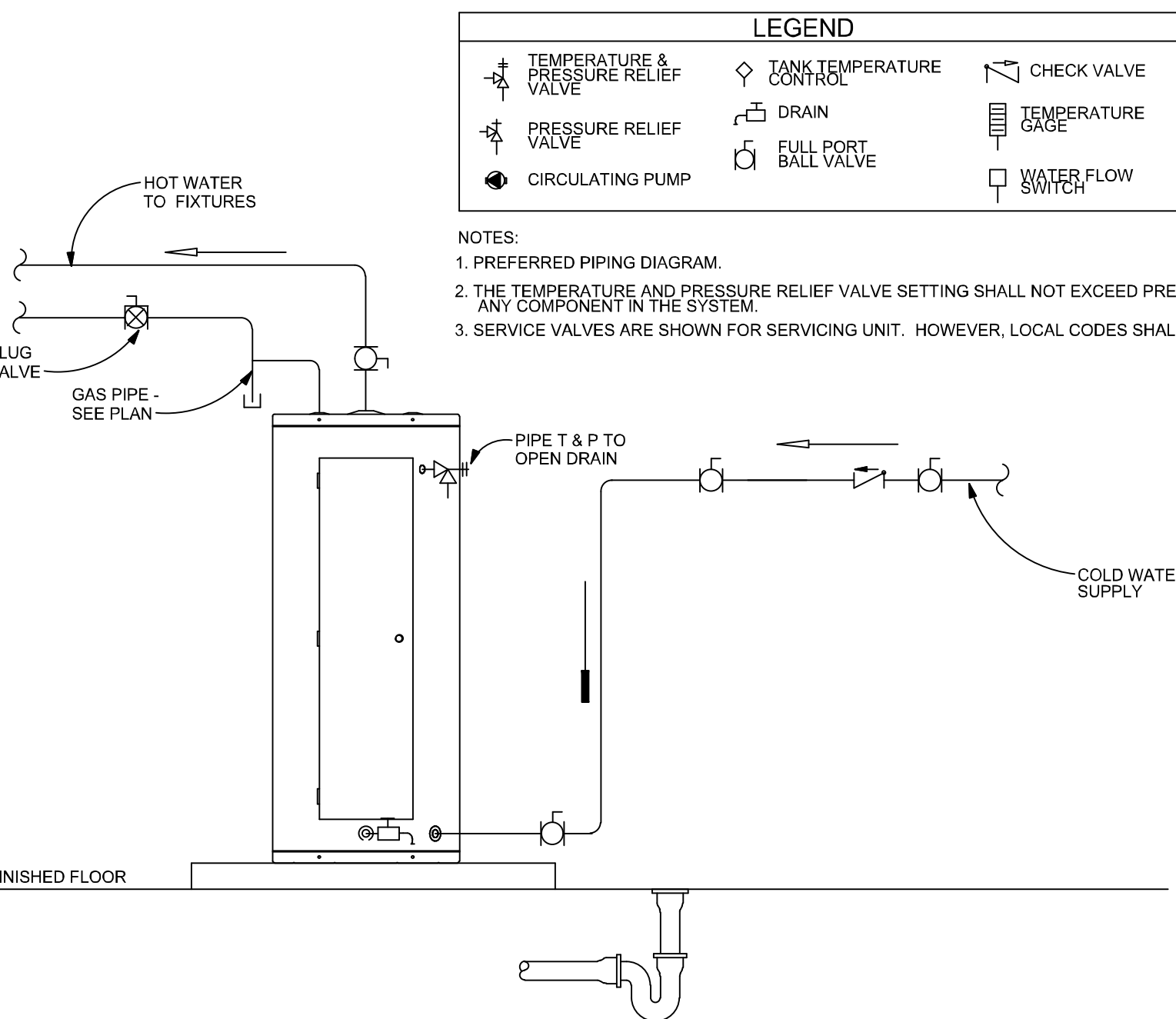
- LETTERS SHALL BE 6" TALL WITH 3/4" STROKES FORMED BY A STENCIL FACE.
- PROVIDE RED FIBERGLASS PANEL BEHIND STENCIL FACE.
- PROVIDE 2 LONG LIFE INCANDESCENT LAMPS.
- PROVIDE DOWN LIGHT PANEL IN FIXTURE.
- PROVIDE ILLUMINATED ARROWS AS INDICATED.
- PROVIDE SINGLE OR DOUBLE FACE AS INDICATED.
- PROVIDE CEILING, END WALL, BACK WALL OR PENDANT MOUNTING AS INDICATED.
- UNITS MOUNTED EXPOSED TO THE ENVIRONMENT SHALL HAVE A DAMP OR WET U.L. LABEL AS APPROPRIATE AND SHALL NOT BE CONSTRUCTED OF STEEL.
- PROVIDE INTERNAL PROVISIONS FOR GROUNDING.
- MINIMUM BRIGHTNESS 20 CD/ SQ METER ON FACE OF SIGN.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESS ON SIGN WHEN INDICATED.



**PROPOSED REFLECTED CEILING PLAN**  
1/4" = 1'-0"



- NOTES**
- VERIFY FINAL FINISHES W/ OWNER/GC
  - EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL REMAIN - MODIFICATIONS ARE LIMITED TO RELOCATION OF FIXTURES (LIGHTS AND DIFFUSERS) TO ACCOMMODATE PROPOSED PLAN.
  - ALL FOOD EQUIP WATER CONNECTIONS TO BE BACKFLOW PROTECTED \*\*\*\*
  - VERIFY EXACT WASTE AND SUPPLY REQUIREMENTS WITH EQUIP MANU \*\*\*\*
  - ALL HAND SINKS SHALL BE SUPPLIED WITH A 110 TEMPERING VALVE \*\*\*\*



**1 GAS WATER HEATER DETAIL**  
NTS

VERIFY ADEQUACY OF EXISTING HOT WATER TANK

EQUIPMENT SCHEDULE					
ITEM NO	QTY	EQUIPMENT CATEGORY	MANUFACTURER	MODEL NUMBER	EQUIPMENT REMARKS
1	1	WALL MOUNTED SHELVING	SSP INC.		BY OWNER
2	1	3 COMPARTMENT SINK	GRIFFIN		VERIFY MODEL W/ OWNER
3	1	HANDSINK	HOSHIZAKI AMERICA, INC.	KML-451MAH	VERIFY MODEL W/ OWNER
4	1	ICE MAKER W/ BIN	SAMSUNG	RT18M621SSG	BIN: B-500PF/SF
5	1	TOP FREEZER REFRODRATOR			BY OWNER
6	1	WIRE SHELVING			
7					
8	2	BLENDER	VITAMIX	QUIET ONE	
9	1	UNDER COUNTER ICE BIN	CAMBRO		VERIFY MODEL W/ OWNER
10	1	ESPRESSO MACHINE	MUOVA SIMONELLI	AURELIA II	W/ WATER SOFTENER - 3M CUINO P1658N
11	2	ESPRESSO GRINDER	MAHLKONIG	K30	
12	1	COFFEE GRINDER	BUNN	G2	
13	1	UNDER COUNTER COOLER	BEVERAGE AIR	UCR60 WT	
14	1	COFFEE BREWER	BUNN	CWTF35APS-GF	W/ WATER FILTER - 3M CUINO HF-15
15	1	POS			BY OWNER
16	2	TRASH BIN	RUBBERMAID	3540 SLIM JIM	
17	1	MOP / SERVICE SINK	AO Smith	CYCLONE MXI - BTH - 120(A)	BY OWNER
18	1	40 GAL WATER HEATER			BY OWNER - SEE DETAIL 1

FIXTURE SCHEDULE	
FD-1	FLOOR DRAIN SIOUX CHIEF 860-3-4PN & DOME STRAINER W/PPPP ULP-500LP AND 1/2" COPPER CW LINE
FS-1	FLOOR SINK W/ AIR GAP SIOUX CHIEF 861-521 WITH INTERIOR DOME STRAINER AND C.I. P-TRAP - SEE DETAIL

NOTATION SCHEDULE	
NOTATION	DESCRIPTION
1	REGULAR 2X4 ACOUSTICAL VINYL CEILING TILES @ 9'-0" AFF OR MATCH EXISTING - TYP
2	EXISTING WALLS IN PREP AREAS SHALL BE CLAD IN FRP PANEL OR SIMILAR NON-POROUS, SMOOTH FINISH PANELING.
3	EXISTING WALLS IN NON-PREP AREAS SHALL BE PAINTED
4	FLOOR SHALL BE FINISHED IN QUARRY TILE OR EXISTING SLAB EPOXY COATED - VERIFY W/ OWNER
5	EXISTING PVC SCH40 SUB-SLAB SANITARY LINE (VERIFY LOC.)
6	PROPOSED PVC SCH40 SUB-SLAB SANITARY LINE - 2"

ELECTRICAL SYMBOLS	
	EMERGENCY LIGHTING W/ 75 WATT FLOOD LUMINARIES AND 90 MINUTE MINIMUM SELF-RECHARGING BACKUP DIC BATTERY
	ILLUMINATED EXIT SIGN WITH 90 MINUTE MN. SELF-RECHARGING BACKUP DIC BATTERY
	GENERAL PURPOSE FLUORESCENT FIXTURE (4)3W T8 2X4 RECESSED FLUOR FIXT MANU: LITHONIA MODEL: SP8
	LIGHT SWITCH / 3-WAY LIGHT SWITCH @ 48" AFF W/ SINGLE POLE INFRARED OCCUPANCY SENSOR MANU: LEVITON MODEL: QDS90-IAW
	WALL MOUNTED DUPLEX @ 44" AFF (U.N.O.) W/ GROUND FAULT CIRCUIT INTERRUPT BREAKER - DEDICATED TO EQUIPMENT IMMEDIATELY ADJACENT - 20A UNLESS NOTED OTHERWISE (SEE PLAN)
	EXISTING EXHAUST FAN

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**Pizzo Development Group, LLC**

349 Antoine St  
Wyandotte, Michigan 48192  
(313) 671-2794  
pizzodevelopment.com



LINCOLN PERK

3461 Fort St  
Lincoln Park, MI  
48146

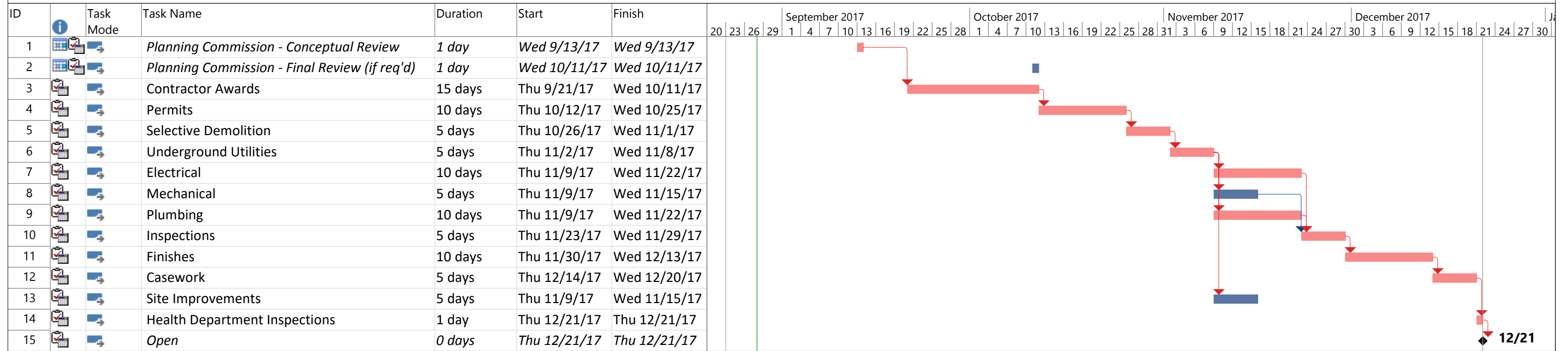
**ISSUANCE:**  
 SCHEMATIC  
 BIDDING  
 MUNI SUBMITTAL  
 CONSTRUCTION  
 OTHER:  
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS INDICATED

NO.	DESC.	DATE
1	PER OWNER (MUNI) / HD	8-16-17

ISSUE DATE: **05-08-17**  
 DB: **V.M.**  
 CB: **T.P.**

SHEET: **A101**

PROJECT NO: **16077**



Project: Lincoln Perk DesignCon Date: Mon 8/28/17	Task		Inactive Task		Manual Summary Rollup		External Milestone		Manual Progress	
	Split		Inactive Milestone		Manual Summary		Deadline			
	Milestone		Inactive Summary		Start-only		Critical			
	Summary		Manual Task		Finish-only		Critical Split			
	Project Summary		Duration-only		External Tasks		Progress			



Case No. PPC17-0005

Date Submitted May 16, 2017

**City of Lincoln Park  
APPLICATION FOR SITE PLAN REVIEW**

**NOTICE TO APPLICANT:** Applications for Site Plan Review by the Planning Commission must be submitted to the City in *substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the first Tuesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

**TO BE COMPLETED BY APPLICANT:**

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: TERESA Lupinski & Rudolph Cianfarani

Mailing Address: 1043 Michigan  
Lincoln Park, MI 48146

Email TMLupinski@yahoo.com Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

313-333-2770 Fax: \_\_\_\_\_

Property Owner(s) (if different from Applicant): \_\_\_\_\_

Rudolph Cianfarani Mailing Address: 2621 2nd ST  
Wyandotte MI  
48192

Telephone: 313-310-1369 Fax: \_\_\_\_\_

Applicant's Legal Interest in Property: To open a drive thru  
Coffee shop business

Location 3461 FORT ST. Lincoln Park, MI 48146

Nearest Cross Liberty & Buckingham Streets: \_\_\_\_\_

Sidwell Number: \_\_\_\_\_

**Property Description:**

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., "Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

Property Size (Square Ft): \_\_\_\_\_ (Acres): \_\_\_\_\_

**Existing Zoning (please check):**

- |  |  |
|--|--|
| <input type="checkbox"/> SFRD Single Family Residential District   | <input type="checkbox"/> RBD Regional Business District  |
| <input type="checkbox"/> MFRD Multiple Family Residential District | <input type="checkbox"/> CBD Central Business District   |
| <input type="checkbox"/> MHRD Mobile Home Park District            | <input type="checkbox"/> GID General Industrial District |
| <input type="checkbox"/> NBD Neighborhood Business District        | <input type="checkbox"/> LID Light Industrial District   |
| <input type="checkbox"/> MBD Municipal Business District           | <input type="checkbox"/> CSD Community Service District  |
| <input type="checkbox"/> PUD Planned Unit Development District     |  |

Present Use of Property: VACANT BANK (drive thru)

Proposed Use of Property: drive thru coffee shop

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1	524	3
Industrial			
Other			

Professionals Who Prepared Plans:

- A. Name: Pizzo Construction  
 Mailing Address: Antoine Wyandotte, MI 48192  
 Email Address: tony.pizzo@pizzoc.com  
 Telephone: 313-671-2794 Fax: 313-671-2794 Primary Design Responsibility: Vito Mazzola
- B. Name: Foliage Concepts Landscaping  
 Mailing Address: 21527 Plymouth Court Grosse Pointe MI 48138  
 Email Address: doug@foliageconcepts.com  
 Telephone: 734-671-1551 Fax: 734-671-1551 Primary Design Responsibility: Doug Henry
- C. Name: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 Email Address: \_\_\_\_\_  
 Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_

**ATTACH THE FOLLOWING:**

1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. A brief written description of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:

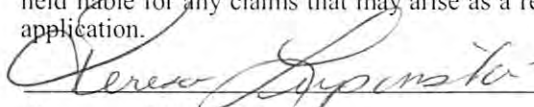
G Wayne County Road Commission                      G Wayne County Drain Commission  
G Wayne County Health Division                      G Michigan Department of Natural Resources  
G Michigan Department of Transportation              G Michigan Department of Environmental Quality

**PLEASE NOTE:** The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

**APPLICANT=ENDORSEMENT:**

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

  
\_\_\_\_\_  
Signature of Applicant

5-16-17  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Property Owner Authorizing this Application

\_\_\_\_\_  
Date  
5-16-17  
\_\_\_\_\_  
Date

<b>TO BE COMPLETED BY THE CITY</b>	Case No. <u>PPC17-0005</u>
Date Submitted: <u>5/16/17</u>	Fee Paid: <u>\$ 2,550-</u>
Received By: <u>(signature)</u>	Date of Public Hearing: _____
<b>PLANNING COMMISSION ACTION</b>	
Approved: _____	Denied: _____ Date of Action: _____

**RECEIVED**

MAY 16 2017

**MICHIGAN** MI USA  
ENHANCED COMMERCIAL  
DRIVER LICENSE



*Rudolph Gianfarani*



Restrictions Corrective Lens, K-CDL  
Infrastate only

DD 0071440347110



10-03-1959

C 516 751 004 762  
DOB 10-03-1959  
RUDOLPH GIANFARANI  
2621 2ND ST  
WYANDOTTE, MI 48192-5102

Sex M Hgt 600  
Lic Type E,CA End N Eyes BRO

ISS 10-11-2016  
EXP 10-03-2020

**DONOR**  
Rev 07-01-2012

Received By:

**Howey & Associates, Inc.**  
22333 Allen Road  
Woodhaven, MI 48183

Received From:

**Rudolph Cianfarani**  
3461 Fort Street  
Lincoln Park, MI 48146

<b>RECEIPT FOR PAYMENT</b>	
ACCOUNT NO. <b>RUDOLPH</b>	DATE <b>03/31/2017</b>
<b>Commercial Package</b>	
POLICY NO. <b>BINDER/BOP6355948</b>	
EFFECTIVE <b>03/31/2017</b>	EXPIRATION <b>03/31/2018</b>
COMPANY	
PRODUCER <b>Deborah Ann Anderson</b>	
<b>AMOUNT RECEIVED: \$471.00</b>	

This is to certify that we received payment, in the amount of \$471.00, from the above listed customer.

pd in the office at 12:02 pm

Burieta Mayes



**First American Title Insurance Company**

100 Bloomfield Hills Parkway, Suite 195 • Bloomfield Hills, MI 48304

Office Phone:(248)540-4102 Office Fax:(866)550-1079

**Seller's Settlement Statement**

**Property Address:** 3461 Fort Street, Lincoln Park, MI 48146

**File No:** 770179  
**Officer:** Pat Flinchum/KE  
**Estimated Settlement Date:** 03/31/2017  
**Disbursement Date:**  
**Print Date:** 03/28/2017, 11:26 AM

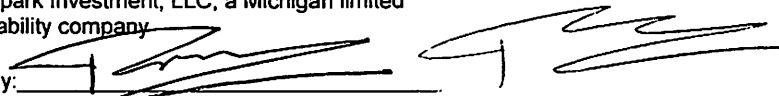
**Buyer:** Cianfarani Investments, LLC  
**Address:** 19650 Fort Street, Bldg 21 Apt 202, Riverview, MI 48193  
**Seller:** Spark Investment, LLC  
**Address:** 24300 Joy Road, Redford, MI 48239  
**Lender:**  
**Address:**  
**Loan No.:**

Charge Description	Seller Charge	Seller Credit
<b>Consideration:</b> Total Consideration		87,500.00
<b>Earnest Money:</b> Earnest Money Held By: George Mobley	1,000.00	
<b>Adjustments:</b> Land Contract	67,500.00	
<b>Prorations:</b> Summer Tax 03/31/17 to 07/01/17 @\$6,340.30/yr Winter Tax 03/31/17 to 12/01/17 @\$1,583.35/yr		1,598.10 1,062.80
<b>Commission:</b> Real Estate Commission to George C. Mobley Real Estate Commission to Thomas A. Duke Company	1,625.00 2,625.00	
<b>Title/Escrow Charges to:</b> Settlement/Closing Fee to First American Title Insurance Company Owners Premium to First American Title Insurance Company	350.00 666.85	
<b>Funds Held:</b> Funds Held Water Escrow Funds Held Tax Escrow	300.00 12,575.00	
Cash (X To) ( From) Seiler	3,519.05	
<b>Totals</b>	<b>90,160.90</b>	<b>90,160.90</b>

Our wire instructions do not change. If you receive an email or other communication that appears to be from us and contains revised wiring instructions, you should consider it suspect and you must call our office at an independently verified phone number. Do not inquire with the sender.

**SELLER(S):**

Spark Investment, LLC, a Michigan limited liability company

By:   
Name: Parthiv Dandnaik  
Title: Member

Initials: 



**First American Title Insurance Company**

100 Bloomfield Hills Parkway, Suite 195 • Bloomfield Hills, MI 48304

Office Phone: (248) 540-4102 Office Fax: (866) 550-1079

**Buyer's Settlement Statement**

**Property Address:** 3461 Fort Street, Lincoln Park,  
MI 48146

**File No:** 770179  
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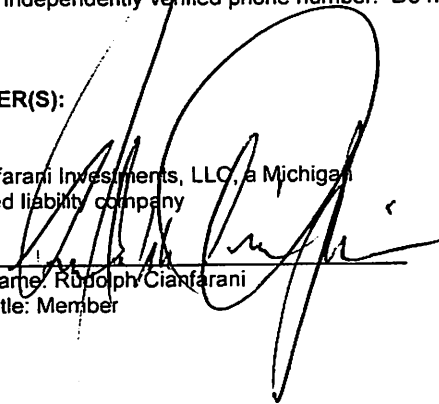
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**Address:** 2621 2nd Street, Wyandotte, MI 48192  
**Seller:** Spark Investment, LLC  
**Address:** 24300 Joy Road, Redford, MI 48239  
**Lender:**  
**Address:**  
**Loan No.:**

Charge Description	Buyer Charge	Buyer Credit
<b>Consideration:</b>		
Total Consideration	87,500.00	
<b>Earnest Money:</b>		
Total Deposit/Earnest Money		1,000.00
<b>Adjustments:</b>		
Land Contract		67,500.00
<b>Prorations:</b>		
Summer Tax 03/31/17 to 07/01/17 @\$6,340.30/yr	1,598.10	
Winter Tax 03/31/17 to 12/01/17 @\$1,583.35/yr	1,062.80	
<b>Title/Escrow Charges to:</b>		
Recording Processing Fee - Escrow to First American Title Insurance Company	35.00	
Settlement/Closing Fee to First American Title Insurance Company	350.00	
Deed Escrow Fee to First American Title Insurance Company	200.00	
Recording Memo of Land Contract/Courier	60.00	
<b>Cash (X From) ( To) Buyer</b>		22,305.90
<b>Totals</b>	90,805.90	90,805.90

Our wire instructions do not change. If you receive an email or other communication that appears to be from us and contains revised wiring instructions, you should consider it suspect and you must call our office at an independently verified phone number. Do not inquire with the sender.

**BUYER(S):**

Cianfarani Investments, LLC, a Michigan limited liability company

By:   
Name: Rudolph Cianfarani  
Title: Member

Initials: \_\_\_\_\_

**ACKNOWLEDGMENT AND AGREEMENT**

---


**File Number:** 770179  
**Date:** March 31, 2017  
**Property Address:** 3461 Fort Street, Lincoln Park, MI 48146

The undersigned Seller and Buyer acknowledge and agree as follows:

1. That information regarding any outstanding municipal charges including but not limited to water, demolition, weed cutting, sidewalk repair, tap in fees ("Municipal Charges") is not readily available to **First American Title Insurance Company**
2. That **First American Title Insurance Company** is not responsible for payment of any Municipal Charges which are not existing liens recorded in the Office of the Register of Deeds **Wayne** County or which do not appear on the tax rolls for the property described in the above referenced commitment.
3. That it is the responsibility of the Seller and Buyer to obtain bills for, and pay, any outstanding Municipal Charges in accordance with the purchase agreement between Seller and Buyer.
4. That **First American Title Insurance Company** is not responsible for any difference between any amount collected at closing and the actual amount of any Municipal Charges and that any shortage in funds collected and paid at closing is the sole responsibility of Seller and Buyer.

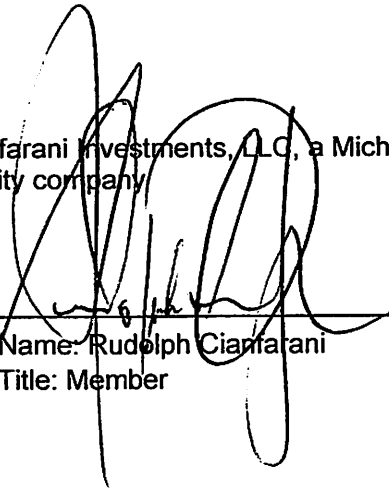
Seller:

Spark Investment, LLC, a Michigan limited liability company

By:   
Name: Parthiv Dandnaik  
Title: Member

Buyer:

Cianfarani Investments, LLC, a Michigan limited liability company

By:   
Name: Rudolph Cianfarani  
Title: Member



**First American Title Insurance Company**

File No: 770179



**DISCLOSURE AND ACKNOWLEDGMENT**

---


**Date:** March 31, 2017  
**Property Address:** 3461 Fort Street, Lincoln Park, MI 48146

By signing this statement the undersigned acknowledge the following:

- 1: That all closing documents prepared by First American Title Insurance Company are prepared at the direction and request of all parties to the transaction, their real estate agent(s)/broker(s) or attorney(s).
2. That **First American Title Insurance Company is not acting as my agent, attorney, representative or fiduciary**, at this real estate closing.
3. That First American Title Insurance Company's employee who has attended this closing represents only First American Title Insurance Company.
4. That First American Title Insurance Company's employee who has identified certain documents to me as he/she has presented them to me for signing, but **has not given me legal advice as to the meaning or effect of the documents**. I understand that any of his/her statements about the documents are not legal advice to me. If I have an attorney, that attorney is my only attorney in this transaction.
5. That I have either read all of the closing documents or am responsible for my own failure to have read them. **I understand that First American Title Insurance Company is not responsible for explaining to me the effect of the documents I have signed.**
6. That the title policy, when issued, will contain all of the exceptions noted on the commitment, unless such exceptions are removed to the satisfaction of First American Title Insurance Company at closing.
7. **That I have read this statement and understand it.**

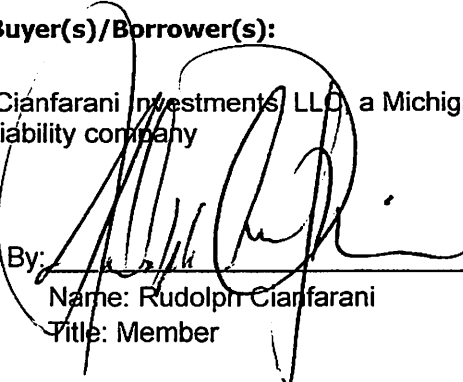
**Seller(s):**

Spark Investment, LLC, a Michigan limited liability company

By:   
Name: Parthiv Dandnaik  
Title: Member

**Buyer(s)/Borrower(s):**

Cianfarani Investments, LLC, a Michigan limited liability company

By:   
Name: Rudolph Cianfarani  
Title: Member



## **TAX PRORATION AGREEMENT/ACKNOWLEDGEMENT**

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**File Number:** 770179  
**Date:** March 31, 2017  
**Reference:** Cianfarani Investments, LLC / Spark Investment, LLC  
**Property Address:** 3461 Fort Street, Lincoln Park, MI 48146

### **Seller and Purchaser Acknowledge and Agree as Follows:**

1. That the parties hereto have settled the proration of taxes and assessments by the method reflected on the settlement statements signed at the closing. That in the event it is subsequently discovered that these are additional taxes or assessments, which constitute a lien at the time of closing Seller and Purchaser agree that such additional taxes or assessments shall be prorated by the method reflected in the settlement statement signed at closing. Any prior agreement between parties shall be deemed as modified hereby.
2. **The Purchaser acknowledges and agrees:**
  - a) that all real estate taxes billed on or after this date are the sole responsibility of the **Purchaser**.
  - b) that the **Purchaser** shall make any necessary arrangements to obtain all future tax bills. Purchaser acknowledges it is **not** the responsibility of First American Title Insurance Company to notify any Treasurer of change in ownership.
3. **The Seller acknowledges and agrees:**
  - a) that the Seller **represents and warrants** to the Purchaser and First American Title Insurance Company and its underwriter that all outstanding taxes and assessments including but not limited to all sewer and water charges, road paving, maintenance charges, trash collection charges, weed charges, association dues, penalties, and administration fees have been paid in full by the Seller.

or

  - b) that, if not previously paid by the Seller, all outstanding taxes and assessments including but not limited to all above said items shall be deducted from the Sellers proceeds as reflected on the settlement statement.
  - c) that the Seller has not received any notification of any future assessments and has no knowledge of any improvement or maintenance undertaken by any municipality or association.
  - d) that the Seller will immediately pay any taxes and assessments including but not limited to the above said items (Paragraph 3a) which may subsequently be discovered to have been a lien on the property or incurred prior to the date of closing.
4. **Seller and Purchaser acknowledge and agree:**
  - a) That any settlement to the proration of taxes or assessments is a matter entirely between the Seller and Purchaser, and that neither the Seller nor the Purchaser is relying on advice from First American Title Insurance Company in determining method of statement.
  - b) That First American Title Insurance Company is relying on the agreement of the Seller and Purchaser as reflected in the settlement statements in order to disburse funds.
  - c) That, except for the failure of First American Title Insurance Company to properly account for the funds provided to it, Seller and Purchaser jointly and severally agree to indemnify First American Title Insurance Company for any loss or damage, including but not limited to reasonable attorney fees incurred as a result of failure to comply with this agreement.
  - d) That Seller and Purchaser acknowledge First American Title Insurance Company and its underwriter are relying on the representations made herein for the purpose of closing the real estate transaction referenced herein and are disbursing funds based on upon such reliance.



**First American Title Insurance Company**

File No: 770179

**Seller(s):**

Spark Investment, LLC, a Michigan limited liability company

By:   
Name: Parthiv Dandnaik  
Title: Member

**Purchaser(s):**

Cianfarani Investments, LLC, a Michigan limited liability company

By:   
Name: Rudolph Cianfarani  
Title: Member



**First American Title Insurance Company**

File No: 770179

## MEMORANDUM OF LAND CONTRACT

**Drafted By:**

Parthiv Dandnaik, Member  
Spark Investment, LLC  
24300 Joy Road  
Redford, MI 48239

**Return To:**

19650 Fort Street, Bldg 21 Apt 202  
Riverview, MI 48193

**Tax Parcel No.:**

45-012-08-1797-001

**File Number:**

770179

---

*This Memorandum of Land Contract* entered into on this March 31, 2017, by and between: **Spark Investment, LLC, a Michigan limited liability company**, whose address is 24300 Joy Road, Redford, MI 48239, hereinafter referred to as "Seller" and **Cianfarani Investments, LLC, a Michigan limited liability company**, whose address is 19650 Fort Street, Bldg 21 Apt 202, Riverview, MI 48193, hereinafter referred to as "Purchaser".

***Witnesseth:***

The Purchaser and Seller have entered into a Land Contract of even date herewith and they desire to enter into this Memorandum of Land Contract to give record notice of the existence of said Land Contract. In consideration of the premises and other good and valuable consideration, the Seller, acknowledges and agrees that the property described below was sold to the Purchaser on Land Contract of even date:

Land in the City of Lincoln Park, County of Wayne, State of Michigan, described as follows:

Lots 1797 through 1801, inclusive, except that part taken for road purposes, EMMON'S ORCHARD SUBDIVISION NO. 2, according to the recorded plat thereof, as recorded in Liber 41 of Plats, Page 88, Wayne County Records.

More commonly known as: **3461 Fort Street, Lincoln Park, MI 48146**

The purpose of this Memorandum of Land Contract is to give record notice of the existence of the aforesaid Land Contract.

In Witness Whereof, the parties have executed this Memorandum of Land Contract and have caused their hands and seals to be affixed hereto the day and year first written.



**First American Title Insurance Company**

**(Attached to and becoming a part of Memorandum of Land Contract dated: March 31, 2017 between Spark Investment, LLC, a Michigan limited liability company, as Vendor(s) and Cianfarani Investments, LLC, a Michigan limited liability company, as Vendee(s).)**

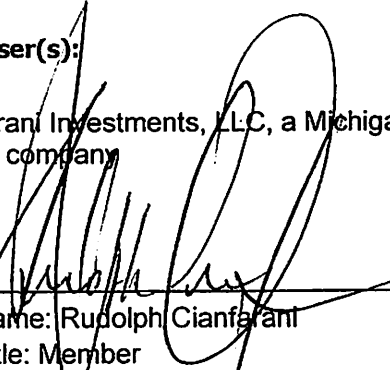
**Seller(s):**

Spark Investment, LLC, a Michigan limited liability company

By:   
Name: Parthiv Dandnaik  
Title: Member

**Purchaser(s):**

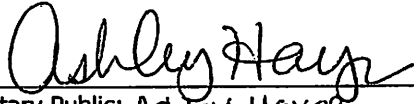
Cianfarani Investments, LLC, a Michigan limited liability company

By:   
Name: Rudolph Cianfarani  
Title: Member

State of Michigan  
County of Wayne

The foregoing instrument was acknowledged before me this March 31, 2017 by Parthiv Dandnaik, Member of Spark Investment, LLC, a Michigan limited liability company and Rudolph Cianfarani, Member of Cianfarani Investments, LLC, a Michigan limited liability company.

ASHLEY HAYES  
NOTARY PUBLIC - STATE OF MICHIGAN  
COUNTY OF WAYNE  
My Commission Expires June 7, 2023  
Acting in the County of Wayne

  
Notary Public: Ashley Hayes  
Notary County/State: Wayne/Michigan  
County Acting In: Wayne  
Commission Expires: June 7, 2023



First American Title Insurance Company

## LAND CONTRACT

*First American Title Insurance Company*

### Parties

This Contract, Made this **March 31, 2017** between **Spark Investment, LLC, a Michigan limited liability company**, hereinafter referred to as "Seller", whose address is **24300 Joy Road, Redford, MI 48239**, and **Cianfarani Investments, LLC, a Michigan limited liability company**, hereinafter referred to as "Purchaser", whose address is **19650 Fort Street, Bldg 21 Apt 202, Riverview, MI 48193**.

### Description of Premises

#### **Witnesseth:**

#### **1. The Seller agrees as follows:**

(a) To sell and convey to Purchaser land in the **City of Lincoln Park**, County of **Wayne**, State of **Michigan**, described as:

Lots 1797 through 1801, inclusive, except that part taken for road purposes, EMMON'S ORCHARD SUBDIVISION NO. 2, according to the recorded plat thereof, as recorded in Liber 41 of Plats, Page 88, Wayne County Records.

More commonly known as: **3461 Fort Street, Lincoln Park, MI 48146**

together with all tenements, hereditaments, improvements, and appurtenances, including all light fixtures, plumbing, fixtures, shades, Venetian blinds, curtain rods, storm windows, storm doors, screens, awnings, if any, now on the premises, and subject to all applicable building and use restrictions, and easements, if any, affecting the premises.

### Terms of Payment

(b) That the consideration for the sale of the above described premises to the Purchaser is: **EIGHTY SEVEN THOUSAND FIVE HUNDRED (\$87,500.00) Dollars**, of which the sum of **TWENTY THOUSAND (\$20,000.00) Dollars**, has heretofore been paid to the Seller, the receipt of which is hereby acknowledged, and the balance of **SIXTY SEVEN THOUSAND FIVE HUNDRED (\$67,500.00) Dollars**, is to be paid to the Seller, with interest on any part thereof at any time unpaid at the rate of **Six percent (6%)** per annum. This balance of purchase money and interest shall be paid in **Month** installments of **(\$600.00) Dollars** each, or more at Purchaser's option, on the **31st** day of each month, beginning **April 31, 2017** : said payments to be applied first upon interest and the balance on principal; **provided**, the entire purchase money and interest shall be fully paid within **3 Years** from the date hereof, anything herein to the contrary notwithstanding.



**First American Title Insurance Company**

Seller's Duty to Convey

(c) Upon receiving payment in full of all sums owing herein, less the amount then due on any existing mortgage or mortgages, and the surrender of the duplicate of this contract, to execute and deliver to the Purchaser or the Purchaser's assigns, a good and sufficient Warranty Deed conveying title to said land, subject to aforesaid restrictions and easements and subject to any then existing mortgage or mortgages, and free from all other encumbrances, except such as may be herein set forth, and except such encumbrances as shall have accrued or attached since the date hereof through the acts or omissions of persons other than Seller or his assigns.

To Furnish Title Evidence

(d) To deliver to the Purchaser as evidence of title, at the Seller's option, either a Policy of Title Insurance insuring Purchaser or Abstract of Title, the effective date of the policy or certification date of Abstract to be approximately the date of this contract, and issued by the First American Title Insurance Company. If the evidence of title is an Abstract of Title, the Seller shall have the right to retain possession of the Abstract of Title during the life of this contract and upon demand, shall lend it to Purchaser upon the pledging of a reasonable security.

Purchaser's Duties

**2. The Purchaser Agrees As Follows:**

- (a) To purchase said land and pay the Seller the sum aforesaid, with interest thereon as above provided.
- (b) To use, maintain and occupy said premises in accordance with any and all restrictions thereon.
- (c) To keep the premises in accordance with all police, sanitary and other regulations imposed by any governmental authority.

To Pay Taxes and Keep Premises Insured

(d) To pay all taxes and assessments hereafter levied on said premises before any penalty for non-payment attaches thereto, and submit receipts to Seller upon request, as evidence of payment thereof; also at all times to keep the buildings now or hereafter on the premises insured against loss and damage, in manner and to an amount approved by the Seller, and to deliver the policies as issued to the Seller with the premiums fully paid.

Alternate Payment Method

*If the amount of the estimated monthly cost of Taxes, Assessments and Insurance is inserted in the following Paragraph 2(e), then the method of the payment of these items as therein indicated shall be adopted. If this amount is not inserted, then Paragraph 2(e) shall be of no effect and the method of payment provided in the preceding Paragraph 2(d) shall be effective.*

(e) To pay monthly in addition to the monthly payments herein before stipulated, the sum (insert amount, if advance monthly installment method of taxes and insurance is to be adopted) \_\_\_\_\_ **Dollars** (\$\_\_\_\_\_), which is an estimate of the monthly cost of the taxes, special assessments and insurance premiums for said premises, which shall be credited by the Seller on the unpaid principal balance due on the contract. If the Purchaser is not in default under the terms of this contract, the Seller shall pay for the Purchaser's account, the taxes, assessments and insurance premiums mentioned in Paragraph 2(d) above when due and before any penalty attaches, and submit receipts therefore to the Purchaser upon demand. The amounts so paid shall be added to the principal balance of this contract. The amount of the estimated monthly payment, under this paragraph, may be adjusted from time to time so that the amount received shall approximate the total sum required annually for taxes, assessments and insurance. This adjustment shall be made on demand of either of the parties and any deficiencies shall be paid by the Purchaser upon the Seller's demand.

Acceptance of Title and Premises



**First American Title Insurance Company**

(f) That he has examined a Title Insurance Commitment dated **January 06, 2017** covering the above described premises, and is satisfied with the marketability of the title shown thereby, and has examined the above described premises and is satisfied with the physical condition of any structure thereon.

Maintenance of Premises

(g) To keep and maintain the premises and the buildings thereon in as good condition as they are at the date hereof, reasonable wear and tear excepted, and not to commit waste, remove or demolish any improvements thereon, or otherwise diminish the value of the Seller's security, without the written consent of the Seller.

**3. The Seller and Purchaser Mutually Agree as Follows:**

Mortgage by Seller

(a) That the Seller may, at any time during the continuance of this contract encumber said land by mortgage or mortgages to secure not more than the unpaid balance of this contract at the time such mortgage or mortgages are executed. Such mortgage or mortgages shall be payable in not more than three (3) years from date of execution thereof and shall provide for payment of principal and interest in monthly installments which do not exceed such installments provided for in this contract; shall provide for a rate of interest on the unpaid balance of the mortgage debt which does not exceed the rate of interest provided in Paragraph 1(b); or on such other terms as may be agreed upon by the Seller and Purchaser, and shall be a first lien upon the land superior to the rights of the Purchaser herein; provided notice of the execution of said mortgage or mortgages containing the name and address of the mortgagee or his agent, the amount of such mortgage or mortgages, the rate of interest and maturity of the principal and interest shall be sent to the Purchaser by registered mail promptly after execution thereof. Purchaser will, on demand, execute any instruments demanded by the Seller, necessary or requisite to subordinate the rights of the Purchaser hereunder to the lien of any such mortgage or mortgages. In event said Purchaser shall refuse to execute any instruments demanded by said Seller and shall refuse to accept such registered mail hereinbefore provided, or said registered mail shall be returned unclaimed, then the Seller may post such notice in two conspicuous places on said premises, and upon making affidavit duly sworn to of such posting, this proceeding shall operate the same as if said Purchaser had consented to the execution of said mortgage or mortgages, and Purchaser's rights shall be subordinate to said mortgage or mortgages as hereinbefore provided. The consent obtained, or subordination as otherwise herein provided, under or by virtue of the foregoing power, shall extend to any and all renewals or extensions or amendments of said mortgage or mortgages.

Encumbrances on Seller's Title

(b) That if the Seller's interest be that of land contract, or now or hereafter be encumbered by mortgage, the Seller shall meet the payments of principal and interest thereon as they mature and produce evidence thereof to the Purchaser on demand, and in default of the Seller said Purchaser may pay the same. Such payments by Purchaser shall be credited on the sums first maturing hereon, with interest at the rate provided in Paragraph 1(b) on payments so made. If proceedings are commenced to recover possession or to enforce the payment of such contract or mortgage because of the Seller's default, the Purchaser may at any time thereafter, which such proceedings are pending, encumber said land by mortgage, securing such sum as can be obtained, upon such terms as may be required, and with the proceeds pay and discharge such mortgage, or purchase money lien. Any mortgage so given shall be a first lien upon the land superior to the rights of the Seller therein, and thereafter the Purchaser shall pay the principal and interest on such mortgage so given as they mature, which payments shall be credited on the sums matured or first maturing hereon. When the sum owing hereon is reduced to the amount owing upon such contract or mortgage or owing on any mortgage executed under either of the powers in this contract contained, a conveyance shall be made in the form above provided containing a covenant by the grantee to assume and agree to pay the same.

Non-payment of Taxes or Insurance

(c) That if default is made by the Purchaser in the payment of any taxes, assessments or insurance premiums, or in the payment of the sums provided for in Paragraph 2(e), or in the delivery of any policy as hereinbefore provided, the



**First American Title Insurance Company**



Seller may pay such taxes or premiums or procure such insurance and pay the premium or premiums thereon, and any sum or sums so paid shall be a further lien on the land and premises, payable by the Purchaser to the Seller forthwith with interest at the rate as set forth in Paragraph 1(b) hereof.

Assignment by Purchaser

(d) No assignment or conveyance by the Purchaser shall create any liability whatsoever against the Seller until a duplicate thereof, duly witnessed and acknowledged, together with the residence address of such assignee, shall be delivered to the Seller. Purchaser's liability hereunder shall not be released or affected in anyway by delivery of such assignment, or by Seller's endorsement of receipt and/or acceptance thereon.

Possession

(e) The Purchaser shall have the right to possession of the premises from and after the date hereof, unless otherwise herein provided, and be entitled to retain possession thereof only so long as there is no default on his part in carrying out the terms and conditions hereof. In the event the premises hereinabove described are vacant or unimproved, the Purchaser shall be deemed to be in constructive possession only, which possessory right shall cease and terminate after service of a notice of forfeiture of this contract. Erection of signs by Purchaser on vacant or unimproved property shall not constitute actual possession by him.

Right to Forfeit

(f) If the Purchaser shall fail to perform this contract or any part thereof, the Seller immediately after such default shall have the right to declare the same forfeited and void, and retain whatever may have been paid hereon, and all improvements that may have been made upon the premises, together with additions and accretions thereto, and consider and treat the Purchaser as his tenant holding over without permission and may take immediate possession of the premises, and have the Purchaser and each and every other occupant removed and put out. In all cases where a notice of forfeiture is relied upon by the Seller to terminate rights hereunder, such notice shall specify all unpaid moneys and other breaches of this contract and shall declare forfeiture of this contract effective in fifteen days after service unless such money is paid and any other breaches of this contract are cured within that time.

Acceleration Clause

(g) If default is made by the Purchaser and such default continues for a period of forty-five days or more, and the Seller desires to foreclose this contract in equity, then the Seller shall have at his option the right to declare the entire unpaid balance hereunder to be due and payable forthwith, notwithstanding anything herein contained to the contrary.

(h) The wife of the Seller, for a valuable consideration, joins herein and agrees to join in the execution of the Deed to be made in fulfillment hereof.

(i) Time shall be deemed to be of the essence of this contract.

(j) The individual parties hereto represent themselves to be of full age, and the corporate parties hereto represent themselves to be valid existing corporations with their charters in full force and effect.

Notice to Purchaser

(k) Any declarations, notices or papers necessary or proper to terminate, accelerate or enforce this contract shall be presumed conclusively to have been served upon the Purchaser if such instrument is enclosed in an envelope with first class postage fully prepaid, if said envelope is addressed to the Purchaser at the address set forth in the heading of this contract or at the latest other address which may have been specified by the Purchaser and receipted for in writing by the Seller, and if said envelope is deposited in a United States Post Office Box.

Additional Clauses

(l) None.



**First American Title Insurance Company**

Interpretation of Contract

(m) The pronouns and relative words herein used are written in the masculine and singular only. If more than one join in the execution hereof as Seller or Purchaser, or either be of the feminine sex or a corporation, such words shall be read as if written in plural, feminine or neuter, respectively. The covenants herein shall bind the heirs, devisees, legatees, assigns and successors of the respective parties.



**First American Title Insurance Company**

Dated this March 31, 2017.

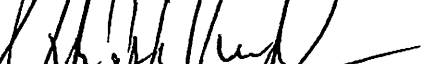
Seller(s):

Buyer(s):

Spark Investment, LLC, a Michigan limited liability company

Cianfarani Investments, LLC, a Michigan limited liability company

By: 

By: 

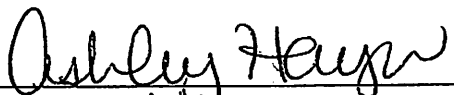
Name: Parthiv Dandnaik  
Title: Member

Name: Rudolph Cianfarani  
Title: Member

State of Michigan  
County of Wayne

The foregoing instrument was acknowledged before me this March 31, 2017 by Parthiv Dandnaik, Member of Spark Investment, LLC, a Michigan limited liability company and Rudolph Cianfarani, Member of Cianfarani Investments, LLC, a Michigan limited liability company.

ASHLEY HAYES  
NOTARY PUBLIC - STATE OF MICHIGAN  
COUNTY OF WAYNE  
My Commission Expires June 7, 2023  
Acting in the County of Wayne

  
Notary Public: Ashley Hayes  
Notary County/State: / Wayne / Michigan  
County Acting In: Wayne  
Commission Expires: June 7, 2023



First American Title Insurance Company

**ESCROW AGREEMENT  
(Warranty Deed)**

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**File Number:** 770179  
**Date:** March 31, 2017  
**Property Address:** 3461 Fort Street, Lincoln Park, MI 48146  
**Escrowee:** First American Title Insurance Company, 100 Bloomfield Hills Parkway, Suite 195, Bloomfield Hills, Michigan 48304 Phone: (248)540-4102 Fax: (866)550-1079

Deposited with First American Title Insurance Company, as Escrowee, is an executed Warranty Deed and copy of the executed Land Contract between the Seller and Purchaser (pursuant to which such Warranty Deed is to be delivered by Seller to Purchaser upon fulfillment of the Land Contract).

The Warranty Deed is to be held in escrow by Escrowee under the following terms and conditions:

- 1) upon receipt by Escrowee of written notice from Seller that the Land Contract has been paid in full and direction to deliver the Warranty Deed to the Purchaser, and;
- 2) unless Escrowee receives from the Seller written notice and direction to deliver the Warranty Deed to the Purchaser, or written notice from Purchaser that the Seller has been requested to, but has refused to direct delivery of the deed, on or before **May 1, 2020**, then Escrowee shall return the Warranty Deed to the Seller, and;
- 3) if future payoff of the Land Contract is through a closing at a firm other than First American Title Insurance Company Seller and Purchaser are agreeable to First American Title Insurance Company appointing that firm, through means of a signed contract, to act on their behalf in releasing the Deed as part of that closing, and;
- 4) First American Title Insurance Company is **not** responsible for any recording and revenue fees due on the subject Warranty Deed at time of recordation, and;
- 5) in the event of conflicting instructions or any other dispute regarding this escrow, Escrowee may, at its option, continue to hold such Warranty Deed until joint written instructions directing delivery of the Warranty Deed are furnished to Escrowee by Seller and Purchaser, or Escrowee may initiate an interpleader action in a court of competent jurisdiction and deposit the Warranty Deed for determination by the court of the proper disposition. Upon deposit with such court, this escrow shall terminate and the Escrowee shall be relieved of any further liability hereunder.

Upon making such delivery, and performance of any other services included above, Escrowee will thereupon be released and acquitted from any further liability concerning the deposit, it being expressly understood that such liability in any event is limited by the terms and conditions set forth herein. By acceptance of this deposit, Escrowee is in no way assuming any responsibility for the validity or authenticity of any instrument deposited hereunder or any instrument pursuant to which this escrow is established. Escrowee shall incur no liability resulting from the failure of any financial institution used by it as an escrow depository. Escrowee shall not be responsible to pay any interest on the escrowed funds unless directions to invest are accepted in writing by Escrowee.

In the event of an interpleader action or other litigation affecting its duties relating to this deposit, Seller and Purchaser jointly and severally agree to reimburse Escrowee for any reasonable expenses incurred, including attorney fees.

Any change in the terms or conditions hereof may be made only in writing signed by all parties or their duly authorized representatives.

In the event that any funds held in escrow remain unclaimed beyond six (6) months after the termination date recited in this Agreement, Escrowee shall be entitled to a reasonable administrative fee to be deducted from the escrow proceeds.

For its services as herein set forth Escrowee is to be paid the sum of **\$200.00** by **Purchaser**.



(Attached to and becoming a part of Escrow Agreement dated: March 31, 2017)

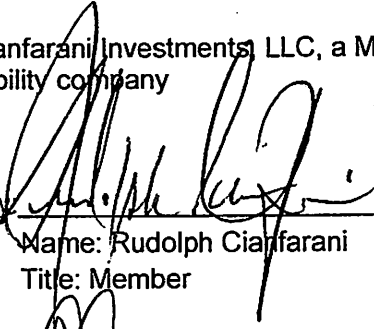
**Seller(s):**

Spark Investment, LLC, a Michigan limited liability company


By:   
Name: Parthiv Dandnaik  
Title: Member

**Purchaser(s):**

Cianfarani Investments, LLC, a Michigan limited liability company

By:   
Name: Rudolph Cianfarani  
Title: Member

First American Title Insurance Company

By:   
Authorized Signature

Seller's Forwarding Address:

24300 JOY RD  
REDFORD MI-48239

Phone Number: 313 887 4047

Purchaser's Forwarding Address:

\_\_\_\_\_  
\_\_\_\_\_  
Phone Number: \_\_\_\_\_



**First American Title Insurance Company**

EC APP-019 (Rev 8/97)

## WARRANTY DEED

(Platted/Condominium)

**Drafted By:**

Parthiv Dandnaik, Member  
Spark Investment, LLC  
24300 Joy Road  
Redford, MI 48239

**Return To:**

Cianfarani Investments, LLC  
19650 Fort Street, Bldg 21 Apt 202  
Riverview, MI 48193

**Send Tax Bills To:**

Cianfarani Investments, LLC  
19650 Fort Street, Bldg 21 Apt 202  
Riverview, MI 48193

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Recording Fee: \$  
File Number: 770179

State Transfer Tax: \$  
County Transfer Tax: \$

Tax Parcel No.: 45-012-08-1797-001

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*Know All Persons by These Presents:* That **Spark Investment, LLC, a Michigan limited liability company** whose address is 24300 Joy Road, Redford, MI 48239

Convey(s) and Warrant(s) to **Cianfarani Investments, LLC, a Michigan limited liability company** whose address is 19650 Fort Street, Bldg 21 Apt 202, Riverview, MI 48193

the following described premises situated in the City of **Lincoln Park**, County of **Wayne**, State of Michigan, to wit:

(SEE ATTACHED EXHIBIT A)

More commonly known as: **3461 Fort Street, Lincoln Park, MI 48146**

for the full consideration of: Eighty Seven Thousand Five Hundred Dollars (\$87,500.00).

**Subject To:**

Existing building and use restrictions, easements of record, and zoning ordinances, if any.

This deed is delivered pursuant to a certain Land Contract dated March 31, 2017, by and between Sellers and Purchasers, and is subject to liens, encumbrances, or other matters arising from the acts or omissions of any persons other than Sellers and/or Assigns from and after the date of the said Land Contract.



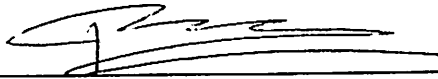
**First American Title Insurance Company**

**(Attached to and becoming a part of Warranty Deed dated: March 31, 2017 between Spark Investment, LLC, a Michigan limited liability company, as Grantor(s) and Cianfarani Investments, LLC, a Michigan limited liability company, as Grantee(s).)**

Dated this March 31, 2017.

**Seller(s):**

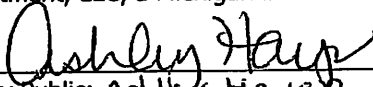
Spark Investment, LLC, a Michigan limited liability company

By: 

Name: Parthiv Dandnaik  
Title: Member

State of Michigan  
County of Wayne

The foregoing instrument was acknowledged before me this March 31, 2017 by Parthiv Dandnaik, Member of Spark Investment, LLC, a Michigan limited liability company.

  
Notary Public: Ashley Hayes  
Notary County/State: Wayne / Michigan  
County Acting In: Wayne  
Commission Expires: June 7, 2023

ASHLEY HAYES  
NOTARY PUBLIC - STATE OF MICHIGAN  
COUNTY OF WAYNE  
My Commission Expires June 7, 2023  
Acting in the County of Wayne

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***(Attached to and becoming a part of Warranty Deed dated: March 31, 2017 between Spark Investment, LLC, a Michigan limited liability company, as Grantor(s) and Cianfarani Investments, LLC, a Michigan limited liability company, as Grantee(s).)***

**EXHIBIT A**

Land situated in the City of Lincoln Park, County of Wayne, State of Michigan, described as follows:

Lots 1797 through 1801, inclusive, except that part taken for road purposes, EMMON'S ORCHARD SUBDIVISION NO. 2, according to the recorded plat thereof, as recorded in Liber 41 of Plats, Page 88, Wayne County Records.

Tax Parcel Number: 45-012-08-1797-001



**AFFIDAVIT AND INDEMNITY**

This Affidavit is being executed for the benefit First American Title Insurance Company, their successors and/or assigns (collectively, "the Company") with respect to property located in Wayne County, State of Michigan, more particularly described in title commitment 770179.

*Affiant shall initial and complete the appropriate section or indicate that the section is not applicable.*

**Sale of Interest (NONE, unless completed)**

Affiant entered into a written agreement with Thomas A Duke Company the ("Broker") as defined in the Commercial Real Estate Broker's Lien Act, (Michigan Public Act 201 of 2010) for the purpose of selling, leasing or otherwise conveying an interest in the property. Broker is entitled to compensation pursuant to the agreement in the amount of \$5,250.00.

**Acquisition of Interest (NONE, unless completed)**

Affiant entered into a written agreement with \_\_\_\_\_ the ("Broker") as defined in the Commercial Real Estate Broker's Lien Act, (Michigan Public Act 201 of 2010) for the purpose of acquiring an ownership interest in the property, including but not limited to a leasehold interest in the property and/or improvements located thereon. Broker is entitled to compensation pursuant to the agreement in the amount of \_\_\_\_\_.

**General Disclosure (NONE, unless completed)**

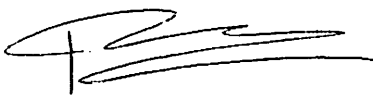
Affiant has neither entered into a written agreement with, nor is Affiant aware of any individual who has entered into a written agreement with any "Broker" as defined in the Commercial Real Estate Broker's Lien Act, (Michigan Public Act 201 of 2010), for the purpose of selling, leasing or otherwise conveying an interest in the property.

The Affiant acknowledges that the Company is relying on the representations contained in this Affidavit in issuing a title policy or policies of title insurance covering the property, and that the Company would not issue such policy or policies without exception to Broker's right to lien unless these representations were made. In consideration of the Company's issuance of such policy, or policies of title insurance, Affiant agrees to defend, hold harmless and indemnify the Company against all loss, damage or liability, including liability for reasonable attorney's fees incurred Condition of its policy or policies resulting from the recording, enforcement or attempted enforcement of any commercial broker's lien recorded pursuant to the Commercial Real Estate Broker's Lien Act, (Michigan Public Act 201 of 2010).

Date: \_\_\_\_\_

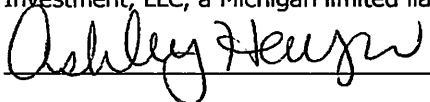
Affiant:

Spark Investment, LLC, a Michigan limited liability company

By: 

Name: Parthiv Dandnaik  
Title: Member

Subscribed and sworn to before me this 31 day of March 2017, by Parthiv Dandnaik, Member for Spark Investment, LLC, a Michigan limited liability company.

 Notary Public

ASHLEY HAYES  
NOTARY PUBLIC - STATE OF MICHIGAN  
COUNTY OF WAYNE  
My Commission Expires June 7, 2023  
Acting in the County of Wayne

**AFFIDAVIT AND INDEMNITY**

This Affidavit is being executed for the benefit First American Title Insurance Company, their successors and/or assigns (collectively, "the Company") with respect to property located in Wayne County, State of Michigan, more particularly described in title commitment 770179.

Affiant states as follows:

*Affiant shall initial and complete the appropriate section or indicate that the section is not applicable.*

**Sale of Interest (NONE, unless completed)**

**Acquisition of Interest (NONE, unless completed)**

Affiant entered into a written agreement with \_\_\_\_\_ the ("Broker") as defined in the Commercial Real Estate Broker's Lien Act, (Michigan Public Act 201 of 2010) for the purpose of acquiring an ownership interest in the property, including but not limited to a leasehold interest in the property and/or improvements located thereon. Broker is entitled to compensation pursuant to the agreement in the amount of \_\_\_\_\_.

**General Disclosure (NONE, unless completed)**

Affiant has neither entered into a written agreement with, nor is Affiant aware of any individual who has entered into a written agreement with any "Broker" as defined in the Commercial Real Estate Broker's Lien Act, (Michigan Public Act 201 of 2010), for the purpose of selling, leasing or otherwise conveying an interest in the property.

The Affiant acknowledges that the Company is relying on the representations contained in this Affidavit in issuing a title policy or policies of title insurance covering the property, and that the Company would not issue such policy or policies without exception to Broker's right to lien unless these representations were made. In consideration of the Company's issuance of such policy, or policies of title insurance, Affiant agrees to defend, hold harmless and indemnify the Company against all loss, damage or liability, including liability for reasonable attorney's fees incurred Condition of its policy or policies resulting from the recording, enforcement or attempted enforcement of any commercial broker's lien recorded pursuant to the Commercial Real Estate Broker's Lien Act, (Michigan Public Act 201 of 2010).

Date: \_\_\_\_\_

Affiant:

Cianfarani Investments, LLC a Michigan limited liability company

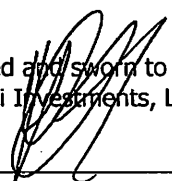
By: \_\_\_\_\_

Name: Rudolph Cianfarani  
Title: Member



Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, by Rudolph Cianfarani, Member for Cianfarani Investments, LLC, a Michigan limited liability company.

\_\_\_\_\_, Notary Public



**OWNER'S AFFIDAVIT/ESTOPPEL CERTIFICATE/COMPLIANCE AGREEMENT- SALE**

File Number: 770179

Date: March 31, 2017

Reference: Cianfarani Investments, LLC /Spark Investment, LLC

Property Address: 3461 Fort Street, Lincoln Park, MI 48146

Forwarding Address:

24300 Joy Road

Redford, MI 48239

**(To be executed by all parties shown as vested owners/borrowers in the commitment for title insurance.)**

Affiant makes the representations contained herein to induce the purchaser and/or lender to consummate the transaction referenced in commitment, to obtain the proceeds of the sale or loan, and to induce First American Title Insurance Company ("First American") to issue a policy(s) of title insurance insuring title to the land. Affiant agrees that in the event it is determined that there are unpaid charges which were due and payable prior to and including the date of closing, which are the responsibility of Affiant, that the Affiant shall pay any and all amounts so charged and shall provide proof of payment of same to First American. Affiant also agrees and covenants, if requested by First American, to fully cooperate and adjust for clerical errors in any closing documents, including but not limited to, repayment of any overpayments and executing duplicate closing documents.

**The undersigned, being first duly sworn on oath, deposes, states and warrants as follows:**

1. That Affiant is the owner or is an authorized representative of the owner of certain premises described in Commitment No. 770179 or which is described in Exhibit A attached hereto (the "Property"), and Affiant has not filed, nor is subject to any bankruptcy, receivership, or insolvency proceedings.
2. That the Affiant is in the possession of the Property and there are no other parties in possession or claiming rights of possession; (NONE, unless noted) \_\_\_\_\_
3. That Affiant has no knowledge of any unrecorded conveyances, water, mineral, gas or oil rights, unrecorded easements or claims of easements, replatting, boundary line disputes or claims of such grants or rights relative thereto; (NONE, unless noted) \_\_\_\_\_
4. That the use of the Property is in compliance with all terms, conditions, covenants and/or restrictions affecting the Property created in a plat of the Property or in any other document, recorded or unrecorded, and there are currently no violations of any terms, conditions, covenants and/or restrictions affecting the property; (NONE, unless noted) \_\_\_\_\_
5. a. That the survey of the Property provided by Affiant to First American correctly represents all matters certified to by the surveyors and that there have been no improvements added or alterations made on the Property from the date of survey to the present and there are no encroachments onto the property or encroachments over building or setback lines, easements or property lines not disclosed by the survey; (NONE, unless noted) \_\_\_\_\_

OR



First American Title Insurance Company

File No: 770179

**OWNER'S AFFIDAVIT/ESTOPPEL CERTIFICATE/COMPLIANCE AGREEMENT-continued**

- b. That if no survey was provided to First American, Affiant warrants as follows:
  - a. There has not been any construction on the land or buildings, additions or improvements added to the land in the past \_\_\_\_\_ years;
  - b. Affiant is not aware nor has been informed by any person that any improvement on the land including boundary walls, and fences encroach onto any easement, bordering set-back line or property which is not part of the land identified herein; (NONE unless noted):  
\_\_\_\_\_
  - c. The owner is not aware nor has been informed by any person that any improvement on neighboring land including boundary walls and fences encroach onto the land which is not part of the land identified herein; (NONE, unless noted) \_\_\_\_\_
- 6. That there has been no activity involving extraction of minerals, oil or gas, involving the surface of the Property, or subsurface of the Property, nor is Affiant aware of any intent to conduct any such activity on or under the property or any adjacent property; (NONE, unless noted)  
\_\_\_\_\_
- 7. That there are no proceedings instituted or undertaken by anyone which will result in a lien or special assessment upon the premises. There are no delinquent taxes, special assessments, water bills, sewer bills and assessments, weed cutting bills, board-up fees, tap-in fees, utility bills, or Homeowner's Association fees covering subject property; (NONE, unless noted) \_\_\_\_\_
- 8. That there have been no improvements made nor labor or materials furnished to the premises within the last 90 days; (NONE, unless noted) \_\_\_\_\_
- 9. That Affiant has no knowledge of any other matters affecting the title including but not limited to: mortgages, liens, land contracts, options or other encumbrances other than those which are being paid from the sale proceeds. (NONE, unless noted) \_\_\_\_\_

Subscribed and sworn to before me this Thirty-first day of  
March, 2017.

Ashley Hayes  
Notary Public: Ashley Hayes  
Notary County/State: Wayne/michigan  
County Acting In: Wayne  
Commission Expires: June 7, 2023

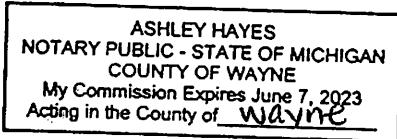
**Vested Owner(s):**

Spark Investment, LLC, a Michigan limited liability company

By: [Signature]

Name: Parthiv Dandnaik

Title: Member



First American Title Insurance Company

File No: 770179

**OWNER'S AFFIDAVIT/ESTOPPEL CERTIFICATE/COMPLIANCE AGREEMENT-continued**

(To Be executed by the Buyer/Borrower)

The undersigned makes the representations contained herein to induce First American Title Insurance Company ("First American") to issue a policy(s) of title insurance insuring title to the land described in Commitment No. 770179 and to obtain the proceeds of the mortgage loan, if any. The undersigned agrees and covenants, if requested by First American, to fully cooperate and adjust for clerical errors in any closing documents. The undersigned further agrees that in the event it is determined there are unpaid charges which were due and payable prior to and including the date of closing, and which are the responsibility of the undersigned, that the undersigned shall pay any and all amounts so charged and shall provide proof of payment of same to First American.

The undersigned acknowledges that incident to the closing of the mortgage, if any, upon the lands, the mortgagee caused the full sum of \$0.00 the amount secured thereby, to be paid to the undersigned for the benefit of and by the direction of the undersigned. The undersigned does hereby so agree and covenant in order to assure that the loan documentation, if any, executed this date will conform in the market place in the instance of transfer, sale, or conveyance by Lender of its interest in and to said loan documentation.

The undersigned further certify that they are 18 years of age or older.

Subscribed and sworn to before me this Thirty-first day of March, 2017.

Notary Public:  
Notary County/State: /  
County Acting In:  
Commission Expires:

**Buyer(s)/Borrower(s):**

Cianfarani Investments, LLC, a Michigan limited liability company

By: 

Name: Rudolph Cianfarani

Title: Member



**First American Title Insurance Company**

File No: 770179

**CERTIFICATION OF NON-FOREIGN STATUS**  
**(LIMITED LIABILITY COMPANY)**

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**File Number:** 770179  
**Date:** March 31, 2017  
**Property Address:** 3461 Fort Street, Lincoln Park, MI 48146

Subscribed and sworn to before me this March 31, 2017.

Section 1445 of the Internal Revenue code provides that a transferee (Purchaser) of a U.S. Real Property Interest must withhold tax if the transferor (Seller) is a foreign person. For U.S. Tax purposes (including section 1445) the owner of a disregarded entity (which has legal title to a U.S. real property interest under local law) will be the transferor of the property and not the disregarded entity. To inform the transferee (Purchaser) that withholding of tax is not required upon the disposition of a U.S. Real Property Interest by transferor (Seller), the undersigned hereby certifies the following on behalf of transferor (Seller):

1. **Spark Investment, LLC** is not a foreign corporation, foreign partnership, foreign trust, or foreign estate (as those terms are defined in this Internal Revenue Code and Income Tax Regulations);
2. **Spark Investment, LLC** is not a disregarded entity, as defined in Treas. Reg. §1.1445-2(b)(2)(iii);
3. **Spark Investment, LLC's** U.S. employer identification number is 30-0698629; and
4. **Spark Investment, LLC** office address is:  
24300 Joy Road  
Redford, MI 48239

**Spark Investment, LLC** understands that this certification may be disclosed to the Internal Revenue Service by transferee (Purchaser), and that any false statement contained herein could be punishable by fine, imprisonment, or both;

Under penalties of perjury, I declare that I have examined this certification and to the best of my knowledge and belief it is true, correct and complete, and I further declare that I have authority to sign this document on behalf of **Spark Investment, LLC**.

**Seller(s):**

Spark Investment, LLC, a Michigan limited liability company

By: \_\_\_\_\_

Name: Parthiv Dandnaik

Title: Member

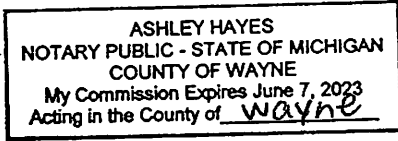


**First American Title Insurance Company**

File No: 770179

State of Michigan  
County of Wayne

Parthiv Dandnaik, Member of Spark Investment, LLC, a Michigan limited liability company subscribed and sworn to before me this March 31, 2017.



Ashley Hayes  
Notary Public: Ashley Hayes  
Notary County/State: Wayne / Michigan / Michigan  
County Acting In: Wayne  
Commission Expires: June 7, 2023

This certification must be retained by the transferee (Purchaser), until "the end of the fifth taxable year following the taxable year in which the transfer takes place".



First American Title Insurance Company

File No: 770179



**First American Title Insurance Company**  
 100 Bloomfield Hills Parkway, Suite 195, Bloomfield Hills, MI 48304  
 (248)540-4102 Fax - (866)550-1079

To: First American Title Insurance Company  
 Pat Flinchum, Escrow Officer

Re: 3461 Fort Street, Lincoln Park, MI 48146

Seller: Spark Investment, LLC

File No.: 770179 (PF)  
 Date: March 28, 2017

("Property")

**Give form to  
 requestor. Do not  
 send to the IRS.**

**INFORMATION REQUEST FORM – For IRS 1099-S Reporting For Real Estate Transactions**

<b>Print or type – follow all instructions carefully</b>	Name (as shown on your income tax return)	
	Name of entity in title, if different from above	
	Check appropriate box: <input type="checkbox"/> Individual / Sole proprietor <input type="checkbox"/> Corporation (exempt from 1099-S reporting) <input type="checkbox"/> Partnership <input type="checkbox"/> Limited liability company. For LLC, enter the tax classification (D=disregarded entity, C=corporation, P=Partnership) ▶ _____	
	<input type="checkbox"/> Other (i.e. Bankrupts, Estates, Trusts, etc. – see instructions) ▶ _____	
	Forwarding Street Address (your address after closing)	Percentage Owned <input type="checkbox"/> 100% <input type="checkbox"/> Other: _____ %
City, State, and Zip code	Number of sellers including you	

<b>Part I</b>	<b>Taxpayer Identification Number (TIN)</b>														
Enter your TIN in the appropriate box. The TIN provided must match the name given on Line 1 to avoid the imposition, under the Internal Revenue Code, of civil or criminal penalties for failing to furnish a correct TIN and to insure the TIN passes the IRS's Name/TIN matching software's TIN matching process which we utilize. For individuals, this is your social security number (SSN). However for a resident alien, sole proprietor, or disregarded entity, see "Specific Instructions" below. For other entities, it is your employer identification number (EIN). Note: If multiple sellers are involved, see "General Instructions" below.															
	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td align="center" colspan="2">Social security number</td> </tr> <tr> <td align="center">:</td> <td align="center">:</td> </tr> <tr> <td align="center">:</td> <td align="center">:</td> </tr> <tr> <td align="center">:</td> <td align="center">:</td> </tr> <tr> <td align="center" colspan="2">or</td> </tr> <tr> <td align="center" colspan="2">Employer identification number</td> </tr> <tr> <td align="center">:</td> <td align="center">:</td> </tr> </table>	Social security number		:	:	:	:	:	:	or		Employer identification number		:	:
Social security number															
:	:														
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:	:														
or															
Employer identification number															
:	:														

<b>Part II</b>	<b>Certification</b>
Under penalties of perjury, I certify that:	
1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me), <u>and</u>	
2. I am a U.S. citizen or other U.S. person (defined below).	

<b>Sign Here</b>	Signature of U.S. person ▶	Date ▶
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<p><b>GENERAL INSTRUCTIONS</b>          Section references are to the Internal Revenue Code unless otherwise noted.</p> <p><b>Purpose of Form</b>          A person who is required to file an information return on real estate with the IRS must obtain your correct taxpayer identification number (TIN). Use this form <i>only</i> if you are a U.S. person (including a resident alien). Notify us if you are not a U.S. person and we will send you IRS Form W-8BEN.</p> <p><b>Definition of a U.S. Person.</b> For federal tax purposes, you are considered a U.S. person if you are:</p> <ul style="list-style-type: none"> <li>• An individual who is a U.S. citizen or U.S. resident alien,</li> <li>• A partnership, corporation, company, or association created or organized in the United States or under the laws of the United States,</li> <li>• An estate (other than a foreign estate), or</li> <li>• A domestic trust (as defined in Regulations section 301.7701-7).</li> </ul> <p><b>Requirement to Furnish TIN &amp; Penalties for Failure</b>          You are required by law to provide us with your correct TIN. If you fail to furnish your correct TIN, or make a false statement on this form, you may be subject to both civil and criminal penalties. If we disclose or use your TIN in violation of federal law, we may be subject to civil and criminal penalties.</p>	<p><b>Multiple Sellers</b>          Each seller must complete a separate form. Spouses who hold title as tenants in common, joint tenants, tenants by the entirety, or community property will be treated as a single seller unless we are instructed otherwise.</p> <p><b>SPECIFIC INSTRUCTIONS</b></p> <p>Please review chart "What Name and Number to Give" on page 2.</p> <p><b>Individuals.</b> You must generally enter the name shown on your income tax return. However, if you have changed your last name, for instance, due to marriage without informing the Social Security Administration of the name change, enter your first name, the last name shown on your social security card, and your new last name.</p> <p>If more than one name is listed, list first, and then circle, the name of the person or entity whose number you entered in Part I of the form.</p> <p><b>Limited liability company (LLC).</b> Check the "Limited liability company" box only and enter the appropriate code for the tax classification ("D" for disregarded entity, "C" for corporation, "P" for partnership) in the space provided and follow the instructions on the next page.</p> <p align="right"><i>(Specific Instructions Continued on Next Page)</i></p>
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<b>For Escrow Use Only – Additional File Information</b>			
[ ] Change [ ] Void [ ] Delete	No. of 1099-S Forms required for this file? [ ]	Is Name/Entity Party a 'Non-Record' Seller? [ ]	Is Property part of an Exchange? [ ] YES [ ] NO
Type is: [ ] HW or Individual		[ ] Trust/Business	
<b>For Escrow Use Only – Required for 1099-S Data Entry Only (No entry in FAST)</b>			
[ ] Add [ ] Change [ ] Delete	Contract Sales Price \$	Buyer's Part of Real estate Tax \$	Actual Settlement Date





**First American Title Insurance Company**  
 100 Bloomfield Hills Parkway, Suite 195, Bloomfield Hills, MI 48304  
 (248)540-4102 Fax - (866)550-1079

**INFORMATION REQUEST FORM – For IRS 1099-S Reporting (Continued)**

**Specific Instructions (Continued)**

**Limited liability company (LLC) (Continued)**

For a single-member LLC (including a foreign LLC with a domestic owner) that is disregarded as an entity separate from its owner under Regulations section 2301.7701-3, enter the owner's name on the "Name" line. Enter the LLC's name on the "Name of entity in title" line.

For an LLC classified as a partnership or a corporation, enter the LLC's name on the "Name" line and enter "same" on the "Name of entity in title" line.

**Other entities.** Enter the name as shown on required federal tax documents on the "Name" line. This name should match the agreement, charter, order, or other document creating the entity.

**Sole proprietor.** Enter your individual name as shown on your income tax return on the "Name" line.

Note: Check the appropriate box for your status (Individual/Sole Proprietor, Corporation, etc.)

**Part I. Taxpayer Identification Number (TIN)**

Enter your TIN in the appropriate box. If you are a resident alien and you do not have and are not eligible to get an SSN, your TIN is your IRS individual taxpayer identification number (ITIN). Enter it in the social security number box. If you do not have an ITIN, see "How to get a TIN" below.

If you are a single-member LLC that is disregarded as an entity separate from its owner (see "Limited liability company (LLC)" on page 1), enter the owner's SSN (or EIN, if you have one). Do not enter the disregarded entity's EIN. If the LLC is classified as a corporation or partnership, enter the entity's EIN.

Note: See the chart below for further clarification of name and TIN combinations.

How to get a TIN. If you do not have a TIN, apply for one immediately. To apply for a SSN, get Form SS-5, "Application for a Social Security

Card," from the local Social Security Administration office, or online at [www.ssa.gov](http://www.ssa.gov) or by calling 1-800-772-1213. Use form W-7, "Application for IRS Individual Taxpayer Identification Number", to apply for an ITIN,

or Form SS-4, "Application for Employer Identification Number," to apply for an EIN. You can apply for an EIN online by accessing the IRS website at [www.irs.gov/businesses](http://www.irs.gov/businesses) and clicking on Employer Identification Number (EIN) under "Starting a Business." You can get Forms W-7 and SS-4 from the IRS by visiting [www.irs.gov](http://www.irs.gov) or by calling 1-800-TAX-FORM (1-800-829-3676).

**If you are asked to complete this Information Request Form but do not have a TIN, write "Applied For" in the space for the TIN, sign and date the form, and give it to us.**

Note: Entering "Applied For" means that you have already applied for a TIN or that you intend to apply for one soon. Note: A TIN is required if withholding is required under FIRPTA.

Caution: A disregarded domestic entity that has a foreign owner must use the appropriate Form W-8.

**Part II. Certification**

To establish to us that you are a U.S. person, or resident alien, sign this form.

For property owned by spouses as tenants in common, joint tenants, tenants by the entirety, or community property, only the spouse whose TIN is shown first on the Name line or is circled should sign.

Signature requirements: You must sign the certification.

**What Name and Number to Give**

For this Type of Owner:	Give Name and Social Security Number (SSN) of:
1. Individual	The individual
2. Spouses (who hold title as tenants in common, joint tenants, tenants by the entirety, or community property)	Show both spouses, with the name of the spouse whose SSN is used shown first and circled <sup>1</sup>
3. Custodian account of a minor (Uniform Gift to Minors Act)	The minor <sup>2</sup>
4. a. The usual revocable savings trust (grantor is also trustee)	The grantor-trustee <sup>1</sup>
b. So-called trust account that is not a legal or valid trust under state law	The actual owner <sup>1</sup>
5. Disregarded entity or Sole proprietorship owned by an individual	The owner <sup>3</sup>
For this Type of Owner:	Give Name and Employer Identification Number (EIN) of:
6. Disregarded entity not owned by an individual	The owner
7. A valid trust, estate, or pension trust	Legal entity <sup>4</sup>
8. Corporate or LLC electing corporate status on Form 8832	The corporation or LLC electing corporate status
9. Association, club, religious, charitable, educational, or other tax-exempt organization	The organization
10. Partnership or multi-member LLC	The partnership or multi-member LLC
11. A broker or registered nominee	The broker or nominee
12. Account with the Department of Agriculture in the name of a public entity (such as a state or local government, school district, or prison) that receives agricultural program payments	The public entity

<sup>1</sup>List first and circle the name of the person whose number you furnish. If only one person has an SSN, that person's number must be furnished.

<sup>2</sup>Circle the minor's name and furnish the minor's SSN.

<sup>3</sup>You must show your individual name and you may also enter your business or "DBA" name on the second name line. You may use either your SSN or EIN (if you have one), but the IRS encourages you to use your SSN.

<sup>4</sup>List first and circle the name of the trust, estate, or pension trust. (Do not furnish the TIN of the personal representative or trustee unless the legal entity itself is not designated in the account title.)

Note: If no name is circled when more than one name is listed, the number will be considered to be that of the first name listed.

## TAX ESCROW AGREEMENT

---

**File Number:** 770179  
**Date:** March 31, 2017  
**Property Address:** 3461 Fort Street, Lincoln Park, MI 48146

Deposited with First American Title Insurance Company, as Escrowee, is the sum of \$12,575.00 which is approximately one and one half (1 1/2) times the estimated 2016 Summer & Winter tax bill amount.

Such funds shall constitute the Deposit, and shall be held under the following conditions:

- 1) until purchaser/seller furnishes First American Title Insurance Company with a copy of the tax bill, at which time First American Title Insurance Company shall paid said bill and pay the balance to the purchaser/seller;
- 2) in the event First American Title Insurance Company is not furnished with the tax bill within 15 days from July 1, 2017, First American Title Insurance Company shall, at its option, obtain the bill, pay it, deduct \$50.00 for its administrative fee, and pay the balance to purchaser/seller.
- 3) in the event that the amount held is not sufficient to pay the tax bill, the balance will be paid by \_\_\_\_\_ prior to any further interest or penalties accruing.

Upon making such delivery, and performance of any other services included above, Escrowee will thereupon be released and acquitted from any further liability concerning the deposit, it being expressly understood that such liability in any event is limited by the terms and conditions set forth herein. Escrowee shall incur no liability resulting from the failure of any financial institution used by it as an escrow depository. Escrowee shall not be responsible to pay any interest on the escrowed funds unless directions to invest are accepted in writing by Escrowee.

In the event of an interpleader action or other litigation affecting its duties relating to this deposit, Seller and Purchaser jointly and severally agree to reimburse Escrowee for any reasonable expense incurred, including attorney fees.

Any change in the terms or conditions hereof may be made in writing signed by all parties or their duly authorized representatives.

**Seller(s):**

Spark Investment, LLC, a Michigan limited liability company

By: \_\_\_\_\_

Name: Parthiv Dandnaik  
Title: Member

**Purchaser(s):**

Cianfarani Investments, LLC, a Michigan limited liability company

By: \_\_\_\_\_

Name: Rudolph Cianfarani  
Title: Member



**First American Title Insurance Company**

100 Bloomfield Hills Parkway, Suite 195, Bloomfield Hills, Michigan 48304  
1079

Phone: (248)540-4102 Fax: (866)550-

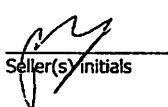
## WATER AND/OR SEWER ESCROW AGREEMENT

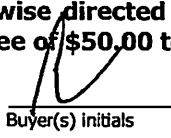
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**File Number:** 770179  
**Date:** March 31, 2017  
**Property Address:** 3461 Fort Street, Lincoln Park, MI 48146

Deposited with **First American Title Insurance Company**, as Escrowee, is the sum of **\$300.00**, representing an amount estimated by the Seller and the Purchaser to be sufficient to pay the outstanding water/sewer bill (which represents water/sewer usage by the Seller through the date of **closing** on the referenced property), which deposited sum shall be held by Escrowee, under the following terms and conditions:

1. upon receipt by Escrowee of a copy of the paid final water/sewer bill, the Escrowee, shall disburse the escrowed funds to the **Seller**, or;
2. unless Escrowee receives a copy of the paid final water/sewer bill on or before **90 days from the date of closing** or **unless otherwise directed by both parties the funds will be forwarded to the Purchaser, less an administrative fee of \$50.00 to be deducted from the deposited sum at the time of disbursement** and;

  
\_\_\_\_\_  
Seller(s) initials

  
\_\_\_\_\_  
Buyer(s) initials

3. in the event of any dispute regarding this escrow, Escrowee may, at its option, continue to hold such funds until joint written instructions directing disbursement of the escrowed funds are furnished to Escrowee by Seller and Purchaser, or it may initiate an interpleader action in a court of competent jurisdiction and submit the deposit for determination by the court of the proper disposition. Upon submission of the deposit of such court this escrow shall terminate and the Escrowee shall be relieved of any further liability hereunder.

Upon making such delivery, and performance of any other services included above, Escrowee will thereupon be released and acquitted from any further liability concerning the deposit, it being expressly understood that such liability in any event is limited by the terms and conditions set forth herein.

**By acceptance of this deposit, Escrowee is in no way guaranteeing the sufficiency of the deposit or assuming any responsibility for the collection and payment of amounts that may be owed by either seller or purchaser in relation to the water/sewer bill for which this escrow has been established. Escrowee shall not be responsible for calculating the amount to be held in escrow. If, upon receipt of a final water/sewer bill or information based on the final meter reading, the escrowed funds are insufficient to pay the entire amount owed, the sellers do hereby agree to pay whatever sum is required to pay the bill in full. In no event shall Escrowee be responsible for collection or payment of any amounts due which exceed the deposit held. Seller and Purchaser hereby acknowledges that it is their responsibility to provide a copy of the paid final water/sewer bill to Escrowee. Escrowee shall not be responsible to pay any interest on the escrowed funds.**

In the event of an interpleader action or other litigation affecting its duties relating to this deposit, Seller and Purchaser jointly and severally agree to reimburse Escrowee for any responsible expenses incurred, including attorney fees. Any change in the terms or conditions hereof may be made only in writing signed by all parties or their duly authorized representatives.



**First American Title Insurance Company**

EC APP-016 (Rev 8/97)

**Seller(s):**

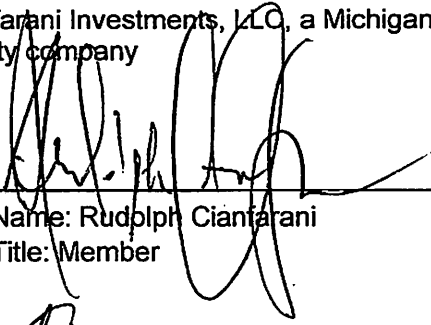
Spark Investment, LLC, a Michigan limited liability company

By: 

Name: Parthiv Dandnaik  
Title: Member


**Purchaser(s):**

Cianfarani Investments, LLC, a Michigan limited liability company

By: 

Name: Rudolph Cianfarani  
Title: Member

First American Title Insurance Company

By:   
Authorized Signature

**Forwarding Address:**

24300 Joy Road  
Redford, MI 48239



**First American Title Insurance Company**

### Property Transfer Affidavit

This form is issued under authority of P.A. 415 of 1994. Filing is mandatory.

This form must be filed whenever real estate or some types of personal property are transferred (even if you are not recording a deed). **The Affidavit must be filed by the new owner with the assessor for the city or township where the property is located within 45 days of the transfer.** The information on this form is NOT CONFIDENTIAL.

1. Street Address of Property 3461 Fort Street, Lincoln Park, MI 48146		2. County Wayne		3. Date of Transfer (or land contract signed) March 31, 2017	
4. Location of Real Estate (Check appropriate field and enter name in the space below.) <input checked="" type="checkbox"/> City <input type="checkbox"/> Township <input type="checkbox"/> Village City of Lincoln Park				5. Purchase Price of Real Estate 87,500.00	
7. Property Identification Number (PIN). If you don't have a PIN, attach legal description. <b>PIN.</b> This number ranges from 10 to 25 digits. It usually includes hyphens and sometimes includes letters. It is on the property tax bill and on the assessment notice. 45-012-08-1797-001				6. Seller's (Transferor) Name Spark Investment, LLC	
				8. Buyer's (Transferee) Name and Mailing Address Cianfarani Investments, LLC 2621 2nd Street, Wyandotte, MI 48192	
				9. Buyer's (Transferee) Telephone Number	

**Items 10 - 15 are optional. However, by completing them you may avoid further correspondence.**

10. Type of Transfer. <b>Transfers</b> include deeds, land contracts, transfers involving trusts or wills, certain long-term leases and interest in a business. See page 2 for list. <input type="checkbox"/> Land Contract <input type="checkbox"/> Lease <input checked="" type="checkbox"/> Deed <input type="checkbox"/> Other (specify) _____					
11. Was property purchased from a financial institution? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		12. Is the transfer between related persons? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		13. Amount of Down Payment	
14. If you financed the purchase, did you pay market rate of interest? <input type="checkbox"/> Yes <input type="checkbox"/> No			15. Amount Financed (Borrowed)		

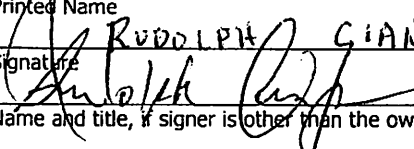
#### EXEMPTIONS

Certain types of transfers are exempt from uncapping. If you believe this transfer is exempt, indicate below the type of exemption you are claiming. If you claim an exemption, your assessor may request more information to support your claim.

- Transfer from one spouse to the other spouse
- Change in ownership solely to exclude or include a spouse
- Transfer between certain family members \*(see page 2)
- Transfer of that portion of a property subject to a life lease or life estate (until the life lease or life estate expires)
- Transfer to effect the foreclosure or forfeiture of real property
- Transfer by redemption from a tax sale
- Transfer into a trust where the settlor or the settlor's spouse conveys property to the trust and is also the sole beneficiary of the trust
- Transfer resulting from a court order unless the order specifies a monetary payment
- Transfer creating or ending a joint tenancy if at least one person is an original owner of the property (or his/her spouse)
- Transfer to establish or release a security interest (collateral)
- Transfer of real estate through normal public trading of stocks
- Transfer between entities under common control or among members of an affiliated group
- Transfer resulting from transactions that qualify as a tax-free reorganization
- Transfer of qualified agricultural property when the property remains qualified agricultural property and affidavit has been filed.
- Transfer of qualified forest property when the property remains qualified forest property and affidavit has been filed.
- Transfer of land with qualified conservation easement (land only - not improvements)
- Other, specify: \_\_\_\_\_

#### CERTIFICATION

I certify that the information above is true and complete to the best of my knowledge.

Printed Name RUDOLPH CIANFARANI		
Signature 		Date 03/31/2017
Name and title, if signer is other than the owner	Daytime Phone Number	E-mail Address

## Instructions:

This form must be filed when there is a transfer of real property or one of the following types of personal property:

- Buildings on leased land.
- Leasehold improvements as defined in MCL Section 211.8 (h).
- Leasehold estates as defined in MCL Section 211.8 (i) and (j).

Transfer of ownership means the conveyance of title to or a present interest in property, including the beneficial use of the property. For complete descriptions for qualifying transfers, please refer to MCL Section 211.27a(6)(a-j).

## Excerpts from Michigan Compiled Laws (MCL), Chapter 211

**\*Section 211.27a(7)(t):** Beginning December 31, 2014, a transfer of residential real property if the transferee is the transferor's or the transferor's spouse mother, father, brother, sister, son, daughter, adopted son, adopted daughter, grandson, or granddaughter and the residential real property is not used for any commercial purpose following the conveyance. Upon request by the department of treasury or the assessor, the transferee shall furnish proof within 30 days that the transferee meets the requirements of this subparagraph. If a transferee fails to comply with a request by the department or treasury or assessor under this subparagraph, the transferee is subject to a fine of \$200.00.

**Section 211.27a(10):** "...The buyer, grantee, or other transferee of the property shall notify the appropriate assessing office in the local unit of government in which the property is located of the transfer of ownership of the property within 45 days of the transfer of ownership, on a form prescribed by the state tax commission that states the parties of the transfer, the date of the transfer, the actual consideration for the transfer, and the property's parcel identification number or legal description."

**Section 211.27(5):** "Except as otherwise provided in Subsection (6), the purchase price paid in a transfer of property is not the presumptive true cash value of the property transferred. In determining the true cash value of transferred property, an assessing officer shall assess that property using the same valuation method used to value all other property using the same valuation method used to value all other property of that same classification in the assessing jurisdiction."

## Penalties:

Section 211.27b(1): "If the buyer, grantee, or other transferee in the immediately preceding transfer of ownership of property does not notify the appropriate assessing office as required by section 27a(10), the property's taxable value shall be adjusted under section 27a(3) and all of the following shall be levied:

(a) Any additional taxes that would have been levied if the transfer of ownership had been recorded as required under this act from the date of transfer.

(b) Interest and penalty from the date the tax would have been originally levied.

(c) For property classified under section 34c as either industrial real property or commercial real property, a penalty in the following amount:

(i) Except as otherwise provided in subparagraph (ii), if the sale price of the property transferred is \$100,000,000.00 or less, \$20.00 per day for each separate failure beginning after the 45 days have elapsed, up to a maximum of \$1,000.00.

(ii) If the sale price of the property transferred is more than \$100,000,000.00, \$20,000.00 after the 45 days have elapsed.

(d) For real property other than real property classified under section 34c as industrial real property or commercial real property, a penalty of \$5.00 per day for each separate failure beginning after the 45 days have elapsed, up to a maximum of \$200.00.

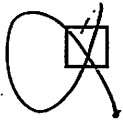
## PROPERTY TRANSFER AFFIDAVIT ACKNOWLEDGMENT

**File Number:** 770179  
**Date:** March 31, 2017  
**Reference:** Cianfarani Investments, LLC / Spark Investment, LLC  
**Property Address:** 3461 Fort Street, Lincoln Park, MI 48146

I/We, the undersigned Purchaser, Grantee or Transferee, have been advised that under Act 415, P.A. of 1994, Form L-4260 2766 (Rev. 01/09) **Property Transfer Affidavit** must be completed and received by the local assessor within **45 days** of the date of transfer.

I/We further understand that the failure to file is **punishable by penalty**, if the sale price of the property transferred is \$100,000,000.00 or less, \$20.00 per day for each separate failure beginning after the 45 days have elapsed, up to a maximum of \$1,000.00. (ii) If the sale price of the property transferred is more than \$100,000,000.00, \$20,000.00 after the 45 days have elapsed. (d) For real property other than real property classified under section 34c as industrial real property or commercial real property, a penalty of \$5.00 per day for each separate failure beginning after the 45 days have elapsed, up to a maximum of \$200.00.

I/We have received from First American Title Insurance Company on **March 31, 2017**, a **Property Transfer Affidavit**, Form L-4260 2766 (Rev. 01/09), and accept responsibility for filing this form with our city/township assessor. I/We agree to hold **First American Title Insurance Company** harmless from any further liability and/or responsibility regarding this form.



I/We have requested that First American Title Insurance Company distribute this form by regular mail to the city/township assessor, and hold the title company harmless from any further liability and/or responsibility regarding this form.



That the Buyer(s) are unable to complete the Property Transfer Affidavit at this time and will undertake to distribute the form themselves; or have chosen to distribute the form themselves to the local tax collecting unit.

**Purchaser(s):**

Cianfarani Investments, LLC, a Michigan limited liability company

By: \_\_\_\_\_

Name: Rudolph Cianfarani

Title: Member



**First American Title Insurance Company**



First American

Commitment for Title Insurance

ISSUED BY

Schedule A

First American Title Insurance Company

100 Bloomfield Hills Parkway, Suite 195, Bloomfield Hills, MI, 48304  
(248)540-4102, (866)550-1079, mi.bloomfield@firstam.com

File No. 770179  
Patty Meadows  
Date Printed: February 17, 2017

Address Reference: 3461 Fort Street, Lincoln Park, MI 48146

*Policy 3/31/17*  
1. Commitment Date: ~~January 06, 2017 @ 8:00 am~~

2. Policy (or Policies) to be issued: Policy Amount

a. ALTA Owner's Policy of Title Insurance (6-17-06) \$87,500.00

~~Proposed Insured: Rudolph Cianfarani, on behalf of an Entity To Be Formed~~ *Cianfarani Investments, LLC, a Michigan limited liability company, as to a vendor interest*

3. Fee Simple interest in the land described in this Commitment is owned, at the Commitment Date by:

Spark Investment, LLC, a Michigan limited liability company

4. The land referred to in this Commitment is described as follows:

See SCHEDULE C attached hereto.

By:

Authorized Countersignature  
(This Schedule A valid only when Schedule B is attached)





*First American*

## Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

100 Bloomfield Hills Parkway, Suite 195, Bloomfield Hills, MI, 48304

# Schedule BI

File No.: 770179

### REQUIREMENTS

The following requirements must be satisfied:

1. Pay the agreed amounts for the Title and/or the mortgage to be insured.
2. Pay us the premiums, fees and charges for the policy.
3. Submit completed Owner's Estoppel/Affidavit/ALTA Statement on the form provided by this company and signed by or on behalf of all owners.
4. Documents satisfactory to us creating the interest in the Land and/or the mortgagor to be insured must be signed, delivered and recorded:
5. If the Company has been requested to limit the exception for rights of tenants to rights of tenant, as tenants only, the exception will be limited as requested upon submission and review of copies of leases to confirm there are no rights of first refusal or options to purchase contained in any lease or upon submission of such other evidence satisfactory to the company that there are no rights of first refusal or options to purchase in favor of any tenant.
6. Submit a copy of the operating agreement of Spark Investment LLC, a Michigan limited liability company. Further requirements may be made upon review of the operating agreement.
7. Provide satisfactory evidence of the authority of the person or persons authorized to execute the Land Contract on behalf of Spark Investment LLC, a Michigan limited liability company.
8. Land Contract thereof between Spark Investment, LLC, a Michigan limited liability company, as Vendor(s), and Rudolph Cianfarani, on behalf of an Entity To Be Formed, as Vendee(s). If a Memorandum of Land Contract only will be recorded a copy of the fully executed Land Contract must be submitted to First American Title Insurance Company.
9. The application does not disclose the nature of the entity which will be acquiring title to the land. Satisfactory evidence as to the existence of the entity to be insured must be submitted to First American Title Insurance Company or the policy to be issued will include the following exception: The consequences of the failure of the named insured to be a properly formed legal entity which is capable of holding title to real estate.
10. Application has been made for the issuance of Owner's policy without standard exceptions. Such policy will be issued upon receipt of the following:
  - a) A fully executed Owner's affidavit which evidences there has been no work completed on the property within the last 90 days or, if work has been completed, a final sworn statement satisfactory to First American Title Insurance Company. Full unconditional waivers of lien must accompany such affidavit; and
  - b) An ALTA/NSPS survey or other survey satisfactory to First American Title Insurance Company. Additional exceptions will be made for any easements, encroachments or other matters which may be disclosed by the survey.
11. You must tell us in writing the name of anyone not referred to in this commitment who will get an interest in the Land or who will make a loan on the Land. We may make additional requirements relating to the interest or the loan.

12. Pay unpaid taxes and assessments unless shown as paid.

13. All Taxes paid to and including 2015

2016 Summer DUE in the amount of \$6,340.30

2016 Winter DUE in the amount of \$1,583.35, includes \$38.33 for Street Lighting and \$0.23 for Ecourse Maint

Tax Item No. 45-012-08-1797-001

Property Address: 3461 Fort Street, Lincoln Park, MI 48146

NOTE: On the above tax amount(s), there may also be due an amount for interest, penalty and collection fee.

NOTE: If subject property is connected to public/community water or sewer, furnish a copy of the current bill to First American Title Insurance Company showing that all charges have been paid to date or the Policy to be issued will include an exception on Schedule B for water and sewer charges which became a lien prior to the date of the Policy.



*First American*

Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

100 Bloomfield Hills Parkway, Suite 195, Bloomfield Hills, MI ,48304

# Schedule BII

File No.: 770179

## EXCEPTIONS

The policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

1. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or by making inquiry of persons in possession of the Land.
2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title including discrepancies, conflicts in boundary lines, shortage in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the Public Records.
4. Any lien or right to lien for services, labor or material imposed by law and not shown by the Public Records.
5. Taxes and assessments not due and payable at Commitment Date.
6. Fee Simple interest of Spark Investment, LLC, a Michigan limited liability company.
7. Terms, Covenants, Conditions and Provisions of a Land Contract made by and between Spark Investment, LLC, a Michigan limited liability company, as vendor(s), and Rudolph Cianfarani, on behalf of an Entity To Be Formed, as vendee(s), as disclosed by Land Contract dated \_\_\_\_\_, recorded \_\_\_\_\_, in \_\_\_\_\_.
8. Covenants, conditions, restrictions and other provisions but omitting restrictions, if any, based on race, color, religion, sex, handicap, familial status or national origin as contained in instrument recorded in Liber 2561, page 496; Liber 2583, page 102; Liber 2958, page 199; 3376, page 78.
9. Plat as recorded in Liber 41 of Plats Page 88 Wayne County Records.
10. ~~Rights of tenants, if any, under any unrecorded leases.~~
11. Lien for outstanding water or sewer charges, if any.



*First American*

Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

# Schedule C

File No.: 770179

The land referred to in this Commitment, situated in the County of Wayne, City of Lincoln Park, State of Michigan, is described as follows:

Lots 1797 through 1801, inclusive, except that part taken for road purposes, EMMON'S ORCHARD SUBDIVISION NO. 2, according to the recorded plat thereof, as recorded in Liber 41 of Plats, Page 88, Wayne County Records.



**Privacy Information**

**We Are Committed to Safeguarding Customer Information**

In order to better serve your needs now and in the future, we may ask you to provide us with certain information. We understand that you may be concerned about what we will do with such information - particularly any personal or financial information. We agree that you have a right to know how we will utilize the personal information you provide to us. Therefore, together with our subsidiaries we have adopted this Privacy Policy to govern the use and handling of your personal information.

**Applicability**

This Privacy Policy governs our use of the information that you provide to us. It does not govern the manner in which we may use information we have obtained from any other source, such as information obtained from a public record or from another person or entity. First American has also adopted broader guidelines that govern our use of personal information regardless of its source. First American calls these guidelines its Fair Information Values.

**Types of Information**

Depending upon which of our services you are utilizing, the types of nonpublic personal information that we may collect include:

- Information we receive from you on applications, forms and in other communications to us, whether in writing, in person, by telephone or any other means;
- Information about your transactions with us, our affiliated companies, or others; and
- Information we receive from a consumer reporting agency.

**Use of Information**

We request information from you for our own legitimate business purposes and not for the benefit of any nonaffiliated party. Therefore, we will not release your information to nonaffiliated parties except: (1) as necessary for us to provide the product or service you have requested of us; or (2) as permitted by law. We may, however, store such information indefinitely, including the period after which any customer relationship has ceased. Such information may be used for any internal purpose, such as quality control efforts or customer analysis. We may also provide all of the types of nonpublic personal information listed above to one or more of our affiliated companies. Such affiliated companies include financial service providers, such as title insurers, property and casualty insurers, and trust and investment advisory companies, or companies involved in real estate services, such as appraisal companies, home warranty companies and escrow companies. Furthermore, we may also provide all the information we collect, as described above, to companies that perform marketing services on our behalf, on behalf of our affiliated companies or to other financial institutions with whom we or our affiliated companies have joint marketing agreements.

**Former Customers**

Even if you are no longer our customer, our Privacy Policy will continue to apply to you.

**Confidentiality and Security**

We will use our best efforts to ensure that no unauthorized parties have access to any of your information. We restrict access to nonpublic personal information about you to those individuals and entities who need to know that information to provide products or services to you. We will use our best efforts to train and oversee our employees and agents to ensure that your information will be handled responsibly and in accordance with this Privacy Policy and First American's Fair Information Values. We currently maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard your nonpublic personal information.

**Information Obtained Through Our Web Site**

First American Financial Corporation is sensitive to privacy issues on the Internet. We believe it is important you know how we treat the information about you we receive on the Internet.

In general, you can visit First American or its affiliates' Web sites on the World Wide Web without telling us who you are or revealing any information about yourself. Our Web servers collect the domain names, not the e-mail addresses, of visitors. This information is aggregated to measure the number of visits, average time spent on the site, pages viewed and similar information. First American uses this information to measure the use of our site and to develop ideas to improve the content of our site.

There are times, however, when we may need information from you, such as your name and email address. When information is needed, we will use our best efforts to let you know at the time of collection how we will use the personal information. Usually, the personal information we collect is used only by us to respond to your inquiry, process an order or allow you to access specific account/profile information. If you choose to share any personal information with us, we will only use it in accordance with the policies outlined above.

**Business Relationships**

First American Financial Corporation's site and its affiliates' sites may contain links to other Web sites. While we try to link only to sites that share our high standards and respect for privacy, we are not responsible for the content or the privacy practices employed by other sites.

**Cookies**

Some of First American's Web sites may make use of "cookie" technology to measure site activity and to customize information to your personal tastes. A cookie is an element of data that a Web site can send to your browser, which may then store the cookie on your hard drive.

FirstAm.com uses stored cookies. The goal of this technology is to better serve you when visiting our site, save you time when you are here and to provide you with a more meaningful and productive Web site experience.

**Fair Information Values**

**Fairness** We consider consumer expectations about their privacy in all our businesses. We only offer products and services that assure a favorable balance between consumer benefits and consumer privacy.

**Public Record** We believe that an open public record creates significant value for society, enhances consumer choice and creates consumer opportunity. We actively support an open public record and emphasize its importance and contribution to our economy.

**Use** We believe we should behave responsibly when we use information about a consumer in our business. We will obey the laws governing the collection, use and dissemination of data.

**Accuracy** We will take reasonable steps to help assure the accuracy of the data we collect, use and disseminate. Where possible, we will take reasonable steps to correct inaccurate information. When, as with the public record, we cannot correct inaccurate information, we will take all reasonable steps to assist consumers in identifying the source of the erroneous data so that the consumer can secure the required corrections.

**Education** We endeavor to educate the users of our products and services, our employees and others in our industry about the importance of consumer privacy. We will instruct our employees on our fair information values and on the responsible collection and use of data. We will encourage others in our industry to collect and use information in a responsible manner.

**Security** We will maintain appropriate facilities and systems to protect against unauthorized access to and corruption of the data we maintain.