



LINCOLN PARK PLANNING COMMISSION
CITY HALL – COUNCIL
CHAMBERS 1355 SOUTHFIELD
ROAD LINCOLN PARK, MICHIGAN

May 9, 2018 at 7:00 p.m.

AGENDA

- I. Call to Order**
- II. Pledge of Allegiance**
- III. Roll Call**
- IV. Approval of previous minutes**
- V. Approval of Agenda**
- VI. Old Business**
 - A. Public Hearing: Body Art Facilities
 - B. Public Hearing: 4057 Dix
 - C. Site Plan and Special Land Use: 4057 Dix
- VII. New Business**
 - A. Member appointment to Zoning Board of Appeals
- VIII. Policy Review and Discussion - None**
- IX. Reports from Departments and Other Boards and Commissions**
 - A. Master Plan Public Workshop: Wednesday, May 16 at 6 pm, Kennedy Memorial Building
- X. Public Comments**
- XI. Comments from Planning Commissioners**
- XII. Adjournment**

The City of Lincoln Park will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park, MI 48146(313) 386-1800 Ext. 1296

**CITY OF LINCOLN PARK
COUNTY OF WAYNE, STATE OF MICHIGAN
PLANNING COMMISSION MEETING OF APRIL 11, 2018**

A Planning Commission meeting of April 11, 2018, held at the City of Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan.

1. MEETING CALLED TO ORDER:

- a. The meeting was called to order at 7:08 P.M., by Alternate Chairman Kelsey presiding.

2. PLEDGE OF ALLEGIANCE:

3. ROLL CALL OF OFFICERS:

PRESENT: Graczyk, Briones, Horvath, Medina, Kelsey

ABSENT: Palmer, Kissel

EXCUSED:

ALSO PRESENT: Leah DuMouchel, John Meyers

4. APPROVAL OF MINUTES –

- a. **February 21, 2108** – Motion by Graczyk to approve minutes as submitted, support by Briones. All present voting yea.

Motion Carried Unanimously

- b. **March 14, 2108** – No Meeting

5. APPROVAL OF AGENDA:

Motion by Graczyk to approve agenda as written, supported by Kelsey. All present voting yea

Motion Carried Unanimously

6. UNFINISHED BUISNESS:

None

7. NEW BUSINESS

a. **Conceptual Review – 3563 Fort St. (Tire Mall)**

The site is on the corner of Fort St and New York, also adjacent to a residential zone. The site is zoned Municipal Business District (MBD). The applicant has proposed a new tire mall business. The property would be used as a tire and auto repair shop that works on brakes suspension, alignments, sales and service, which fits within the definition of an Automotive Repair Station in the Lincoln Park Zoning Code.

At the conceptual review only, no action is taken at this meeting. This is only a feedback review for the applicant.

The site was previously a non – conforming service station which is within 5,000 feet of another existing automotive fueling station, service station, or repair center.

(n) Waiver or modification of Standards for Special Situations. In cases where an applicant is proposing to open a new automotive service station or repair center on a site that was previously a non-conforming service station, the Planning Commission may reduce or waive the minimum area, frontage, or setback standards, provided they determine that no good purpose would be served by upholding the minimum standards.

The applicant/owner, Fernando Lopez spoke briefly on the nature of his business.

8. POLICY REVIEW AND DISCUSSION

None

9. REPORTS FROM DEPARTMENTS AND OTHER BOARDS AND COMMISSIONERS

Leah advised the Master Plan Community engagement portion is scheduled for, Tuesday, May 15, 2018 from 6 -8pm, tentatively to be held at the Lincoln Park bandshell. This is an opportunity for the community to do detailed talking about what Lincoln Park should be and how residents would like it to be where they live.

10. PUBLIC COMMENTS

None

11. COMMENTS FROM THE PLANNING COMMISSIONERS

12. ADJOURNMENT

Motion by Briones to adjourn meeting, support by Kelsey, meeting adjourned at 7:52 P.M.

Motion Carried Unanimously

Mr. Larry Kelsey, Acting Chairman

City of Lincoln Park Planning and Development
Body Art Facilities – Proposed Zoning Changes

March 15, 2018

Following are the sections in the Lincoln Park Zoning Ordinance where updates are necessary to:

1. Remove tattoo parlors from the “Adult Regulated Uses”
2. Define “body art facilities”
3. Add Body Art Facilities as a use permitted with Special Land Use approval in the Central Business District
4. Add a 1,000 foot buffer to Site Design Standards for uses permitted after special approval

1. REMOVE TATTOO PARLORS FROM THE LIST OF ADULT REGULATED USES

1260.08 RULES OF CONSTRUCTION; DEFINITIONS.

ADULT REGULATED USES OR SEXUALLY ORIENTED BUSINESSES:

(1) **Uses:** Any business which primarily features sexually stimulating material and/or performances, including the following uses:

A. Adult business use. “Adult business use” is specifically defined as follows:

1. **Adult Business:** means adult bookstores, adult movie theaters, adult personal service businesses, adult cabarets, massage parlors, ~~tattoo parlors,~~ and nude modeling studios.

2. ADD DEFINITION FOR BODY ART FACILITIES

1260.08 RULES OF CONSTRUCTION; DEFINITIONS.

BOARD OF APPEALS: The Zoning Board of Appeals of the City of Lincoln Park.

BOAT: Boats, floats, rafts and the attached normal equipment to transport the same on highways.

BODY ART FACILITY: any location that has complied with the licensing process as defined by the state (Section 13104 of P.A. 375 of 2010), at which an individual does 1 or more of the following: performs tattooing, performs branding, and/or performs body piercing.

BREW PUB: A restaurant or tavern (as defined within this Zoning Code) licensed by the State of Michigan to produce and manufacture not more than five thousand (5,000) barrels of beer per calendar year in Michigan, and sell at retail on the premises the beer produced and manufactured for consumption on or off the premises, in the manner provided for in MCLA 436.31b and 436.31c.

3. ADD BODY ART FACILITIES USE TO CENTRAL BUSINESS DISTRICT

1280.03 USES PERMITTED AFTER SPECIAL APPROVAL.

In a Central Business District (CBD), the following uses may be permitted subject to the applicable site design standards of Section 1296.02, Site Design Standards for Uses Permitted After Special Approval, and subject, further, to the approval of Council after recommendation from the Planning Commission in accordance with the processing procedures in Section 1262.08, Powers of Council Re Special Approvals:

- (a) **Body art facilities**
- ~~(a)~~(b) Child care centers, nursery schools, day nurseries, and adult day care centers (not including dormitories or any type of overnight care). Reduced outdoor play space may be allowed by the Planning Commission upon a showing that alternative indoor space is available and that at least thirty-five (35) square feet of outdoor space per child is available either on-site or on nearby available open space or publicly dedicated park land, provided that safe pedestrian access is afforded across any intersecting road and that appropriate security is provided.
- ~~(b)~~(c) Commercial parking lots and structures.
- ~~(e)~~(d) Essential public services and buildings within an enclosed building in keeping with the character of the surrounding area and this zoning district.
- ~~(d)~~(e) Indoor recreational centers, including mechanical amusement device arcades, pinball parlors and pool or billiard halls.
- ~~(e)~~(f) Mortuaries and funeral homes.
- ~~(f)~~(g) Open air business uses, unless otherwise permitted in Section 1280.02, Principal Permitted Uses.
- ~~(g)~~(h) Self-service laundromats.
- ~~(h)~~(i) Senior housing and housing for the elderly.
- ~~(i)~~(j) Uses similar to the principal permitted uses provided in Section 1280.02, Principal Permitted Uses, after the Planning Commission has determined that such uses are in harmony with the character of the District and the purpose and intent of the Comprehensive Development Plan of the City.
- ~~(j)~~(k) Antique malls.

4. ADD 1,000 FOOT BUFFER TO SITE DESIGN STANDARDS

1296.02 SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL.

The following standards are in addition to the requirements of Section 1296.01, Site Plan Review:
Note: The requirements noted in this section are in addition to, or, where in conflicts, supersede, those general requirements by zoning districts, as indicated in Section 1296.01, Site Plan Review. For all uses permitted after special approval, see the processing requirements in Section 1262.08, Special Approvals.

A. Adult Foster Care Group Homes

1. The site shall be evaluated for the degree of potential residential and commercial use conflicts.

2. No foster care group home shall be located closer than one thousand five hundred (1,500) feet to any other foster care group home or foster care family home, measured from the nearest wall of each such structure.

3. No additional facility shall be approved which would contribute to an excessive concentration of foster care group homes within a neighborhood.

B. Automobile and Other Vehicle Wash Establishments

1. A minimum front yard setback of twenty (20) feet shall be required for all structures.

2. Required off-street parking and vehicle waiting areas shall be provided in accordance with Chapter 1290, Off-Street Parking and Loading.

C. Automotive Fueling and Service Stations

1. See Section 1294.14, Automotive Service Stations, Repair Centers and Public Garages, for detailed regulations.

D. Automotive Repair Centers

1. See Section 1294.14, Automotive Service Stations, Repair Centers and Public Garages, for detailed regulations.

E. Bed and Breakfast Inns, Boarding Houses, Rooming Houses, and Lodging Houses

1. The site shall be evaluated for the degree of potential residential and commercial use conflicts.

2. Parking areas shall be located off-street and shall not be located in any required front yard.

3. Meals or other services provided on the premises shall only be available to residents, employees and overnight guests of the establishment.

4. The dwelling unit in which the establishment is located shall be the principal residence of the operator, and such operator shall live on the premises while the establishment is active.

F. Body Art Facilities

1. No body art facility shall be permitted within one thousand (1,000) feet of another body art facility.

~~F.~~**G. Breweries, Distilleries, Canning Factories, Chemical Plants**

1. The site shall be evaluated for consideration of potential odor and pollution nuisances.

~~G.~~**H. Cemeteries**

1. Sites shall have a minimum lot area of ten (10) acres.

2. All structures must be a minimum fifty (50) feet from any lot line.

3. The site must abut a principal or regional thoroughfare, with all ingress and egress directly to such thoroughfare.

~~H.~~**I. Churches**

1. Sites shall have a minimum lot area of one (1) acre.

2. The minimum lot width shall be one hundred fifty (150) foot, and the minimum side and rear yards shall be twenty-five (25) feet.

3. Screening meeting the requirements of Section 1294.28, Screening, shall be provided along the sides of the parking area adjacent to a residential district.

4. The site must abut a principal or regional thoroughfare, with all ingress and egress directly to such thoroughfare.

5. No off-street parking is allowed in any required front yard.

~~I.~~**J. Cocktail Lounges and Night Clubs**

1. Uses are not permitted within five hundred (500) feet of any church or school.

~~J.~~**K. Commercial Green-houses, Nurseries and Garden Centers Exceeding One Thousand (1,000)**

Square Feet

1. Sites shall have a minimum lot area of one (1) acre.
2. All structures must be a minimum of forty (40) feet from all lot lines.
3. The storage or materials display areas shall meet all the yard setback requirements applicable to any building in the district.
4. All loading activities and parking areas shall be provided on the same premises off-street.
5. The storage of any soil, fertilizer, or similar loosely packaged materials shall be sufficiently contained to prevent any adverse effect upon adjacent properties.

~~K~~.L. Commercial Outdoor Recreation Establishments (Excluding Golf-related Uses)

1. Sites must abut a principal or regional thoroughfare, with all ingress and egress directly to such thoroughfare.
2. No building or spectator seating facility shall be located within fifty (50) feet of a property line.
3. The site shall be periodically cleared of debris so that litter does not accumulate on adjacent properties.
4. Provisions shall be taken to insure that excessive dust, noise, traffic, lighting glare, and trespassing are not inflicted on adjacent properties.

~~L~~.M. Convalescent or Nursing Homes, Housing for the Elderly

1. The site shall be evaluated for the degree of potential residential and commercial use conflicts.
2. The allowable density of the underlying zoning district may be increased by no more than 50% for all nursing care units licensed by the State of Michigan, or 25% for non-licensed nursing care and supportive care units.
3. All dwelling units shall have a minimum of four hundred fifty (450) square feet per unit.
4. Retail and service uses may be permitted on the site if such uses are accessory to the elderly housing use. All such uses shall be within the principal residential building. No exterior signs of any type are permitted for these accessory uses.
5. All medical waste facilities shall be secured and meet the requirements of the Public Health Department of the State of Michigan.
6. Walkways shall be provided from the main building entrance(s) to any sidewalks along the adjacent public street.

~~M~~.N. Drive-in or Drive-through Establishments

1. Sites must abut a principal or regional thoroughfare, with all ingress and egress directly to such thoroughfare.
2. See Section 1294.16, Drive-in and Drive-through Establishments, for further design standards.

~~N~~.O. Essential Public Service Buildings and Structures, Public Utility Buildings, Telephone Exchange Buildings, Electric Transformer Stations and Substations, Gas Regulator Stations

1. Screening requirements are subject to Council approval based on analysis of potential effect on surrounding properties.
2. No storage yards are permitted in residential districts.
3. Applications must provide evidence of the necessity for the proposed location.
4. Electric or gas regulator equipment and apparatus shall be set back a minimum of thirty (30) feet from all lot lines.

~~O~~.P. Funeral Homes

1. Sites shall have a minimum lot area one (1) acre and minimum lot width of one hundred fifty (150) feet.

2. An off-street vehicle assembly area shall be provided to be used in support of funeral processions and activities. This area shall be in addition to the required off-street parking and its related maneuvering area.

~~P~~.~~Q~~. Golf Courses ("Par-three" Courses)

1. Minimum lot size shall be forty (40) acres.
2. The principal and accessory buildings, including maintenance sheds, shall be set back at least seventy-five feet (75) from all property and street lines.
3. Accessory buildings, structures and storage areas shall be screened on all sides from adjacent residential areas and public street rights-of-way.
4. Operational hours for maintenance vehicles, course maintenance and/or irrigation may be restricted to protect nearby residential districts.

~~Q~~.~~R~~. Group Day Care Homes

1. Sites shall have a minimum lot area of twenty thousand (20,000) square feet.
2. An on-site drive shall be provided for drop-offs and loading. This drive shall be arranged to allow maneuvers without affecting traffic flow on the public street.
3. There shall be a fenced, contiguous open space with a minimum area of five thousand (5,000) square feet provided on the same premises as the group day care home. The required open space shall not be located within a required front yard.

~~R~~.~~S~~. Home Based Businesses

1. See Section 1294.39, Home-based Businesses, for detailed regulations.

~~S~~.~~T~~. Hospitals

1. Sites shall have a minimum lot area of two (2) acres.
2. Front, side and rear yard minimum setbacks shall be fifty (50) feet.
3. The maximum height of a hospital structure shall not exceed five (5) stories or sixty (60) feet.
4. Parking setbacks shall be forty (40) feet in the front yard, and twenty (20) feet for side and rear yards.
5. All structures to be a minimum of one hundred (100) feet from any lot lines of adjacent residentially zoned districts.
6. Ambulance and delivery areas shall be obscured from all residential property view with screening meeting the requirements of Section 1294.28, Screening.
7. Site must abut a principal regional thoroughfare, with all ingress and egress directly to such thoroughfare.
8. Auxiliary uses, such as a pharmacy, gift shop, cafeteria and similar customary hospital related uses shall be allowed.
9. Parking for professional and outpatient buildings, or sections of a hospital building, shall be calculated as separated uses. Only one-half (1/2) the total number of parking spaces within gated or restricted physician parking lots shall be included in parking calculations.
10. Hospitals shall be constructed, maintained, and operated in conformance with applicable State and Federal laws, including provisions of the Michigan Hospital Survey and Construction Act, Public Act 299 of 1947, as amended.

~~T~~.~~U~~. Junkyards and Scrap Yards

1. Sites shall have a minimum lot area of ten (10) acres.
2. A fifty (50) foot wide buffer strip as defined in Section 1296.03, Landscaping Standards, shall adjoin all property lines.

3. A solid, ornamental masonry wall meeting the requirements of Section 1294.28, Screening, shall be required at interior boundaries of buffer strip.
4. Junk and scrap materials may not be stacked higher than the height of the screening wall.
5. Vehicles or vehicle bodies shall be stored in rows with a minimum of twenty (20) foot continuous loop drives separating each row of vehicles.
6. Vehicle parts shall not be stored, loaded, unloaded, or dismantled outside the wall enclosing the salvage yard.
7. No vehicle, vehicle bodies, or other materials shall be stored in a manner as to be visible from any residence, business, or street from a height at the top of the wall enclosing the yard.
8. All batteries shall be removed from any vehicle, and all radiator and fuel tanks shall be drained prior to the vehicle being placed in the storage yard. Salvaged batteries, oil and other such substances shall be removed by a licensed disposal company or be stored in a manner which prevents leakage of battery fluid. No fluids removed from vehicles shall be applied as a dust control method.
9. The front obscuring wall shall be set back the same distance as a building in the General Industrial District (GID), and all such walls shall be set back a minimum of five hundred (500) feet from any residential use or district.
10. In order to protect surrounding areas, the crushing of vehicles or any part thereof shall be limited to daylight hours, provided that such activities shall not be conducted on Sundays or Federally recognized holidays.
11. The Planning Commission may impose other conditions which have a reasonable relationship to the health, safety and general welfare of the City. These conditions can include a provision for an annual inspection by the Building Superintendent to ensure continuing compliance with the above standards.

~~U~~.V. Kennels

1. Sites shall have a minimum lot area of two (2) acres.
2. All outdoor runs or breeding areas to be enclosed on all sides screening meeting the requirements of Section 1294.28, Screening, and located at least ten (10) feet from any property line.
3. Building wherein dogs are kept, dog runs, and/or exercise areas shall not be located nearer than one hundred (100) feet to an adjacent occupied dwelling or any adjacent building used by the public, and shall not be located in any required front, rear or side yard setback area.
4. Such facilities shall be subject to other conditions and requirements necessary to ensure against the occurrence of any possible nuisance such as fencing, soundproofing, or sanitary requirements.

~~V~~.W. Mechanical Amusement Device Arcades, Pinball Parlors, or Pool Halls

1. Sites are not permitted within five hundred (500) feet of any church or school.

~~W~~.X. Mining, Excavating or Other Removal of Sand, Earth, Minerals, Etc.

1. All structures and machinery shall be a minimum of one hundred (100) feet from all property lines and two hundred (200) feet from any residential districts.
2. Submission of a screening plan is required, except for topsoil removal.
3. The applicant shall submit a written statement describing: an indication of the proposed use of the property following the extraction; an approved reclamation plan; documentation that demonstrates to the satisfaction of the City that activities will not produce any serious consequences which will adversely affect the natural topography, drainage patterns, water bodies, floodplains, street conditions, nearby property values or use of adjacent land.
4. Creation of a lake or pond shall only be permitted where the applicant can demonstrate using

engineering and hydrological studies that the water can be maintained in a non-polluted condition, and that the applicant meets any requirements of the State of Michigan.

5. Truck routing shall be restricted to those streets designed to accommodate truck traffic on a year-round basis.

6. A reclamation plan shall be provided indicating final grades which are level with surrounding grades and not in excess of 5% unless demonstrably necessary for the proposed reclamation land use. No topsoil shall be removed from the site; topsoil shall be redistributed properly upon completion of the extractive activities, or phase thereof.

7. The site shall be enclosed with a six (6) foot security fence with a locking access gate. Such fences shall be placed no closer than fifty (50) feet to the top or bottom of any slope.

8. No slope shall exceed an angle with the horizontal of forty-five (45) degrees.

9. No building or structure shall be erected on the site, except as may be permitted in that zoning district or if approved as a temporary structure for machinery or field office.

10. Proper measures shall be utilized to minimize the nuisance of noise and dust or airborne materials, as determined by the Building Superintendent, and may include requirements on stockpiling size and/or covering of stockpiles.

~~Y.~~ Nursery Schools, Day Nurseries, and Child Care Centers

1. An outdoor play area shall be required of one hundred (100) square feet per child cared for, with a total minimum area of one thousand five hundred (1,500) square feet.

2. An on-site drive shall be provided for drop-off/pick-ups. This drive shall be arranged to allow maneuvers without affecting traffic flow on the public street.

~~Z.~~ Open Air Business Uses (See definition in Section 1260.08, Rules of Construction; Definitions)

1. Sites shall be visually screened from all adjoining residential and commercial properties by screening meeting the requirements of Section 1292.28, Screening.

2. Sites shall meet any required screening standards required by this Zoning Code.

3. No exterior lighting shall cause a driving hazard on abutting street, nor be exposed to any adjacent residentially zoned property.

4. A five (5) foot fence or wall shall be constructed along the rear and sides of the lot, capable of keeping trash, paper, and other debris from blowing off the premises, except as provided otherwise in this Zoning Code.

5. The lot area used for parking shall be hard-surfaced and the display or storage areas shall be provided with a permanent, durable, and dustless surface, and shall be graded and drained so as to dispose of all surface water.

~~AA.~~ Open Storage Yards of Buildings and Construction Contractors, Landscaping Contractors, and Lumber Yards

1. Sites shall be visually screened from all adjoining residential and commercial properties by solid, ornamental masonry wall at least eighty (80) feet in length and six (6) feet in height.

2. Any storage or display area shall comply with the minimum setback requirements for the district in which the facility is located and no storage or outside display shall be permitted within any front yard.

3. Any outside storage area shall be paved or surfaced with hard surface material and shall include a storm water drainage system.

4. Heavy construction equipment such as bulldozers and front-loaders shall not be stored or used on the site. The size of such equipment shall be limited to a one (1) yard bucket.

5. The storage of soil, fertilizer and similar loosely packaged materials shall be contained and

covered to prevent it from blowing into adjacent properties.

6. All stored materials including loosely packaged materials shall not be piled or stacked higher than the height of the obscuring screen within an area of twenty (20) feet from the obscuring screen. Any obscuring screen shall not exceed six (6) feet in height.

~~AA~~**BB.** Outdoor Cafés, Outdoor Eating Areas, Carry-out, and Open Front Restaurants.

1. A minimum of five (5) feet of sidewalk along the curb and leading to the entrance to the establishment must be maintained free of tables and other encumbrances. If the sidewalk is not wide enough to allow for a five (5) foot wide clearance for circulation, the outdoor café should not be permitted. Planters, posts with ropes, or other removable enclosures should be encouraged and should be used to define the area occupied by the outdoor café.

2. Pedestrian circulation and access to building entrances should not be impaired. A boundary (maximum encroachment width and length) into the public sidewalk should be established with an accessible aisle being maintained between this line and the curb, in accordance with the provisions of all State and Federal regulations.

3. The outdoor café must be kept clean, litter-free, and with a well-kept appearance within and immediately adjacent to the area of the tables and chairs. Additional outdoor waste receptacles may be required. Written procedures for cleaning and waste containment and removal responsibilities must be included with all applications and approved by the Planning Commission.

4. Tables, chairs, planters, waste receptacles, and other elements of street furniture should be compatible with the architectural character of the adjacent buildings. If table umbrellas will be used, they should compliment building colors.

5. Additional signs are not permitted beyond those permitted for the existing restaurant.

6. The hours of operation for the outdoor café should be established and noted with the application.

7. Preparation of food and beverages may be prohibited in the outdoor café.

8. Liability issues for use of the public sidewalk should be addressed and reviewed by the City

Attorney.

~~BB~~**CC.** Outdoor Theaters

1. All sites to have a minimum lot area of ten (10) acres and all structures shall be a minimum of one hundred (100) feet from all lot lines.

2. Screens may not face a principal or regional thoroughfare.

3. Entire sites shall be fenced.

4. Sites must abut a principal or regional thoroughfare, with all ingress and egress directly to such thoroughfare.

5. No viewing areas shall be located closer than forty (40) feet to any lot line.

~~CC~~**DD.** Private Parks, Country Clubs, Golf Courses and Golf Driving Ranges

1. Sites shall a minimum lot area of five (5) acres.

2. All structures shall be a minimum of one hundred (100) feet from adjacent residentially zoned districts.

3. Sites must abut a principal or regional thoroughfare, with all ingress and egress directly to such thoroughfare.

4. Whenever any such use abuts a residential district, a transition strip at least one hundred (100) feet in width shall be provided between all operations, buildings and structures, including fences, and the residential property. Grass, plant materials, and structural screens of a type in accordance with Section 1296.03, Landscaping Standards, shall be placed within the transition strip.

5. A minimum yard of one hundred (100) feet shall separate all buildings, uses, operations, and structures permitted herein, including fences, from any public street or highway used for access or exit purposes. This yard shall be landscaped in accordance with Section 1296.03, Landscaping Standards.

~~DD~~**EE**. Radio and Television Towers

1. Sites shall have a minimum lot area of ten thousand (10,000) square feet.
2. Towers shall be located at a distance from each lot line equivalent to or greater than the height of the tower.

~~EE~~**FF**. Recreation Vehicle Storage Yards

1. Sites shall have a minimum lot area of one (1) acre.
2. Storage areas to be enclosed by a cyclone fence five (5) feet in height. Additional height may be permitted for barb wire cradling.

~~FF~~**GG**. Regional Shopping Centers

1. Sites must abut a principal or regional thoroughfare, with all ingress and egress directly to such thoroughfare.
2. The design shall ensure that vehicular circulation patterns are appropriately designed and regulated to eliminate potential conflicts between traffic generated by the center, and traffic on adjacent streets and thoroughfares.
3. Internal circulation shall be designed such that no intersection includes more than four (4) aisles or drives.
4. Site entrances shall be restricted to three-way movements, with unrestricted inbound movements.
5. Internal drives defined by the ends of aisles shall have raised curbed islands at appropriate locations to define circulation paths and control movements through the parking lot.
6. Loading facilities which serve the commercial establishment in the principal building shall be screened from public view.
7. Any outlots shall have circulation and parking designed to complement the remainder of the site.

~~GG~~**HH**. Retail and Service Uses Located Within High-rise Multiple-family Structures

1. Uses, parking and signs shall be sized, designed and located to be in harmony with the character and quality of the multiple-family development. See Section 1270.03, Uses Permitted After Special Approval.

~~HH~~**II**. Self-storage Warehouses

1. The minimum lot area shall be three (3) acres.
2. The minimum building and parking setback shall be fifty (50) feet from any public street right-of-way line, fifty (50) feet setback from any residential district and twenty-five (25) feet from any nonresidential zoning district.
3. The front yard and any side yards adjacent to residential districts shall include screening and landscaping in accordance with the requirements of this Zoning Code.
4. All storage shall be completely within enclosed buildings or structures.
5. A structure for a resident manager may be allowed on the site.
6. The use shall be limited to storage only.

~~II~~**JJ**. Schools, Primary and Secondary Public Schools, Commercial Schools and Colleges

1. All play areas adjacent to a residential district must be fenced.
2. Bus and automobile drop-off and pickup drives shall be separate from, and not conflict with, through travel lanes of any street.

~~JJ~~**KK**. Temporary Buildings for Use Incidental to Construction Work

1. Such uses are allowed for a period not to exceed one (1) year.

~~KK~~.LL. Veterinary Clinics and Hospitals

1. Outdoor exercising is allowed when the pet is accompanied by an employee provided no animals shall be permitted outside of the buildings between 8:00 p.m. and 7:00 a.m.

2. All boarding shall be limited to that incidental to treatment or surgery unless the use has also been approved as a kennel.

3. Outdoor enclosures or runs visible to adjacent residential districts shall be screened with screening meeting the requirements of Section 1292.28, Screening.

~~LL~~.MM. Wireless Communication Facilities

1. See Section 1294.35, Wireless Communication Facilities; Antennae, Towers, and Satellite Dish Antennae, for detailed standards.

~~MM~~.NN. Indoor Flea Markets.

1. The indoor flea market operator maintains a complete and accurate file of the current and valid licenses issued to each of the flea market vendors conducting business at that location.

2. The applicant shall specify the days and hours of operation.

3. The use and all vendors shall comply with the provisions of the Lincoln Park Code of Ordinances Chapter 870, Secondhand Dealers.

4. No merchandise shall be stored, displayed, or sold outside of a building.

5. Outdoor storage or parking of vehicles shall be prohibited between 10:00 p.m. and 7:00 a.m. of the following day.

(Res. 2012-259A. Passed 8-20-12, effective 9-5-12.)

~~NN~~.OO. Antique malls.

1. The business is under the unified control and supervision of one licensed person, partnership, firm or corporation referred to as the antique mall operator.

2. The antique mall operator maintains a complete and accurate file of the current and valid licenses issued to each of the antique mall dealers conducting business at that location.

3. The applicant shall specify the days and hours of operation.

4. The use and all vendors shall comply with the provisions of the Lincoln Park Code of Ordinances.

5. No merchandise shall be stored, displayed, or sold outside of a building.

6. Outdoor storage or parking of vehicles shall be prohibited between 10:00 p.m. and 7:00 a.m. of the following day.

~~OO~~.PP. Pawn shops.

1. A 1,000 foot separation shall be maintained at all times between pawn shop use and existing pawn shop. Measurement of the one-thousand (1,000) foot radius shall be made from the outermost boundaries of the lot or parcel upon which the proposed pawn shop use will be situated.

2. No pawn shop use shall be permitted within a five hundred (500) foot radius of a residential district.

3. The applicant shall specify the days and hours of operation.

4. No merchandise shall be stored, displayed, or sold outside of the building.

5. Pawn shops shall comply with all other applicable federal, state and local laws, regulations, and licenses.

4057 Dix – Quality Auto Wash Special Land Use Review

Applicant	Odell Lechevalier
Project	Quality Auto Wash
Address	4057 Dix Highway
Date	May 9, 2018
Request	Special Land Use Approval
Recommendation	Approve

REQUEST

The applicant requests Special Land Use approval for an Automobile Wash establishment at the above-referenced address. The property was previously used as a car wash, but after a period of vacancy of more than a year, it is necessary to secure Special Land Use approval for the use.

CRITERIA FOR REVIEW

The following conditions are all required to be met before a Special Land Use approval may be granted:

- 1) The special use will promote the use of land in a socially and economically desirable manner for persons who will use the proposed land use or activity, for landowners and residents who are adjacent thereto and for the City as a whole;
This condition is met.
- 2) The special use is compatible and in accordance with the goals, objectives and policies of the City's Comprehensive Development Plan;
This condition is met.
- 3) The special use is necessary for the public convenience at that location;
This condition is met.
- 4) The special use is compatible with adjacent uses of land, and can be constructed, operated and maintained so as to continue to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed;
This condition is met.

- 5) The special use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected;
This condition is met.
- 6) The special use can be adequately served by public services and facilities without diminishing or adversely affecting public services and facilities to existing land uses in the area;
This condition is met.
- 7) The special use will not cause injury to the value of other property in the neighborhood in which it is to be located;
This condition is met.
- 8) The special use will protect the natural environment, help conserve natural resources and energy, and will not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance;
This condition is met.
- 9) The special use is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located, and meets applicable site design standards for use in Section 1296.02; and
This condition is met.
- 10) The special use is related to the valid exercise of the City's police power and purposes which are affected by the proposed use or activity.
This condition is met.

RECOMMENDATION

It is recommended that the Lincoln Park Planning Commission approve the Special Land Use of an Automobile Wash at 4057 Dix Highway.

Quality Auto Wash
Site Plan Review

Applicant	Odell Lechevalier
Project	Quality Auto Wash
Address	4057 Dix Highway
Date	May 9, 2018
Request	Final Site Plan Review
Recommendation	Approve with Conditions

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description

The applicant proposes to re-open an automobile wash facility after a period of non-operation greater than one year. Currently, this use is permitted by Special Land Use approval in this district. It is unclear whether Special Land Use approval was ever granted for this parcel, but §1262.08 states that failure to continue to operation for a one-year period constitutes abandonment of the Special Land Use. Therefore, a valid and current Special Land Use approval is required for this use to resume.

Site conditions

The site is located at the corner of Dix Highway and St. John's Blvd. Circulation appears to be designed for entry and exit at separate drives on St. John's Boulevard. Despite the property's address on Dix, the curb cut to that road appears to have been closed, and a guard rail extends the length of an asphalt-covered area immediately on the property side of the sidewalk. The property is served by sidewalks along both Dix and St. Johns.

A greenbelt on the western edge of the property is the only landscaping feature, adjacent to both sides of the sidewalk until the aforementioned guard rail, and then continues only along the Dix right-of-way.

The south branch of the Ecorse River abuts the property to the south. Because of a grade change separation, it appears that the property does not fall within the Flood Hazard Overlay Zone.



Figure 1: Aerial View



Figure 2: Flood Zone

Master Plan

Future Land Use Classification

The 2007 Comprehensive Development plan for the city of Lincoln Park designates this site as "General Commercial."

Intent; Desirable Uses and Elements

The General Commercial land use category is "the appropriate flocation for automobile-oriented uses, including...car washes."

Land Use and Zoning

Zoning

The zoning classification on this property is Municipal Business District. Car washes are permitted by Special Land Use approval in this district.

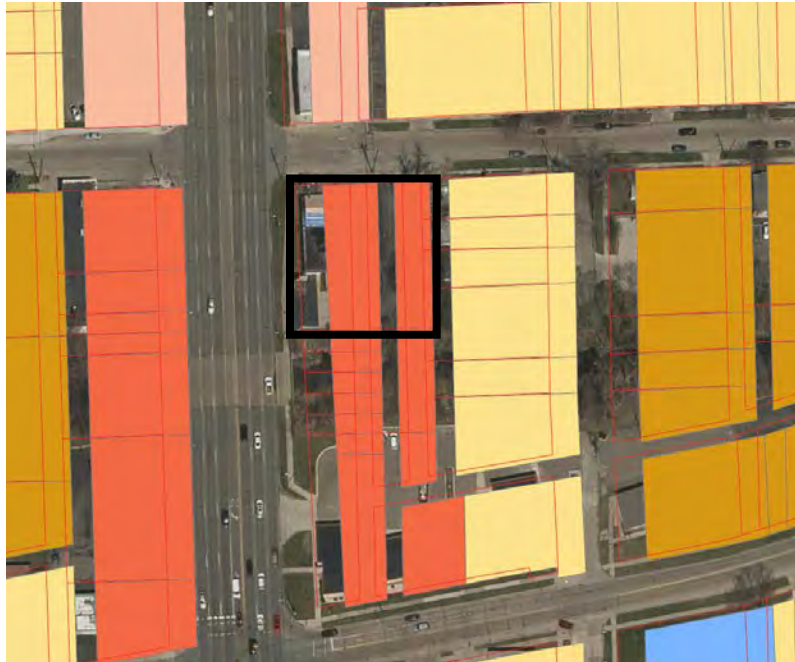


Figure 3: Zoning Map

Proposed and Existing Uses

Site	MBD, Car Wash
North	ROW then NBD; commercial
East	Residential;
South	MBD and Ecorse Creek; commercial
West	ROW then MBD; commercial

Dimensional Standards

The dimensional requirements of the MBD district are described in the chart below. (§1294.32, except where noted.)

	Required	Provided	Compliance
Lot Width	40	101 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls 2 ½' < height < 8'	Provided shrubs that are less than 8'	Met
Lot Area	4,000	13,635	Met
Lot Coverage	50%	26%	Met
Height	2 stories / 25'	12'	Met
Setback – Front	By context	18'	Met
Setback – Sides	0	50'south/ 19' south	Met
Setback – Rear	0	42'	Met

Items to be addressed

- *The site plan on SP-1 dated 3/29/2018 is labeled as 1" = 20' in scale and the elevation scale is noted as ¼"=1'on sheet A2. However, the measurements noted on the drawings do not correspond with measurements taken either with an engineering scale, or with a standard ruler and calculated. There is a puzzling note on the site plan that says, "Please do not scale drawings." A correctly scaled site plan must be provided, and a larger scale is recommended. The "provided" column are estimates by the City of Lincoln Park to conduct this review; all exceeded the requirement by a margin sufficient to determine compliance.*
- *Site plan shall show all proposed pavement markings.*

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> • Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' Height on elevations is not drawn to scale. 	Met
<ul style="list-style-type: none"> • Architectural variety • Similar materials and entrances to buildings within 500' 	Met

Required	Compliance
<ul style="list-style-type: none"> • Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) • 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly-reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block) • Natural colors (bright for decorative features only) 	<p>Substantially met</p>
<ul style="list-style-type: none"> • Façade: <100' uninterrupted • If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches • All sides similar 	<p>Met</p>
<ul style="list-style-type: none"> • Windows: vertical, recessed, visually-obvious sills • Spaces between windows = columns, mullions, or material found elsewhere on the façade • Front facades > 25% windows • Size, shape, orientation, spacing to match buildings within 500' 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Main entrances: doors larger Applicant to add main entrance door to the building drawn to scale. The east elevation door was added but not drawn to scale. • Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) 	<p>Substantially met</p>
<ul style="list-style-type: none"> • Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 • Rooflines >100' = roof forms, parapets, cornice lines • Roof-top mechanical equipment screened by roof form. 	<p>Met</p>

Items to be addressed

- Applicant to add building features and correct height to each elevation drawn to scale.*

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

No significant natural features remain on the site to be preserved.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The City Engineer notes that the concrete sidewalks must be brought up to City Standards, including the replacement or repair of any broken or cracked sidewalks in the Dix Hwy and St. Johns Blvd right-of-way and onsite. There are several sidewalk flags that are cracked on the north and west side of the existing building within the right of way that will need to be replaced as directed by the City. Additionally, there are some broken curbs on St. Johns Blvd that will need to be replaced as directed by the City.

Signage was added on the north side of the property to indicate where cars would be exiting.

Items to be addressed

- Concrete sidewalks must be brought up to City Standards, including the replacement or repair of any broken or cracked sidewalks in the Dix Hwy and St. Johns Blvd right-of-way and onsite
- Curbs to be replaced or repaired as directed by City

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Car wash	Two (2) Plus one (1) for each employee and manager = 2 Plus two (2) for post-wash detailing. Total = 6	1 5 4	Exceeded
Car wash (stacking, per §1290.03)	A minimum of sixteen (16) for cars waiting to be washed for each conveyor system Plus one (1) upon exiting each conveyor system	8 1	Not met

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown		Addressed under Access Management, below
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Existing asphalt lot	Met
	Concrete curbs and gutters	Not shown	Unclear
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	6 ft. masonry wall	Met
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.		Not applicable
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering		Met
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	Existing guard rail; no shown in drawings	Met

The City acknowledges that the required stacking arrangements are a challenge on this site, which was built without the benefit of these Special Land Use requirements. In an effort to satisfy the requirements, two sets of drawings have been submitted, each with different challenges. Sheet SP-1 from 3/29/2018 has been considered here.

Parking

A total of 6 parking spaces are required on the site; 10 parking spaces are shown and exceed the requirement by more than 20%. Four parking spaces of them are labeled "employee" parking within the building, one is labeled "employee" outdoors on the southern side of the building, and another outside on the southern side of the building is labeled "H.C. space." The dimensions of the parking spaces must be supplied.

In addition to these spaces, there are four post-wash detailing parking spaces along the rear property line. This exceeds the requirement by 100%, but accommodates the existing detailing facilities. Removing them would have the effect of underutilizing existing facilities and would not reduce the amount of impervious surface that the regulation is designed to control.

Stacking

The vehicle stacking arrangement presented on Sheet SP-1 dated 3/29/2018 shows one line of 8 stacking spaces between the street and the entrance to the car wash. It is acknowledged that fitting the required 16 stacking spaces onto this site is a challenge that it may not be possible to meet. Once the most desirable arrangement has been developed by the applicant and approved by the Planning Commission, the City will support a variance request to waive any outstanding stacking spaces in consideration of the site’s constraints and the intervening regulatory requirements.

Parking Lot

An initial review of the parking lot by the City Engineer finds it in poor condition. The parking lot will need to be brought up to City standards.

Items to be addressed

- Applicant to show curbs, gutters, and wheelstops where required
- Parking lot to be brought up to City standards
- Applicant to show parking space dimensions, ensuring that they correspond with the parking pattern in which they are arranged
- Applicant to seek variance to exceed parking requirements by more than 20%
- Applicant to seek variance to provide 8 stacking spaces rather than 16

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
6	1	1	Met

Items to be addressed

- Applicant to provide the dimensions of one barrier-free parking space, which must be at least 12’ in width.

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
3,871 sf	1	1	Met

Items to be addressed

- *As with the rest of the drawing, the loading dock is not correctly scaled. Applicant to ensure that revised drawings correctly show the required 10'x50' loading space.*

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

Although the site’s address is on Dix Highway, the curb cut facing Dix is closed. Ingress and egress to the site are via St. Johns Blvd, which is not regulated by §1290.10.

Currently, St. Johns Blvd is separated from the northern edge of the site only by a sidewalk and a rolled curb, which effectively serves as a curb cut for the length of the site. This configuration is poorly defined, increasing the opportunities for conflict between the vehicles entering and exiting the site, and the pedestrians and bicyclists using the sidewalk. The poor conditions of the curb, the sidewalk, and the parking lot may represent an opportunity to address this. **A comprehensive assessment of the improvements needed to bring these up to City standards should be performed, and the feasibility of reconstructing these features to allow for individual curb cuts should be assessed.** At a minimum, pavement markings and signage should alert drivers to the potential presence of pedestrian and bicycle traffic on the sidewalk.

Items to be addressed

- *Pavement markings alerting drivers to the potential presence of pedestrian and bicycle traffic on the sidewalk shall be shown on site plan*

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Applicant shall incorporate any comments received from the Lincoln Park Fire Department and Police Department.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed as part of this development application.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	Existing 10' and greater greenbelt along west side of property. No greenbelt on north side of property	Not met
	1 tree and 4 shrubs per 40' of street frontage With 70% waiver = 2 trees and 7 shrubs	2 tree and 7 shrubs	Met
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	No parked vehicles are facing the ROW	Met
Interior Landscapi	10% of total lot area landscaped, including groundcover (13,635 sf *0.1) = 1363 sf landscaping With 70% waiver = 409 sf landscaping	No interior landscaping has been proposed	Not met

	Required	Proposed	Compliance
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	The placement of the proposed trees and shrubs are along Dix Highways, not in the interior.	Not met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping 1,365 sf= 3 trees and 5 shrubs	No interior landscaping is proposed	Not met
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces	For 6 required spaces, this would be 1 tree.	Met
	100 sf of planting area per tree	This is not shown on L-1	Met
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Applicant proposes no waste receptacle	Not applicable
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive); solid 6' masonry wall ornamental on both sides	6' masonry wall is proposed. There is no greenbelt provided on the east side of the property where it abuts a residence.	Not met

Items to be addressed

- Planning commission waiver requested to accept proposed landscaping as the maximum possible application of the standards to this site.*

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer..

Soil erosion control is under the purview of Wayne County. All appropriate permits shall be secured.

Items to be addressed

- Applicant to obtain all appropriate soil erosion permits from Wayne County.*

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The City Engineer notes that based on the site plan submitted all existing utilities and leads are being reused. It is important that the developer realize these existing utilities are very old and may have reached their life expectancy. It is our strong recommendation for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on the building. If the service lead needs to be replaced the installation of the new service will need to be inspected by the City's engineer.

The developer should verify with the City the existing sanitary service type and size. If it is undersized for the proposed building use it must be replaced. The developer's engineer or architect shall determine the sanitary service lead capacity.

The developer should verify with the City the existing water service type and size. If it is a lead service or if the service is undersized for the proposed building use, it should be replaced. The developer's engineer or architect shall determine the water service lead capacity.

The Engineer notes that the east side of the existing building is constructed over a vacated alley, over which the City maintains an easement. The building is also constructed over an existing, active 18" sanitary sewer located within the easement. The City is not responsible for the building constructed over the existing sewer.

Items to be addressed

- Applicant to videotape existing sewer lead to determine its condition prior to performing any new renovation*
- Service lead replacement installations shall be inspected by the City's engineer*
- Applicant shall verify with the City the existing sanitary service type and size, and shall replace if it is undersized for the proposed building use it must be replaced*
- Applicant's engineer or architect shall determine the sanitary service lead capacity*
- Applicant shall verify with the City the existing water service type and size, and shall replace if it is a lead service or if the service is undersized for the proposed building use*
- Applicant's engineer or architect shall determine the water service lead capacity*
- The east side of the existing building is constructed over a vacated alley over which the City maintains an easement, and within which is an existing, active 18" sanitary sewer. The City is not responsible for the building constructed over the existing sewer.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be

encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

The City Engineer notes that based on the elevations from the November survey, the majority of the parking lot and paved areas are surface draining into the Sexton-Kilfoil Drain. There is only one storm sewer structure in the paved area of the site, which appears to have a 4" outlet to the County Drain. Stormwater management is under the purview of Wayne County, and drainage improvements may be required on the parking lot and paved areas. Applicant shall work with the City engineer to comply with all applicable stormwater regulations and practices.

Items to be addressed

- Applicant shall work with the City engineer and Wayne County to comply with all applicable stormwater regulations and practices.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

No new lighting fixtures are proposed.

Items to be addressed

None

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No negative noise impacts are expected from the development which will not be buffered by the six-foot masonry wall.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

No roof- or ground-mounted mechanical equipment requires screening.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

All applicable sign codes shall be met, and all signs shall be appropriately permitted through the Building Department.

Items to be addressed

- All sign shall receive appropriate permits through the Lincoln Park Building Department*
-

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

No hazardous materials or waste are expected as a result of this development.

Items to be addressed

None

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

§1296.02

B. Automobile and Other Vehicle Wash Establishments

1. A minimum front yard setback of twenty (20) feet shall be required for all structures.
2. Required off-street parking and vehicle waiting areas shall be provided in accordance with Chapter 1290, Off-Street Parking and Loading.

1. This condition is effectively met. Although the property address is on Dix, all access to the site is via St. Johns Blvd, where there is a 20' setback between the building and the property line.
2. This condition is addressed under "Parking," above.

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Applicant shall procure a business license per Chapter 806 of the Lincoln Park Code of Ordinances.

Items to be addressed

- Applicant to secure a business license per Chapter 806 of the Lincoln Park Code of Ordinances.*

VARIANCES

The need for variances as a part of this project shall be determined during the course of preparing the Final Site Plan.

Items to be addressed

- Site plan approval is contingent upon the applicant securing dimensional variances from the stacking and parking requirements of this Special Land Use.*

RECOMMENDATIONS

Waivers

- Planning commission waiver requested to accept proposed landscaping as the maximum possible application of the standards to this site.*

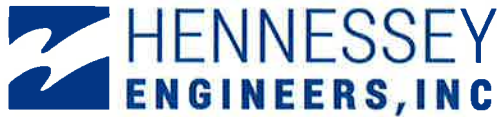
Conditions

- The site plan on SP-1 dated 3/29/2018 is labeled as 1" = 20' in scale and the elevation scale is noted as 1/4"=1' on sheet A2. However, the measurements noted on the drawings do not correspond with measurements taken either with an engineering scale, or with a standard ruler and calculated. There is a puzzling note on the site plan that says, "Please do not scale drawings." A correctly scaled site plan must be provided, and a larger scale is recommended. The "provided" column are estimates by the City of Lincoln Park to conduct this review; all exceeded the requirement by a margin sufficient to determine compliance.*
- Site plan shall show all proposed pavement markings.*
- Concrete sidewalks must be brought up to City Standards, including the replacement or repair of any broken or cracked sidewalks in the Dix Hwy and St. Johns Blvd right-of-way and onsite*
- Curbs to be replaced or repaired as directed by City*
- Applicant to show curbs, gutters, and wheelstops where required*
- Parking lot to be brought up to City standards*
- Applicant to show parking space dimensions, ensuring that they correspond with the parking pattern in which they are arranged*
- Applicant to seek variance to exceed parking requirements by more than 20%*
- Applicant to seek variance to provide 8 stacking spaces rather than 16*
- Applicant to provide the dimensions of one barrier-free parking space, which must be at least 12' in width.*
- As with the rest of the drawing, the loading dock is not correctly scaled. Applicant to ensure that revised drawings correctly show the required 10'x50' loading space.*
- Pavement markings alerting drivers to the potential presence of pedestrian and bicycle traffic on the sidewalk shall be shown on site plan*
- Applicant to obtain all appropriate soil erosion permits from Wayne County.*
- Applicant to videotape existing sewer lead to determine its condition prior to performing any new renovation*
- Service lead replacement installations shall be inspected by the City's engineer*
- Applicant shall verify with the City the existing sanitary service type and size, and shall replace if it is undersized for the proposed building use it must be placed*
- Applicant's engineer or architect shall determine the sanitary service lead capacity*
- Applicant shall verify with the City the existing water service type and size, and shall replace if it is a lead service or if the service is undersized for the proposed building use*
- Applicant's engineer or architect shall determine the water service lead capacity*
- The east side of the existing building is constructed over a vacated alley over which the City maintains an easement, and within which is an existing, active 18" sanitary sewer. The City is not responsible for the building constructed over the existing sewer.*
- Applicant shall work with the City engineer and Wayne County to comply with all applicable stormwater regulations and practices.*

- *Applicant to secure a business license per Chapter 806 of the Lincoln Park Code of Ordinances.*
- *All sign shall receive appropriate permits through the Lincoln Park Building Department*
- *Site plan approval is contingent upon the applicant securing dimensional variances from the stacking and parking requirements of this Special Land Use.*

Recommendations

It is recommended that the Lincoln Park Planning Commission approve the Site Plan with the conditions and waivers described herein, contingent upon the applicant seeking and receiving dimensional variances from the stacking and parking requirements of this Special Land Use.



January 2, 2018

Ms. Leah DuMouchel, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI, 48103-4978

**Re: Car Wash
4057 Dix Hwy
City of Lincoln Park, MI
Hennessey Project 72096**

Dear Ms. DuMouchel:

Hennessey Engineers, Inc. completed our first review of the Preliminary Plan based on the plan submittal date November 14, 2017, and received via email from you.

The project consists of the proposed redevelopment of the existing commercial Car Wash facility.

Listed below are some comments in which some should be addressed in the Preliminary Plan approval but would not be grounds for a reason for denial from an engineering feasibility standpoint:

GENERAL

1. Based on the site plan submitted, all existing utilities and leads are being reused. It is important that the developer realize these existing utilities are very old and may have reached their life expectancy. It is our strong recommendation for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on the building. If the service lead needs to be replaced the installation of the new service will need to be inspected by our office. The developer should verify with the City the existing sanitary service type and size. If it is undersized for the proposed building use it must be replaced. The developer's engineer or architect shall determine the sanitary service lead capacity.
2. The developer should verify with the City the existing water service type and size. If it is a lead service or if the service is undersized for the proposed building use, it should be replaced. The developer's engineer or architect shall determine the water service lead capacity.
3. The concrete sidewalks must be brought up to City Standards. Any broken or cracked sidewalks in the Dix Hwy and St. Johns Blvd. right-of-way and onsite must be repaired. There are several sidewalk flags that are cracked on the north and west side of the existing building within the right-of-way that will need to be replaced as directed by the City.
4. There are some broken curbs on St. Johns Blvd that will need to be replaced as directed by the City.

5. The cover sheet must be signed and sealed and plan sheets must be sealed by a professional engineer, surveyor or architect licensed in Michigan.
If the site plan meets all other Planning Commission requirements the Planning Commission could approve the Preliminary Plan contingent upon them being submitted signed and sealed by a professional engineer, surveyor or architect licensed in Michigan.
6. The east side of the existing building is constructed over a vacated alley. The City maintains an easement over the vacated alley. The building is also constructed over an existing 18" sanitary sewer located within the easement. The existing sanitary sewer is an active sewer. The City is not responsible for the building constructed over the existing sewer.
7. The existing parking lot is in poor condition and will need to be brought up to City Standards.
8. Based on the elevations from the November survey plan the majority of the parking lot and paved areas are surface draining into the Sexton-Kilfoil Drain. There is only one storm sewer structure in the paved area of the site. This structure appears to have a 4" outlet to the County Drain. Drainage improvements may be required to be made on the parking lot and paved areas. The storm drainage is under the jurisdiction of Wayne County.

Comment 5 listed above should be addressed for the Planning Commission submittal. From an engineering feasibility our office does not have any issues with the approval of the Preliminary Site Plan submittal. Therefore, from the engineering feasibility review it would be our recommendation for the **"approval"** of the Preliminary Site Plan. This is not a detailed engineering review or approval. Once the Planning Commission approves the Site Plan the engineer shall submit 3 sets of signed and sealed plans and a cost estimate to our office for detailed engineering review. An escrow account will need to be established for the detailed engineering review and construction inspection, test and management. Prior to any start of construction the plans must be approved by our office.

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC

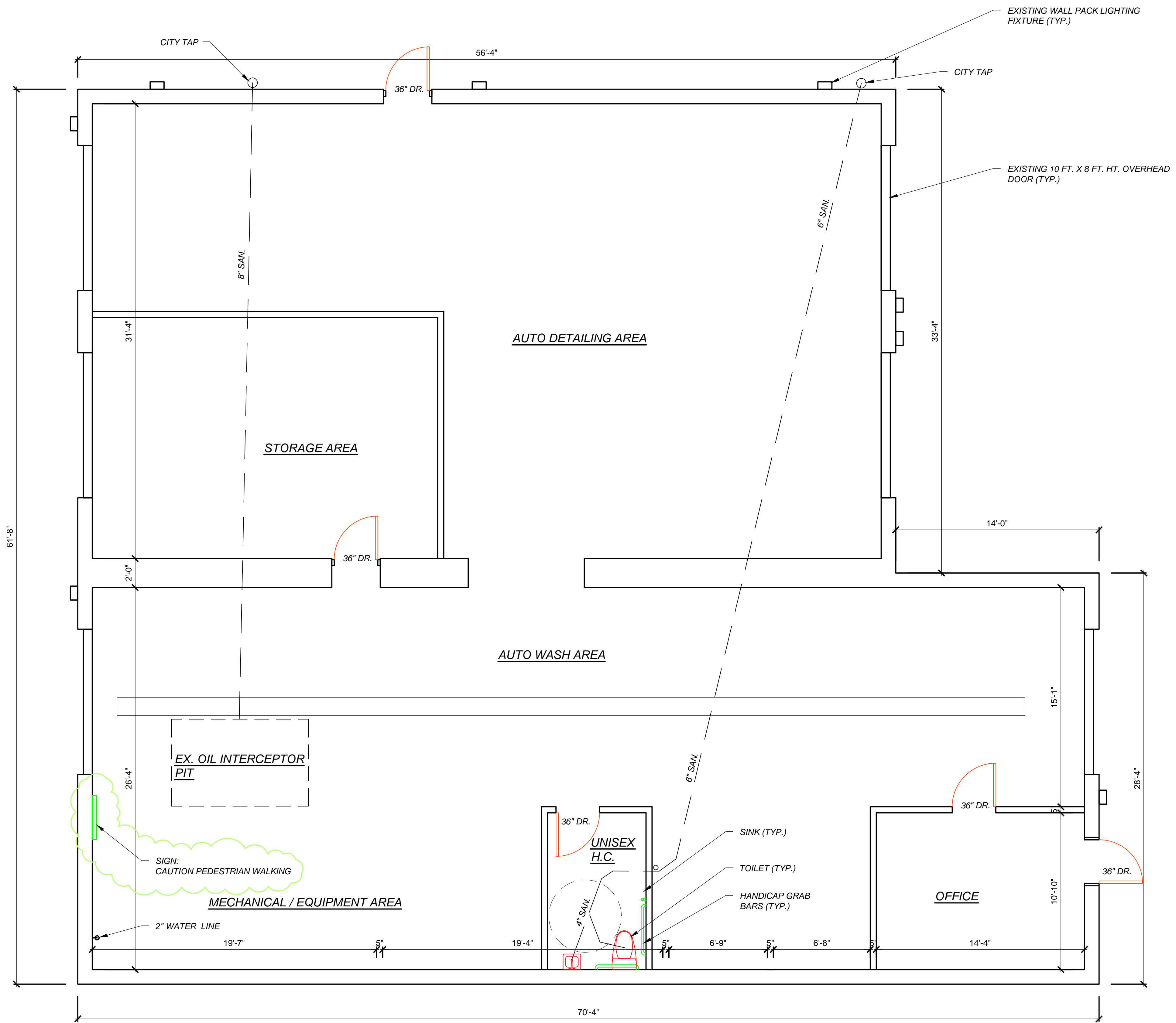


James D. Hollandsworth, P.E., P.S.
Lincoln Park Project Manager

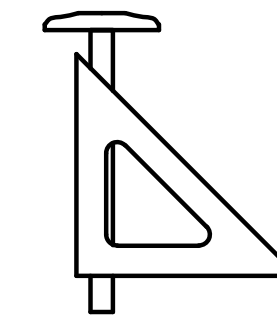
JDH/bd

cc: John Kozuh, DPW Director, City of Lincoln Park
John J. Hennessey, Hennessey Engineers, Inc.
Ryan Kern, Hennessey Engineers, Inc.
B.3

R:\Municipalities\70000's Lincoln Park\72000's\72096 Car Wash 4057 Dix\Car Wash 4057 Dix Hwy 1st PC Review Jan 2, 2018.docx



EXISTING FLOOR PLAN @ $\frac{1}{4}'' = 1'-0''$



SKETCH DESIGN GROUP
 26520 GRAND RIVER
 STE. 101
 REDFORD, MI 48240
 (248)-890-3036
 Email: sketchdesign@gmail.com

HARVARD ENGINEERING
 28947 GLENBROOK DRIVE
 FARMINGTON HILLS, MI 48331
 PHONE: 504-376-6498

ARCHITECT / ENGINEER SEAL:

QUALITY AUTO WASH
 4057 DIX HIGHWAY
 LINCOLN PARK, MI

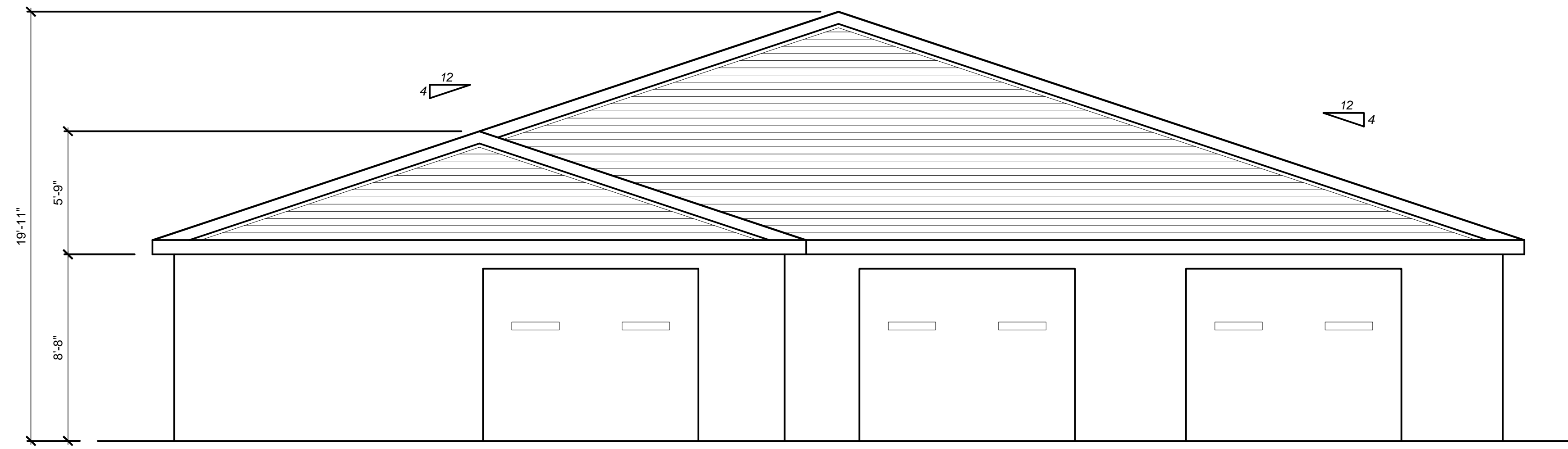
DRAWN	DAVID
CHECKED	
SCALE	SHOWN

DATE	REV #	ISSUED FOR
12/11/17		PLAN REVIEW
02/09/18	1	REVISION
03/29/18	2	REVISION

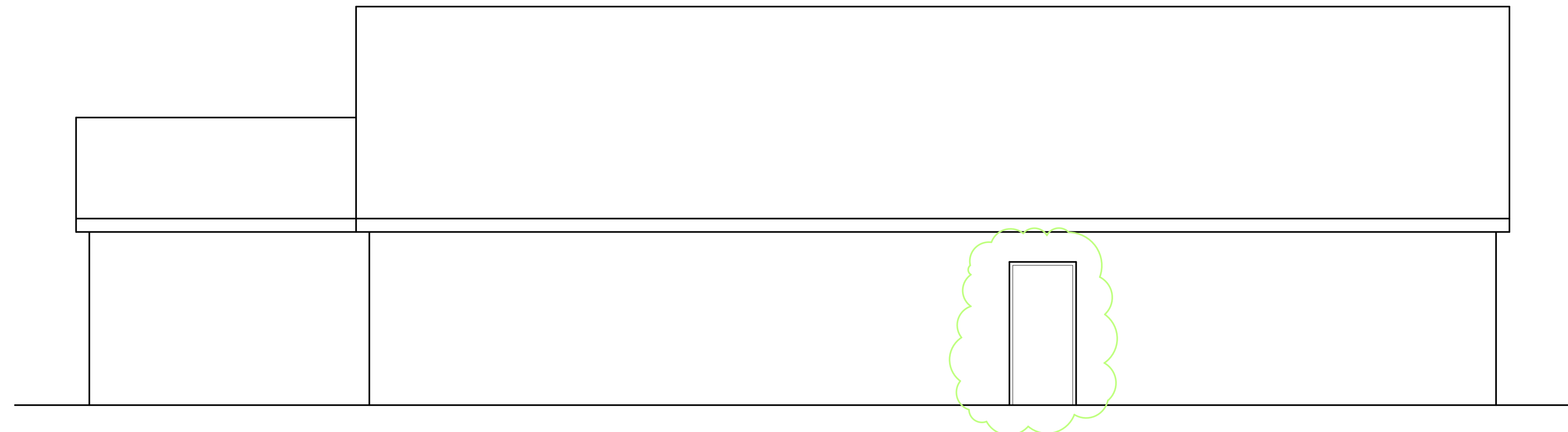
PROJECT #	16920
-----------	-------

SHEET NO.

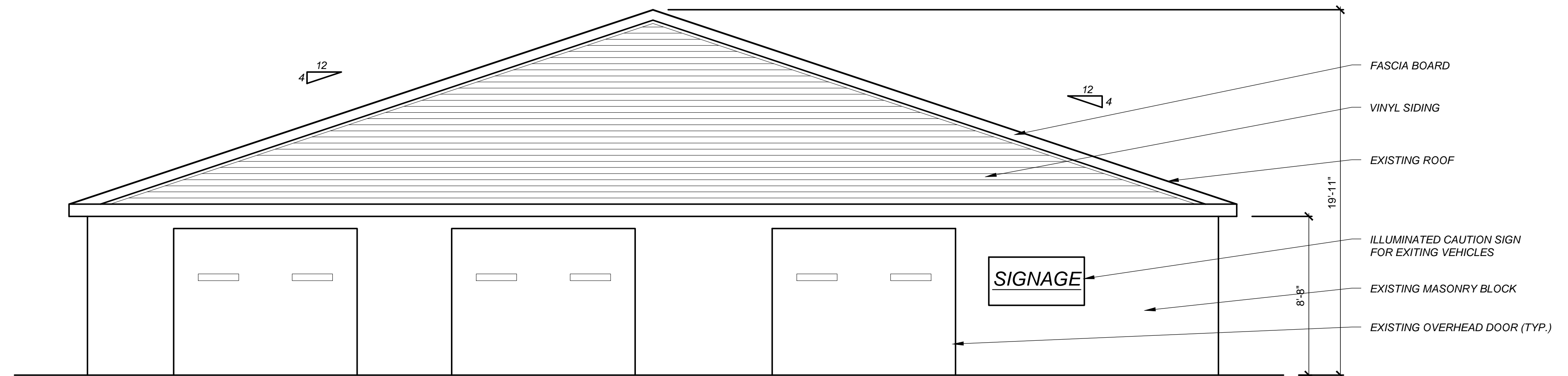
A1



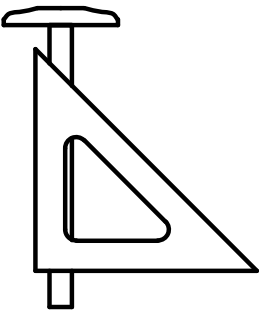
SOUTH ELEVATION @ $\frac{1}{4}'' = 1'-0''$



EAST ELEVATION @ $\frac{1}{4}'' = 1'-0''$



NORTH ELEVATION @ $\frac{1}{4}'' = 1'-0''$



SKETCH DESIGN GROUP
 26520 GRAND RIVER
 STE. 101
 REDFORD, MI 48240
 (248)-890-3036
 Email: sketchtimedesign@gmail.com

HARVARD ENGINEERING
 28947 GLENBROOK DRIVE
 FARMINGTON HILLS, MI 48331
 PHONE: 504-376-6498

ARCHITECT / ENGINEER SEAL:

QUALITY AUTO WASH
 4057 DIX HIGHWAY
 LINCOLN PARK, MI

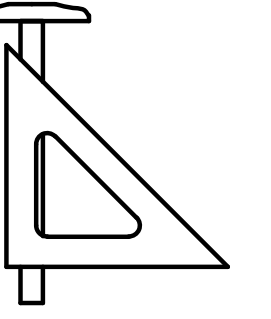
DRAWN	DAVID
CHECKED	
SCALE	SHOWN

DATE	REV #	ISSUED FOR
12/11/17		PLAN REVIEW
02/09/18	1	REVISION
03/29/18	2	REVISION

PROJECT #	16920
-----------	-------

SHEET NO.

A2



SKETCH DESIGN GROUP
 26520 GRAND RIVER
 STE. 101
 REDFORD, MI 48240
 (248)-890-3036
 Email: sketchtimedesign@gmail.com

HARVARD ENGINEERING
 28947 GLENBROOK DRIVE
 FARMINGTON HILLS, MI 48331
 PHONE: 504-376-6498

ARCHITECT / ENGINEER SEAL:

QUALITY AUTO WASH
 4057 DIX HIGHWAY
 LINCOLN PARK, MI

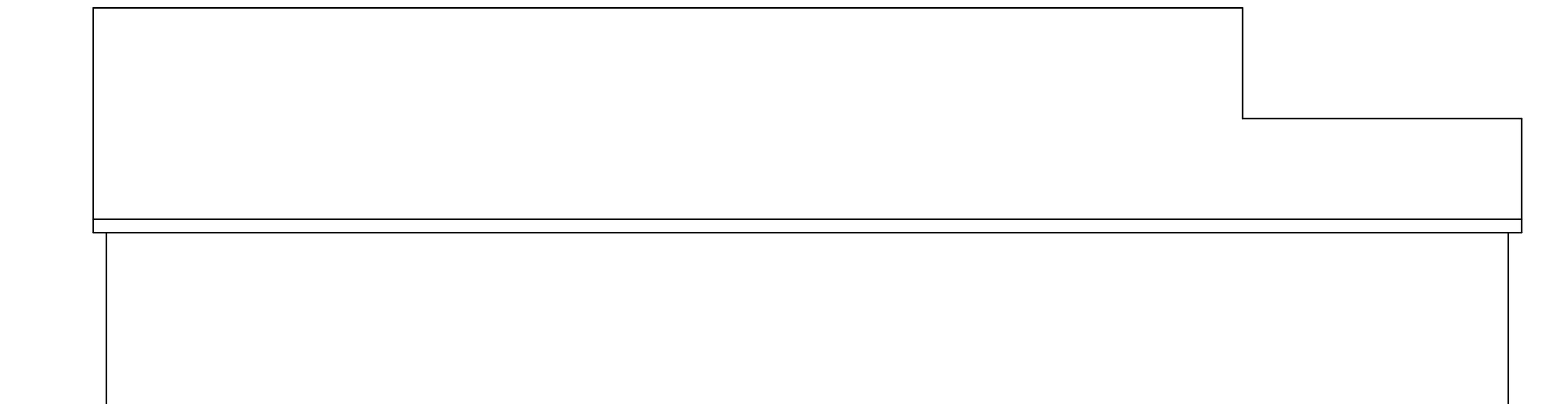
DRAWN	DAVID
CHECKED	
SCALE	SHOWN

DATE	REV #	ISSUED FOR
03/29/18		PLAN REVIEW

PROJECT #	16920
-----------	-------

SHEET NO.

A3



WEST ELEVATION @ $\frac{1}{4}'' = 1'-0''$

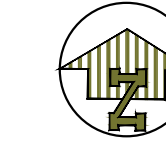
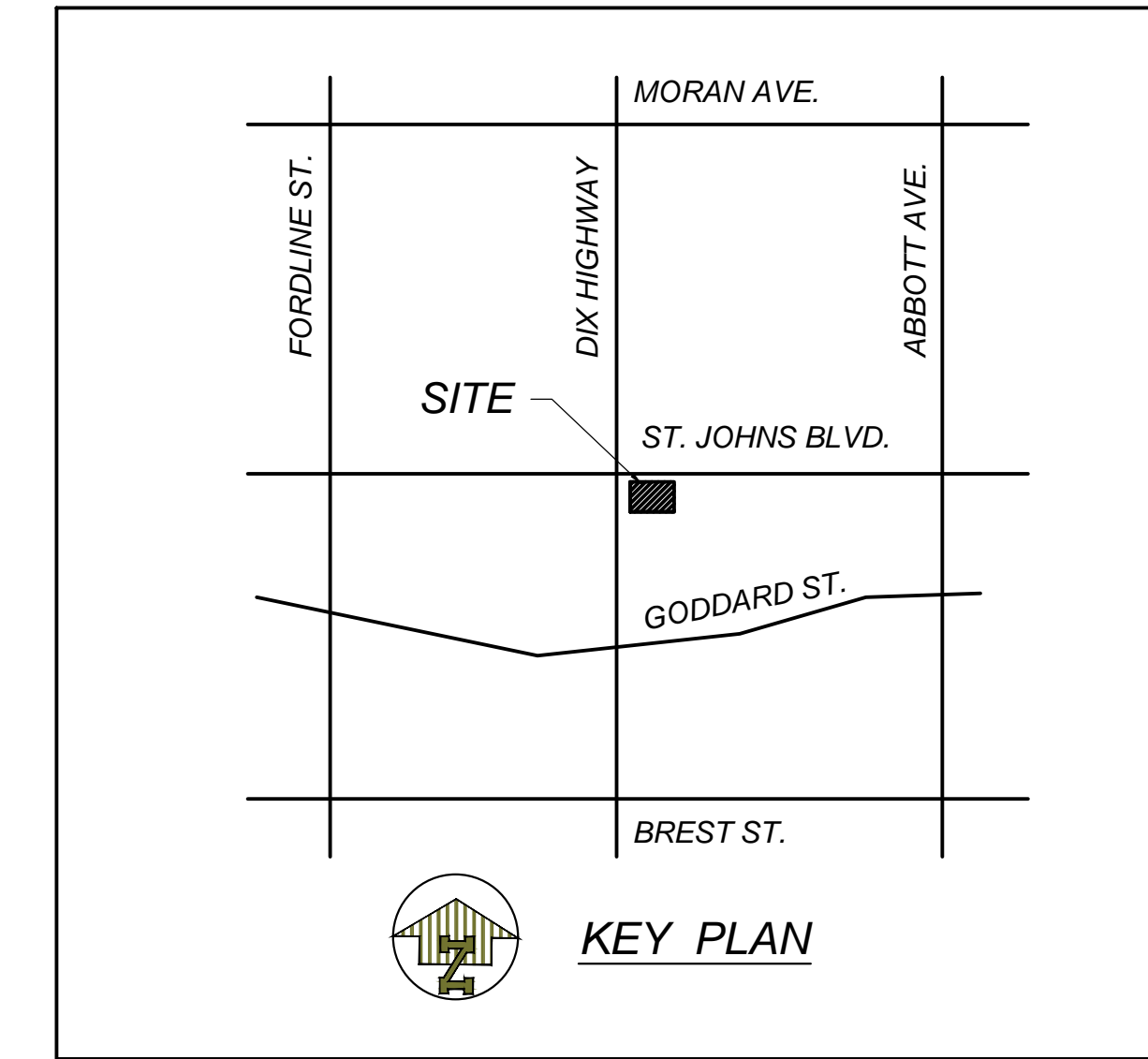
QUALITY AUTO WASH 4057 DIX HIGHWAY LINCOLN PARK, MI

INDEX:

- SHT. SP1 EXISTING SITE PLAN
- SHT. A1 EXISTING FLOOR PLAN
- SHT. A2 EX. NORTH, SOUTH, EAST ELEVATIONS
- SHT. A3 EXISTING WEST ELEVATION

OWNER:

ODELL LECHEVALIER
11681 SYCAMORE
PLYMOUTH, MI 48170
PHONE: 734-620-8225



KEY PLAN

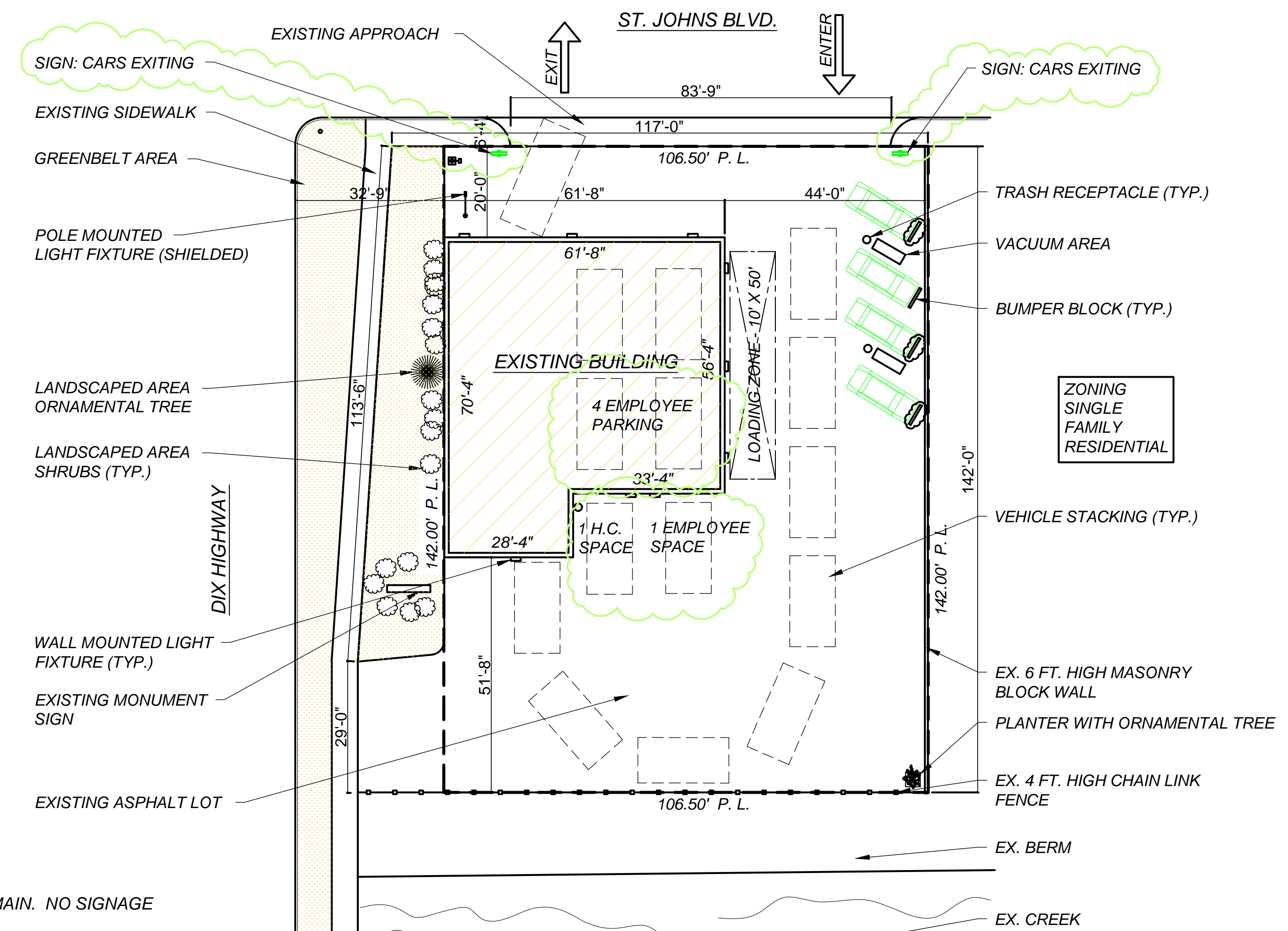
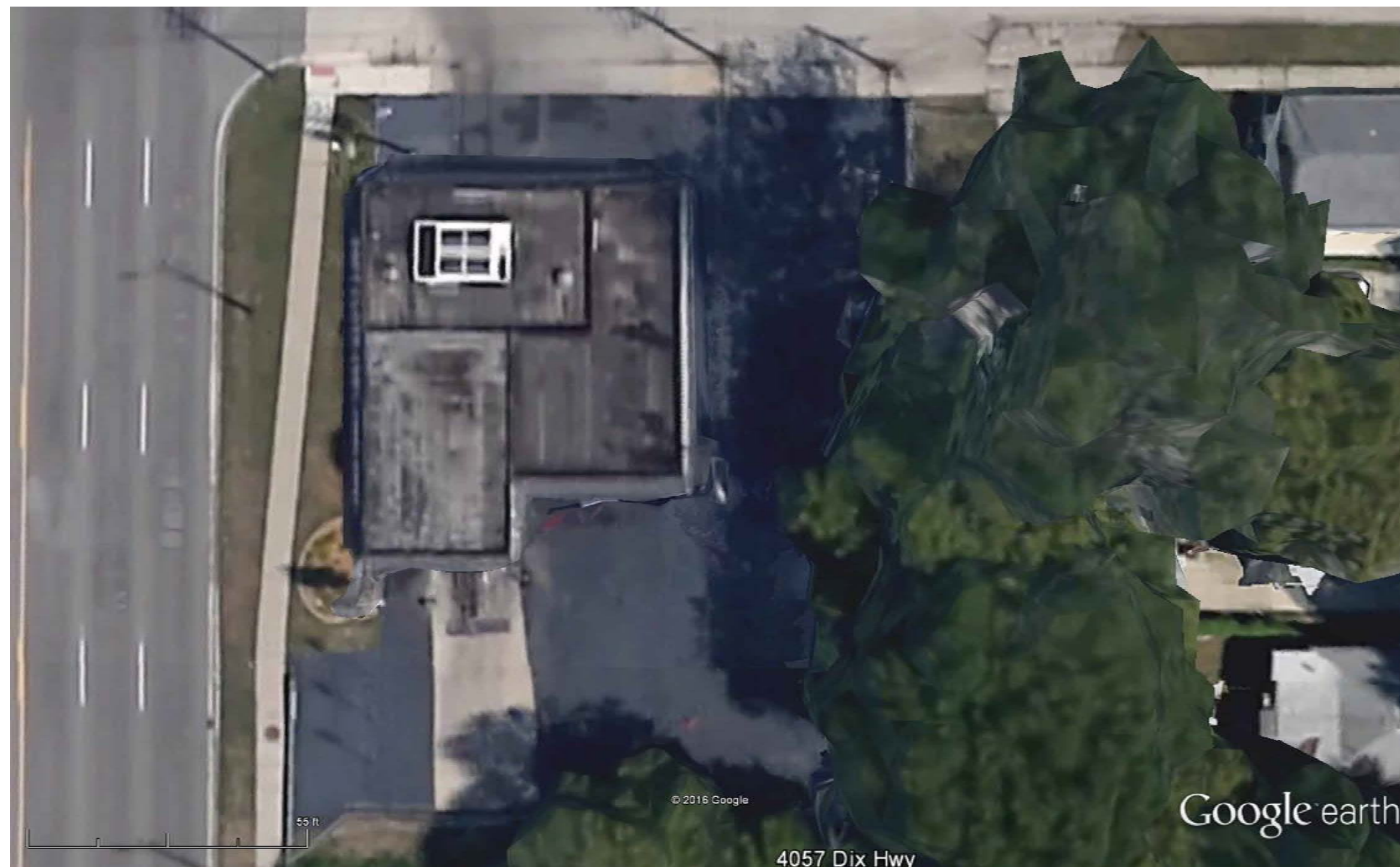
DATA:

- GROSS SITE AREA = 19,155 SQ. FT.
- EXISTING BUILDING = 3,871 SQ. FT.
- USE GROUP = GROUP B
- CONSTRUCTION TYPE = IIB
- ZONING = MUNICIPAL BUSINESS DISTRICT
- PARKING REQ'D. = 2 PLUS, 1 FOR EACH EMPLOYEE & MANAGER PLUS, 16 STACKING LANE PLUS 1 EXITING PLUS, 2 DETAILING = 24 TOTAL
- PARKING PROVIDED = 22 TOTAL
- MICHIGAN BUILDING CODE 2015

LEGAL DESCRIPTION:

QM96A 113A TO 119A N 142 FT. OF LOT 96 AND ADJ VAC ALLEY
16 FT. WD ALSO LOTS 113 TO 119 EXC WLY PT MEAS 49.36 FT.
ON N LINE AND 52.91 FT. ON S LINE DIX AVENUE MANOR NO. 1
SUB PC 116 L47 P38 WCR.

PARCEL ID: # 82 45 022 05 0096 001

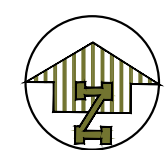


NOTES:

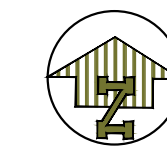
1. EXISTING SIGNAGE TO REMAIN. NO SIGNAGE TO BE PROPOSED.
2. ALL EXISTING SCREENING, WALLS AND FENCING TO REMAIN. NO CHANGE TO EXISTING.
3. TOTAL LANDSCAPE AREA IS 1,710 SQ. FT.

PLEASE NOTE:

QUALITY AUTO WASH IS AN EXISTING STRUCTURE.
THERE IS NO FURTHER DEVELOPMENT REQUIRED
FOR THIS SITE.

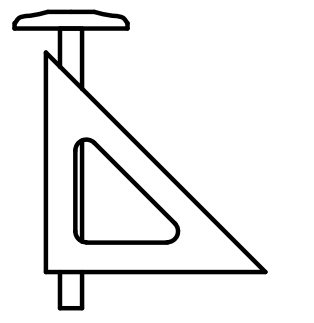


AERIAL VIEW



EXISTING SITE PLAN @ SCALE 1" = 20' - 0"

PLEASE DO NOT
SCALE DRAWINGS



SKETCH DESIGN GROUP
26520 GRAND RIVER
STE. 101
REDFORD, MI 48240
(248)-890-3036
Email: sketchtimedesign@gmail.com

HARVARD ENGINEERING
28947 GLENBROOK
FARMINGTON HILLS, MI 48331
PHONE: 504-376-6498

ARCHITECT / ENGINEER SEAL:

QUALITY AUTO WASH
4057 DIX HIGHWAY
LINCOLN PARK, MI

DRAWN	DAVID
CHECKED	
SCALE	SHOWN

DATE	REV #	ISSUED FOR
08/29/17		PLAN REVIEW
12/11/17	1	REVISION
01/05/18	2	REVISION
02/09/18	3	REVISION
03/29/18	4	REVISION

PROJECT # 16920

SHEET NO.

SP1

ALL DRAWINGS AND WRITTEN MATERIAL CONTAINED WITHIN THESE DOCUMENTS ARE THE SOLE PROPERTY OF RELIABLE LANDSCAPING, INC., AND ANY REPRODUCTION OR USE WITHOUT PERMISSION IS STRICTLY PROHIBITED. COPYRIGHT 2018. THE CONTRACTOR IS NOT RESPONSIBLE FOR ACTS OF NATURE NOR DAMAGES BY OTHERS. IF ANY CONDITIONS BEYOND THE CONTROL OF THE CONTRACTOR SHOULD OCCUR, THE MATERIALS AFFECTED WILL NO LONGER BE COVERED BY THE WARRANTY.

ST JOHNS BLVD

THIS DRAWING IS
CONCEPTUAL

SLIGHT FIELD CHANGES MAY
BE NECESSARY TO FIT
EXACT SITE CONDITIONS.

PLANT KEY

- TREES
FC FLOWERING CRABAPPLE (2-2.5")
- SHRUBS
DBB DWF BURNING BUSH (24-30")
GMC 'GOLD MOP' CYPRESS (5 GAL)
- PERENNIALS
OGP ORNAMENTAL GRASS 'PORCUPINE' (3 GAL)

NOTES

- BEDS AND TREES TO BE MULCHED WITH 4" COLORED WOOD MULCH.
- NATURAL EDGE ON PLANT BED AND AROUND TREE RINGS.
- REPAIR ALL DISTURBED LAWN AREAS WITH 3" TOPSOIL AND SUNNY SEED MIX.

ENTRANCE

EXIT

EXISTING BUILDING

ENTRANCE

PAVED DRIVE & PARKING

EX. CHAINLINK FENCE

EX. SIGN
(TO REMAIN)

EXISTING LAWN
(TO REMAIN)

EXISTING SHRUBS
(TO REMAIN)

2 - FC

BED AREA =
520 SQ FT

3 - DBB

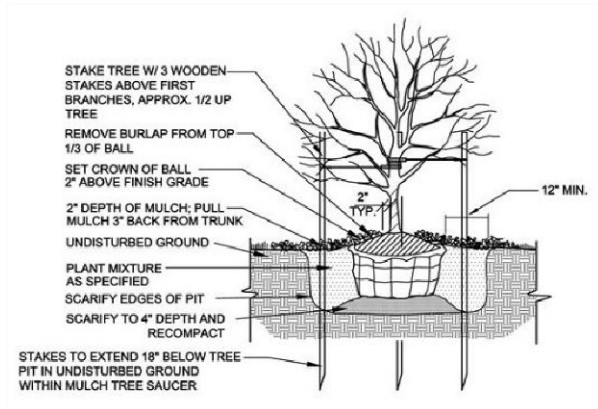
3 - GMC

DIX HWY

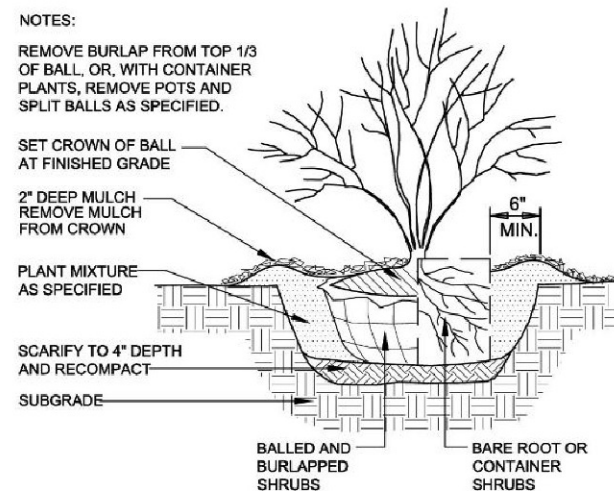
3 - OGP

EX. WALK

EX. WALK



Detail - Tree Planting



Detail - Shrub Planting



Quality Auto Wash

4057 Dix Hwy
Lincoln Park, MI

Odell Lechevalier
734-620-8225

Lighting Key

- Spot Light
- Path Light
- Flood Light
- Step / Wall Light



"Quality Not Only On The Surface"

Reliable Landscaping, Inc.

"Quality Not Only On The Surface."
8285 N. Lilley Road Canton, MI 48187

Phone: 734-455-3220 Fax: 734-455-2149
Email: RELIABLELANDSCAPING@MSN.COM

Issued By:
Jim Hubbard
734-368-3393
Issued:
3-28-2018 Design

Sheet #

L-1

Sheet 1 / 1

1. Name of car wash - Quality Auto Wash
2. Number of employees - 2
3. Hours of operation - 8 am - 7 pm - 7 days a week
4. Company vehicles - 0
5. Two months to complete project .

Regarding section 2 - Site Data

1. Exterior lighting are all wall packs that shine down to the parking lot. Does not shine off the site.
2. Trash receptacle will in the storage area and will be picked up by city. All receptacles are closed ontainers.
3. No transformer pad, the transformer is in the air on a pole.
4. 5 - parking spaces for employee parking, dimensions 20 x 7 feet made of asphalt. (Indicated on drawing.)
5. See drawing for lanscape details.
6. Fire lane is long building on parking lot. Will be designated as a no parking area.
7. Loading and unloading area -See drawing.
8. Off street waiting spaces - See drawing.
9. Building floor plans -See drawing.
10. Using existing sign, was already approved by other inspector.
11. Proposed fences and walls - see drawing.
12. Area for loading/unloading of substances - see drawing.

Case No. PPC17-0007

Date Submitted 8/31/17

City of Lincoln Park
APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan Review by the Planning Commission must be submitted to the City in *substantially complete form* at least thirty (30) days prior to the Planning Commission meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: ODEN LE CHEVALIER

Mailing Address: 11681 SYCAMORE
PLY MI 48170

Email Address: O LE CHEVALIER @ MSN.COM

Telephone: 734 6208225 Fax: 734 4164261

Property Owner(s) (if different from Applicant): _____

Mailing Address: _____

Telephone: _____ Fax: _____

Applicant's Legal Interest in Property: OWNER

Location of Property: Street Address: 4057 DIX

Nearest Cross Streets: MORAN

Sidwell Number: _____

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

Property Size (Square Ft): 5000 19 155 SQ FT (Acres): _____

Existing Zoning (please check):

- | | |
|--|--|
| <input type="checkbox"/> SFRD Single Family Residential District | <input type="checkbox"/> RBD Regional Business District |
| <input type="checkbox"/> MFRD Multiple Family Residential District | <input type="checkbox"/> CBD Central Business District |
| <input type="checkbox"/> MHRD Mobile Home Park District | <input type="checkbox"/> GID General Industrial District |
| <input type="checkbox"/> NBD Neighborhood Business District | <input type="checkbox"/> LID Light Industrial District |
| <input type="checkbox"/> MBD Municipal Business District | <input type="checkbox"/> CSD Community Service District |
| <input type="checkbox"/> PUD Planned Unit Development District | |

Present Use of Property: CAR WASH

Proposed Use of Property: CAR WASH

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial			
Industrial			
Other	<u>CAR WASH</u>		

Professionals Who Prepared Plans:

A. Name: HARVARD ENG
 Mailing Address: 28947 CLEMBROOK
FARMINGTON MI 48331
 Email Address: _____
 Telephone: 504-376-6498 Fax: _____ Primary Design Responsibility: _____

B. Name: _____
 Mailing Address: _____
 Email Address: _____
 Telephone: _____ Fax: _____ Primary Design Responsibility: _____

C. Name: _____
 Mailing Address: _____
 Email Address: _____
 Telephone: _____ Fax: _____ Primary Design Responsibility: _____

ATTACH THE FOLLOWING:


1. Six (6) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner.
2. A brief written description of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:
 - G Wayne County Road Commission G Wayne County Drain Commission
 - G Wayne County Health Division G Michigan Department of Natural Resources
 - G Michigan Department of Transportation G Michigan Department of Environmental Quality

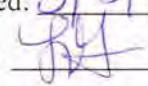
PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

APPLICANT=S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

 _____ Signature of Applicant	_____ 8/28/17 _____ Date
_____ Signature of Applicant	_____ Date
_____ Signature of Property Owner Authorizing this Application	_____ Date

TO BE COMPLETED BY THE CITY		Case No. <u>PPC17-0007</u>
Date Submitted: <u>8/31/17</u>	Fee Paid: <u>3150</u>	^{300 ADMIN} ^{2250 ESCROW} ^{600 PUBLIC HEARING}
Received By: 	Date of Public Hearing: _____	
PLANNING COMMISSION ACTION		
Approved: _____	Denied: _____	Date of Action: _____

Case No. APC17-0007
Date Submitted 8/31/17

City of Lincoln Park
APPLICATION FOR SPECIAL USE APPROVAL

NOTICE TO APPLICANT: Applications for Special Use review by the Planning Commission must be submitted to the City *in substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by six (6) individual folded copies of the site plan, plus the required review fees. Regular meetings of the Planning Commission are held on the first Tuesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

Special Uses shall comply with the standards in Section 1262.08 of the Zoning Ordinance. Accordingly, a public hearing shall be held by the Planning Commission before a decision is made on any Special Use request. Furthermore, a site plan shall be required, which shall be prepared in accordance with Section 1294.01 of the Ordinance.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned do hereby respectfully request Special Use Review and provide the following information to assist in the review:

Applicant: ODELL LE CHEVALIER

Mailing Address: OLECHEVALIER @ MSN.COM
11681 SYCAMORE PLYMOUTH MI 48170

Email Address: OLECHEVALIER @ MSN.COM

Telephone: 734 4208225 Fax: 734 4164261

Property Owner(s) (if different from Applicant): 4057 DIX

Mailing Address: _____

Telephone: _____ Fax: _____

Applicant's Legal Interest in Property: OWNER

Location of Property: Street Address: 4057 DIX

Nearest Cross Streets: MORAN

Sidwell Number: 45-022-05-0096-001

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., "acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

Property Size (Square Ft): 19155 SQ (Acres): _____

Present Use of Property: CAR WASH

Proposed Use of Property: CAR WASH

Existing Zoning (please check):

- | | |
|--|--|
| <input type="checkbox"/> SFRD Single Family Residential District | <input type="checkbox"/> RBD Regional Business District |
| <input type="checkbox"/> MFRD Multiple Family Residential District | <input type="checkbox"/> CBD Central Business District |
| <input type="checkbox"/> MHRD Mobile Home Park District | <input type="checkbox"/> GID General Industrial District |
| <input type="checkbox"/> NBD Neighborhood Business District | <input type="checkbox"/> LID Light Industrial District |
| <input type="checkbox"/> MBD Municipal Business District | <input type="checkbox"/> CSD Community Service District |
| <input type="checkbox"/> PUD Planned Unit Development District | |

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial			
Industrial			
Other			

ATTACH THE FOLLOWING:

1. Six (6) individually folded copies of the site plan, sealed by a registered architect, engineer, landscape architect or community planner.
2. Proof of property ownership.
3. A brief written description of the proposed use.

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this application.

Signature of Applicant *[Handwritten Signature]* Date 8/28/17

Signature of Applicant _____ Date _____

Signature of Property Owner Authorizing this Application _____ Date _____

To be completed by City:
 Date Submitted: 8/31/17 Fee Paid: 3150
 Received By: [Signature] Date of Public Hearing: _____

PLANNING COMMISSION ACTION (RECOMMENDATION)
 To Approve: _____ To Deny: _____ Date of Action: _____
 Reasons for Action Taken: _____

CITY COUNCIL ACTION
 Approved: _____ Denied: _____ Date of Action: _____
 Reasons for Action Taken: _____