



**LINCOLN PARK PLANNING COMMISSION**  
CITY HALL – COUNCIL CHAMBERS 1355 SOUTHFIELD ROAD  
LINCOLN PARK, MICHIGAN

**November 14, 2018 at 7:00 p.m.**

## **AGENDA**

- I. Call to Order**
- II. Pledge of Allegiance**
- III. Roll Call**
- IV. Approval of Previous Minutes**
- V. Approval of Agenda**
- VI. Old Business**
  - A. Public Hearing: 2115 Fort St (White Castle) – Proposed rezoning from PUD to CBD
  - B. Rezoning: 2115 Fort St (White Castle) from PUD to CBD
  - C. Public Hearing: Proposed text amendments to §1290.01, Off-Street Parking
  - D. Zoning text amendment: Proposed minor modifications to §1290.01, Off-Street Parking
- VII. New Business**
  - A. Site Plan Review: 2041 Fort Street (Medical Office)
  - B. Site Plan Review: 4089 Dix (Shopping Center)
- VIII. Policy Review and Discussion**
  - A. Annual Review of the Development Review Process: Redevelopment Ready Communities
- IX. Reports from Department and Other Boards and Commissions**
- X. Public Comments**
- XI. Comments from Planning Commissioners**
- XII. Adjournment**

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The City of Lincoln Park will provide necessary reasonable auxiliary aides and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park MI 48146; 313-386-1800 ext. 1296

**CITY OF LINCOLN PARK  
COUNTY OF WAYNE, STATE OF MICHIGAN  
PLANNING COMMISSION MEETING OF OCTOBER 10, 2018**

A Planning Commission meeting of October 10, 2018, held at the City of Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan.

1. **MEETING CALLED TO ORDER:**
  - a. The meeting was called to order at 7:00 P.M.
  
2. **PLEDGE OF ALLEGIANCE:**
  
3. **ROLL CALL OF OFFICERS:**  
**PRESENT:** Kelsey, Palmer, Horvath  
**ABSENT:** Briones, Kissel, Graczyk  
**EXCUSED:** Medina  
**ALSO PRESENT:** Leah DuMouchel, John Meyers

**Meeting adjourned at 7:08 PM, No Quorum**

4. **APPROVAL OF MINUTES**
  
5. **APPROVAL OF AGENDA**
  
6. **UNFINISHED BUISNESS:**
  
7. **NEW BUISNESS**
  
8. **POLICY REVIEW AND DISCUSSION**
  
9. **REPORTS FROM DEPARTMENTS AND OTHER BOARDS AND COMMISSIONS**  
None
  
10. **PUBLIC COMMENTS**
  
11. **COMMENTS FROM PLANNING COMMISSIONERS**
  
12. **ADJOURNMENT**

**CITY OF LINCOLN PARK  
COUNTY OF WAYNE, STATE OF MICHIGAN  
PLANNING COMMISSION MEETING OF OCTOBER 17, 2018**

A Special Planning Commission meeting of October 17, 2018, held at the City of Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan.

**1. MEETING CALLED TO ORDER:**

- a. The meeting was called to order at 6:00 P.M.

**2. PLEDGE OF ALLEGIANCE:**

**3. ROLL CALL OF OFFICERS:**

**PRESENT:** Palmer, Horvath, Kissel, Graczyk, Medina

**ABSENT:**

**EXCUSED:** Briones, Kelsey

**ALSO PRESENT:** Leah DuMouchel, John Meyers, Counsel Leavitt, Councilwoman Lillian Ross

**4. APPROVAL OF MINUTES**

A. August 29, 2018

Motion by Horvath to approve minutes as written, support by Medina

Motion carried unanimously

**5. APPROVAL OF AGENDA**

Approved as presented

**6. UNFINISHED BUISNESS:**

**A. Site Plan Review: 3528 Fort St. – Tire Mall**

To reconsider a proposed site plan to open an automotive service station (tire mall) at 3563 Fort St.

Whereas the Lincoln Park Planning Commission considered a proposed site plan for an Automotive Service Station (Tire Mall) at 3563 Fort Street at its regular meeting on July 11, 2018;

Whereas the proposed Automotive Service Station (Tire Mall) was most recently used as an Automotive Service Station (McCormack Tire);

Whereas the proposed Automotive Service Station is located within 5,000 feet of an existing automotive fueling station, service station, or repair center;

Whereas §1294.14 of the Lincoln Park Zoning Code states that a proposed automotive fueling station, service station or repair center shall have a 5,000-foot setback from an existing automotive fueling station, service station or repair center, measured from the outermost boundaries of the lot or parcel;

Whereas §1294.14 of the Lincoln Park Zoning Code further states that the Planning Commission

may reduce or waive the setback standards of this section in cases where a new Automotive Service Station is proposed on a site that was previously a nonconforming Automotive Service Station, provided they determine that no good purpose would be served by upholding the minimum standards; Whereas a motion duly presented by the Planning Commission to waive the setback standard failed upon a roll call vote;

Whereas the site plan application was subsequently denied based on its failure to meet this setback requirement;

Whereas the applicant appealed to the Zoning Board of Appeal's for a dimensional variance from the 5,000-foot setback; and

Whereas the Zoning Board of Appeals granted said variance at a meeting duly conducted on September 20, 2018,

THEREFORE, IT IS MOVED THAT:

THE CITY OF LINCOLN PARK PLANNING COMMISSION RECONSIDER THE PROPOSED SITE PLAN TO OPEN AN AUTOMOTIVE SERVICE STATION (TIRE MALL) AT 3563 FORT STREET, LINCOLN PARK.

Motion by Grazyck to reconsider proposed site plan, support by Palmer  
Motion carried unanimously

Therefore, it is moved to accept the Site Plan review with conditions listed from Planner Beckett & Raeder to be resolved

Motion by Media to accept site plan with conditions, support by Horvath  
Motion carried unanimously

## **7. NEW BUISNESS**

### **A. Special Land Use: 3528 Fort St. – Tire Mall**

The Public Hearing for the Special Land Use was held on July 11, 2018.

The following conditions are all required to be met before a Special Land Use approval may be granted:

1) The special use will promote the use of land in a socially and economically desirable manner for persons who will use the proposed land use or activity, for landowners and residents who are adjacent thereto and for the City as a whole;

This condition is met

2) The special use is compatible and in accordance with the goals, objectives and policies of the City's Comprehensive Development Plan;

This condition is met

3) The special use is necessary for the public convenience at that location;



This condition is met

4) The special use is compatible with adjacent uses of land, and can be constructed, operated and maintained so as to continue to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed;

This condition is met

The ten (10) criteria for review under Special Land Use have all been met.

5) The special use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected;

This condition is met

6) The special use can be adequately served by public services and facilities without diminishing or adversely affecting public services and facilities to existing land uses in the area;

This condition is met

7) The special use will not cause injury to the value of other property in the neighborhood in which it is to be located;

This condition is met

8) The special use will protect the natural environment, help conserve natural resources and energy, and will not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance;

This condition is met

9) The special use is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located, and meets applicable site design standards for use in Section 1296.02; and

This condition is met

10) The special use is related to the valid exercise of the City's police power and purposes which are affected by the proposed use or activity.

This condition is met

Whereas the applicant has submitted a completed Application for Special Land Use for an Automotive Service Station at 3563 Fort Street;

Whereas the Application for Special Approval was filed simultaneously with an application for site plan review for the subject use;

Whereas the proposed Special Land Use meets each of the 10 conditions prescribed by the Lincoln Park Zoning Code; and

Whereas the Lincoln Park Planning Commission held a duly noticed Public Hearing regarding the Special Land Use on July 11, 2018;

It is recommended that the Lincoln Park Planning Commission approve a special land use for an Automotive Repair Station at the above-referenced address.

Motion by Palmer to approve Special Land Use, support by Grazyck  
Motion carried unanimously

**8. POLICY REVIEW AND DISCUSSION**

**9. REPORTS FROM DEPARTMENTS AND OTHER BOARDS AND COMMISSIONS**

None

**10. PUBLIC COMMENTS**

**11. COMMENTS FROM PLANNING COMMISSIONERS**

**12. ADJOURNMENT**

Motion by Grazyck to adjourn, support by Palmer

Motion carried unanimously  
Meeting adjourned

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Ms. Krystle-Marie Media, Secretary



CITY OF LINCOLN PARK  
COUNTY OF WAYNE, MICHIGAN  
PLANNING COMMISSION RESOLUTION

**RESOLUTION TO RECOMMEND REZONING 2115 FORT ST FROM PUD TO CBD**

Whereas the owners and representatives of the property known as 2115 Fort St. did pursue and receive a zoning designation of Planned Unit Development in conjunction with an approved Site Plan to expand the footprint of the building and implement pedestrian-focused site improvements in late 2016 and early 2017;

Whereas the owners and representatives of the above-referenced property did subsequently submit to the City a revised plan to renovate the building, which omitted both the building expansion and the majority of the pedestrian-focused site improvements;

Whereas the revised plan did not meet the standards for Planned Unit Development;

Whereas the owners and representatives have indicated in writing a preference for reverting the zoning designation in accordance with the procedures of Chapter 1288 of the Lincoln Park Zoning Code, Planned Unit Development; and

Whereas Chapter 1288, Planned Unit Development, specifies that the Planning Commission may initiate proceedings to amend the zoning classification of the site to remove the PUD classification;

THEREFORE BE IT HEREBY RESOLVED AS FOLLOWS:

The City of Lincoln Park Planning Commission recommends to the Lincoln Park City Council that the property commonly known as 2115 Fort St. be rezoned from Planned Unit Development to Central Business District.

Motion by: \_\_\_\_\_

Seconded by: \_\_\_\_\_

**From:** Eilers, Craig  
**To:** [Leah DuMouchel](#)  
**Cc:** "[Brad Brickel](#)"; [Barts, Joe](#); [Hook, Becky](#)  
**Subject:** RE: White Castle, 2115 Fort St - site plan review report advance copy  
**Date:** Wednesday, August 01, 2018 3:32:54 PM  
**Attachments:** [image001.png](#)

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Leah – as discussed, we are going with Option B with the understanding that the current PUD approval will be rescinded and we will submit directly to the Building Department.

I also understand the EIFS material will not be acceptable by the City standards therefore we will revise the building façade to be a brick material and the 60% glazing requirements will not be achievable due to we are not touching the structure of the building.

Thank you for your time this morning.

**Craig G. Eilers | Engineering Project Manager**

White Castle Management Co. | 555 W. Goodale St. | Columbus, Ohio 43215  
P: 614.559.2729 | F: 614.224.1787



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**From:** Brad Brickel [<mailto:BBrickel@nfe-engr.com>]  
**Sent:** Wednesday, August 01, 2018 10:38 AM  
**To:** Eilers, Craig; Barts, Joe; Hook, Becky  
**Subject:** Fwd: White Castle, 2115 Fort St - site plan review report advance copy

Please read and I will call to discuss

Sent from my iPhone 5

Begin forwarded message:

**From:** Leah DuMouchel <[ldumouchel@bria2.com](mailto:ldumouchel@bria2.com)>  
**Date:** August 1, 2018 at 10:22:07 AM EDT  
**To:** Brad Brickel <[BBrickel@nfe-engr.com](mailto:BBrickel@nfe-engr.com)>  
**Cc:** John Meyers <[jmeyers@citylp.com](mailto:jmeyers@citylp.com)>  
**Subject:** RE: White Castle, 2115 Fort St - site plan review report advance copy

Morning, all! Let's sort out the best method to proceed and, if I've misunderstood the intent, get us pointed in the right direction. I've drafted the attached memo to lay out the two regulatory options as clearly as I can, since we're in a little gray area. In brief, they are:

Option A: Preserve the PUD, revise the site plan to improve pedestrian access and

safety in addition to addressing the façade requirements, be allowed to expand or rearrange the site in the future, the meeting is still on for next week

Option B: Revert to legal nonconforming status, revise the plan to address the façade requirements but leave the site configuration alone, be prohibited from expanding or rearranging the site in the future (and understand that the use is considered “discouraged” at that site), cancel the meeting appearance and go directly through the Building Department

Brad, I know this may be a big question to answer swiftly, and I apologize for what looks now like my previous failure to grasp the specific intent of this change. Please do keep me apprised of your conversation with White Castle and let me know how I can facilitate the next step. I will be on the road this afternoon but available by email. Thank you!

Leah DuMouchel, AICP  
Senior Associate

## **Beckett&Raeder, Inc.**

*Making Great Places for over 50 Years*

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**From:** Brad Brickel <[BBrickel@nfe-engr.com](mailto:BBrickel@nfe-engr.com)>

**Sent:** Tuesday, July 31, 2018 6:13 PM

**To:** Leah DuMouchel <[ldumouchel@bria2.com](mailto:ldumouchel@bria2.com)>

**Cc:** John Meyers <[jmeyers@citylp.com](mailto:jmeyers@citylp.com)>

**Subject:** RE: White Castle, 2115 Fort St - site plan review report advance copy

The building façade is being updated and the sidewalks around the building for ADA compliance. We are updating the Landscaping as much as possible.

The footprint and site circulation is the same. To completely redo the site would kill the project due to Wayne County especially.

**Brad W. Brickel, PE**

Senior Associate

**Nowak & Fraus Engineers**

46777 Woodward Avenue

Pontiac, Michigan 48342

T: 248.332.7931

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CITY OF LINCOLN PARK  
COUNTY OF WAYNE, MICHIGAN  
PLANNING COMMISSION RESOLUTION

**RESOLUTION TO RECOMMEND MINOR TEXT CHANGES TO OFF-STREET PARKING EXEMPTIONS IN  
CHAPTER 1290 OF THE LINCOLN PARK ZONING CODE**

Whereas §1290.01(m) of the Lincoln Park Zoning Code describes six areas which are exempt from parking requirements due to their proximity to shared municipal parking facilities;

Whereas these areas have been recently mapped by the City for use in administering the Code;

Whereas during the research and mapping process, several minor text inconsistencies were identified; and

Whereas the minor amendments proposed in the memo titled "Off-Street Parking Exemptions: Proposed Changes" dated July 11, 2018, resolve the inconsistencies and reflect changes which have occurred to the lots, plats, or physical property;

THEREFORE BE IT HEREBY RESOLVED AS FOLLOWS:

The City of Lincoln Park Planning Commission recommends to the Lincoln Park City Council adopt the minor amendments proposed in the memo titled "Off-Street Parking Exemptions: Proposed Changes" dated July 11, 2018.

Motion by: \_\_\_\_\_

Seconded by: \_\_\_\_\_

City of Lincoln Park Planning and Development

## Off-Street Parking Exemptions: Proposed Changes

*July 11, 2018*

§1290.01(m) of the Lincoln Park Zoning Code describes six areas which are exempt from parking requirements due to their proximity to shared municipal parking facilities. However, the descriptions provided use plat and lot numbers to identify the parcels, and Beckett & Raeder, Inc. has been unable to locate an existing spatial representation of the exempt areas to use in applying the ordinance. Therefore, the team used the plat book and existing spatial information to correlate the plat and lot numbers with the parcels as they are defined in the City today, and to generate a GIS layer showing the exempt parcels.

In the course of this research, a few text changes were identified as required to either correct inaccurate information, or to align the ordinance with current conditions in the City. These changes are presented here.

- (m) Exemptions. All uses located within designated areas containing Municipal off-street parking facilities are exempt from the requirements in this chapter. Exempt parking areas containing such Municipal off-street parking facilities are shown on an illustration entitled “Exempt Parking Areas,” on file in the office of the City Clerk, and more specifically described as follows:
- (1) Area A includes all land within an area from a point of beginning at the centerline of Southfield Road and West Electric Avenue ~~northwest~~**northeast** to the centerline of O'Connor Avenue; thence northwest to the centerline of Fort Street; thence northeast to the centerline of Euclid Avenue; thence northwest approximately two-hundred (200) feet to the centerline of the alley; thence southwest to the centerline of O'Connor Avenue; thence northwest to the alley located approximately three-hundred twenty-five (325) feet from the centerline of Fort Street; thence southwest to the southerly line of Lot 65 of Elmwood Park Subdivision; thence westerly along such line to the centerline of Fort Park Boulevard; thence southwest to the centerline of Southfield Road; thence east-southeast to the point of beginning.
  - (2) Area B includes the land area formed by Lots 96 through 100, the ~~easterly twenty nine (29) feet of alley~~ **northeast of** Lot 112 and Lot 113 in the Lincoln Park Subdivision No. 1; and Lots 116 through 118 ~~and Lot 126~~ in the Main Fort Street Subdivision No. 2.
  - (3) Area C includes the land area formed by Lots 7 through 12 and Lots 52 through 117 of the Elmwood Manor Subdivision.
  - (4) Area D includes the land area formed by Lots 257 through 275 of the Washington Park Subdivision; Lots 231 through 234, Lots 292 through 295 and Lots 315 through 327 of the Parkhurst No. 1 Subdivision, including the vacated abutting street; and that portion of Chandler Avenue having been vacated south of London Avenue.
  - (5) Area E includes the land area formed by Lots 44 through 50 of the Frederick-Roberts-McKenney Realty Company's Subdivision; Lots 43 through 49 of the Homeville Subdivision; Lots 46 through 52 of the Robinwood Subdivision; and the ~~properties~~ **alley and adjacent parking area** north of such described properties for an ~~approximate~~ distance of forty ~~nine~~**five** (4**9**5) feet ~~more or less from the edge of the parcel line~~.





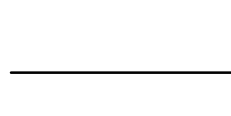
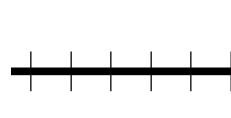


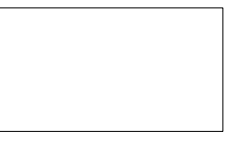




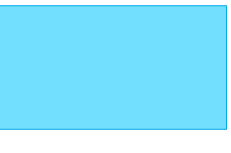

- (6) Area F includes the land area at the point of beginning along Euclid Avenue one-hundred forty-three (143) feet; thence southwest seven-hundred ninety-five (795) feet more or less to the southerly boundary line of Quandt Park; thence ninety (90) degrees southeast to the centerline of Dix Avenue; thence northeast along the centerline of Dix Avenue to the point of beginning.

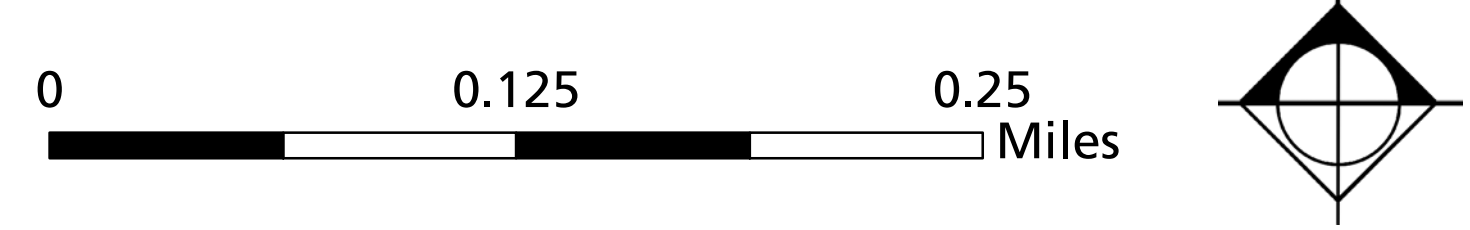




# CITY OF LINCOLN PARK Exempt Parking Areas

Data Sources: State of Michigan Geographic Data Library, City of Lincoln Park, Wayne County GIS

-  Lincoln Park Boundary
-  State Roads
-  All Roads
-  Railroads
-  Municipalities
-  City-Owned Parking Lots
-  Parcel Boundaries
- Exempt Parking Areas:**
-  Area A
-  Area B
-  Area C
-  Area D
-  Area E
-  Area F





2041 Fort Street – Medical Clinic

## Site Plan Review

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Applicant	Aminatou Salam-Edu
Project	Medical Clinic
Address	2041 Fort Street, Lincoln Park, MI 48146
Date	November 14, 2018
Request	Site Plan Review
Recommendation	Approve with conditions

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### GENERAL

*All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).*

### Project and Site Description



The applicant proposes a new outpatient medical sub-speciality office in a former Chase Bank Branch building. The proposed medical clinic specializes in the interventional treatment of chronic pain that will serve downriver residents. The use fits within the definition of Medical offices in the Lincoln Park Zoning Code.

#### *Site conditions*

The site is located on Fort St. approximately 86 ft away from the intersection of Fort St. and Southfield Rd. The property is served by a sidewalk on Fort St. and by McKinley St. from the east. The site is 14,745 sq ft; the building of 2,850 sq ft is on the east end of the lot on Fort St. and has a private parking lot on the north and east of the lot.

Figure 1: Aerial View

**Master Plan**

*Future Land Use Classification*

The parcel is designated Downtown Commercial on the Future Land Use Map (FLUM), 2007 Lincoln Park Comprehensive Development Plan.

*Intent; Desirable Uses and Elements*

The Downtown Commercial land use category, described in 2007 Lincoln Park Comprehensive Plan, does not specifically identify medical uses as desirable. The building is placed at the lot line, and parking is located on the sides and at the back of the building.

“The commercial heart of the City is found in the **Downtown Commercial** land use category. Restaurants, entertainment venues, and specialty retail stores should be the focus of this district. Businesses should welcome pedestrian traffic with attractive storefronts and outdoor seating. Parking for automobiles is ideally located on the street, behind buildings (shared parking lots), or in parking structures. Building in the downtown should project a strong ‘street presence,’ with heights of two to three stories, detailed architecture, durable building materials, and minimal or zero front and side setbacks. The Downtown Commercial area includes a mix of land uses, including ground- floor retail and upper-floor office and residential uses, governed by specific design criteria to ensure compatibility.”

**Land Use and Zoning**

*Zoning*

The Zoning classification on the property is Central Business District. Medical offices, including offices of doctors, dentists and similar or allied professions with up to ten-thousand (10,000) square feet of gross floor area is a principal permitted use in the Central Business District.

*Proposed and Existing Uses*

<b>Site</b>	Medical Clinic – Central Business District
<b>North</b>	Motor City Graphix, two-story building – Central Business District
<b>East</b>	Fort St, ROW – Central Business District
<b>South</b>	Islamic Center of Lincoln Park, two-story building - Central Buisness District
<b>West</b>	Mckinely St, ROW - Central Business District



Figure 3: Zoning Map

**Dimensional Standards**

The dimensional requirements of the RBD district are described in the chart below. (§1294.32, except where noted.)

	Required	Provided	Compliance
Lot Width	Min. 30 ft.	160 ft	MET
Street Frontage (§1294.09)	Shrubbery and low retaining walls 2 ½' < height < 8'	The lot is not a corner lot.	N/A
Lot Area	Min. 3,000 sq. ft.	14,745 sq ft	MET
Lot Coverage	Max. 100%	17.5%	MET
Height	Max. 3 story building, 40 ft	One-story building, 14 ft	MET
Setback – Front	0	7.5 ft	MET
Setback – Sides	0	43 ft east / 44.33 ft west	MET
Setback – Rear	0	43 ft	MET

Items to be addressed



None

**BUILDING DESIGN**

*The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.*

The proposed development is within the Central Business District, and therefore subject to the development standards of §1280.05 in addition to those in §1296.14

§1296.04, Required	Compliance
<ul style="list-style-type: none"> <li>Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500”.</li> </ul>	MET

<b>§1296.04, Required</b>		<b>Compliance</b>
<ul style="list-style-type: none"> <li>Architectural variety</li> <li>Similar materials and entrances to buildings within 500'</li> </ul>	 <p style="text-align: right;">Looking East</p>  <p style="text-align: right;">Looking West</p>	<p><b>MET</b></p>
<ul style="list-style-type: none"> <li>Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW); 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly-reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block) <i>Percentage is not provided, the estimated percentage of required materials, listed below in details, for façade facing Fort St is 17% (not met), and for façade facing McKinley is 81% (met)</i></li> <li>Natural colors (bright for decorative features only) <i>This condition is met</i></li> </ul>		<p><b>NOT MET</b></p>
<ul style="list-style-type: none"> <li>Façade: &lt;100' uninterrupted <i>Uninterrupted length is approximately 61 ft.</i></li> <li>If &gt;100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches <i>Not applicable</i></li> <li>All sides similar <i>This condition is met</i></li> </ul>		<p><b>MET</b></p>
<ul style="list-style-type: none"> <li>Windows: vertical, recessed, visually-obvious sills. <i>This condition is met.</i></li> <li>Spaces between windows = columns, mullions, or material found elsewhere on the façade. <i>This condition is met.</i></li> <li>Front facades &gt; 25% windows. <i>Percentage is not provided, Fort St. estimated percentage is 55% (met), and McKinley St. estimated percentage is 16% (not met)</i></li> <li>Size, shape, orientation, spacing to match buildings within 500' <i>This condition is met.</i></li> </ul>		<p><b>NOT MET</b></p>

§1296.04, Required	Compliance
<ul style="list-style-type: none"> <li>Main entrances: doors larger <i>This condition is met</i></li> <li>Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls). <i>This condition is met.</i></li> </ul>	MET
<ul style="list-style-type: none"> <li>Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 <i>Not applicable.</i></li> <li>Rooflines &gt;100' = roof forms, parapets, cornice lines <i>Not applicable</i></li> <li>Roof-top mechanical equipment screened by roof form. <i>This condition is met.</i></li> </ul>	MET

1280.05, Required	Compliance
<ul style="list-style-type: none"> <li>Building Entrances. All buildings shall have at least one public entrance that faces the street. Rear entrances are permitted only if there is a primary entrance from the main street. Doors measuring seven (7) and eight (8) feet high are strongly suggested. Doors measuring six (6) feet, eight (8) inches high shall have a glass transom with a minimum height of twelve (12) inches. <i>This condition is met.</i></li> <li>First floor: minimum sixty percent (60%) of facade, seventy percent (70%) maximum covered with transparent glass. Glazing on first floor (retail space) to occur between two (2) feet, six (6) inches (minimum) and eight (8) feet (maximum) above sidewalk. <i>McKinley façade = 16%; not met</i> <i>Fort St façade = 55%; not met</i></li> <li>Vertical window orientation shall have a ratio of one (1) wide to two (2) high minimum and shall be consistent with adjacent buildings. Each shutter to be mounted on either side of a window shall be equal to one-half (½) of the width and one (1) times the height. <i>This condition is met.</i></li> </ul>	NOT MET
<ul style="list-style-type: none"> <li>Building materials. Buildings are to be constructed from permanent materials that will weather handsomely over time, such as brick, stone, masonry, or other natural materials. Buildings with multiple storefronts shall be unified through the use of architecturally compatible materials, colors, details, awnings, signage, and lighting fixtures. <i>Brick building generally comes close to meeting the 75% standard for natural, durable materials, with the exception of the Fort St. façade. Unidentified "curtain wall" material comprises 44% of that façade, and this issue should be addressed to the Planning Commission's satisfaction before a decision is reached.</i></li> <li>Exterior colors. Exterior colors shall be compatible with the colors on adjacent buildings, subject to review and approval by the Planning Commission. Proposed colors shall be specified on the site plan. Bright or fluorescent colors are prohibited. Samples of building materials and colors are required at the time of site plan review for review and approval of the Planning Commission. Site plan reviews may be tabled for lack of building samples. <i>This condition is met.</i></li> </ul>	NOT MET

1280.05, Required	Compliance
<ul style="list-style-type: none"> <li>Side or Rear Facade Design. Wherever a side or rear facade is visible from a public street, the facade shall be designed to create a pleasing appearance, in accordance with the following design criteria: Materials and architectural features similar to those present on the front of the building shall be used on the side or rear facade. All visibly exposed sides of a building shall have an articulated base course and cornice. The base course shall align with either the kickplate or sill level of the first floor. The cornice shall terminate or cap the top of a building wall, and may project out horizontally from the vertical building wall plane and may be ornamented with moldings, brackets and other details. The middle section of a building may be horizontally divided at the floor, lintel, or sill level with belt or string courses. <i>No base course or cornice are present on the side or rear facades.</i></li> </ul>	NOT MET
<ul style="list-style-type: none"> <li>All awnings must be made from canvas fabric or similar water-proofed material, rather than metal, aluminum, plastic, or rigid fiberglass. <i>No awnings are proposed.</i></li> <li>All awnings shall be attached directly to the building, rather than supported by columns or poles. <i>Not applicable.</i></li> <li>In buildings with multiple storefronts, compatible awnings should be used as a means of unifying the structure. <i>Not applicable</i></li> </ul>	N/A
<ul style="list-style-type: none"> <li>Building Setback. Buildings shall be built at lot lines with no setbacks, or the average setback of other buildings on the block, as determined by the Planning Commission. <i>This condition is met.</i></li> </ul>	MET
<ul style="list-style-type: none"> <li>Building Height. The minimum height of all buildings shall be two (2) stories and twenty-eight (28) feet. Both stories shall contain habitable commercial, office, or residential space. <i>Building is 1 story and approximately 13.5' tall. This condition is not met</i></li> </ul>	NOT MET
<ul style="list-style-type: none"> <li>Building Mass. Buildings located at gateways entering the Central Business District shall mark the transition into and out of the downtown in a distinct fashion, using massing, additional height, contrasting materials and architectural embellishments to obtain this effect. Buildings on corner lots shall be considered more significant structures, since they have at least two (2) front facades visibly exposed to the street. The Planning Commission may require additional height and architectural embellishments, such as corner towers, relating to their location. <i>The building is not at a gateway or on a corner lot</i></li> </ul>	N/A
<ul style="list-style-type: none"> <li>Mechanical Equipment. All air conditioning units, HVAC systems, exhaust pipes or stacks, elevator housing and satellite dishes and other telecommunications receiving devices shall be thoroughly screened from view from the public right-of-way and from adjacent properties, by using walls, fences, roof elements, penthouse-type screening devices or landscaping. <i>This condition is met.</i></li> <li>Fire escapes not permitted <i>This condition is met.</i></li> <li>Solid metal security gates or solid roll-down metal windows shall be prohibited <i>This condition is met.</i></li> </ul>	Met



	Fenestration - Required	Door	Canopy	Steps and Ramp/ Concrete	Elevation Exempt Area	Brick	Glass Screening	Curtain Wall/ Unidentified Mat.	Unidentified Material	Required Material 75%	Accent material 25%
Front Elevation	540	0	0	36.25	576.25	70	162	180	0	412	988.25
	55%	0%	0%	9%	63%	17%	39%	44%	0%	17%	83%
Rear Elevation	182	19.5	52	96	349.5	646.5	78	0	75	799.5	1149
	16%	2%	5%	12%	34%	81%	10%	0%	9%	81%	19%
Right / South Elevation	294	0	7	0	301	195	0	84	0	279	580
	51%	0%	1%	0%	52%	70%	0%	30%	0%	70%	30%
Left / North Elevation	280	0	0	0	280	175.5	84	0	0	259.5	539.5
	52%	0%	0%	0%	52%	68%	32%	0%	0%	68%	32%

Overall, the building lacks compliance with several of the development standards of the Central Business District, and the proposed site plan offers little in the way of increased conformity. The business is within the Downtown Development Authority district as well as the Central Business District, both of which are designed to be high-value, high-intensity districts with considerable attention to the form of the built environment. Though medical uses are permitted by the zoning district, they are not identified in the master plan as a preferred use which contributes the desired pedestrian activity of the area, and therefore the site’s main contribution to the district is in its street presence.

§1280.05 regulates street-facing building facades, of which this site has two: on Fort St. and on McKinley St. It is recognized that the Fort St. façade has the greater impact on the public realm. One advantage that the building does have is considerable fenestration: the Fort St. elevation comes closer to meeting the standard than many of the buildings in the CBD. However, the remainder of that façade does not approach the 75% standard for durable, natural building materials, largely due to the unidentified “curtain wall” material in the middle of the façade. This issue should be resolved to the Planning Commission’s satisfaction before a vote.

Some items are acknowledged as limitations presented by existing conditions. The McKinley St façade, which serves as the rear of the building, meets the building materials requirements but falls far short of the fenestration requirements. The City recognizes that the purpose of the fenestration requirement on building facades is to increase pedestrian appeal and improve the public realm around the right-of-way, and that these goals are not served by rear fenestration. Similarly, the building is one story, and it is recognized that the minimum height requirement will not be met. The building was not designed with a base course or a cornice, and it does not appear that any good purpose would be served by imposing them on the building at this time.

**Items to be addressed**

- *Planning Commission to direct applicant on desired improvements to increase conformity with the standards for building façade materials, particularly facing the Fort St. right-of-way*

**PRESERVATION OF SIGNIFICANT NATURAL FEATURES**

*Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.*

There are no significant natural features to preserve.

**Items to be addressed**

None

**SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION**

*The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.*

1280.05, Required	Compliance
<ul style="list-style-type: none"> <li>Layout shall accommodate pedestrian circulation with crosswalks where necessary and appropriate, integrated into the pedestrian network system. Pavement textures required on pedestrian access ways, and strongly encouraged elsewhere in the parking lot. <i>No pedestrian circulation system is called out on the plan, and no textured paving is proposed anywhere on the site. This condition is not met.</i></li> </ul>	<p><b>NOT MET</b></p>

The property is serviced by seven (7) feet of concrete sidewalk along Fort St. which provides pedestrian circulation separated from the vehicular circulation. No sidewalks exist on McKinley St. Pedestrian access is provided to the building from Fort St. via steps leading directly to the front door. No pedestrian path is delineated from McKinley St. There are no bicycle lanes on either right-of-way, and bicycle parking facilities are located on the sidewalk in front of the building.

Engineering review notes that the concrete sidewalks must be brought up to City Standards. Any broken, cracked or unsafe sidewalks in the Fort Street right of way and onsite should be repaired.

**Items to be addressed**

- Concrete sidewalks must be brought up to City Standards; any broken, cracked or unsafe sidewalks in the Fort Street right of way and onsite should be repaired.*
- Pedestrian circulation system, designated by textured pavement, shall be shown on site plan.*

**PARKING**

*The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.*

Use	Required	Proposed	Compliance
Medical Clinic	Seven (7) for every one-thousand (1,000) square feet of gross area.  <i>2,580 sq ft = 18 spaces</i>	15	<b>NOT MET</b>

Parking Area Type B (§1290.05), required	Proposed	Compliance
Adequate means of ingress and egress shall be provided and shown	Existing two access of ingress and egress on Fort St.	MET
Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Bituminous paving	MET
Concrete curbs and gutters	Existing 6" concrete curbs and existing steel guard rail. No indication of gutters	MET
When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	Adjoining properties are in CBD	N/A
All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	Adjoining properties are in CBD	N/A
Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	Entrance from Fort St.	MET

Parking Area Type B (§1290.05), required	Proposed	Compliance
In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	Parking facilities don't abut public sidewalk.	N/A

1280.05, Required	Compliance
<ul style="list-style-type: none"> <li>Parking. Front yard parking prohibited except for setback continuity, reduced curb cuts, or shared lot. New/expanded lots shall be to the rear of the building, on lot interiors, small in scale where possible, with paving confined to minimum area necessary <i>This condition is met</i></li> <li>Shall have common driveways and interconnection with other commercial lots, with cross-access easements in language acceptable to the City Attorney; common, shared parking facilities are encouraged wherever possible <i>A common driveway is shared to the south; cross-access easement not needed</i></li> <li>Front or side parking shall be screened from the road with: 36' decorative masonry or stone wall; 48' ornamental fence; or 36' evergreen hedge. <i>Side parking shall be screened</i></li> </ul>	NOT MET

Engineering comments note that overall, the parking lot is in fair verging on poor condition with a lot of cracking. Several areas of the parking lot are in need of immediate repair, documented by images. If the parking lot is not completely resurfaced in the very near future, it will need to be completely reconstructed within a year or two. It is highly recommend for the owner/developer to contact their engineer or asphalt contractor immediately for recommendations. Otherwise, it will be too late and the parking lot will need a complete reconstruction, which could trigger detention, and it will cost the owner/developer lot of money. If nothing is done in probably 1-2 years, the property will be cited for blight by the City on the parking lot.

Side parking in the Central Business district requires screening by a wall, ornamental fence, or hedge, which shall be shown on the site plan.

**Items to be addressed**

- Planning commission waiver sought to accept 15 spaces instead of 18, meeting 83% of the required parking.*
- Sheet 73 Site Plan Enlarged, indicates seven (7) parking spaces on the north, while the drawing shows six (6) parking spaces provided; applicant to correct label to match drawing.*
- Gutters shall be addressed on site plan and elevations.*
- Applicant to get a recommendation during Detailed Engineering from an engineer or asphalt contractor to address areas of immediate repair and to schedule a complete resurfacing of the parking lot*

- Side parking shall be screened in accordance with §1280.05.

**BARRIER-FREE ACCESS**

*The site has been designed to provide barrier-free parking and pedestrian circulation.*

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 to 25	1	2	MET

**Items to be addressed**

None

**LOADING**

*All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.*

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
2,850 sq ft	1	0.25	NOT MET

1280.05, Required	Compliance
<ul style="list-style-type: none"> <li>• Service Access. A service alley or designated loading space shall be reserved at the rear of the building <i>A loading space is designated, but it does not meet the dimensional requirements.</i></li> </ul>	NOT MET

**Items to be addressed**

- Loading space shall meet the required area of ten (10) feet by fifty (50) feet, with fifteen (15)-foot height clearance. Applicant shall investigate and comply with the required standards.

**ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION**

*Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient*

traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Road, Fort Street, Dix Avenue, and Outer Drive.

Required	Provided	Compliance
<ul style="list-style-type: none"> <li>• Single two-way driveway or pair of one-way driveways</li> <li>• Two-way: 25' &lt; throat width &lt; 30' (face to face of curb). One-way paired: each 20' measured perpendicularly. May be separated by 10' median; sidewalks shall be continued or maintained</li> <li>• 25' radii; 30' radii where daily truck traffic expected</li> <li>• Corner lots: one access point per street with &gt;100' frontage</li> <li>• If frontage &gt;300' and documented need (ITE), may allow additional access with design restrictions</li> <li>• If frontage &gt;600', max of 3 drives may be allowed; one with design restrictions</li> </ul>	<ul style="list-style-type: none"> <li>• Pair of one-way driveways on Fort St.; south driveway is shared with adjacent business</li> <li>• North curb cut: 21'; south curb cut: 22' to property line, 53' total</li> <li>• Radii is not provided</li> <li>• N/A</li> <li>• N/A</li> <li>• N/A</li> </ul>	MET
<ul style="list-style-type: none"> <li>• Shared access: driveways along property lines, connecting parking lots, on-site frontage roads, rear service drives. Encouraged and may be required for sites within 1/4 mile of major intersections; having dual frontage; with &lt;300' frontage; with sight distance problems; along congested or accident-prone roadway segments</li> <li>• Connection to adjacent facilities may be required; site accommodation may be required for future connection to undeveloped adjacent property</li> <li>• Letters of agreement or access easements required</li> </ul>	<ul style="list-style-type: none"> <li>• Curb cut is shared with property to the south</li> <li>• N/A</li> <li>• N/A</li> </ul>	N/A
<ul style="list-style-type: none"> <li>• Triangular unobstructed view areas: from corner of two ROWs, 25' along each; from corner of ROW and driveway, 10' along driveway and 5' along ROW</li> <li>• Grass / groundcover only in 3' strip abutting driveway and ROW</li> <li>• Trees permitted if trimmed between 30" and 6' from ground level</li> </ul>	N/A	N/A
<ul style="list-style-type: none"> <li>• May require drive to be located on the far side of the property from congested intersections</li> <li>• &gt;150' from signalized intersection or 4-way stop, or right-turn-only at 75' from intersection</li> <li>• &gt;100' otherwise</li> <li>• &gt;200' from centerline of I-75 access ramps</li> </ul>	The driveway at the north side closer to the intersection of Fort St and Southfield is approximately 86 ft away. The drive way shall be designated for "right-turn in/ right-turn out movement only.	MET

Required	Provided	Compliance
<ul style="list-style-type: none"> <li>• Same side of street: Driveway spacing determined by speed limits in §1290.10</li> <li>• Across the street: Driveways directly aligned or &gt;150' offset (excludes right-turn-only)</li> <li>• Directional driveways, divided driveways, and deceleration tapers and/or by-pass lanes may be required by the Planning Commission where they will reduce congestion and accident potential</li> </ul>	<ul style="list-style-type: none"> <li>• 45 speed limit required 230 ft, provided 100 ft.</li> <li>• N/A</li> <li>• N/A</li> </ul>	NOT MET

(4) For expansion and/or redevelopment of existing sites where the Planning Commission determines that compliance with all the standards of this section is unreasonable, the standards shall be applied to the maximum extent possible. In such situations, suitable alternatives which substantially achieve the purpose of this section may be accepted by the Planning Commission, provided that the applicant demonstrates that all of the following apply:

- A. The size of the parcel is insufficient to meet the dimensional standards.
- B. The spacing of existing, adjacent driveways or environmental constraints prohibit adherence to the access standards at a reasonable cost.
- C. The use will generate less than five hundred (500) total vehicle trips per day or less than seventy-five (75) total vehicle trips in the peak hour of travel on the adjacent street, based on rates developed by the Institute of Transportation Engineers (ITE).
- D. There is no other reasonable means of access.

**Items to be addressed**

- Curb size and radii shall be indicated on the site plan.*
- The site plan shall indicate the movement on the north drive way is "Right-turn in / right-turn out only to meet the required standards.*
- All work within the Fort St. right-of-way is under the jurisdiction of MDOT; applicant to secure appropriate permits as needed*

**EMERGENCY VEHICLE ACCESS**

*All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.*

No indication of fire lane designated on the site.

**Items to be addressed**

- Applicant shall investigate and arrange to permit necessary emergency vehicle access as required by the Fire Department and Police Department.*

**STREETS**

*All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.*

No new streets are proposed.

**Items to be addressed**

None

**LANDSCAPING, SCREENING, AND OPEN SPACE**

*The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.*

	<b>1296.03, Required</b>	<b>Proposed</b>	<b>Compliance</b>
Street Landscaping	Greenbelt, 10' width minimum with groundcover	Greenbelt area contains City sidewalk and tree planters	N/A
	1 tree and 4 shrubs per 40' of street frontage <i>160 Fort St. = 4 trees and 16 shrubs</i>	Four (4) existing street trees  Seven (7) existing shrubs are shown along the front right-of-way; species shall be indicated to demonstrate conformity with the ordinance	Met with waiver and clarification
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge  <i>Headlamps from vehicles parked facing McKinley St will shine into ROW</i>	No screening is proposed	<b>NOT MET</b>
Interior Landscaping	10% of total lot area landscaped, including groundcover  <i>(14,745 sf * 0.1) = 1,474.5 sf landscaping</i>	Provided approximately 282 sq ft = 2 %	<b>NOT MET</b>



	1296.03, Required	Proposed	Compliance
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Existing landscaping is retained near the entrance. New landscaping proposed along the north side of the building is not adjacent to an entrance, walkway, or service area	Substantially met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>1,474.5 sf = 4 trees and 6 shrubs</i>	Six (6) shrubs labeled "5 gal Dwarf Evergreen Mews" are shown in proposed planting bed on the north side; species is not approved or recognized (should be yew?). One existing ornamental tree is proposed to be retained; species shall be indicated	Met with waiver and clarification
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces <i>15/10 = 2 trees</i>	None	Met with waiver
	100 sf of planting area per tree	Plans indicate existing planting bed of estimated 220 sq ft. next to ADA designated parking spaces.	MET
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	6' enclosure provided; applicant to specify gate material and show installation detail	Met pending clarification
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive); solid 6' masonry wall ornamental on both sides	N/A	N/A

1280.05, Required	Compliance
<ul style="list-style-type: none"> <li>Landscaping. On every site involving new development or redevelopment, a landscape plan shall be submitted for review and approval. The landscape design shall complement the character of the downtown. <i>Minimal landscape design is proposed</i></li> <li>On every site involving new development or redevelopment, street trees with a minimum caliper of two and one-half (2 ½) inches shall be provided at twenty-five (25) foot intervals. Any of the following street trees with a minimum caliper of two and one-half (2 ½) inches shall be planted within the road right-of-way at twenty-five (25) foot intervals: Norway Maple, Red Maple, Green Ash, Bradford Pear, or Little Leaf Linden, subject to review and approval by the Planning Commission. <i>160' = 6 trees; 4 are provided by the City of Lincoln Park. Acceptable as presented.</i></li> <li>Lots for apartment and non-residential uses shall balance the functional requirements of parking with the provision of pedestrian amenities. Transition areas between parking and civic, commercial or residential uses shall be designed with textured paving, landscaping and street furniture. <i>No new pedestrian amenities are proposed; circulation routes marked by textured paving are addressed under "sidewalks, pedestrian, and bicycle circulation" above.</i></li> </ul>	Minimally met
<ul style="list-style-type: none"> <li>Side and rear facades. Waste receptacle and service areas shall be completely screened with a decorative masonry wall as approved by the Planning Commission. <i>Applicant to specify material of waste receptacle screening gate and show installation detail</i></li> <li>On every site involving new development or redevelopment, foundation plantings adjacent to the building shall be provided. <i>This condition is met on the front and north sides of the building; south side is occupied by access ramp; rear of building has no plantings</i></li> </ul>	Met pending detail

§1296.03 (c) Special Provisions for Existing Sites. Special provision is made for applying these standards to developed sites which existed prior to the City adopting landscaping requirements. Therefore, when an existing site is undergoing redevelopment, improvement, a change in use, or expansion, the objective of these standards is to gradually bring the existing site into compliance with the minimum standards of this section in relation to the extent of expansion or change on a site.

When reviewing plans for a change in use or expansion which requires site plan review, the Planning Commission shall require an upgrade in landscaping, using the following as guidelines:

- (1) Each building expansion of one percent (1%) of gross floor area should include at least two percent (2%) of the landscaping required for new developments, or a minimum of thirty percent (30%) of the landscaping required for new developments, whichever is greater.
- (2) Landscaping along the street and as a buffer between adjacent land uses should take priority over parking lot and site landscaping. Where parking lot landscaping cannot be provided, additional landscaping along the street or in the buffer areas should be considered.

	Required	Adjusted requirement	Proposed	Compliance
Street trees in CBD	6	4	4 existing	MET
Interior and parking lot trees	6	2	1 existing	NOT MET
Shrubs	22	7	7 existing; 6 new	MET
Landscaped area (SF)	1474.5	442.5	282	NOT MET

Overall, the existing landscaping for the site partially satisfies the adjusted requirements for a redeveloping property. The proposed site plan makes a minimal effort toward increased conformity, falling short of the adjusted standards by 1-3 trees (credit granted for 2 street trees which cannot be provided in the ROW; all street trees in the site plan are provided by the City of Lincoln Park) and 160 sf of interior landscaping, but providing 6 additional shrubs of indeterminate species. In addition, the screening requirement to obscure parked vehicle headlamps from the ROW has not been addressed.

#### Items to be addressed

- Species detail to be provided for all existing and proposed landscaping*
- Obscuring hedge to be provided where headlamps from vehicles parked facing McKinley St will shine into ROW*
- Interior landscaping to be increased by 160 square feet, including the provision of 1 additional tree*
- Planning commission waiver requested to accept 30% of landscaping required for new development on this redeveloping property*
- Applicant to specify material of waste receptacle screening gate and show installation detail*

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#### SOIL EROSION CONTROL

*The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.*

Soil erosion measures are under the jurisdiction of Wayne County. The applicant indicates soil erosion measures as described on Erosion Control notes on Site Plan that comply with the current standards and specifications of the Wayne County Department of Environment.

#### Items to be addressed

- Applicant to work with the Building Superintendent, Department of Public Services, and City Engineer to review the proposal measures.*

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#### UTILITIES

*Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.*

The site is served by public water and sewer.

Engineering comments note that based on the site plan submitted, all existing utilities and leads are being reused. It is important that the developer realize these existing utilities are very old and may have reached their life expectancy. It is strongly recommended for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the

service lead needs to be replaced, the installation of the new service will need to be inspected by the City Engineer. The developer should verify with the City the existing sanitary service type and size and replace if it is undersized for the proposed building use. The developer's engineer or architect shall determine the sanitary service lead capacity.

The developer should verify with the City the existing water service type and size, and replace if it is a lead service or if the service is undersized for the proposed building use. The developer's engineer or architect shall determine the water service lead capacity.

#### Items to be addressed

- Applicant to videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building.
- If the service lead needs to be replaced, the installation of the new service shall be inspected by the City Engineer.
- Applicant to verify with the City the existing sanitary service type and size, and replace if it is undersized for the proposed building use.
- Applicant's engineer or architect shall determine the sanitary service lead capacity.
- Applicant to verify with the City the existing water service type and size, and replace if it is a lead service or if the service is undersized for the proposed building use.
- Applicant to determine the water service lead capacity.

#### STORMWATER MANAGEMENT

*Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.*

Stormwater may be under the purview of Wayne County; applicant to work with the City Engineer to determine the appropriate permitting process.

#### Items to be addressed

- Applicant to work with City Engineer to review stormwater system to determine the appropriate permitting process.

#### LIGHTING

*Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.*

(i) All illumination for such parking facilities shall be deflected away from residential areas and shall be installed in such manner as to allow the reduction of the amount of light after normal parking hours each day. All parking lot lighting shall be designed, located, and shielded to prevent glare onto adjacent properties, and shall be arranged to prevent adverse effects on motorist visibility on adjacent rights-of-way. The source of illumination shall not be more than twenty-five (25) feet above the parking surface

§1294.31 Performance Standards

(f) In no case shall more than one (1) foot-candle power of light cross a lot line five (5) feet above the ground. In no case shall more than ten (10) foot-candle power of light exist at any given point on site. Illumination levels shall be measured with a foot-candle meter or sensitive photometer and expressed in foot-candles. Exterior spot lighting or other illumination shall be so installed as to eliminate any nuisance to adjoining Business and Industrial Districts or the creation of a traffic hazard on public highways.

§1296.04, Required	Compliance
<ul style="list-style-type: none"> <li>• Lighting. Exterior lighting must be placed and shielded so as to direct the light away from adjoining properties; lighting source shall not be directly visible from adjoining properties. Floodlights, wall pack units, other types of unshielded lights, and lights where the lens is visible outside of the light fixture, shall be prohibited, except where historic-style lighting is used that is compatible with existing historic-style lamps approved by the Planning Commission. <i>Applicant to replace existing wall-pack lighting with code-compliant fixtures.</i></li> <li>• Sidewalks and parking areas shall be properly lit to facilitate the safe movement of pedestrians and vehicles and provide a secure environment. In pedestrian areas, the light intensity shall average a minimum of two (2)-foot candles, measured five (5) feet above the surface. <i>Six existing light fixtures are identified on the building elevations. No parking lot lighting is proposed. City pole fixtures exist on either side of the property in the ROW, and the neighboring properties to the south and across McKinley Street each maintain a pole fixture that may illuminate the property. Planning commission to determine whether this can be deemed sufficient or whether a photometric study is required to ascertain compliance with this standard.</i></li> </ul>	<p><b>NOT MET</b></p>

The existing building-mounted lighting, which is proposed to remain, does not conform to the standards and shall be replaced. No parking lot lighting is proposed, and the Planning Commission shall determine whether illumination from the building lights, City pole fixtures, and pole fixtures maintained by neighboring properties is sufficient based on their experience, or whether a photometric study is required to ascertain compliance with this standard.

**Items to be addressed**

- Applicant to replace existing wall-pack lighting with code-compliant fixtures.*
- No parking lot lighting is proposed. City pole fixtures exist on either side of the property in the ROW, and the neighboring properties to the south and across McKinley Street each maintain a pole fixture that may illuminate the property. Planning commission to determine whether this can be deemed sufficient or whether a photometric study is required to ascertain compliance with this standard.*

---

## NOISE

*The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.*

No adverse noise impacts are anticipated from the development.

### Items to be addressed

*None*

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## MECHANICAL EQUIPMENT

*Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.*

No mechanical equipment is visible from the right of way. Mechanical equipment on roof are enclosed by metal screening.

### Items to be addressed

*None*

---

## SIGNS

*The standards of the City's Sign Code are met.*

Signs shall be permitted by the building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during Site Plan Review is for illustrative purposes only.

### Items to be addressed

- Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance.*
- 

## HAZARDOUS MATERIALS OR WASTE

*For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.*

No hazardous materials or waste are anticipated in quantities greater than 25 gallons to be stored on site. As described in the applicants waste generation and disposal: "Biohazard materials such as dirty needles and any trash with bodily fluids are to be stored in a dedicated locked biohazard containers in the soil room. The biohazard container will be picked up by a third party twice a month."

planning review



**Items to be addressed**

*None*

---

**SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL**

*All applicable standards for uses permitted after special approval are met.*

This use is permitted by right.

**Items to be addressed**

*None*

---

**OTHER AGENCY REVIEWS**

*The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.*

**Items to be addressed**

- Applicant to maintain and supply current documentation of all required approvals from the Wayne County Health Department*
  - Applicant to secure all appropriate agency reviews as needed.*
- 

**VARIANCES**

No variances are anticipated as a result of this proposal.

**Items to be addressed**

*None*

---

**O RECOMMENDATIONS**

**To be resolved**

Two issues were identified in the course of this review which require resolution between the Planning Commission and the applicant. A decision should proceed on this proposed site plan only upon agreement between these two parties, documented within the meeting minutes, on the following concerns:

- *Planning Commission to direct applicant on desired improvements to increase conformity with the standards for building façade materials, particularly facing the Fort St. right-of-way*
- *No parking lot lighting is proposed. City pole fixtures exist on either side of the property in the ROW, and the neighboring properties to the south and across McKinley Street each maintain a pole fixture that may illuminate the property. Planning commission to determine whether this can be deemed sufficient or whether a photometric study is required to ascertain compliance with this standard.*

### Findings

Upon the satisfactory resolution of the two points above, the proposed site plan substantially complies with §1296.01, Site Plan review, with the following waivers and conditions:

### Waivers

- *Planning commission waiver sought to accept 15 spaces instead of 18, meeting 83% of the required parking.*
- *Planning commission waiver requested to accept 30% of landscaping required for new development on this redeveloping property*

### Conditions to be resolved before final approval

- *Pedestrian circulation system, designated by textured pavement, shall be shown on site plan.*
- *Sheet 73 Site Plan Enlarged, indicates seven (7) parking spaces on the north, while the drawing shows six (6) parking spaces provided; applicant to correct label to match drawing.*
- *Gutters shall be addressed on site plan and elevations.*
- *Side parking shall be screened in accordance with §1280.05.*
- *Loading space shall meet the required area of ten (10) feet by fifty (50) feet, with fifteen (15)-foot height clearance. Applicant shall investigate and comply with the required standards.*
- *Curb size and radii shall be indicated on the site plan.*
- *The site plan shall indicate the movement on the north drive way is "Right-turn in / right-turn out only to meet the required standards.*
- *Applicant shall investigate and arrange to permit necessary emergency vehicle access as required by the Fire Department and Police Department.*
- *Species detail to be provided for all existing and proposed landscaping*
- *Obscuring hedge to be provided where headlights from vehicles parked facing McKinley St will shine into ROW*
- *Interior landscaping to be increased by 160 square feet, including the provision of 1 additional tree*
- *Applicant to specify material of waste receptacle screening gate and show installation detail*
- *Applicant to replace existing wall-pack lighting with code-compliant fixtures.*

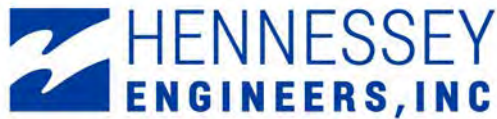


### Conditions of approval

- Concrete sidewalks must be brought up to City Standards; any broken, cracked or unsafe sidewalks in the Fort Street right of way and onsite should be repaired.*
- Applicant to get a recommendation during Detailed Engineering from an engineer or asphalt contractor to address areas of immediate repair and to schedule a complete resurfacing of the parking lot*
- Applicant to videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building.*
- If the service lead needs to be replaced, the installation of the new service shall be inspected by the City Engineer.*
- Applicant to verify with the City the existing sanitary service type and size, and replace if it is undersized for the proposed building use.*
- Applicant's engineer or architect shall determine the sanitary service lead capacity.*
- Applicant to verify with the City the existing water service type and size, and replace if it is a lead service or if the service is undersized for the proposed building use.*
- Applicant to determine the water service lead capacity.*
- Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance.*
- Applicant to work with City Engineer and Wayne County to review stormwater system to determine the appropriate permitting process.*
- Applicant to maintain and supply current documentation of all required approvals from the Wayne County Health Department*
- All work within the Fort St. right-of-way is under the jurisdiction of MDOT; applicant to secure appropriate permits as needed*
- Applicant to secure all appropriate agency reviews as needed.*

### Recommendations

It is recommended that the Lincoln Park Planning Commission approve the site plan for 2041 Fort St – Medical Clinic, contingent upon the successful resolution of the issues and conditions herein.



November 3, 2018

Ms. Leah DuMouchel, AICP  
Beckett & Raeder, Inc.  
535 West William St. Suite 101  
Ann Arbor, MI, 48103-4978

**Re: Medical Office**  
2041 Fort St  
**City of Lincoln Park, MI**  
**Hennessey Project 72105**

Dear Ms. DuMouchel:

We have visited the site for the Office Building referenced above.

Listed below are some comments which are recommended to be addressed in the Preliminary Plan approval but some would not be grounds for a reason for denial from an engineering feasibility standpoint:

**GENERAL**

1. Based on the site plan submitted, all existing utilities and leads are being reused. It is important that the developer realize these existing utilities are very old and may have reached their life expectancy. It is our strong recommendation for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the service lead needs to be replaced the installation of the new service will need to be inspected by our office. The developer should verify with the City the existing sanitary service type and size. If it is undersized for the proposed building use it must be replaced. The developer's engineer or architect shall determine the sanitary service lead capacity.
2. The developer should verify with the City the existing water service type and size. If it is a lead service or if the service is undersized for the proposed building use, it should be replaced. The developer's engineer or architect shall determine the water service lead capacity.
3. Overall the parking lot is in fair to poor condition with a lot of cracking. There is an area of the parking lot that are in need of immediate repair. If the parking lot is not completely resurfaced in the very near future it will need to be completely reconstructed within a year or two. I would highly recommend the owner/developer contact their engineer or asphalt contractor immediately to give them some recommendations, otherwise it will be too late and the parking lot will need a complete reconstruction which could trigger detention and it will cost the owner/developer a lot of money. If nothing is done in probably 1-2 years they will be cited for blight by the City on the parking lot.

4. The concrete sidewalks must be brought up to City Standards. Any broken, cracked or unsafe sidewalks in the Fort Street right of ways and onsite that should be repaired.

From an engineering feasibility our office does not have any issues with the approval of the Preliminary Site Plan submittal contingent upon the owner/developer repairing all of the areas in the parking lot in poor condition and agreeing to resurfacing the entire parking lot within a two (2) year period. If the parking lot continues to deteriorate the City may require the parking lot to be resurfaced sooner. Therefore, from the engineering feasibility review it would be our recommendation for the “**approval**” of the Preliminary Site Plan contingent upon the items listed above being addressed.

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC



James D. Hollandsworth, P.E., P.S.  
Lincoln Park Project Manager

JDH/bd

cc: John Kozuh, DPW Director, City of Lincoln Park  
John J. Hennessey, Hennessey Engineers, Inc.  
Ryan Kern, Hennessey Engineers, Inc.  
B.3

R:\Municipalities\70000's Lincoln Park\72000's\72105 Medical Office 2041 Fort Street\PC Review\2041 Fort 1st PC Review Nov 3, 2018 r.docx



# LEGAL DESCRIPTION

ALL OF LOTS 64, 65, 66, 67, 68, 69, 70, AND 71 OF QUANDT'S STATE - FORT ST. SUBDIVISION OF PART OF PRIVATE CLAIM NUMBER 43, CITY OF LINCOLN PARK, WAYNE COUNTY, MICHIGAN.  
RECORDED IN LIBER 57, PAGE 48 OF PLATS, WAYNE COUNTY RECORDS.

BENCHMARK  
TOP OF CONCRETE AT NORTHWEST CORNER OF CONCRETE PEDESTAL FOR "MURRAY'S AUTO PARTS" SIGN ON EAST SIDE OF FORT STREET.  
ELEVATION 588.16.

# PROPOSED MEDICAL CLINIC CITY OF LINCOLN PARK, MI SITE PLAN REVIEW

## BUILDING CODE INFORMATION

LOCATION	2041 FORT ST. LINCOLN PARK MI 48146
CURRENT LAND USE	BANK
<b>PROPOSED LAND USE</b>	CLINIC
ZONING	CBD - CENTRAL BUSINESS DISTRICT
ADJACENT SITE ZONING	GENERAL BUSINESS DISTRICT
BUILDING CODE	Michigan Building Code 2015
SITE AREA	14,745 SF
USE GROUP	Business
PAVED AREA	N/A
CONSTRUCTION CLASSIFICATION	Type IIB
BUILDING AREA	2580 GSF - Main Level; 2580 GSF - Basement
FRONT YARD	7.5 ft.
REAR YARD	43.0 ft.
SIDE YARD	43.0 ft.-east; 44.33 ft.-west
TRASH REMOVAL	Dumpster, private
OFF-STREET PARKING	17 spaces
OCCUPANT LOAD	17 see Load Capacity Table

## DRAWING INDEX

- COVER
- L1.0 SITE PLAN
- L1.1 SITE PLAN-ENLARGED
- G1.0 GENERAL INFORMATION
- A1.0 BUILDING ELEVATIONS
- A2.0 FLOOR PLAN
- A3.0 REFLECTED CEILING PLAN
- A4.0 BASEMENT PLAN
- E1.0 ELECTRIC POWER PLAN



ELTON ANDERSON ASSOCIATES, LLC.

8569 SORRENTO SUITE 202 DETROIT, MI 48228

OWNER  
Dr. Ganiu Edu  
20252 Beechhaven Street  
SOUTHFIELD MI 48076

## PARKING SPACE REQUIREMENTS

SECTION 12.4 SPACE REQUIREMENTS  
C. COMMERCIAL USES  
3. CARE FACILITIES  
b. MEDICAL CLINICS

"TWO (2) SPACES FOR EACH EXAMINATION OR TREATMENT ROOM PLUS ONE (ONE) SPACE FOR EACH ONE-HUNDRED (100) SQ. FT. OF WAITING ROOM AREA."  
CALCULATION:

4 EXAM ROOMS; 4 X 2 = 8 SPACES

WAITING ROOM AREA: 300 SQ. FT.;  
300 / 100 = 3 SPACES

TOTAL REQUIRED: = 11 SPACES  
TOTAL PROVIDED" = 16 SPACES

PROJECT

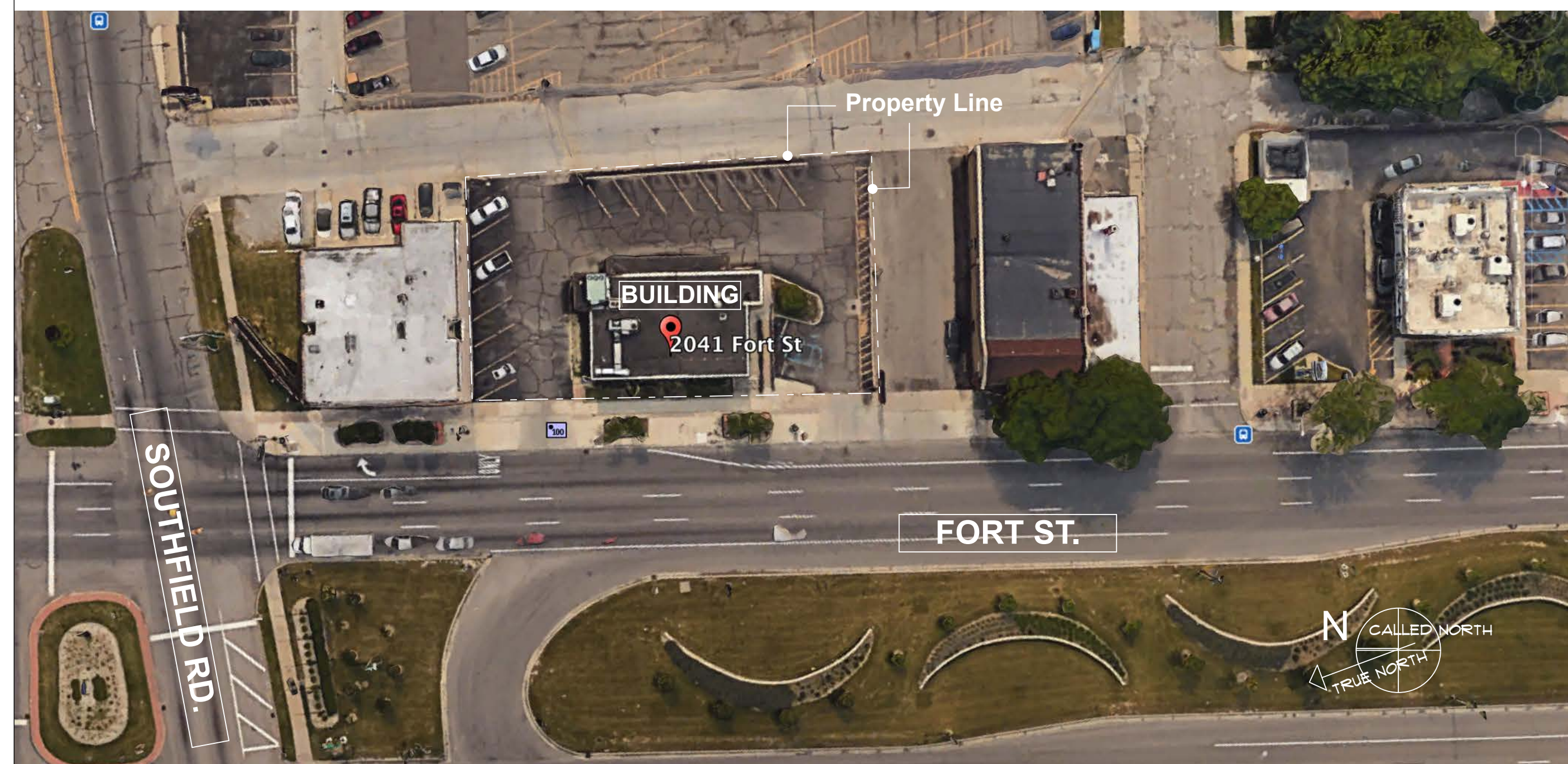
MEDICAL CLINIC  
LINCOLN PARK, MI  
48146



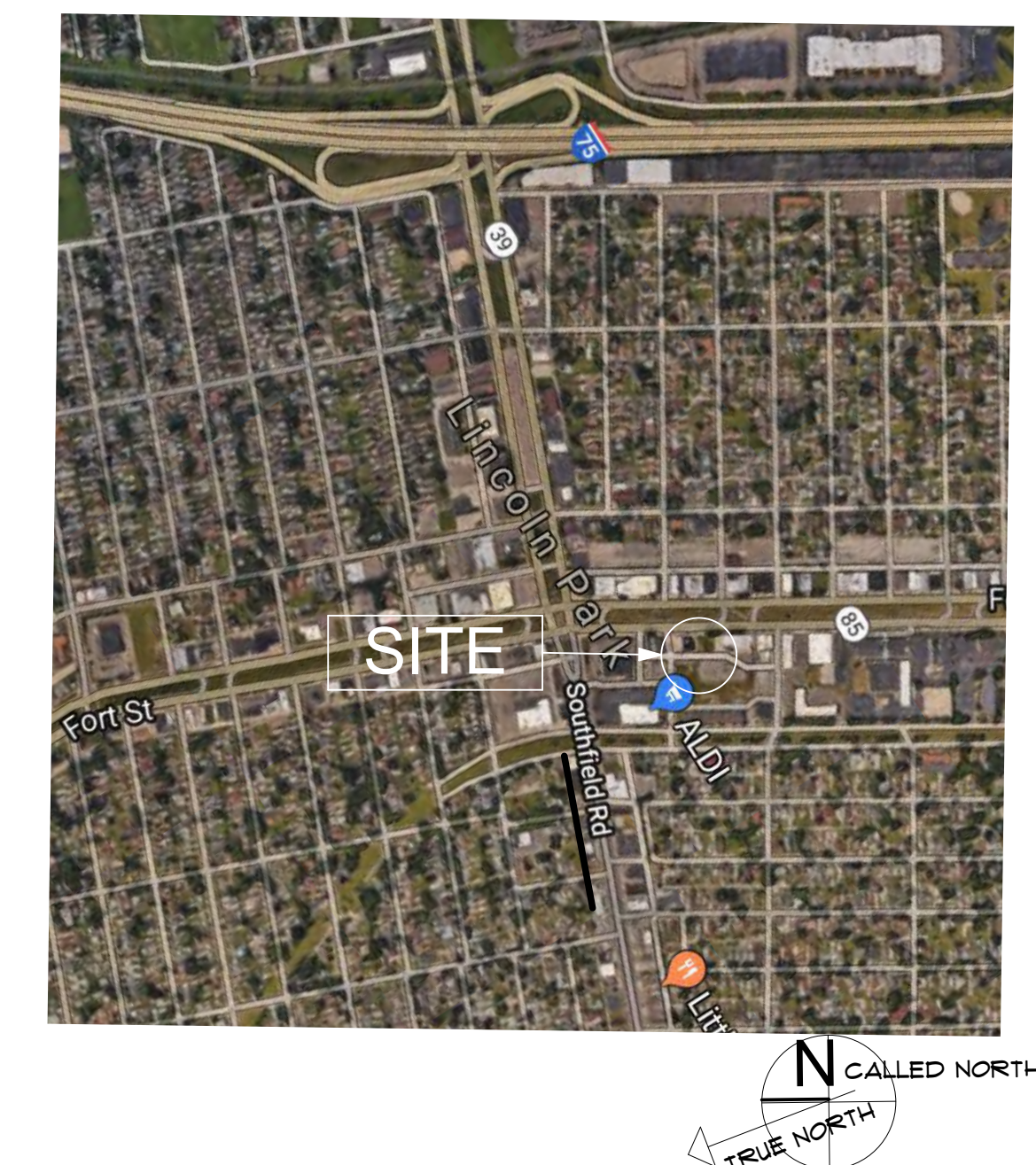
## BUILDING VIEW



## SITE LOCATION MAP NO SCALE



## KEY MAP NO SCALE



BY REVISIONS DATE

BY	REVISIONS	DATE

Date: 10/19/18

Scale: AS NOTED

Drawn:

Job:

Sheet

SHEET TITLE

COVER

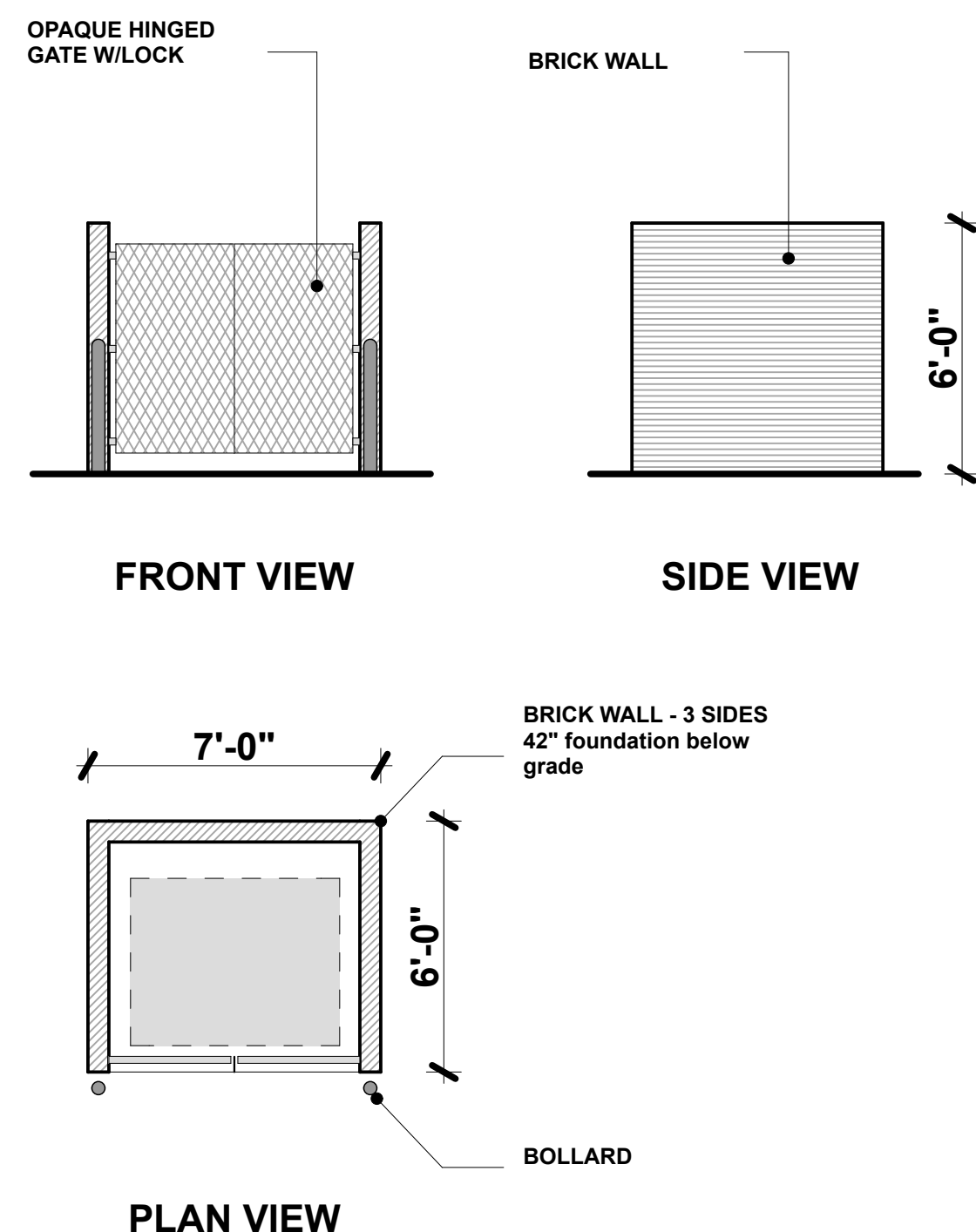


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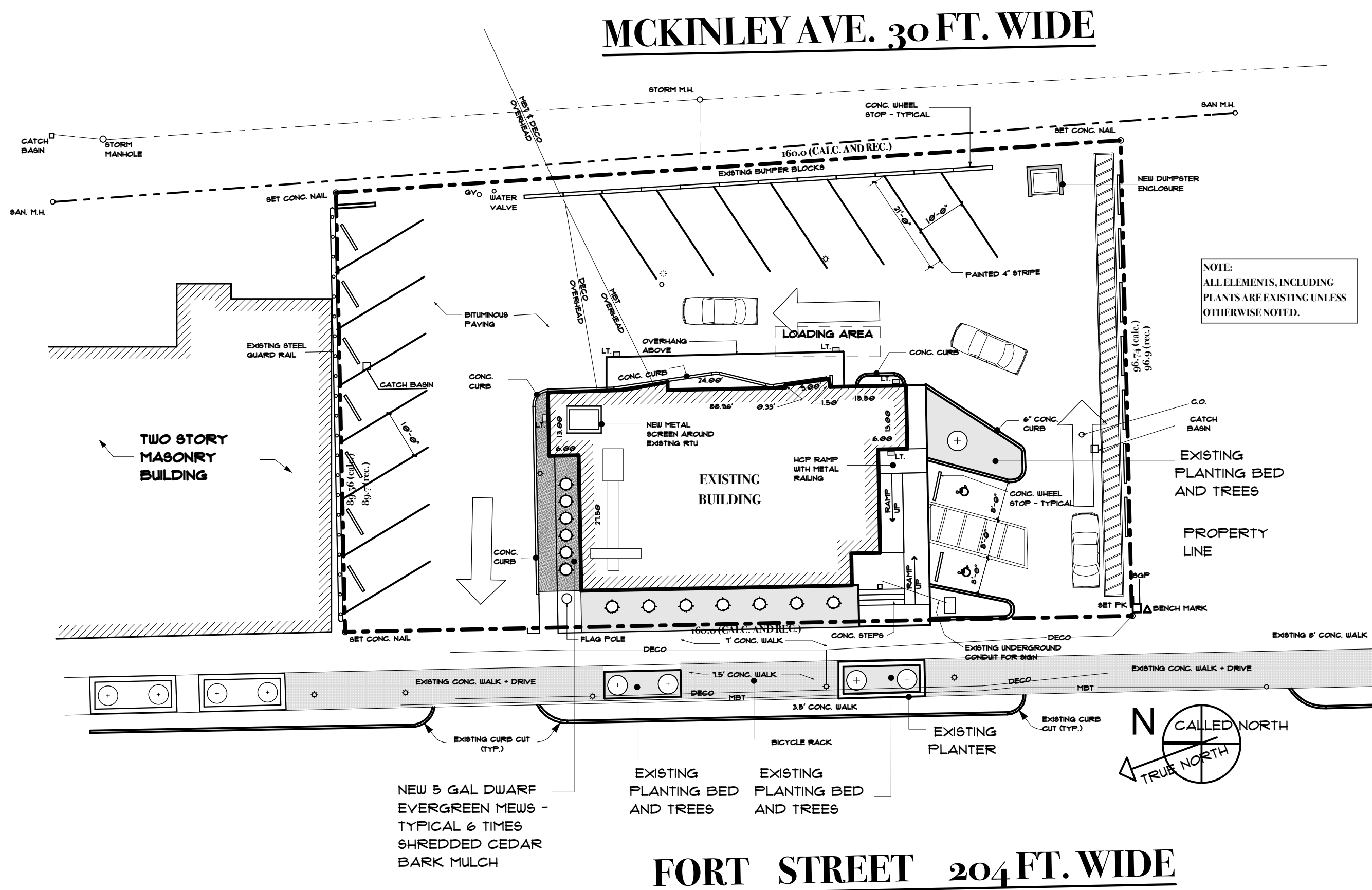
ALL OF LOTS 64, 65, 66, 67, 68, 69, 70, AND 71 OF QUANDT'S STATE - FORT ST. SUBDIVISION OF PART OF PRIVATE CLAIM NUMBER 43, CITY OF LINCOLN PARK, WAYNE COUNTY, MICHIGAN. RECORDED IN LIBER 57, PAGE 48 OF PLATS, WAYNE COUNTY RECORDS.

BENCHMARK  
TOP OF CONCRETE AT NORTHWEST CORNER OF CONCRETE PEDESTAL FOR "MURRAY'S AUTO PARTS" SIGN ON EAST SIDE OF FORT STREET, ELEVATION 588.16.

# CITY OF LINCOLN PARK, MI SITE PLAN REVIEW



## DUMPSTER DETAILS

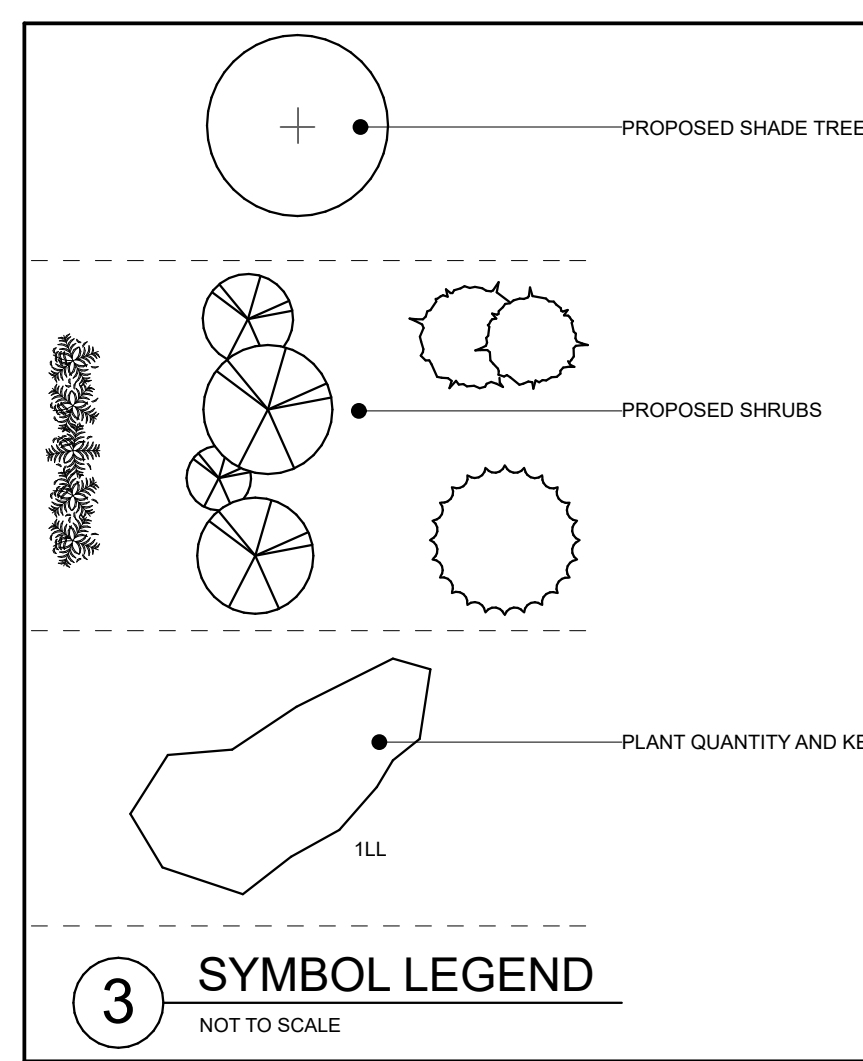
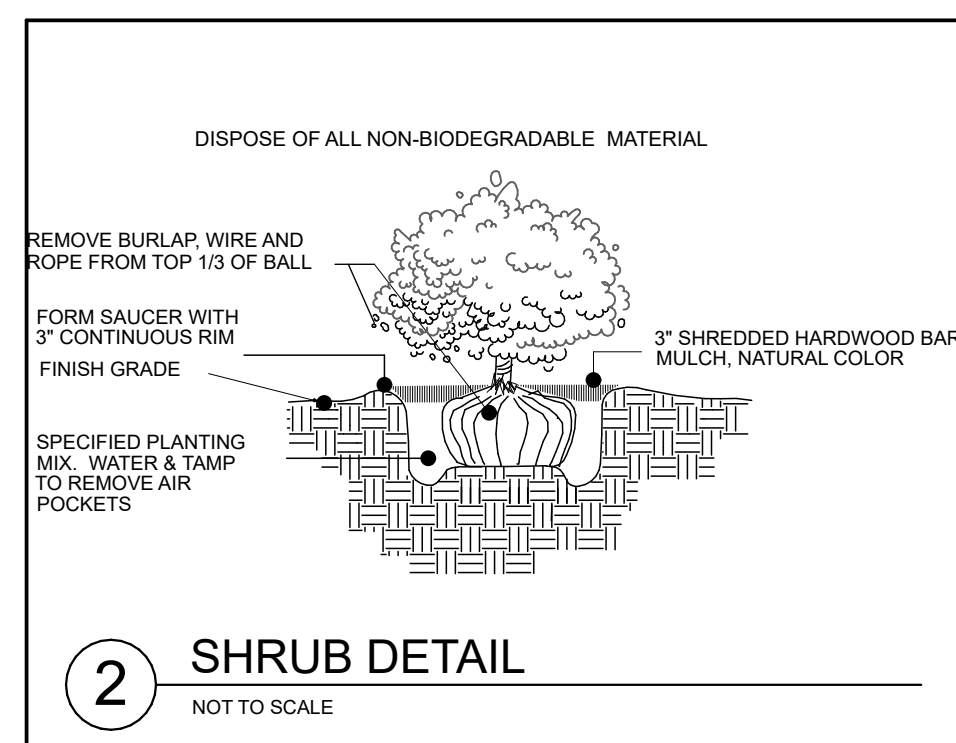
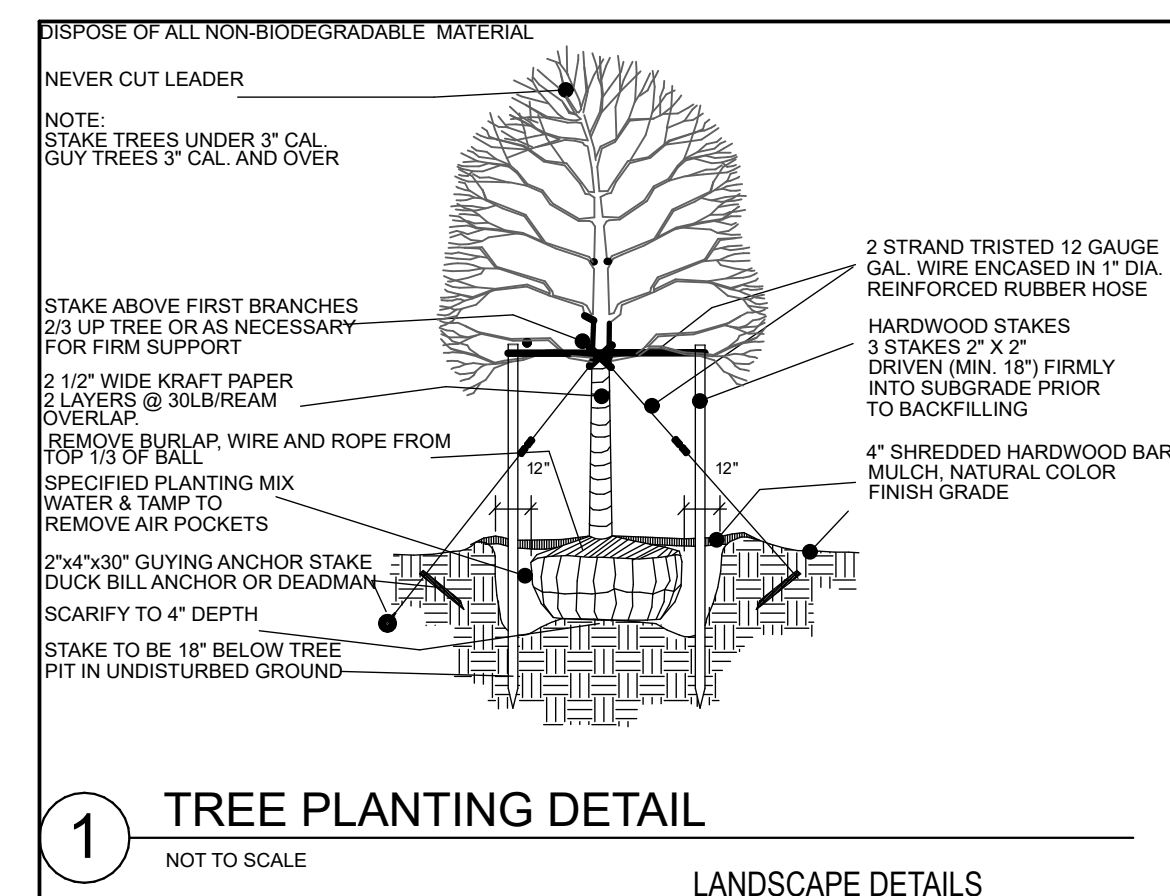


FORT STREET 20 FT. WIDE

## SITE PLAN

Scale: 1" = 20'-0"

## LANDSCAPE DETAILS



## NOTES

### GENERAL NOTES

1. ALL CONSTRUCTION AND PLANT MATERIAL LOCATIONS TO BE ADJUSTED ON SITE IF NECESSARY.
2. ANY SUBSTITUTION OF PLANT MATERIAL OR ALTERATION IN PLANT SIZES OR SPECIFICATIONS TO BE CONFIRMED BY THE LANDSCAPE ARCHITECT.
3. ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED, AS DETAILED ON PLAN.
4. PLANT BEDS TO BE MULCHED AND DRESSED WITH 4" OF SHREDDED HARDWOOD BARK.
5. EVERGREEN GROUPINGS TO VARY IN HEIGHT AS SPECIFIED IN THE PLANT MATERIAL LIST.
6. DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALLS. BACKFILL WITH ONE PART TOP SOIL AND ONE PART SOIL EXCAVATED FROM PLANTING HOLE.
7. REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS AND FROM TREE TRUNKS. (IN DETAIL)
8. LAWN TREES TO BE MULCHED WITH A 4" WIDE MINIMUM OF 6" DEEP SHREDDED BARK RING OR APPROVED ALTERNATE DESIGN FOR TRUNK PROTECTION.
9. PROVIDE 1 YEAR WARRANTY OF ALL PLANTED MATERIALS
10. INSTALLATION OF ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS. ALL PLANT MATERIALS SHALL BE NURSERY GRADE NO. 1
11. PLANT MATERIALS, ESPECIALLY EVERGREENS, TO BE PLANTED HIGHER THAN NORMAL WHEN HEAVY SOIL CONDITION (CLAY, ETC.) PREVAIL.
12. PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCE FROM SIDEWALKS, CURBS AND PARKING STALLS:
  - A. SHADE / CANOPY TREES 5 FT.
  - B. ORNAMENTAL / FLOWERING TREES 10 FT.
  - C. EVERGREEN TREES 10 FT.
15. LAWN TREES ARE TO BE MULCHED WITH A MINIMUM OF 4" WIDE BY 6" DEEP SHREDDED BARK RINGS OR APPROVED DESIGNS FOR TRUNK PROTECTION. ONLY NATURAL COLORED SHREDDED HARDWOOD BARK MULCH
16. ALL NEW LANDSCAPE AREAS SHALL RECEIVE 3 TO 4" MULCH BEDDING
17. BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO THE TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.
18. ALL LANDSCAPE AREA, ESPECIALLY LANDSCAPE BEDS NEXT TO BUILDINGS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS TO A DEPTH OF 8" AND BACKFILLED WITH GOOD, MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY), ADD 4" OF TOPSOIL OVER FILL MATERIAL AND CROWN TO HOLD & MAINTAIN WATER WITHIN LANDSCAPED AREAS
19. ALL EXISTING TREES ON SITE AND IN THE RIGHT-OF-WAY SHALL BE PRUNED AS REQUIRED REMOVE DEAD, DYING AND HAZARDOUS LIMBS OR TO REMOVE LIMBS WHICH IMPEDE SIDEWALKS

### EROSION CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE WAYNE COUNTY DEPARTMENT OF ENVIRONMENT.
2. THE CONTRACTOR SHALL INSPECT THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AT LEAST ONCE PER WEEK, AND IMMEDIATELY AFTER EACH RAIN. TO ENSURE THE EFFECTIVENESS OF THE EROSION CONTROL PLAN. ANY NECESSARY REPAIRS SHALL BE PERFORMED IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER.
3. ANY EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT IN ANY WATERWAYS. (WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORMS DRAINS, LAKES, PONDS, AND WETLAND)
4. THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS DIRECTED ON THESE PLANS AND WHENEVER OTHERWISE REQUIRED BY THE WORK. THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
5. SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR SEDIMENTATION CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF DIRT OUT OF THE WORK AREA.
6. THE CONTRACTOR SHALL PRESERVE NATURAL VEGETATION AS MUCH AS POSSIBLE.
7. PROTECT ALL EXISTING TREES, INCLUDING THEIR BRANCHES AND ROOTS, FROM DAMAGE DUE TO THIS WORK UNLESS SPECIFICALLY IDENTIFIED FOR REMOVAL.
8. VEGETATION STABILIZATION OF ALL DISTURBED AREAS SHALL BE ESTABLISHED WITHIN 15 DAYS OF COMPLETION OF FINAL GRADING.
9. THE INSTALLATION AND MAINTENANCE OF SEDIMENT CONTROL FENCING IF REQUIRED AT ANY LOCATION PER WAYNE COUNTY STANDARDS OR DUE TO FIELD CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL APPLICABLE NPDES REGULATIONS, INCLUDING: INSPECTION, RESTORATION, AND RECORD KEEPING REQUIREMENTS.
11. PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL INSURE THAT ( IN ADDITION TO THE WORK SPECIFIED ON THESE PLANS):
  - a. ALL DISTURBED EARTH IS PERMANENTLY STABILIZED WITH VEGETATION OR HARD SURFACE.
  - b. ALL ACCUMULATED SEDIMENT IS REMOVED FROM THE ENTIRE STORM SEWER SYSTEM.
  - c. ALL TEMPORARY CONTROLS ARE REMOVED AFTER GETTING APPROVAL BY THE SOIL EROSION.



ELTON ANDERSON ASSOCIATES, LLC.

8569 ROSENTO SUITE 202 DETROIT, MI 48228

OWNER  
Dr. Ganiu Edu  
20252 Beechhaven Street  
SOUTHFIELD MI 48076

PROJECT

MEDICAL CLINIC  
LINCOLN PARK, MI  
48146



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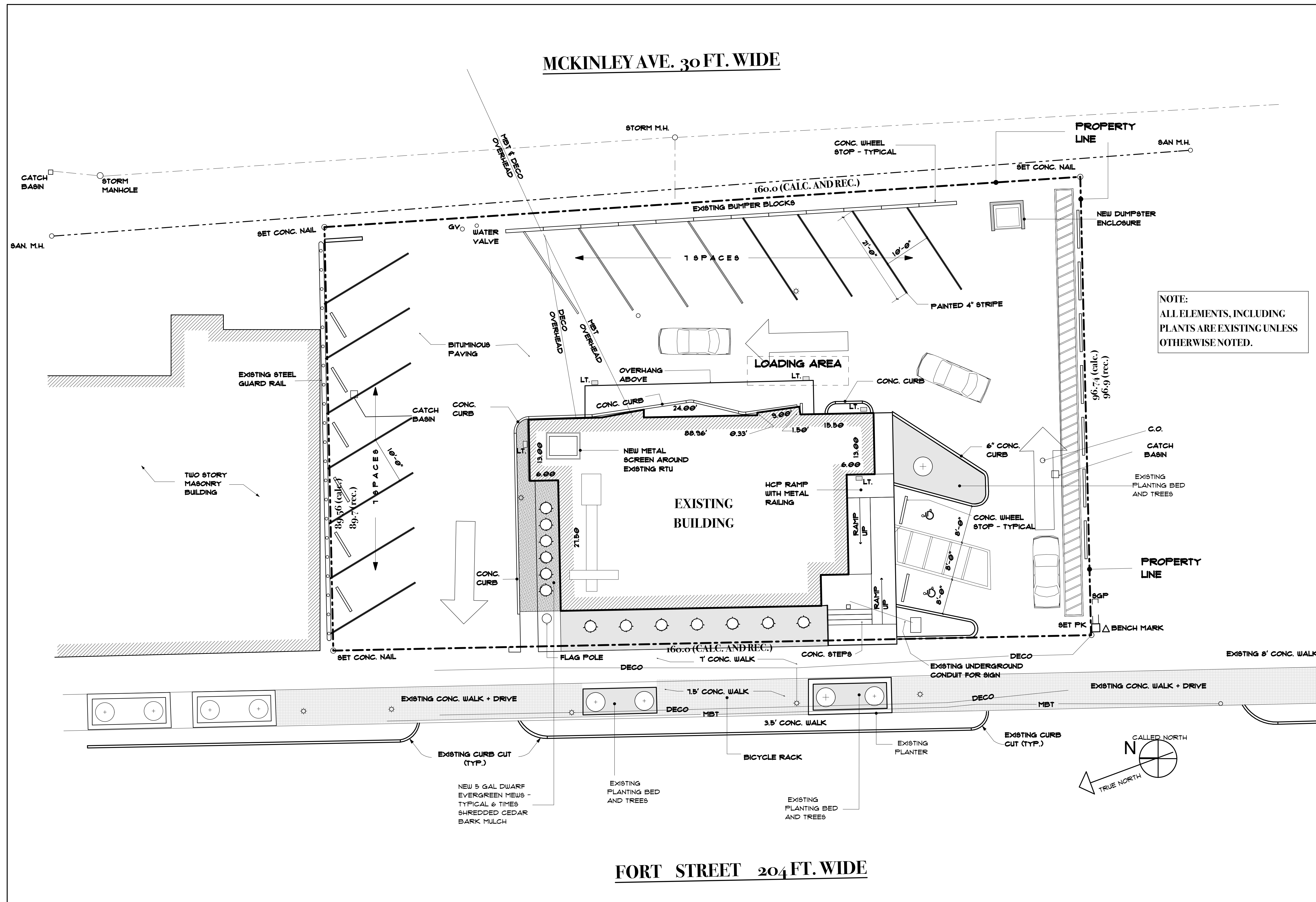
SHEET TITLE

SITE PLAN

L1.0

SHEET 36 OF 123





**ELTON ANDERSON ASSOCIATES, LLC.**

8569 SORRENTO  
SUITE 202  
DETROIT, MI 48228

OWNER  
**Dr. Ganiu Edu**  
20252 Beechhaven Street  
SOUTHFIELD MI 48076

PROJECT

**MEDICAL CLINIC  
LINCOLN PARK, MI  
48146**



BY	REVISIONS	DATE

Date:	10/19/18
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SHEET TITLE  
**SITE PLAN-ENLARGED**

LANDSCAPE PLAN  
SCALE: 1" = 10'

**L1.1**

SHEET 37 OF 123

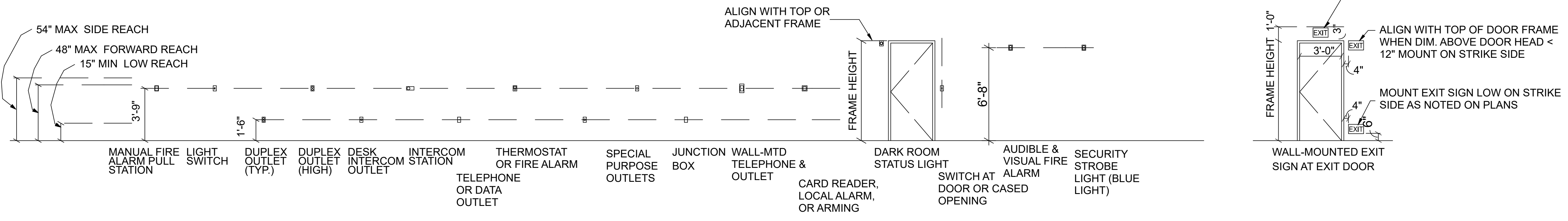
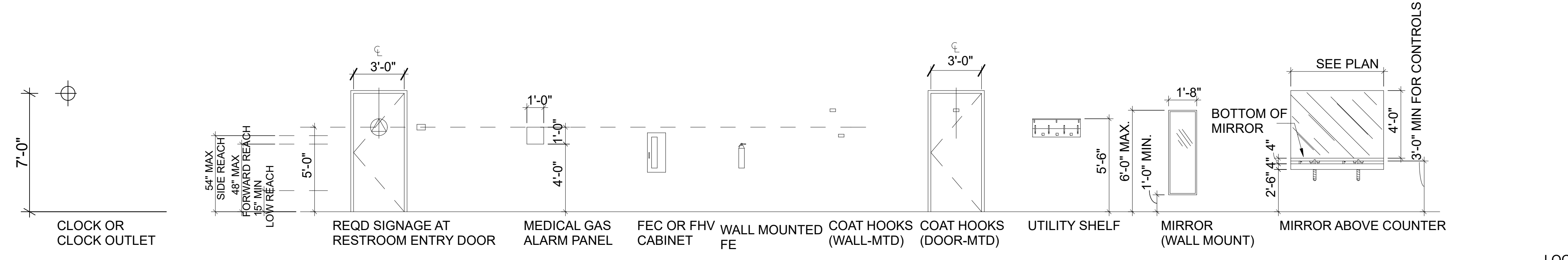
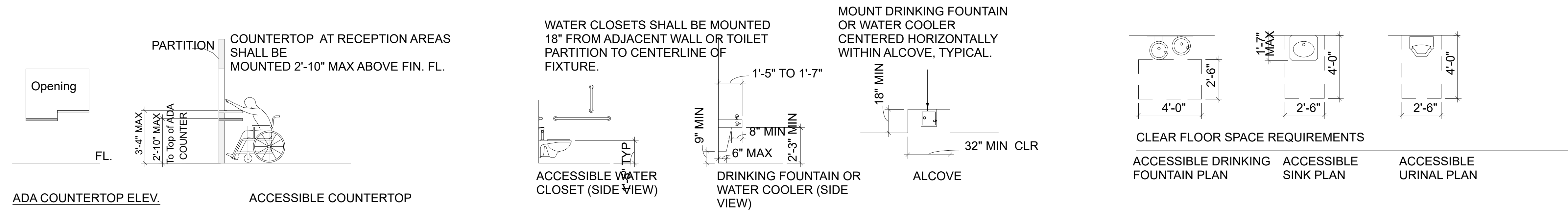


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MEDICAL CLINIC  
LINCOLN PARK, MI  
48146



MTG. HGTS - ABBREVIATED  
SCALE: 1/4" = 1'-0"

BY	REVISIONS	DATE

Date: 10/19/18  
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SHEET TITLE  
GENERAL INFORMATION

G1.0  
SHEET 38 OF 123





ELTON ANDERSON ASSOCIATES, LLC.

8569 SORRENTO SUITE 202 DETROIT, MI 48228

OWNER Dr. Ganiu Edu 20252 Beechhaven Street SOUTHFIELD MI 48076

PROJECT

MEDICAL CLINIC LINCOLN PARK, MI 48146



BY REVISIONS DATE

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Date: 10/19/18

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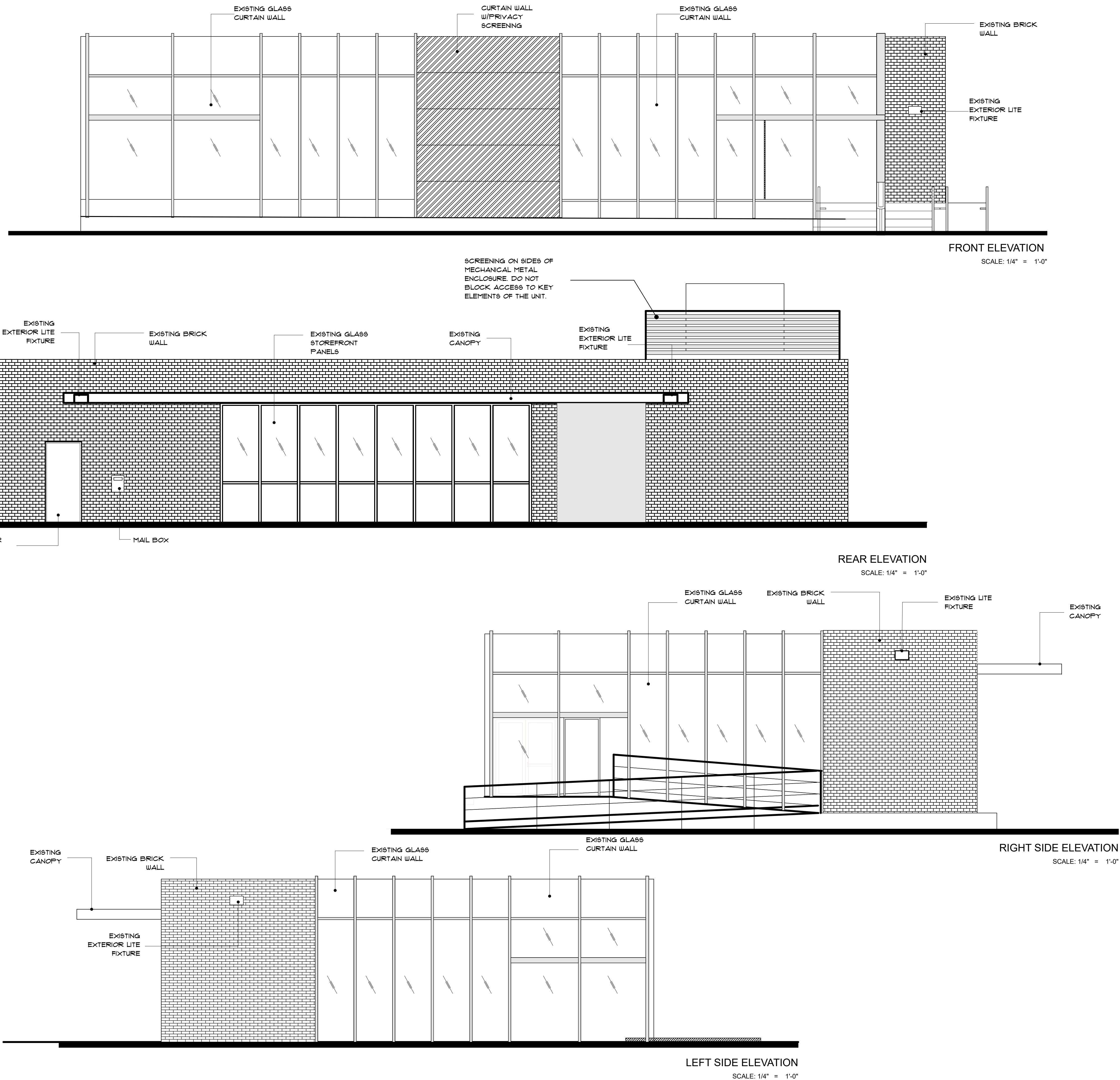
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SHEET TITLE

BUILDING ELEVATIONS

A1.0

SHEET 39 OF 123







**ELTON ANDERSON ASSOCIATES, LLC.**

8569 SORRENTO  
SUITE 202  
DETROIT, MI 48228

OWNER  
**Dr. Ganiu Edu**  
20252 Beechhaven Street  
SOUTHFIELD MI 48076

PROJECT  
MEDICAL CLINIC  
LINCOLN PARK, MI  
48146



BY REVISIONS      DATE

Date: 10/19/18

Scale: AS NOTED

Drawn:

Job:

Sheet

SHEET TITLE

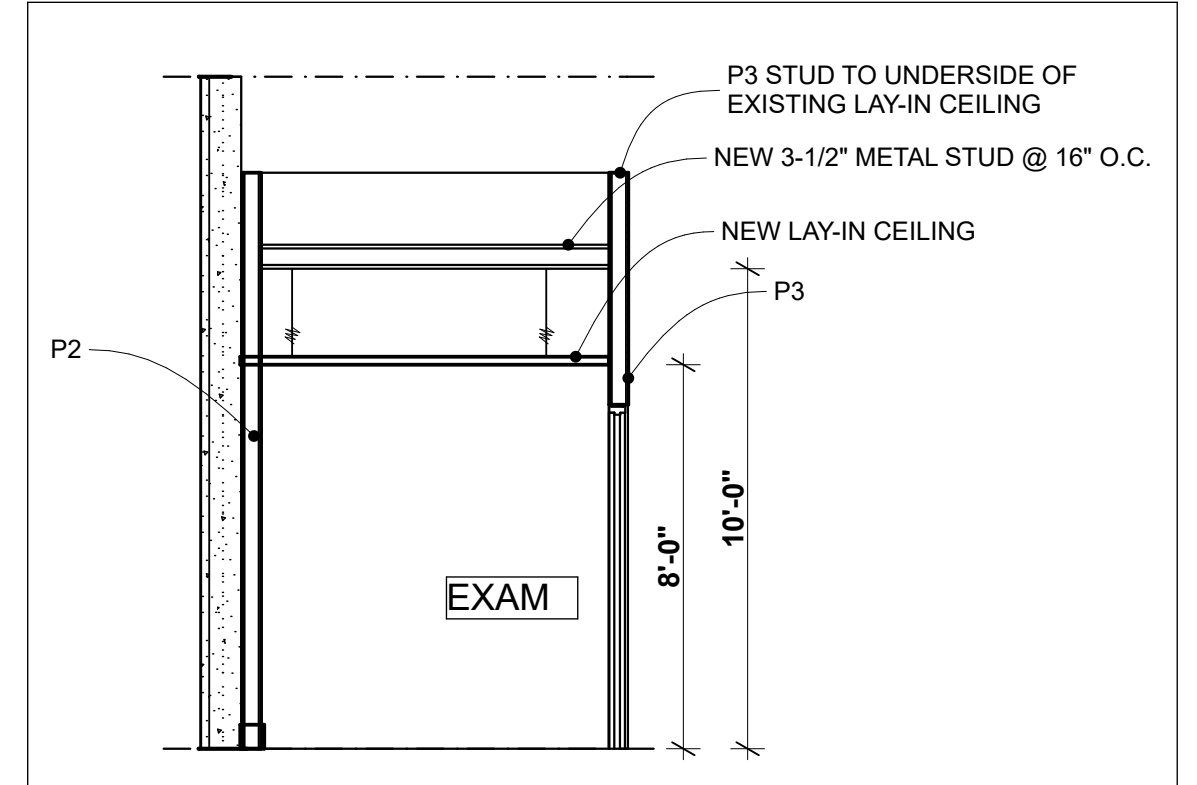
**FLOOR PLAN**

# A2.0

SHEET 40      OF 123

### LEGEND - FLUOROSCOPY ROOM

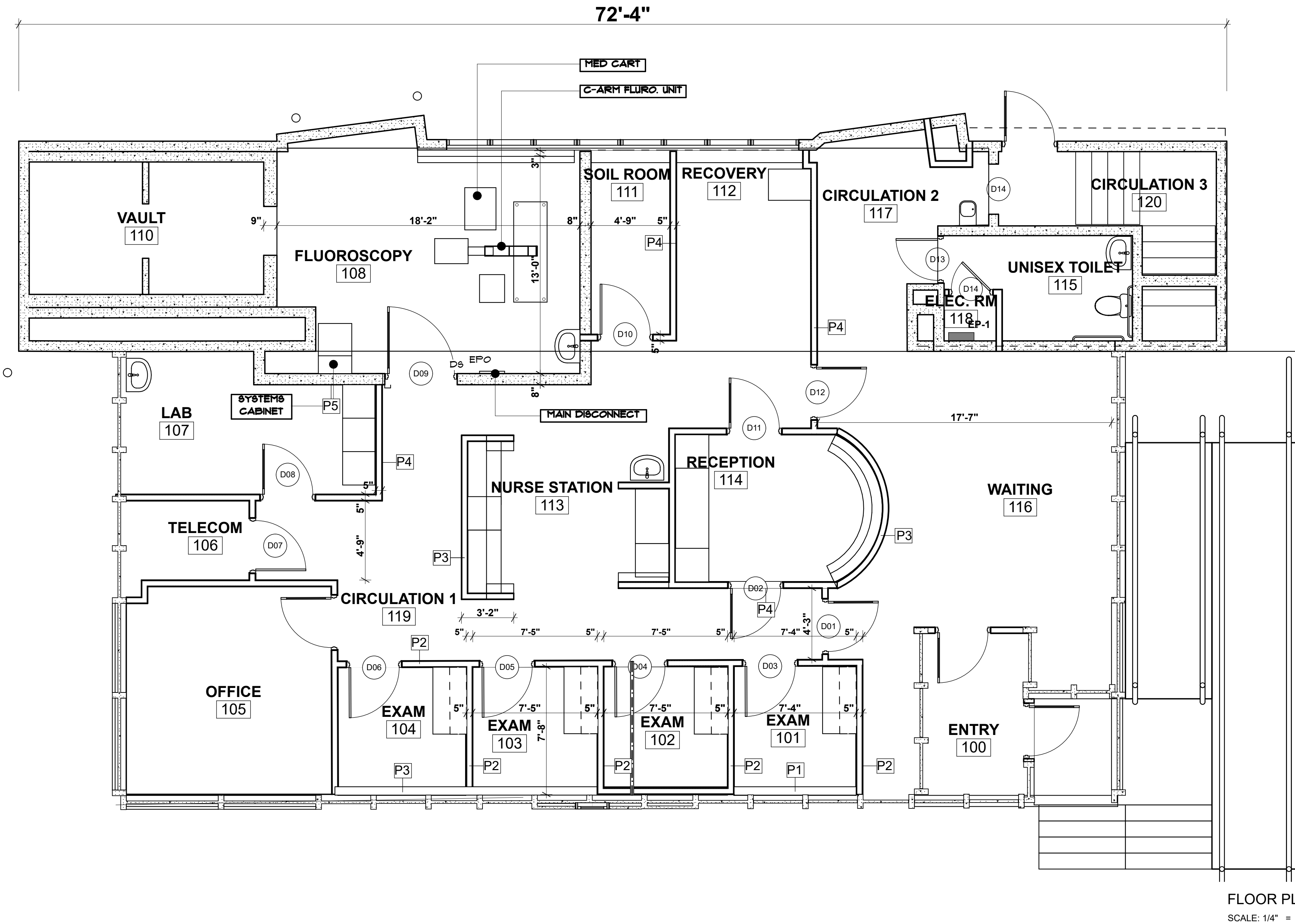
- \*\*\* **A1010** TELECOM OUTLET
- \*\*\* **A1012** TELEPHONE, WALL MTD.
- \*\*\* **A1066** MIRROR, FLOAT GLASS W/SS FRAME
- \*\*\* **A5015** DISPENSER, SOAP DISPOSABLE
- \*\*\* **A5050** DISPENSER, PAPER TOWEL, SS SURFACE MTD.
- \*\*\* **A5101** WASTE DISPOSAL UNIT
- A5145** GARMENT HOOK
- E0545** CART, 24H X 32W X 22D, MOBILE
- M5010** HAMPER, LINEN, MOBILE
- M5012** FRAME, INFECTIOUS WASTE
- \*\*\* **M4116** MONITOR, VITAL SIGNS
- \*\*\* **M4225** STAND, IV, ADJUSTABLE



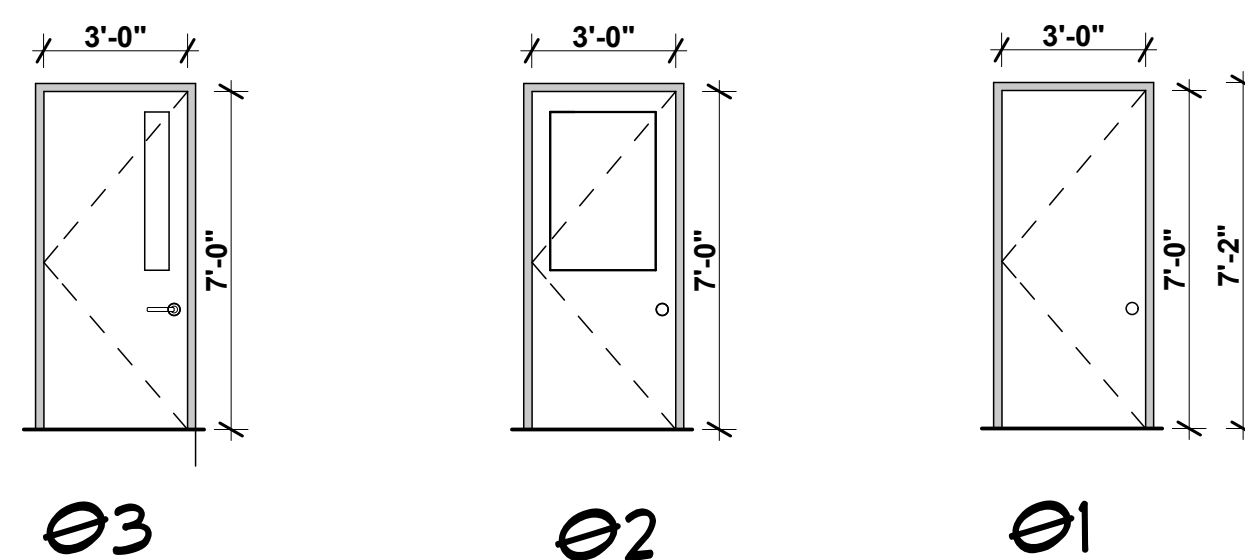
EXAM SECTION  
SCALE: 1/4" = 1'-0"

### DOOR SCHEDULE

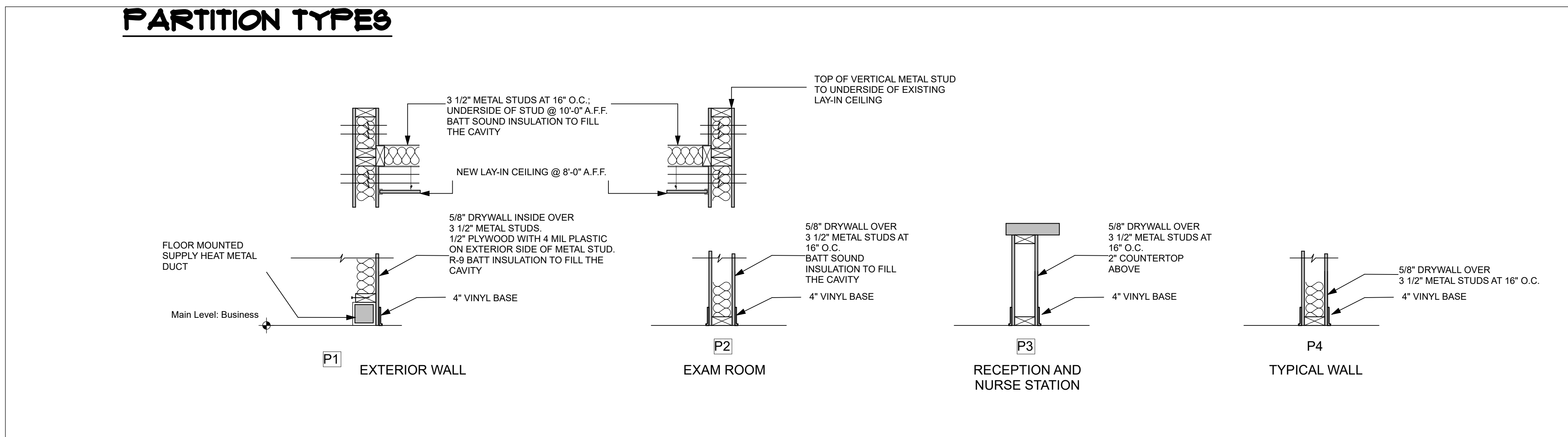
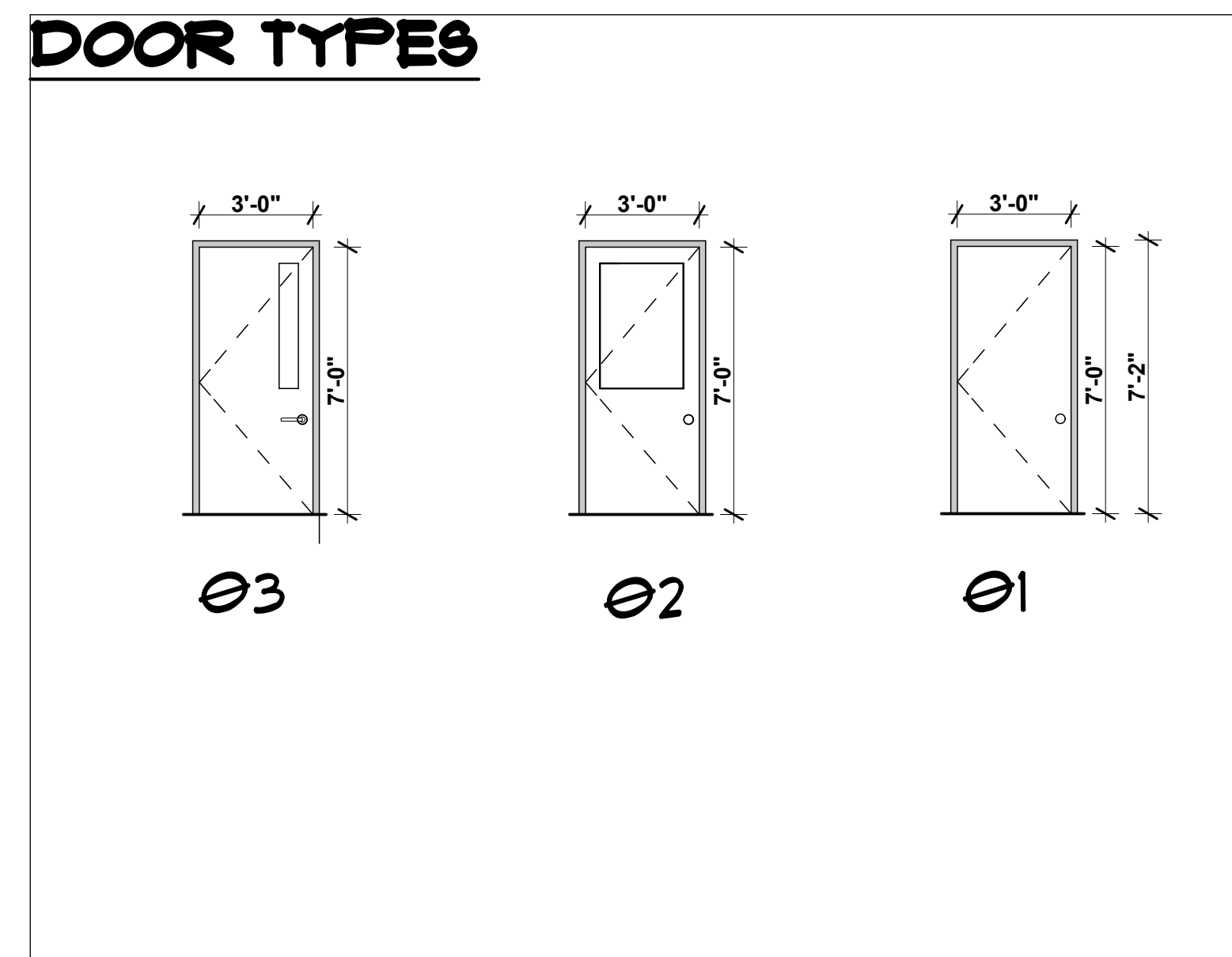
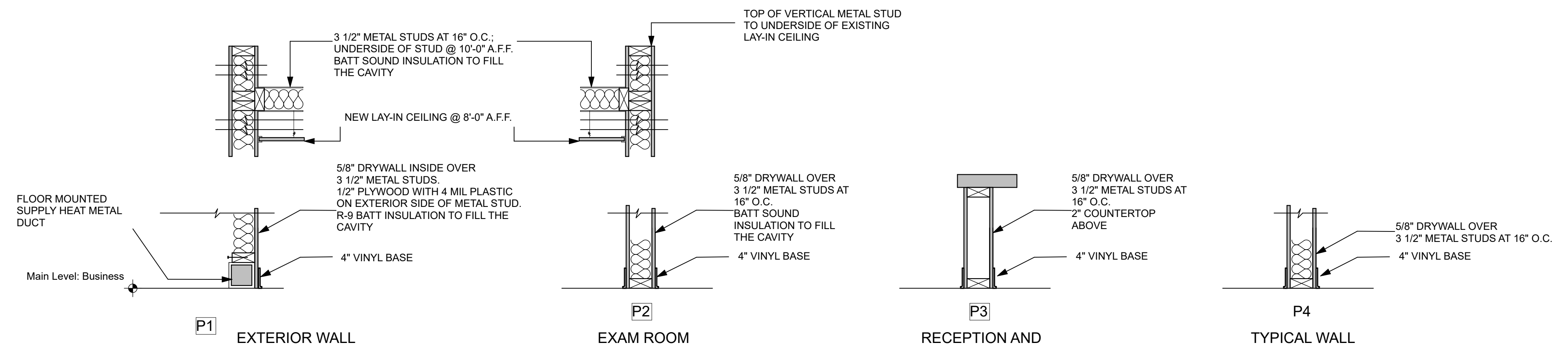
MARK	Zone Name	SIZE			MATL	NOTES
		W	HT	THK		
D01	WAITING	3'-0"	7'-0"	0'-1"		
D02	CIRCULATION 1	3'-0"	7'-0"	0'-1"		
D03	EXAM	3'-0"	7'-0"	0'-1"		
D04	EXAM	3'-0"	7'-0"	0'-1"		
D05	EXAM	3'-0"	7'-0"	0'-1"		
D06	EXAM	3'-0"	7'-0"	0'-1"		
D07	EXAM	3'-0"	7'-0"	0'-1"		
D08	CIRCULATION 1	3'-0"	7'-0"	0'-1"		
D09	LAB	3'-0"	7'-0"	0'-1"		
D10	FLUOROSCOPY	4'-0"	7'-0"	0'-1"		RADIOACTIVE SHIELDING
D11	SOIL ROOM	3'-0"	7'-0"	0'-1"		
D12	CIRCULATION 1	3'-0"	7'-0"	0'-1"		
D13	WAITING	3'-0"	7'-0"	0'-1"		
D14	CIRCULATION 2	2'-6"	7'-0"	0'-1"		
D15	UNISEX TOILET	2'-4"	7'-0"	0'-1"		



### DOOR TYPES



### PARTITION TYPES





ELTON ANDERSON ASSOCIATES, LLC.

8569 SORRENTO SUITE 202 DETROIT, MI 48228

OWNER Dr. Ganiu Edu 20252 Beechhaven Street SOUTHFIELD MI 48076

PROJECT

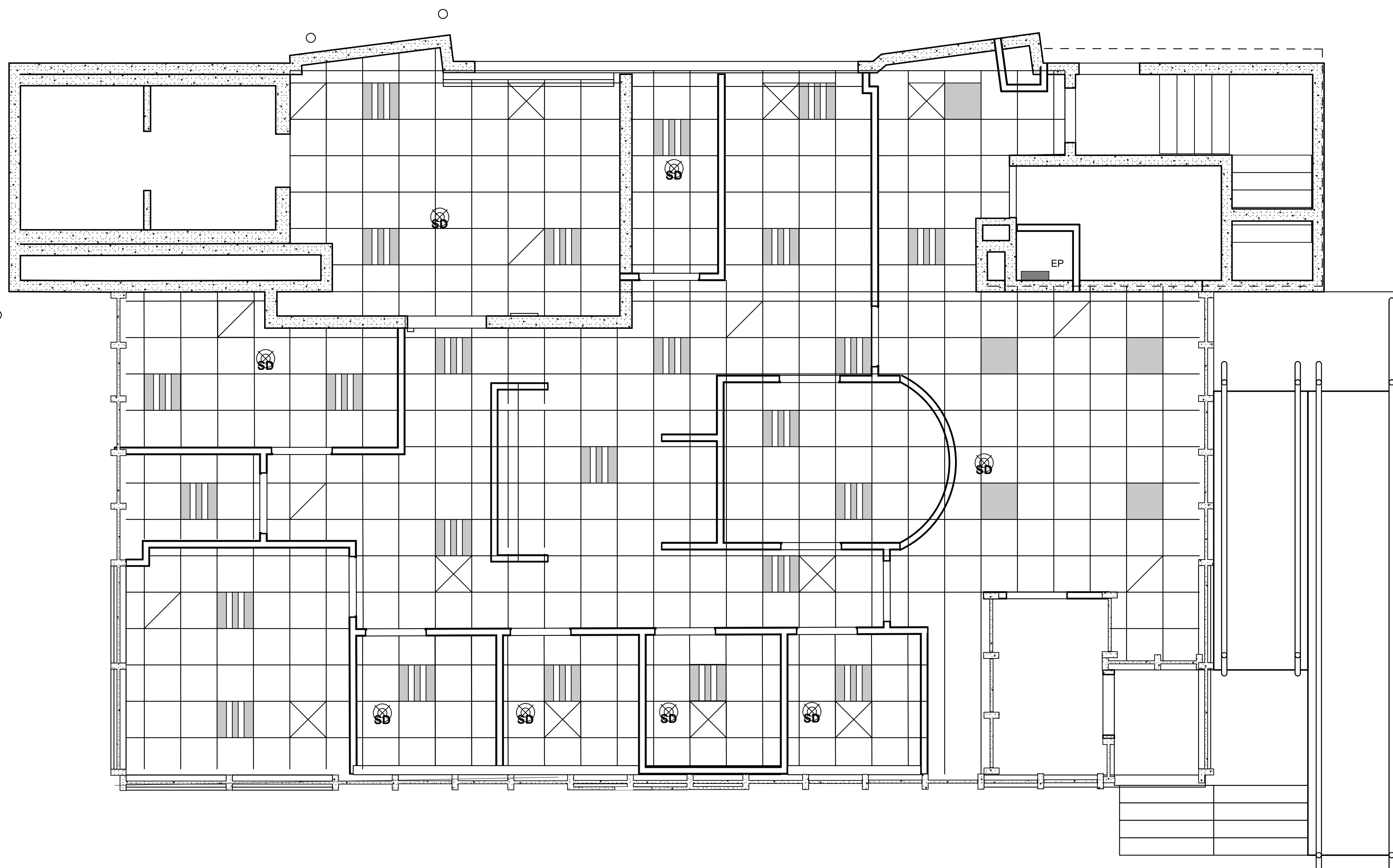
MEDICAL CLINIC LINCOLN PARK, MI 48146



### REFLECTED CEILING LEGEND

#### ELECTRICAL SYMBOL LEGEND

	DUPLEX OUTLET		2X2 LIGHT FIXTURE
	CEILING MTD. LT. FIXT.		SUPPLY AIR GRILLE
	ELEC. SWITCH		RETURN AIR GRILLE
	FIRE EXTINGUISHER		EXIT SIGN
	DUPLEX OUTLET		BATT. OPERATED EMER. LT.
	SMOKE DETECTOR		EL



R.C. PLAN

SCALE: 1/4" = 1'-0"

### CEILING NOTES

- EXISTING LAY-IN CEILING TO REMAIN.
- EXISTING SUPPLY AND RETURN AIR CEILING GRILLES TO REMAIN.
- NEW LAY-IN CEILING TO BE INSTALLED AT FLUOROSCOPY ROOM AND ALL EXAM ROOMS.
- NEW LAY-IN CEILING TO BE INSTALLED AT ALL EXAM ROOMS.
- ELECTRICAL CONTRACTOR TO RE-CIRCUIT NEWLY INSTALLED LIGHTING AS PER LOCAL AND NATIONAL ELECTRIC CODES.

### ROOM FINISH NOTES

- EXISTING VINYL TILE FLOORING TO REMAIN.
- EXISTING SUPPLY AND RETURN AIR CEILING GRILLES TO REMAIN.
- ALL NEW FLOORING TO BE VINYL TILE UNLESS OTHERWISE NOTED.
- ALL NEW WALLS TO BE PAINTED.
- EXISTING LAY-IN CEILING TO REMAIN IN THE MAIN AREA. NEW CEILING TO BE CONSTRUCTED UNDERNEATH EXISTING CEILING AT EXAM ROOMS AND FLUOROSCOPY ROOM.

### ROOM FINISH SCHEDULE

RM #	FLOOR (STORY)	ROOM NAME	CLG. HGHT	FLOOR		WALL		CEILING		REMARKS
				FLOORING	BASEBOARD	WALL	MOULDING	CEILING	MOULDING	
01	FIRST FLOOR	ZONE NAME	10'-0"	A	2	C	5	3	6b	
001	BASEMENT	J.C.	10'-0"	A	2	C	5	3	6b	
002	BASEMENT	UNOCCUPIED	10'-0"	A	2	C	5	3	6b	
003	BASEMENT	ALCOVE	10'-0"	A	2	C	5	3	6b	
004	BASEMENT	WOMENS	10'-0"	A	2	C	5	3	6b	
005	BASEMENT	MENS	10'-0"	A	2	C	5	3	6b	
006	BASEMENT	UNOCCUPIED	10'-0"	A	2	C	5	3	6b	
007	BASEMENT	UNOCCUPIED	10'-0"	A	2	C	5	3	6b	
008	BASEMENT	UNOCCUPIED	10'-0"	A	2	C	5	3	6b	
009	BASEMENT	UNOCCUPIED	10'-0"	A	2	C	5	3	6b	
010	BASEMENT	MECH. ROOM	10'-0"	A	2	C	5	3	6b	
011	BASEMENT	UNOCCUPIED	10'-0"	A	2	C	5	3	6b	
012	BASEMENT	UNOCCUPIED	10'-0"	A	2	C	5	3	6b	
013	BASEMENT	UNOCCUPIED	10'-0"	A	2	C	5	3	6b	
100	FIRST FLOOR	ENTRY	8'-0"	A	2	C	5	3	6b	
101	FIRST FLOOR	EXAM	8'-0"	A	2	C	5	3	6b	
102	FIRST FLOOR	EXAM	8'-0"	A	2	C	5	3	6b	
103	FIRST FLOOR	EXAM	8'-0"	A	2	C	5	3	6b	
104	FIRST FLOOR	EXAM	8'-0"	A	2	C	5	3	6b	
105	FIRST FLOOR	OFFICE	10'-0"	A	2	C	5	3	6b	
106	FIRST FLOOR	TELECOM	10'-0"	A	2	C	5	3	6b	

BY REVISIONS DATE

BY	REVISIONS	DATE

Date: 10/19/18

Scale: AS NOTED

Drawn:  

Job:  

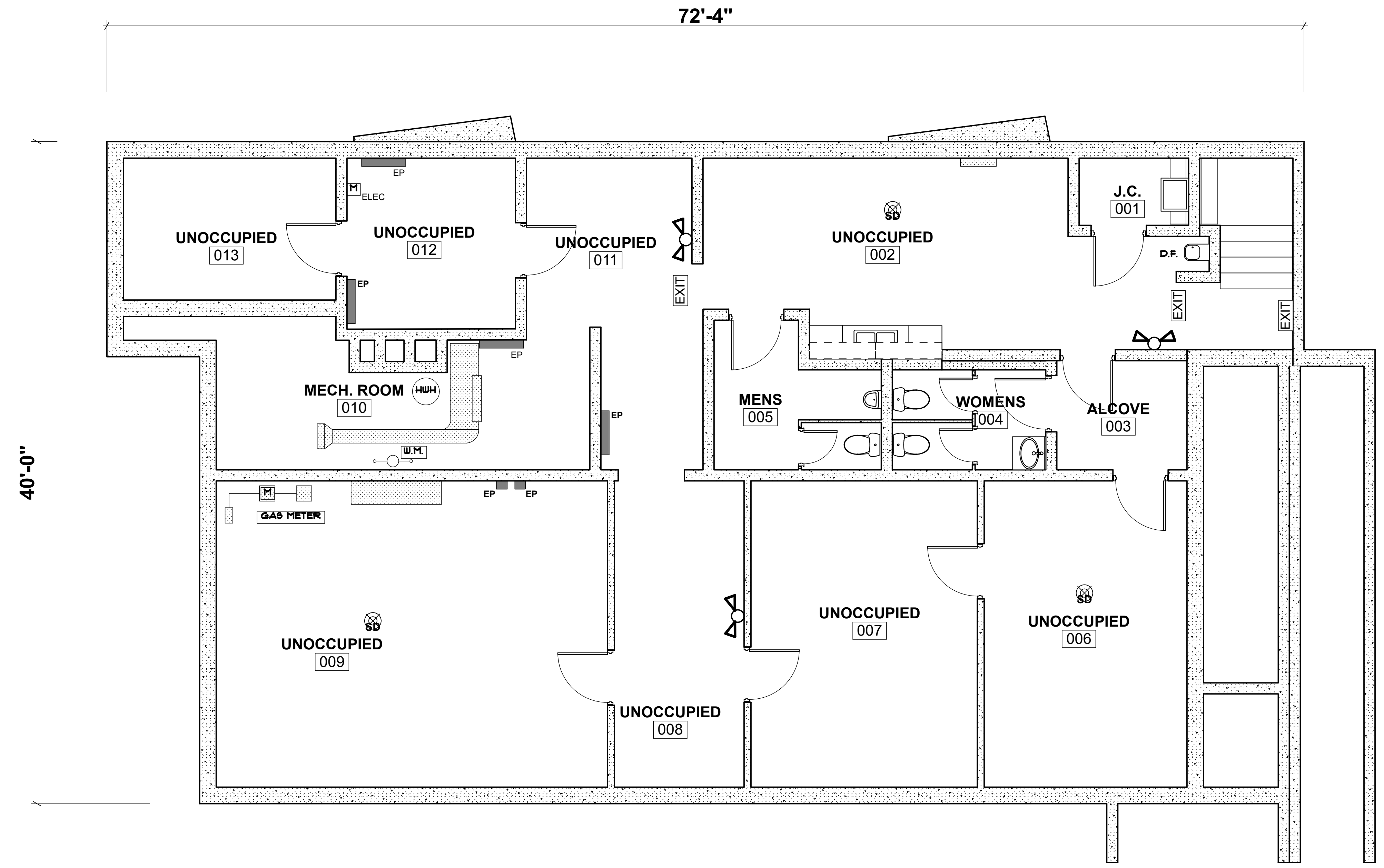
Sheet:  

SHEET TITLE

REFLECTED CEILING PLAN

# A3.0





BASEMENT  
SCALE: 1/4" = 1'-0"



ELTON ANDERSON  
ASSOCIATES, LLC.

8569 SORRENTO  
SUITE 202  
DETROIT, MI 48228

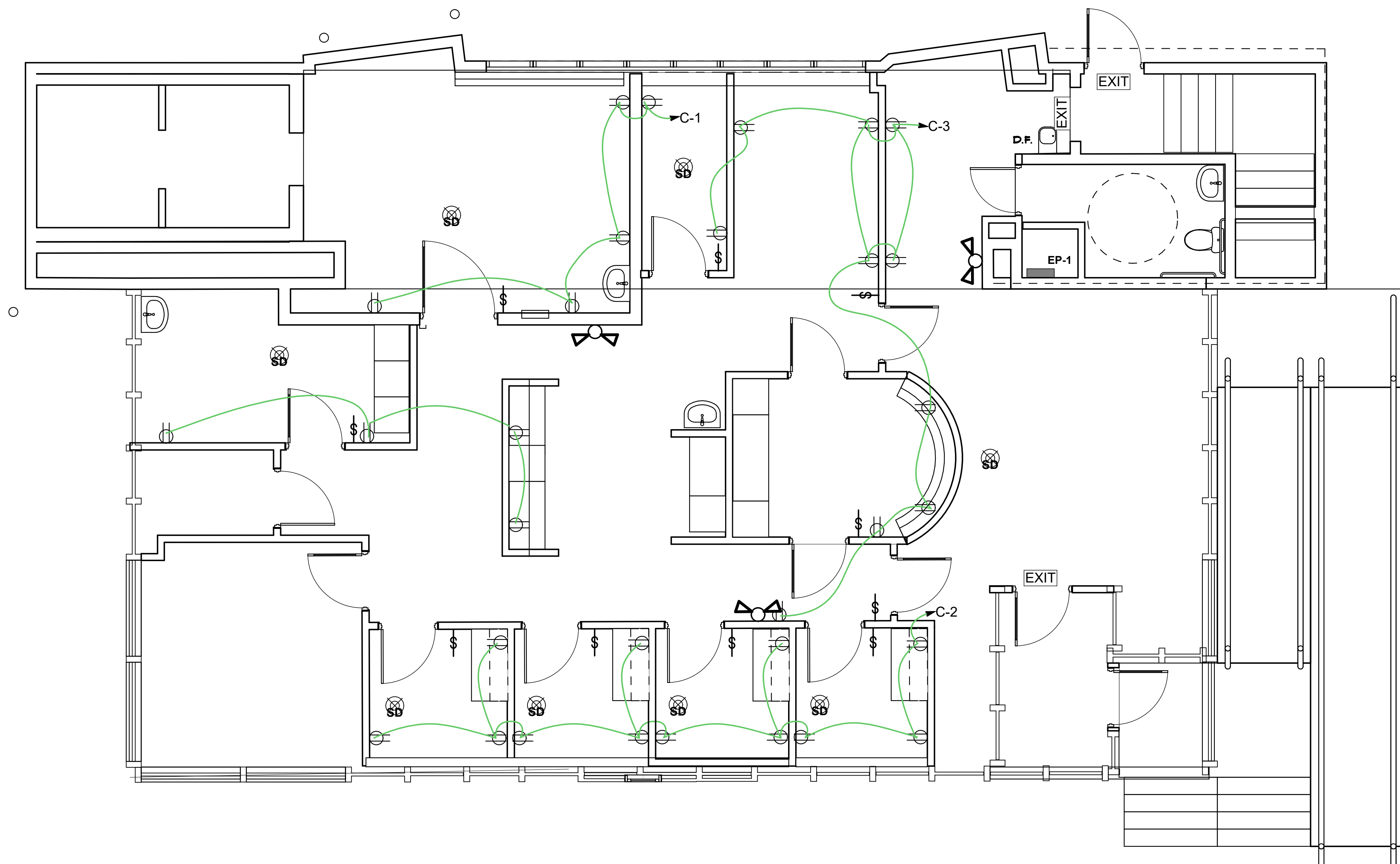
OWNER  
Dr. Ganiu Edu  
20252 Beechhaven Street  
SOUTHFIELD MI 48076

PROJECT  
MEDICAL CLINIC  
LINCOLN PARK, MI  
48146



BY	REVISIONS	DATE
Date:	10/19/18	
Scale:	AS NOTED	
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Sheet:		

SHEET TITLE  
BASEMENT PLAN



ELECTRIC POWER PLAN  
SCALE: 1/4" = 1'-0"

**ELECTRICAL SYMBOL LEGEND**

	DUPLEX OUTLET		2X2 LIGHT FIXTURE
	CEILING MTD. LT. FIXT.		SUPPLY AIR GRILLE
	ELEC. SWITCH		RETURN AIR GRILLE
	FIRE EXTINGUISHER		EXIT SIGN
	DUPLEX OUTLET		BATT. OPERATED EMER. LT.
	SMOKE DETECTOR		



ELTON ANDERSON ASSOCIATES, LLC.

8569 SORRENTO SUITE 202  
DETROIT, MI 48228

OWNER  
Dr. Ganiu Edu  
20252 Beechhaven Street  
SOUTHFIELD MI 48076

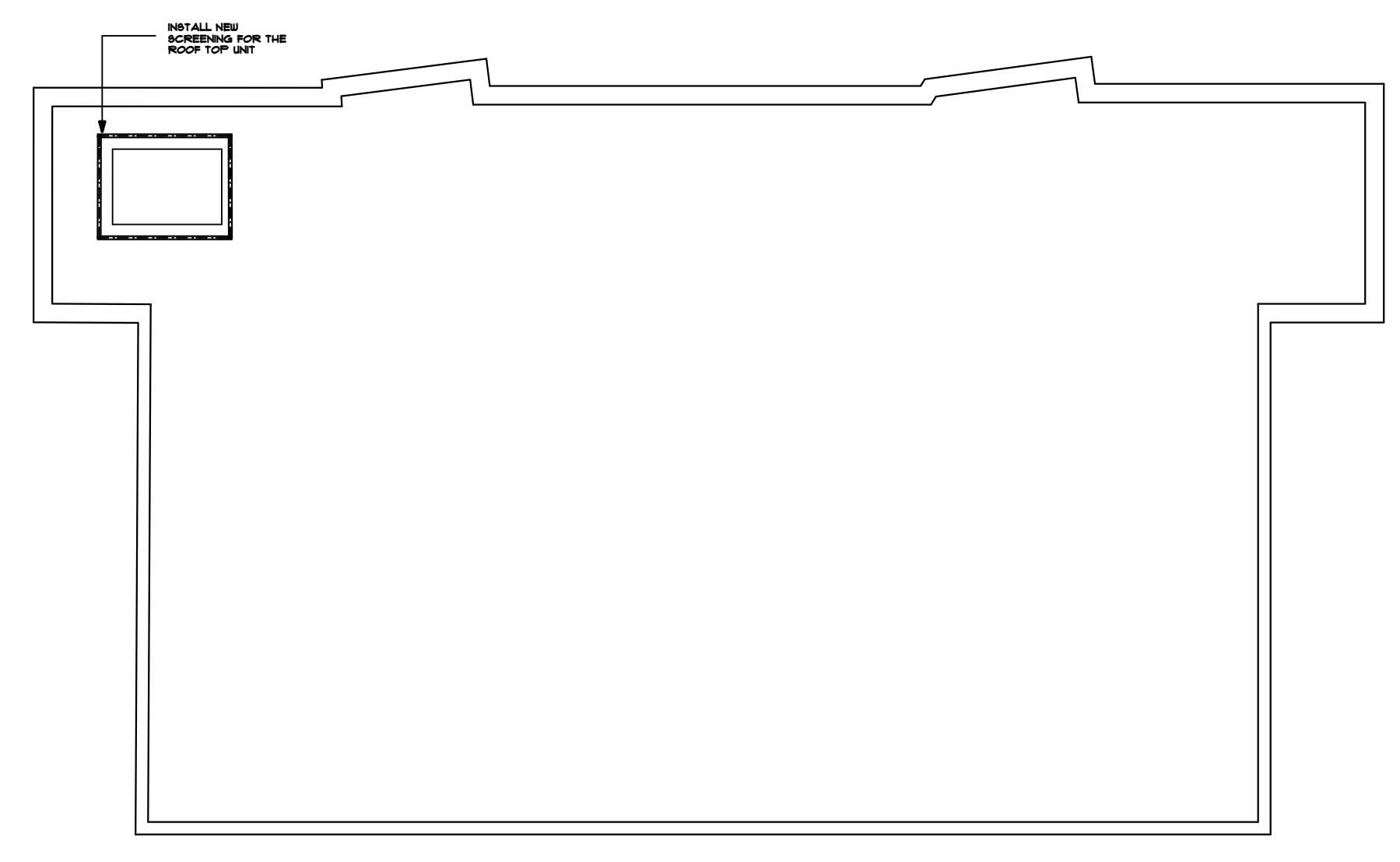
PROJECT  
MEDICAL CLINIC  
LINCOLN PARK, MI  
48146



BY	REVISIONS	DATE
Date:	10/19/18	
Scale:	AS NOTED	
Drawn:		
Job:		
Sheet:		

SHEET TITLE  
ELECTRIC POWER PLAN

**ROOF PLAN**





RECEIVED

OCT 05 2018

CITY OF LINCOLN PARK  
BUILDING DEPARTMENT

COPY  
City of Lincoln Park

Case No. \_\_\_\_\_

Date Submitted \_\_\_\_\_

**APPLICATION FOR SITE PLAN REVIEW**

**NOTICE TO APPLICANT:** Applications for Site Plan Review by the Planning Commission must be submitted to the City in *substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

**TO BE COMPLETED BY APPLICANT:**

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: AMINATOU SALAM-EDU / GANIU EDU, M.D  
Mailing Address: 20252 BEECHAVEN STREET SOUTHFIELD, MI 48076  
Email: abebido@yahoo.com, ganiuedu@gmail.com  
Telephone: 313-651-4834 and 248-325-7602 Fax: \_\_\_\_\_

Property Owner(s) Name (if different from Applicant): AS ABOVE  
Mailing Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Applicant(s) Explanation of Legal Interest in Property:  
The property was purchased for the sole purpose of using the building as a medical service professional office.

Location of Property: Street Address: 2041 Fort Street, Lincoln Park, MI  
Nearest Cross Streets: Southfield Road and Fort Street  
Sidwell Number (Parcel ID#): 45-009-07-0064-000

Property Description:  
If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

Street address: 2041 Fort Street, Lincoln Park, MI 48146 • Legal description: Lots 64 through 71,  
inclusive of QUANDT'S STATE-FORT ST. SUBDIVISION, according to the plat thereof recorded in Liber 57 of Plats,  
Page 48 of Wayne County Records.

Property Size (Square Ft): 2,510 sqft (Acres): 0.36 acres

**Existing Zoning (please check):**

- |  |   |
|--|---|
| <input type="checkbox"/> SFRD Single Family Residential District   | <input type="checkbox"/> RBD Regional Business District           |
| <input type="checkbox"/> MFRD Multiple Family Residential District | <input checked="" type="checkbox"/> CBD Central Business District |
| <input type="checkbox"/> MHRD Mobile Home Park District            | <input type="checkbox"/> GID General Industrial District          |
| <input type="checkbox"/> NBD Neighborhood Business District        | <input type="checkbox"/> LID Light Industrial District            |
| <input type="checkbox"/> MBD Municipal Business District           | <input type="checkbox"/> CSD Community Service District           |
| <input type="checkbox"/> PUD Planned Unit Development District     |   |

Present Use of Property: Freestanding former Chase Bank Branch

Proposed Use of Property: A medical service professional office offering an outpatient services in the treatment of chronic pain. Interventional pain treatments will include, nerve blocks, epidural steroid injections, Spinal cord stimulators, Kyphoplasty, epidurolysis, discograms, radiofrequency ablations and joint injections. Non-interventional pain treatment will include pain medications, referral to chiropractor, Physical therapy and massage therapist.

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	One		Five
Industrial			
Other			

**Professionals Who Prepared Plans:**

A. Name: Elton Anderson Associates, LLC

Mailing Address: 8569 surrento, Suite 202, Detroit MI 48228

Email Address: eltonsr@att.net

Telephone: 313 282-9607 Fax: \_\_\_\_\_ Primary Design Responsibility: Architect

B. Name: \_\_\_\_\_

Mailing \_\_\_\_\_ Address: \_\_\_\_\_

\_\_\_\_\_ Email \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_

C. Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_

**ATTACH THE FOLLOWING:**

1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. **A brief written description** of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:

- |   |  |
|---|--|
| G Wayne County Road Commission          | G Wayne County Drain Commission                |
| G Wayne County Health Division          | G Michigan Department of Natural Resources     |
| G Michigan Department of Transportation | G Michigan Department of Environmental Quality |

**PLEASE NOTE:** The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

**APPLICANT'S ENDORSEMENT:**

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

Signature of Applicant

*[Handwritten Signature]*

Date

10/5/18

Signature of Applicant

*[Handwritten Signature]*

Date

10/5/18

Signature of Property Owner Authorizing this Application

Date

**TO BE COMPLETED BY THE CITY**

Case No. \_\_\_\_\_

Date Submitted: \_\_\_\_\_

Fee Paid: \_\_\_\_\_

By: \_\_\_\_\_

Date of Public Hearing: \_\_\_\_\_

**PLANNING COMMISSION ACTION**

Approved: \_\_\_\_\_ Denied: \_\_\_\_\_ Date of Action: \_\_\_\_\_



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OCT 05 2018

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CITY OF LINCOLN PARK  
BUILDING DEPARTMENT

SITE PLAN REVIEW FOR 2041 FORT STREET, LINCOLN PARK MI

NAME OF BUSINESS: EduCare Interventional Pain and Anesthesiology PLLC

PROPOSED LOCATION: 2041 Fort Str Lincoln Park, MI

EMPLOYER ID NUMBER: E2-5115745

NAME OF PHYSICIAN: Ganiu Edu, MD, Board certified Anesthesiologist and Pain Physician,

Tel: 248-325-7602

BUSINESS MANAGER: Aminatou Salam-Edu.

Tel: 313-651-4834

Hours of Operation:

Mon-Fri: 8:00AM-5:00PM

Saturday: 8:30AM-1:00PM

Number of Employees on largest shift: Five (5)

Number of Practitioner on site: 1-2 (One-to-Two)

Number of Company vehicle: Zero

PROPOSED USE: We are proposing to establish an outpatient Medical sub-specialty office which specializes in the interventional treatment of chronic pain. The proposed interventional pain clinic will serve the people of downriver and beyond. There will be no emergency visits but by appointments. No treatment for patients with addiction to illicit drugs or alcohol. Braces (such as back braces and knee braces), local anesthetics (such as Lidocaine and Marcaine), steroids (such as Dexamethasone and Kenalog) and syringes will be utilized. No opioid will be dispensed or stored on site. Laptops and desktops computers will also be utilized. Patient's files will be stored on site.

Waste Generation and disposal: No hazardous materials over 25 gallons to be stored on site. Biohazard materials such as dirty needles and any trash with bodily fluids are to be stored in a dedicated locked biohazard container in the soil room. The biohazard container will be picked up by a third party twice a month.

Radiation: Fluoroscopy is like X-ray. A fluoroscopy machine will be utilized for most interventional pain procedures. The rules and regulations of a fluoroscopy are regulated by the Radiation section of the Michigan Occupational Safety and Health Administration (MIOSHA). The guidelines from MIOSHA on how to design a fluoroscopy room was observed in the planning and designing of our proposed fluoroscopy room. MIOSHA requires that it issues a Fluoroscopy Certificate which will be specific to the fluoroscopy room to be utilized; also, the certificate is specific to the fluoroscopy machine to be utilized. The fluoroscopy certificate required will be obtained from MIOSHA prior to usage of the fluoroscopy machine. The radiation dose to the fluoroscopy users and the environment are required to be monitored with radiation badges on daily basis.

We thank you for your assistance,



GANIU A EDU, M.D



18 APR-4 AM 11:41

Bernard J. Youngblood  
Wayne County Register of Deeds  
2018107962 L: 54318 P: 1144  
04/04/2018 11:44 AM WD Total Pages: 3

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OCT 05 2018

CITY OF LINCOLN PARK  
BUILDING DEPARTMENT

COPY

P.A. 327 OF 1968  
AFFIDAVIT FILED

WARRANTY DEED

Corporate(Platted/Condominium)

**Drafted By:**  
Wayne S. Segal  
39533 Woodward Ave., Suite 200  
Bloomfield Hills, MI 48304

**Return To:**  
Aminatou Salam-Edu  
20252 Beechaven  
Southfield, MI 48076

**Send Tax Bills To:**  
Aminatou Salam-Edu  
20252 Beechaven  
Southfield, MI 48076

Recording Fee: \$  
File Number: 722480 *EXH.*  
State Transfer Tax: \$RETVA filed  
County Transfer Tax: \$RETVA filed  
Tax Parcel No.: 45-009-07-0064-000

Know All Persons by These Presents: That **Downriver Property Investors, LLC, a Michigan limited liability company, successor by conversion to Downriver Properties, a Michigan partnership** whose address is 31550 Northwestern Hwy Suite 200, Farmington Hills, MI 48334

Convey(s) and Warrant(s) to **Aminatou Salam-Edu** whose address is 20252 Beechaven, Southfield, MI 48076

the following described premises situated in the City of **Lincoln Park**, County of **Wayne**, State of Michigan, to wit:

(SEE ATTACHED EXHIBIT A)

More commonly known as: **2041 Fort Street, Lincoln Park, MI 48146**  
For the full consideration of: **Real Estate Transfer Valuation Affidavit on File**

**Subject To:**

Existing building and use restrictions, easements of record, and zoning ordinances, if any.



First American Title Insurance Company

*(Attached to and becoming a part of Warranty Deed dated: March 30, 2018 between Downriver Property Investors, LLC, a Michigan limited liability company, successor by conversion to Downriver Properties, a Michigan partnership, as Seller(s) and Aminatou Salam-Edu, as Purchaser(s).)*

Dated this March 30, 2018.

**Seller(s):**

Downriver Property Investors, LLC, a Michigan limited liability company successor by conversion to Downriver Properties, a Michigan partnership

By: \_\_\_\_\_

Name: Spencer Partrich  
Title: Manager

State of Michigan  
County of Oakland

The foregoing instrument was acknowledged before me this March 30, 2018 by Spencer Partrich, Manager of Downriver Property Investors, LLC, a Michigan limited liability company, successor by conversion to Downriver Properties, a Michigan partnership.

Lisa M. Mallas  
Notary Public: LISA M. MALLAS  
Notary County/State: / Oakland / MI  
County Acting In: Oakland  
Commission Expires: May 1, 2019

LISA M. MALLAS  
NOTARY PUBLIC, STATE OF MI  
COUNTY OF OAKLAND  
MY COMMISSION EXPIRES May 1, 2019  
ACTING IN COUNTY OF Oakland

COPY

04

CSSL/CD-701 (Rev. 10/17)

MICHIGAN DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS  
CORPORATIONS, SECURITIES & COMMERCIAL LICENSING BUREAU

Date Received	AC1	(FOR BUREAU USE ONLY)
APR 09 2018	This document is effective on the date filed, unless a subsequent effective date within 90 days after received date is stated in the document.	

TransInfo:1 22884814-1 04/05/18  
Chk#: 122 Amt: \$51.00  
ID: GANIU EDU

Name EDUCARE INTERVENTIONAL PAIN & ANESTHESIOLOGY PLLC		
Address 2041 FORT STREET		
City LINCOLN PARK	State MI	ZIP Code 48146

EFFECTIVE DATE:

FILED

APR 09 2018

Document will be returned to the name and address you enter above.  
If left blank, document will be returned to the registered office.

ADMINISTRATOR  
CORPORATIONS DIVISION

RECEIVED

OCT 05 2018

ARTICLES OF ORGANIZATION

For use by Domestic Professional Service Limited Liability Companies

(Please read information and instruction on last page)

CITY OF LINCOLN PARK  
BUILDING DEPARTMENT

Pursuant to the provisions of Act 23, Public Acts of 1993, the undersigned execute the following Articles:

ARTICLE I

The name of the professional limited liability company is: EDUCARE INTERVENTIONAL PAIN & ANESTHESIOLOGY PLLC

ARTICLE II

The limited liability company is organized for the sole and specific purpose of rendering the following professional service(s):

The purpose of the professional limited liability company is to render the professional service of medicine.

ARTICLE III

The duration of the limited liability company if other than perpetual is: \_\_\_\_\_

ARTICLE IV

- The name of the resident agent is: DR. GANIU A EDU
- The address of the registered office is:  
2041 FORT STREET, LINCOLN PARK, Michigan 48146  
(Street Address) (City) (ZIP Code)
- The mailing address of the registered office, if different than above:  
P.O. BOX 760421, SOUTHFIELD, Michigan 48076  
(Street Address or P.O. Box) (City) (ZIP Code)

LE

**ARTICLE V**

All members and managers, will be duly licensed or otherwise legally authorized to render one or more of the professional service(s) for which this limited liability company is organized except as otherwise provided in Section 904 of P.A. 23 of 1993 or prohibited.

**ARTICLE VI (Insert any additional provisions authorized by the act, attach additional pages if needed.)**

I, the undersigned person, do hereby adopt the following Articles of Organization for the purpose of forming a Michigan Limited Liability Company.

The names and street addresses of Members who shall constitute the initial Members of the PLLC are as follows:

GANIU A EDU, M.D  
P.O.BOX 760421  
SOUTHFIELD MI 48076

Signed this 1ST day of APRIL, 2018



(Signature(s) of Organizers(s))

GANIU A EDU, M.D.

(Type or Print Name(s) of Organizer(s))



**CITY OF LINCOLN PARK**

1355 SOUTHFIELD ROAD  
LINCOLN PARK, MI 48146  
(313) 386-1800  
(313) 386-0490

Invoice For Permit: PPC18-0006

Print Date: 10/05/2018

**PAID**

**OCT 05 2018**

**CITY OF LINCOLN PARK  
TREASURER'S OFFICE**


AMINATOU SALAM-EDU  
20252 BEECHAVEN  
SOUTHFIELD MI 48076

Pay by Account In Full



Pay by Account In Full

**\$ 2,550.00**

Invoice No	Invoice Date	Permit Number	Address	Amount Due
 00090116	10/05/18	PPC18-0006	2041 FORT	\$ 2,550.00
Fee Details:	Quantity	Description	Amount Cost	Balance
	1.000	ADMIN SITE PLAN REVIEW	\$300.00	\$ 300.00
	1.000	ESCROW	\$2250.00	\$ 2,250.00
<b>Total Amount Due</b>			<b>\$ 2,550.00</b>	

## 4089 Dix Hwy – Commercial Plaza

### Site Plan Review

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Applicant	DM Investments 26, LLC
Project	Commercial Plaza
Address	4089 Dix Highway, Lincoln Park, MI 48146
Date	November 16, 2018
Request	Site Plan Review
Recommendation	Approval with conditions

---

#### GENERAL

*All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).*

#### Project and Site Description

The applicant proposes a commercial plaza in a vacant building which was approved in 2014-15 as a health and spa facility, but was not completed. The individual units will be whiteboxed, with specific commercial uses to be dictated by tenants.

##### *Site conditions*

The site is 43,794 sq ft (1.01 Acres) on the corner of Dix Highway and Old Goddard Road. The building is on the south end of the lot and has a private parking lot on the north side of the lot. Curb cuts on each street provide access to the parking lot, and the site is served by a sidewalk on both roads. The site is bounded to



Figure 1: Aerial View, Flood

planning review

the north by the Ecorse Creek, and a portion of it falls within the floodway, the 100-year floodplain, and the 500-year floodplain.

**Master Plan**

*Future Land Use Classification*

The future Land Use Map (FLUM) from 2007 Comprehensive Plan shows this property is designated for General Commercial use.

*Intent; Desirable Uses and Elements*

Large shopping centers and hotels are included in the General Commercial category, intended to provide retail goods and services on a city wide scale. These uses generate large volumes of vehicular traffic, require substantial access for off-street parking and loading and require detailed planning, particularly as to relationships with adjacent residential areas. As a commercial plaza use, this proposal fits within the Master Plan future land use goals.

**Land Use and Zoning**

*Zoning*

The west half of the property is zoned Municipal Business District (MBD), and the east half is zoned Single Family Residential District (SFRD). Shopping centers with less than sixty thousand (60,000) square feet of gross floor area are a principal permitted use in the MBD. The eastern portion of the property appears to be improperly zoned SFRD, considering that a retail establishment has been constructed on it, and the applicant has applied to rezone the property to MBD at the City’s request. A small portion of the site falls within the Flood Hazard Overlay District.

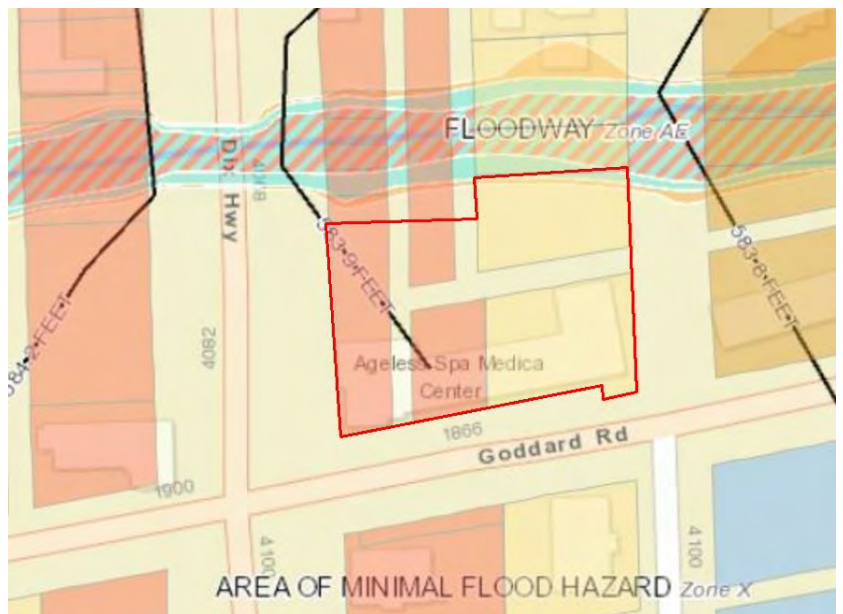


Figure 3: Zoning

*Proposed and Existing Uses*

Site	Commercial plaza, Municipal Business District and Single-Family Residential District
North	Floodplain hazard zone overlay; Commercial, Municipal Business District and Residential, Single-Family Residential Discrit.

East	Alley then Residential, Multiple-Family Residential District
South	ROW then Commercial, Municipal Business District and Residential, Single-Family Residential District
West	ROW then Commercial, Municipal Business District

### Dimensional Standards

The dimensional requirements of the MBD district are described in the chart below. (§1294.32, except where noted.)

	Required	Provided	Compliance
<b>Lot Width</b>	Min. 40 ft	208.9 ft	MET
<b>Street Frontage</b> (§1294.09)	Shrubbery and low retaining walls 2 ½' < height < 8'	No shrubbery provided within the triangle area.	MET
<b>Lot Area</b>	Min. 4,000 sq ft	11,882 Sq ft	MET
<b>Lot Coverage</b>	Max. 50%	27%	MET
<b>Height</b>	Max. 2 stories, 25 ft	20' 8"	MET
<b>Setback – Front</b>	0 ft	3.5' ft	MET
<b>Setback – Sides</b>	0 ft	0 ft & 11.5' ft	MET
<b>Setback – Rear</b>	0 ft	30.9"	MET

### Items to be addressed

None

### BUILDING DESIGN

*The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.*

Required	Compliance
<ul style="list-style-type: none"> <li>Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500'</li> </ul>	MET



Required	Compliance
<ul style="list-style-type: none"> <li>• Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) <i>Percentage is not provided, the estimated percentage for south elevation is 72%, west elevation is 85%. This condition is not met</i></li> <li>• 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly-reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block) <i>Percentage is not provided, estimated percentage for south elevation is 24.5%, north elevation is 22%, east and west elevations are 14.5%. This condition is met</i></li> <li>• Natural colors (bright for decorative features only)</li> </ul>	<p>NOT MET</p>
<ul style="list-style-type: none"> <li>• Architectural variety</li> <li>• Similar materials and entrances to buildings within 500'</li> </ul> <div style="display: flex; justify-content: space-around;"> <div data-bbox="199 787 583 930"> <p>@ intersection looking SE –Site</p> </div> <div data-bbox="605 787 1153 930"> <p>@ intersection looking SW</p> </div> </div> <div style="display: flex; justify-content: space-around; margin-top: 10px;"> <div data-bbox="199 976 693 1119"> <p>@ intersection looking NE</p> </div> <div data-bbox="699 976 1247 1119"> <p>@ intersection looking NW</p> </div> </div> <div style="display: flex; justify-content: space-around; margin-top: 10px;"> <div data-bbox="199 1167 657 1289"> <p>@ Adjacent MFRD property.</p> </div> <div data-bbox="677 1167 972 1289"> <p>@ Coolidge Rd.</p> </div> </div>	<p>MET</p>
<ul style="list-style-type: none"> <li>• Façade: &lt;100' uninterrupted</li> <li>• If &gt;100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches</li> <li>• All sides similar</li> </ul>	<p>MET</p>
<ul style="list-style-type: none"> <li>• Windows: vertical, recessed, visually-obvious sills <i>This condition is met.</i></li> <li>• Spaces between windows = columns, mullions, or material found elsewhere on the façade <i>This condition is met.</i></li> <li>• Front facades &gt; 25% windows <i>Percentage is not provided, estimated percentage for south elevation facing Goddard Rd is 3%, for west elevation facing Dix Hwy is 25%. This Condition is not met.</i></li> <li>• Size, shape, orientation, spacing to match buildings within 500' <i>This condition is met.</i></li> </ul>	<p>NOT MET</p>
<ul style="list-style-type: none"> <li>• Main entrances: doors larger</li> <li>• Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls)</li> </ul>	<p>MET</p>

Required	Compliance
<ul style="list-style-type: none"> <li>Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 <i>This building doesn't have pitched roof. N/A.</i></li> <li>Rooflines &gt;100' = roof forms, parapets, cornice lines <i>This condition is met.</i></li> <li>Roof-top mechanical equipment screened by roof form. <i>No indication of mechanical equipment on roof. N/A</i></li> </ul>	<p>MET</p>

Exterior building materials approximate the required 75% of permanent, natural materials. Window transparency is met on the west elevation, but measures just 3% on the south elevation. Heavy landscaping is used to provide visual interest in lieu of transparency, a solution that at least addresses the issue if not ideal.

**Items to be addressed**

*None*

**PRESERVATION OF SIGNIFICANT NATURAL FEATURES**

*Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.*

The Ecorse Creek forms the northern boundary of the site, and a portion of the parcels falls within the Flood Hazard Overlay Zone which is delineated by the boundary of the 100-year floodplain. Development within the floodplain is subject to regulation by the Michigan Department of Environmental Quality. The area that falls within the zone is proposed to remain natural and vegetated in conformance with the regulations.

**Items to be addressed**

- Flood hazard areas are regulated by the Michigan Department of Environmental Quality.*

**SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION**

*The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.*

The property is served by sidewalks along Old Goddard Rd and Dix Highway. In addition, a concrete path extends from the sidewalk to a bus stop along Dix highway. A concrete sidewalk lining the middle of the

north edge of the building provides access to the individual commercial units which is separated from vehicular circulation. There are no bicycle lanes on either Dix or Goddard, and no bicycle parking facilities are proposed.

Engineering comments note that the concrete sidewalks must be brought up to City Standards. Any broken, cracked or unsafe sidewalks in the Goddard and Dix Ave. right of ways and onsite that should be repaired.

**Items to be addressed**

*None*

**PARKING**

*The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.*

Use	Required	Proposed	Compliance
Shopping Center less than 60,000 sq. ft	Four (4) for every one-thousand (1,000) square feet of gross leasable floor area, plus spaces for supermarket or hypermarket, if included.  (11,882/1,000)*4= 47.5 parking spaces	49	MET

Parking Area B, §1290.05 Required	Proposed	Compliance
Adequate means of ingress and egress shall be provided and shown	Proposed an egress access on Old Goddard Rd and egress/ ingress access on Dix Hwy.	MET
Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Existing Asphalt	MET
Concrete curbs and gutters	Site plan shows lines of curb without a written description; gutters are not addressed	Met pending detail

Parking Area B, §1290.05 Required	Proposed	Compliance
When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	Proposed screen wall along property line adjoining MFRD property.  The screen wall section detail is not to scale; applicant to revise with drawing that indicates height of finished wall	NOT MET
All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	N/A	N/A
Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	Provided	MET
In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	Parking facilities do not abut a public sidewalk.	N/A

Engineering comments note that overall, the parking lot is in good condition with some minor cracking. It is highly recommended to seal the cracks as soon as possible in order to extend the life of the parking considerably and save a lot of money in the future. There is what appears to be broken concrete in a bump in area on the west side (Dix Ave. side) of the building that will need to be repaired. There are also a couple of missing valve box covers as well as a broken sanitary sewer manhole cover in the parking lot; the applicant and the City shall work together to address these safety hazards.

**Items to be addressed**

- Sidewalks to be brought up to City code
- Curb detail and gutter to be shown on site plan
- Screen wall drawing to be scaled to indicate finished height
- Broken bump-in concrete on west side of building to be repaired
- Applicant to work with City to replace valve box covers and broken sanitary sewer manhole cover in parking lot



**BARRIER-FREE ACCESS**

*The site has been designed to provide barrier-free parking and pedestrian circulation.*

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
26 to 50	2	2	MET

**Items to be addressed**

*None*

**LOADING**

*All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.*

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
5,001-20,000	1	1	MET

**Items to be addressed**

*None*

**ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION**

*Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.*

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Road, Fort Street, Dix Avenue, and Outer Drive.

Required	Provided	Compliance
<ul style="list-style-type: none"> <li>• Single two-way driveway or pair of one-way driveways</li> <li>• Two-way: 25' &lt; throat width &lt; 30' (face to face of curb). One-way paired: each 20' measured perpendicularly. May be separated by 10' median; sidewalks shall be continued or maintained</li> <li>• 25' radii; 30' radii where daily truck traffic expected</li> <li>• Corner lots: one access point per street with &gt;100' frontage</li> <li>• If frontage &gt;300' and documented need (ITE), may allow additional access with design restrictions                             <ul style="list-style-type: none"> <li>• If frontage &gt;600', max of 3 drives may be allowed; one with design restrictions</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>• Proposed single two-way driveway on Dix Highway</li> <li>• Provided 29' 1" for driveway at Dix Highway</li> <li>• Estimated radii of 25'</li> <li>• One access point per street</li> <li>• N/A</li> <li>• N/A</li> </ul>	<ul style="list-style-type: none"> <li>• MET</li> <li>• MET</li> <li>• MET</li> <li>• MET</li> <li>• N/A</li> <li>• N/A</li> </ul>
<ul style="list-style-type: none"> <li>• Shared access: driveways along property lines, connecting parking lots, on-site frontage roads, rear service drives. Encouraged and may be required for sites within 1/4 mile of major intersections; having dual frontage; with &lt;300' frontage; with sight distance problems; along congested or accident-prone roadway segments</li> <li>• Connection to adjacent facilities may be required; site accommodation may be required for future connection to undeveloped adjacent property</li> <li>• Letters of agreement or access easements required</li> </ul>	<ul style="list-style-type: none"> <li>• N/A; no shared access on Dix</li> <li>• N/A; no adjacent facilities on Dix</li> </ul>	<p>N/A</p>
<ul style="list-style-type: none"> <li>• Triangular unobstructed view areas: from corner of two ROWs, 25' along each; from corner of ROW and driveway, 10' along driveway and 5' along ROW</li> <li>• Grass / groundcover only in 3' strip abutting driveway and ROW</li> <li>• Trees permitted if trimmed between 30" and 6' from ground level</li> </ul>	<ul style="list-style-type: none"> <li>• No obstructed view in the triangular area.</li> <li>• No landscaping provided except grass.</li> <li>• No trees presented in triangle area.</li> </ul>	<ul style="list-style-type: none"> <li>• MET</li> <li>• MET</li> <li>• N/A</li> </ul>

Required	Provided	Compliance
<ul style="list-style-type: none"> <li>• May require drive to be located on the far side of the property from congested intersections</li> <li>• &gt;150' from signalized intersection or 4-way stop, or right-turn-only at 75' from intersection</li> <li>• &gt;100' otherwise                             <ul style="list-style-type: none"> <li>• &gt;200' from centerline of I-75 access ramps</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>• No information provided about the level of congestions on intersection.</li> <li>• ~85' from signalized intersection of Dix and Goddard; consider right-turn-only</li> <li>• N/A</li> <li>• N/A</li> </ul>	<ul style="list-style-type: none"> <li>• N/A</li> <li>• NOT MET</li> <li>• N/A</li> <li>• N/A</li> </ul>
<ul style="list-style-type: none"> <li>• Same side of street: Driveway spacing determined by speed limits in §1290.10</li> <li>• Across the street: Driveways directly aligned or &gt;150' offset (excludes right-turn-only)</li> <li>• Directional driveways, divided driveways, and deceleration tapers and/or by-pass lanes may be required by the Planning Commission where they will reduce congestion and accident potential</li> </ul>	<ul style="list-style-type: none"> <li>• N/A</li> <li>• Driveways are &lt;150' offset; consider right-turn-only</li> <li>• N/A</li> </ul>	<ul style="list-style-type: none"> <li>• N/A</li> <li>• NOT MET</li> <li>• N/A</li> </ul>

(4) For expansion and/or redevelopment of existing sites where the Planning Commission determines that compliance with all the standards of this section is unreasonable, the standards shall be applied to the maximum extent possible. In such situations, suitable alternatives which substantially achieve the purpose of this section may be accepted by the Planning Commission, provided that the applicant demonstrates that all of the following apply:

- A. The size of the parcel is insufficient to meet the dimensional standards.
- B. The spacing of existing, adjacent driveways or environmental constraints prohibit adherence to the access standards at a reasonable cost.
- C. The use will generate less than five hundred (500) total vehicle trips per day or less than seventy-five (75) total vehicle trips in the peak hour of travel on the adjacent street, based on rates developed by the Institute of Transportation Engineers (ITE).
- D. There is no other reasonable means of access.

**Items to be addressed**

- Applicant shall indicate driveways' radii on site plan.
- Consider right-turn-only restriction from Dix Highway egress, based on proximity to signalized intersection and alignment of driveways across Dix

**EMERGENCY VEHICLE ACCESS**

*All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.*

No indication of fire lane designated on the site.

**Items to be addressed**

- Applicant shall investigate and arrange to permit necessary emergency vehicle access as required by the Fire Department and Police Department.*

**STREETS**

*All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.*

No new streets are proposed.

**Items to be addressed**

*None*

**LANDSCAPING, SCREENING, AND OPEN SPACE**

*The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.*

	<b>Required</b>	<b>Proposed</b>	<b>Compliance</b>
Street Landscapi	Greenbelt, 10' width minimum with groundcover	Provided 10' along Old Goddard Highway and street greenbelt along Dix Highway.	MET



	Required	Proposed	Compliance
	1 tree and 4 shrubs per 40' of street frontage <ul style="list-style-type: none"> <li>• <i>Old Goddard Rd Frontage: 260'/40 = 6.5 total of 6 trees and 24 shrubs</i></li> <li>• <i>Dix Hwy Frontage: 173.9/40 = 4.35 total of 4 trees and 16 shrubs.</i></li> </ul>	<ul style="list-style-type: none"> <li>• Provided seven (7) Liquidambar Styraciflua trees and (26) Clethra Alnifolia shrubs along Old Goddard Rd.</li> <li>• Provided four (4) Liquidambar Styraciflua trees within property lines and one (1) tree within street greenbelt and eighteen (18) Clethra Alnifolia shrubs within street greenbelt.</li> </ul>	MET
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	N/A	N/A
Interior Landscaping	10% of total lot area landscaped, including groundcover $43,794 \text{ sf} * 0.1 = 4,379.4 \text{ sf}$ landscaping	Provided 110 sq ft on Dix highway $= 2.5\%$	<b>NOT MET</b>
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	provided	MET
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping $4,379.4 \text{ sf} = 10\text{-}11 \text{ trees and } 17 \text{ shrubs}$	Provided existing 7 evergreen shrubs	<b>NOT MET</b>
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces $49/10 = 4 \text{ trees}$	Provide four (4) birch trees. Landscape calculations indicates 5 trees while landscape plan shows 4 only.	MET
	100 sf of planting area per tree	Propose 125 sq per tree.	MET
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Dumpster enclosure is provided without details on the decorative wall	Met pending detail

	Required	Proposed	Compliance
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive); solid 6' masonry wall ornamental on both sides	Screen wall is proposed on property line adjacent to SFRD. No scale is provided to the screen wall section.	MET

Interior landscaping standards are not met, either for square footage or vegetation. Since the correct number of parking spaces are provided, it appears that this was the loser in a tradeoff between parking and landscaping; both will not fit adequately on the site. Such interior landscaping as would fit is arranged according to the City's preference.

Engineering comments notes that the existing dumpster enclosure wall and doors are broken and in need of repair.

**Items to be addressed**

- Applicant shall provide appropriate scale to screen wall section.
- Dumpster enclosure wall and doors to be repaired.

**SOIL EROSION CONTROL**

*The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.*

Soil erosion measures are under the jurisdiction of Wayne County.

**Items to be addressed**

- Applicant to work with the Building Superintendent or City Engineer of Lincoln Park Department of Public Services to review the proposal measures.

**UTILITIES**

*Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.*

The Site is served by public water and sewer.

Engineering comments note that based on the site plan submitted, all existing utilities and leads are being reused. It is important that the developer realize these existing utilities are very old and may have reached their life expectancy. It is strongly recommended for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the service lead needs to be replaced, the installation of the new service will need to be inspected by the City

Engineer. The developer should verify with the City the existing sanitary service type and size and replace if it is undersized for the proposed building use. The developer's engineer or architect shall determine the sanitary service lead capacity.

The developer should verify with the City the existing water service type and size, and replace if it is a lead service or if the service is undersized for the proposed building use. The developer's engineer or architect shall determine the water service lead capacity.

#### Items to be addressed

- Applicant to videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building.
- If the service lead needs to be replaced, the installation of the new service shall be inspected by the City Engineer.
- Applicant to verify with the City the existing sanitary service type and size, and replace if it is undersized for the proposed building use.
- Applicant's engineer or architect shall determine the sanitary service lead capacity.
- Applicant to verify with the City the existing water service type and size, and replace if it is a lead service or if the service is undersized for the proposed building use.
- Applicant to determine the water service lead capacity.

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#### STORMWATER MANAGEMENT

*Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.*

Stormwater may be under the purview of Wayne County; applicant to work with the City Engineer to determine the appropriate permitting process.

#### Items to be addressed

- Applicant to work with City Engineer to review stormwater system to determine the appropriate permitting process.

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#### LIGHTING

*Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.*

*§1290.05 Off street Parking B Areas; Business District*

(i) All illumination for such parking facilities shall be deflected away from residential areas and shall be installed in such manner as to allow the reduction of the amount of light after normal parking hours each day. All parking lot lighting shall be designed, located, and shielded to prevent glare onto adjacent properties, and shall be arranged to prevent adverse effects on motorist visibility on adjacent rights-of-way. The source of illumination shall not be more than twenty-five (25) feet above the parking surface.

§1294.31 Performance Standards

(f) In no case shall more than one (1) foot-candle power of light cross a lot line five (5) feet above the ground. In no case shall more than ten (10) foot-candle power of light exist at any given point on site. Illumination levels shall be measured with a foot-candle meter or sensitive photometer and expressed in foot-candles. Exterior spot lighting or other illumination shall be so installed as to eliminate any nuisance to adjoining Business and Industrial Districts or the creation of a traffic hazard on public highways.

Four wall-mounted lights are shown on the site plan, with three facing the parking lot and one illuminating the alley to the east. The proposed fixture is downward-directed and shielded.

**Items to be addressed**

*None*

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**NOISE**

*The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.*

No adverse noise impacts are anticipated from the development.

**Items to be addressed**

*None*

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**MECHANICAL EQUIPMENT**

*Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.*

No roof or ground mounted mechanical equipment is provided.

**Items to be addressed**

*None*

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**SIGNS**

*The standards of the City's Sign Code are met.*



Signs shall be permitted by the building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during Site Plan Review is for illustrative purposes only.

**Items to be addressed**

- Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance.*

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**HAZARDOUS MATERIALS OR WASTE**

*For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.*

No hazardous materials or waste are anticipated to be used, stored, or handled on the site.

**Items to be addressed**

*None*

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**SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL**

*All applicable standards for uses permitted after special approval are met.*

This use is permitted by right

**Items to be addressed**

*None*

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**OTHER AGENCY REVIEWS**

*The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.*

Applicant shall provide documentation of compliance with other appropriate agency review standards such as Michigan Department of Natural Resources and Michigan Department of Environmental Quality.

**Items to be addressed**

- Applicant to secure all appropriate agency reviews as needed.*

## VARIANCES

No variances are anticipated as a result of this proposal.

### Items to be addressed

*None*

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## RECOMMENDATIONS

### Findings

The proposed site plan substantially complies with §1296.01, Site Plan Review, with the following conditions and waivers.

### Conditions to be addressed before final approval

- Curb detail and gutter to be shown on site plan*
- Screen wall drawing to be scaled to indicate finished height*
- Applicant shall indicate driveways' radii on site plan.*
- Consider right-turn-only restriction from Dix Highway egress, based on proximity to signalized intersection and alignment of driveways across Dix*
- Applicant shall investigate and arrange to permit necessary emergency vehicle access as required by the Fire Department and Police Department.*

### Conditions of approval

- Flood hazard areas are regulated by the Michigan Department of Environmental Quality.*
- Sidewalks to be brought up to City code*
- Broken bump-in concrete on west side of building to be repaired*
- Applicant to work with City to replace valve box covers and broken sanitary sewer manhole cover in parking lot*
- Dumpster enclosure wall and doors to be repaired.*
- Applicant to work with the Building Superintendent or City Engineer of Lincoln Park Department of Public Services to review the proposal measures.*
- Applicant to videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building.*
- If the service lead needs to be replaced, the installation of the new service shall be inspected by the City Engineer.*
- Applicant to verify with the City the existing sanitary service type and size, and replace if it is undersized for the proposed building use.*
- Applicant's engineer or architect shall determine the sanitary service lead capacity.*

planning review

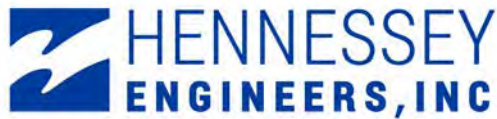


- Applicant to verify with the City the existing water service type and size, and replace if it is a lead service or if the service is undersized for the proposed building use.*
- Applicant to determine the water service lead capacity.*
- Applicant to work with City Engineer to review stormwater system to determine the appropriate permitting process.*
- Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance.*
- Applicant to secure all appropriate agency reviews as needed.*

### **Recommendations**

It is recommended that the Lincoln Park Planning Commission approve the site plan for 4089 Dix Highway – Commercial Plaza, contingent upon the successful resolution of the conditions herein.





November 1, 2018

Ms. Leah DuMouchel, AICP  
Beckett & Raeder, Inc.  
535 West William St. Suite 101  
Ann Arbor, MI, 48103-4978

**Re: Commercial Plaza Center  
4089 Dix Ave.  
City of Lincoln Park, MI  
Hennessey Project 72112**

Dear Ms. DuMouchel:

We have visited the site for the commercial development referenced above.

Listed below are some comments which are recommended to be addressed in the Preliminary Plan approval but some would not be grounds for a reason for denial from an engineering feasibility standpoint:

**GENERAL**

1. Based on the site plan submitted, all existing utilities and leads are being reused. It is important that the developer realize these existing utilities are very old and may have reached their life expectancy. It is our strong recommendation for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the service lead needs to be replaced the installation of the new service will need to be inspected by our office. The developer should verify with the City the existing sanitary service type and size. If it is undersized for the proposed building use it must be placed. The developer's engineer or architect shall determine the sanitary service lead capacity.
2. The developer should verify with the City the existing water service type and size. If it is a lead service or if the service is undersized for the proposed building use, it should be placed. The developer's engineer or architect shall determine the water service lead capacity.
3. The concrete sidewalks must be brought up to City Standards. Any broken, cracked or unsafe sidewalks in the Goddard and Dix Ave. right of ways and onsite that should be repaired.
4. The existing dumpster enclosure wall and doors are broken. These will need to be repaired.
5. There is what appears to be broken concrete in a bump in area on the west side (Dix Ave. side) of the building that will need to be repaired.
6. Overall the parking lot is in very good condition with some minor cracking. We would highly recommend the owner/developer seal the cracks in the parking lot as soon as possible. This will extend the life of the parking considerably and save them a lot of money in the future.
7. There are a couple missing valve box covers and there is a broken sanitary sewer manhole cover

**Commercial Plaza Center  
4089 Dix Ave.  
City of Lincoln Park, MI  
Hennessey Project 72112**

**Page 2  
November 1, 2018**

in the parking lot. We're not sure if these are private or would be the City's responsibility to address. These will need to be addressed as they are safety hazards.

From an engineering feasibility our office does not have any issues with the approval of the Preliminary Site Plan submittal. Therefore, from the engineering feasibility review it would be our recommendation for the **"approval"** of the Preliminary Site Plan contingent upon the items listed above being addressed.

If you have any questions, please do not hesitate to contact me.

Sincerely,

**HENNESSEY ENGINEERS, INC**



James D. Hollandsworth, P.E., P.S.  
Lincoln Park Project Manager

JDH/bd

cc: John Kozuh, DPW Director, City of Lincoln Park  
John J. Hennessey, Hennessey Engineers, Inc.  
Ryan Kern, Hennessey Engineers, Inc.  
B.3

R:\Municipalities\70000's Lincoln Park\72000's\72112 4098 Dix Commercial Plaza Center\PC Review Letters\4098 Dix Ave 1st PC Review Nov 1, 2018.docx

**PROPERTY DESCRIPTION:**

Land situated in the City of Lincoln Park, County of Wayne, State of Michigan, described as follows:

Parcel 1:  
Lots 99 through 104 inclusive, except the West part thereof measuring 60.70 feet on the South line of Lot 99 and 56.92 feet on the North line of Lot 104; also except the South 10 feet of Lot 99; also the West 1/2 of the vacated alley adjacent Lots 99 through 102 and the Southerly 8 feet of Lot 103, DIX MANOR NO. 1 Subdivision of Private Claim No. 116, according to the plat thereof as recorded in Liber 47, page 38 of Plats, Wayne County Records.

Parcel 2:  
Lots 77 through 81 inclusive, except the South 10 feet thereof; Lots 82 through 84 inclusive; also vacated alley 16 feet wide adjacent to Lots 77 through 83 inclusive; also vacated alley 8 feet wide adjacent to the West line of Lots 83; also that part of the West 1/2 of the vacated street adjacent line of Lot 83; also that part of the West 1/2 of the vacated street adjacent to Lots 82 through 84 inclusive, DIX AVENUE MANOR Subdivision of fractional Section 24, according to the plat thereof as recorded in Liber 24, Page 47 of Plats, Wayne County Records. Also Lot 96 except the North 242 feet thereof, also Lots 97 and 98 except the South 10 feet thereof, also \* except \* the adjacent vacated alley 16 feet wide; also the vacated alley adjacent to the Southerly 74.6 feet of Lot 98, DIX AVENUE MANOR NO. 1 Subdivision of fractional Section 24, Liber 47, Page 38, Wayne County Records.

Parcel 3:  
Lots 105 through 107 inclusive, except the West part measuring 56.92 feet on the South line and 55.42 feet on the North line of Lot 107, DIX AVENUE MANOR NO. 1 Subdivision of Private Claim 116, according to the plat thereof as recorded in Liber 47, Page 38 of Plats, Wayne County Records.

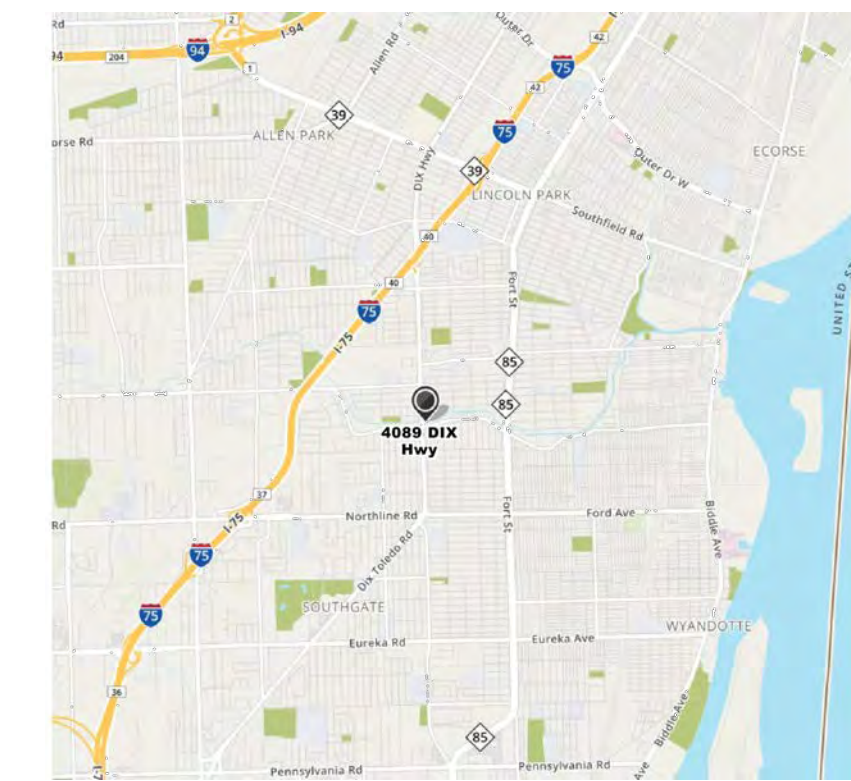
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Lots 77 through 81, inclusive, excluding the South 10 feet thereof, also Lots 82 through 84, inclusive, also 1/2 vacated Coolidge Avenue adjacent to Lots 82 and 83, also adjacent vacated alley 16 feet wide, also adjacent vacated alley 5 feet wide; DIX AVENUE MANOR SUBDIVISION, fractional Section 24, according to the plat thereof as recorded in Liber 47, Page 29 of Plats, Wayne County Records. Also Lot 96, except the North 242 feet thereof, also Lots 97 through 107, inclusive, ombined except the South 10 feet thereof, also except the Westerly point thereof, measured 60.70 feet on the South line of Lot 99 and 55.42 feet of the North line of Lot 107, also adjacent vacated alley 8 feet wide, also adjacent alley 16 feet, also East 1/2 of vacated alley adjacent to Southerly 74.60 feet of Lot 98; DIX AVENUE MANOR NO. 1 SUBDIVISION, fractional Section 24, as recorded in Liber 47, Page 38 of Plats, Wayne County Records.

Note: The property description is as furnished by client.  
\* SHOULD BE: Omitted

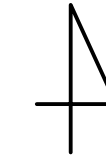
# PROJECT: COMMERCIAL PLAZA

## LOCATION:

### 4089 DIX HWY. LINCOLN PARK, MICHIGAN 48146



LOCATION MAP  
N.T.S.



PROJECT:

COMMERCIAL PLAZA

LOCATION:

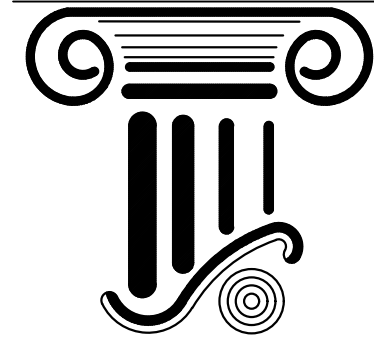
4089 DIX HWY,  
LINCOLN PARK, MI 48146

### ARCHITECT/ENGINEER

### SITE DATA

### Drawing Index

A&M  
CONSULTANTS



835 MASON, SUITE B290  
DEARBORN, MI 48124  
PH:(313)582-0022  
FAX:(313)582-0028

### OWNER/APPLICANT

DM INVESTMENTS 26, LLC  
645 CRAWFORD AVE.  
BROOKLYN, NY 11223

PHONE: (718) 510-6352  
moussahasbani@hotmail.com

GOVERNING CODE: MICHIGAN BUILDING CODE 2015 AND  
CITY OF LINCOLN PARK ZONING ORDINANCE

USE GROUP: M: RETAIL SPACE

AREA OF THE PROPERTY = 43,794 SQ. FT. = 1.01 ACRES  
EXISTING BUILDING AREA = 11,882 SQ. FT.  
AREA USAGE: 11,882 / 43794 = 0.27% < 50% MAX. ALLOWED

1- ZONING:

MBD MUNICIPAL BUSINESS DISTRICT (FRONT PORTION)  
SFR SINGLE FAMILY RESIDENTIAL (REAR PORTION)

2- BUILDING HEIGHT:

MAXIMUM = 25'  
EXISTING = 20'-8"

3- LOT COVERAGE:

MAXIMUM = 50% EXISTING = 25%

PARKING REQUIREMENTS

11,882/250 = 48 SPACES, PROVIDED 49

SETBACK REQUIREMENTS

FRONT: REQUIRED 0', PROVIDED 3.5' DIX, 0' OLD GODDARD  
REAR: REQUIRED 0', PROVIDED 30.9'  
SIDE: REQUIRED 0', PROVIDED 11.5'

SHEET #

TITLE

-	COVER SHEET
SP-1	SITE PLAN
SP-2	LANDSCAPE PLAN
A-1	FLOOR PLAN, ELEVATIONS

DATE: 10/18/18

COVER SHEET





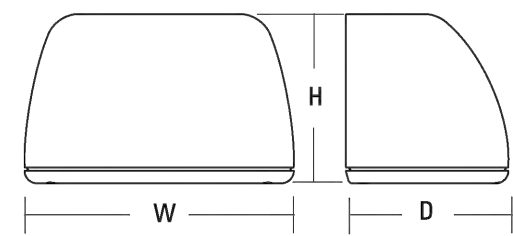
Wall-Mounted Luminaire

**TWf2**

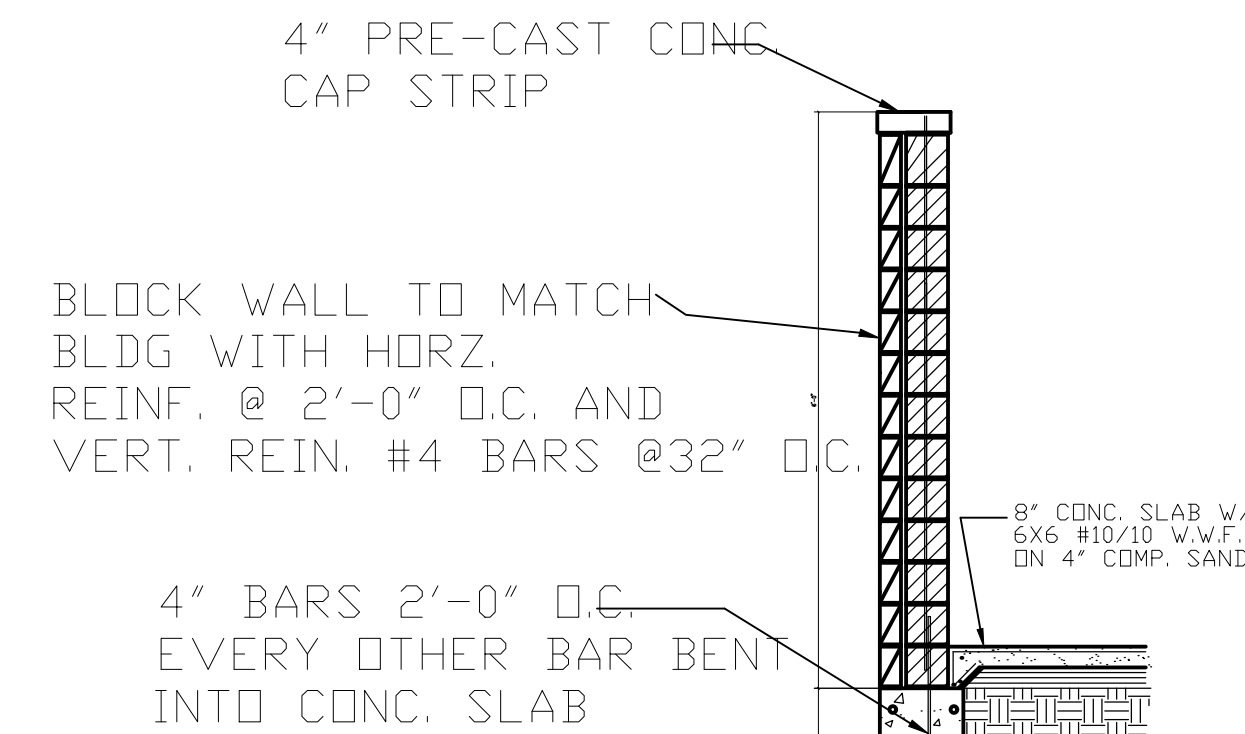
METAL HALIDE: 250M - 400M  
HIGH PRESSURE SODIUM: 250S - 400S

Specifications  
Width: 18 (45.7)  
Height: 11-1/2 (29.2)  
Depth: 12-3/8 (31.4)  
Max. Weight: 39 lbs (17.7 kg)

All dimensions are inches (centimeters) unless otherwise specified.  
\*Weight as configured in example below.

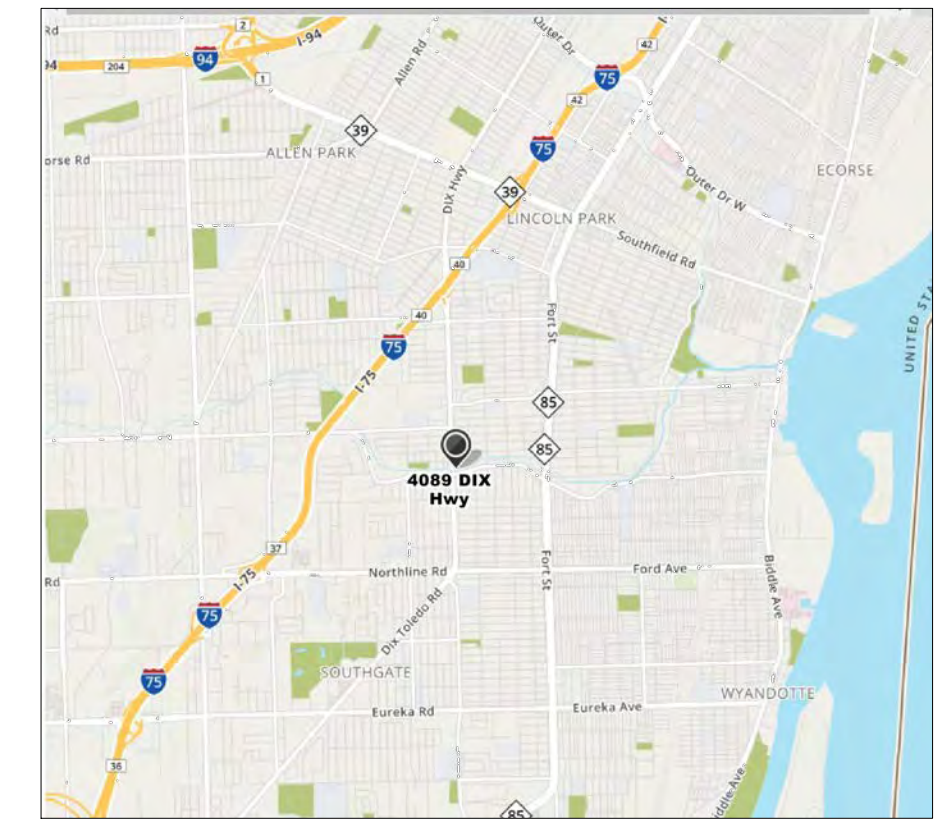


Consistent with LEED® goals & Green Glazing® criteria for light pollution reduction.



18" X 42" (MIN.)  
CONC. TRENCH FOOTING  
W/ (2) #5 BARS  
TOP AND BOTTOM

SCREEN WALL SECTION



LOCATION MAP  
N.T.S.

PROJECT:

COMMERCIAL PLAZA

LOCATION:

4089 DIX HWY.  
LINCOLN PARK, MICHIGAN

A & M  
CONSULTANTS

835 MASON STE. B290  
DEARBORN, MI 48124

PH:(313) 582-0022  
FAX:(313) 582-0028

DRAWN BY:

H.O.

APPROVED BY:

ADNAN AL-SAATI

SUBMITTALS

REVISIONS:

10/18/2018

PROJECT NO

DATE

10/18/2018

SCALE

NOTED

SHEET TITLE

SITE PLAN

**SP-1**

SEAL

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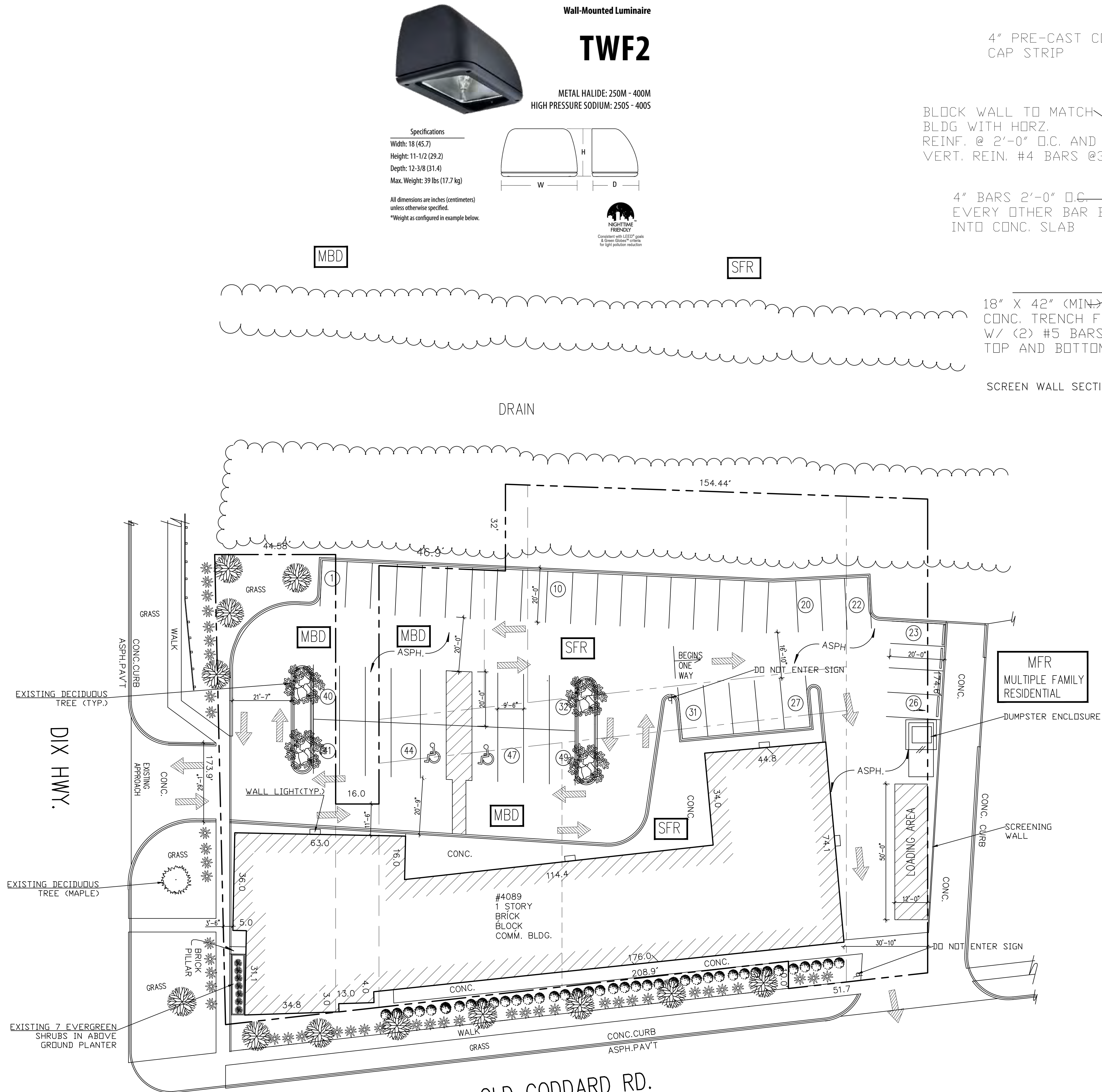
1- ZONING:  
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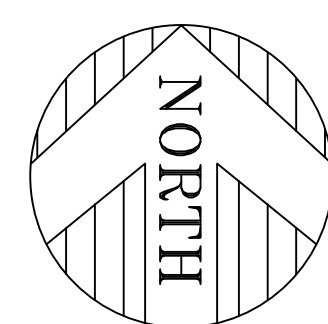
SETBACK REQUIREMENTS  
FRONT: REQUIRED 0', PROVIDED 3.5' DIX, 0' OLD GODDARD  
REAR: REQUIRED 0', PROVIDED 30.9'  
SIDE: REQUIRED 0', PROVIDED 11.5'



OLD GODDARD RD.

**SITE PLAN**

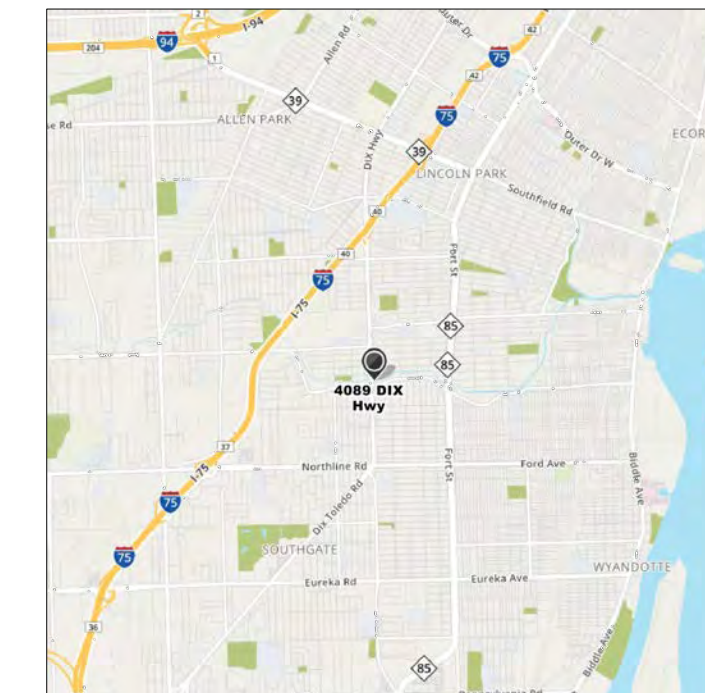
SCALE 1" = 20'





PROJECT:  
COMMERCIAL PLAZA

LOCATION:  
4089 DIX HWY.  
LINCOLN PARK, MI 48146



LOCATION MAP  
N.T.S.

A & M  
CONSULTANTS

835 MASON STE. B290  
DEARBORN, MI 48124  
PH:(313) 582-0022  
FAX:(313) 582-0028

DRAWN BY:  
H.O.

APPROVED BY:  
ADNAN AL-SAATI

SUBMITTALS

REVISIONS:

PROJECT NO

DATE

10/18/2018

SCALE

NOTED

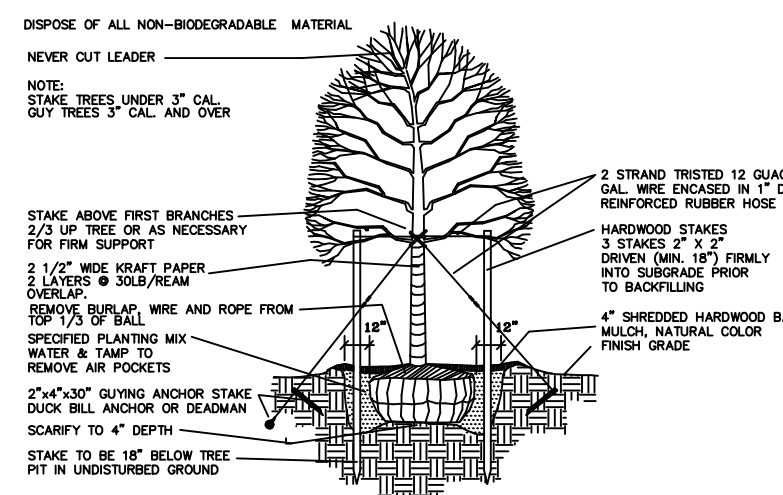
SHEET TITLE

LANDSCAPE PLAN

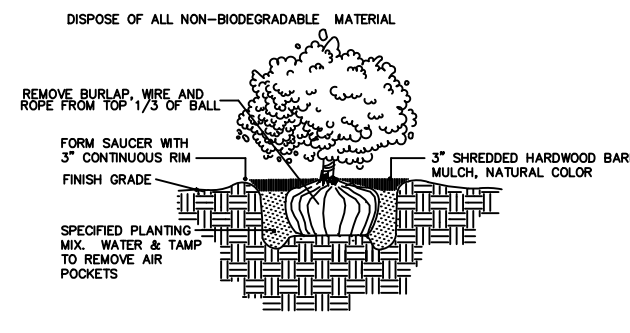
SP-2

SEAL

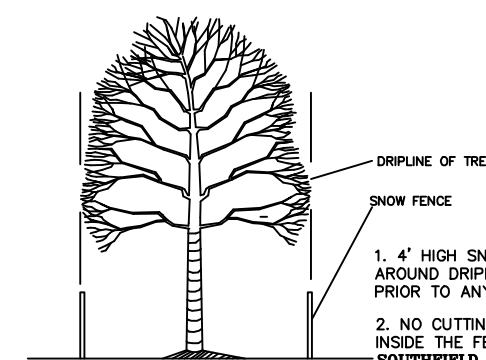
- 1 REMOVE SLICKER SHOOTS AT BASE OF TREE
- 2 MAKE CLEAN CUTS ON OLD STUBS IF PRESENT
- 3 REMOVE ENTIRE SUPPLY OF TWIGS AND BRIS ON TRUNK
- 4 REMOVE LOWER BRANCHES WHERE AN OVERHANGING BRANCH OCCUPIES ABOUT THE SAME AREA
- 5 SHAPE TREE BY REMOVING BLANKED AND MESSY BRANCHES
- 6 REMOVE CROSS BRANCHES AND THOSE DEVELOPING INTO SECONDARY LEADERS
- 7 REMOVE BROKEN AND DEAD BRANCHES



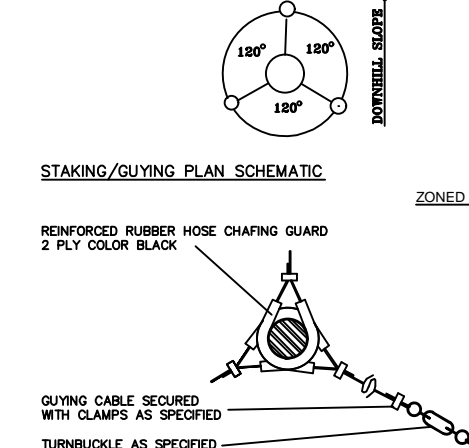
DECIDUOUS TREE PLANTING  
SCALE: NOT TO SCALE



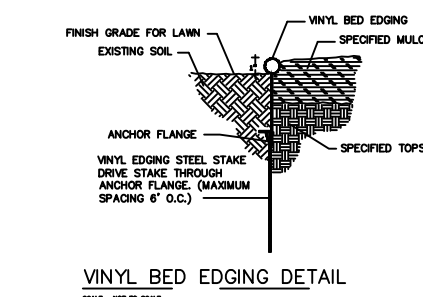
SHRUB PLANTING DETAIL  
SCALE: NOT TO SCALE



TREE PROTECTION DETAIL  
SCALE: NOT TO SCALE

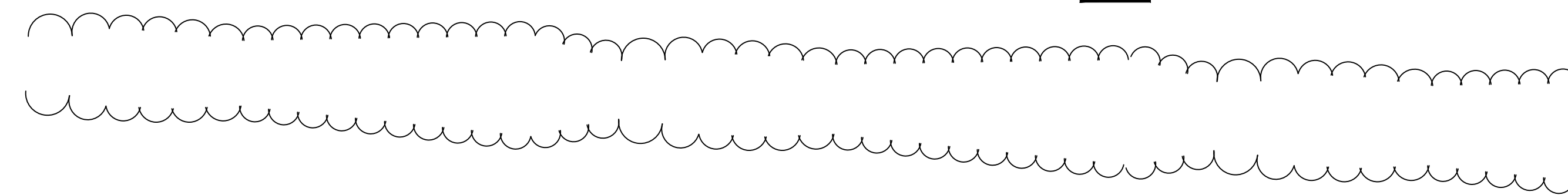


TREE STAKING AND GUYING  
SCALE: NOT TO SCALE

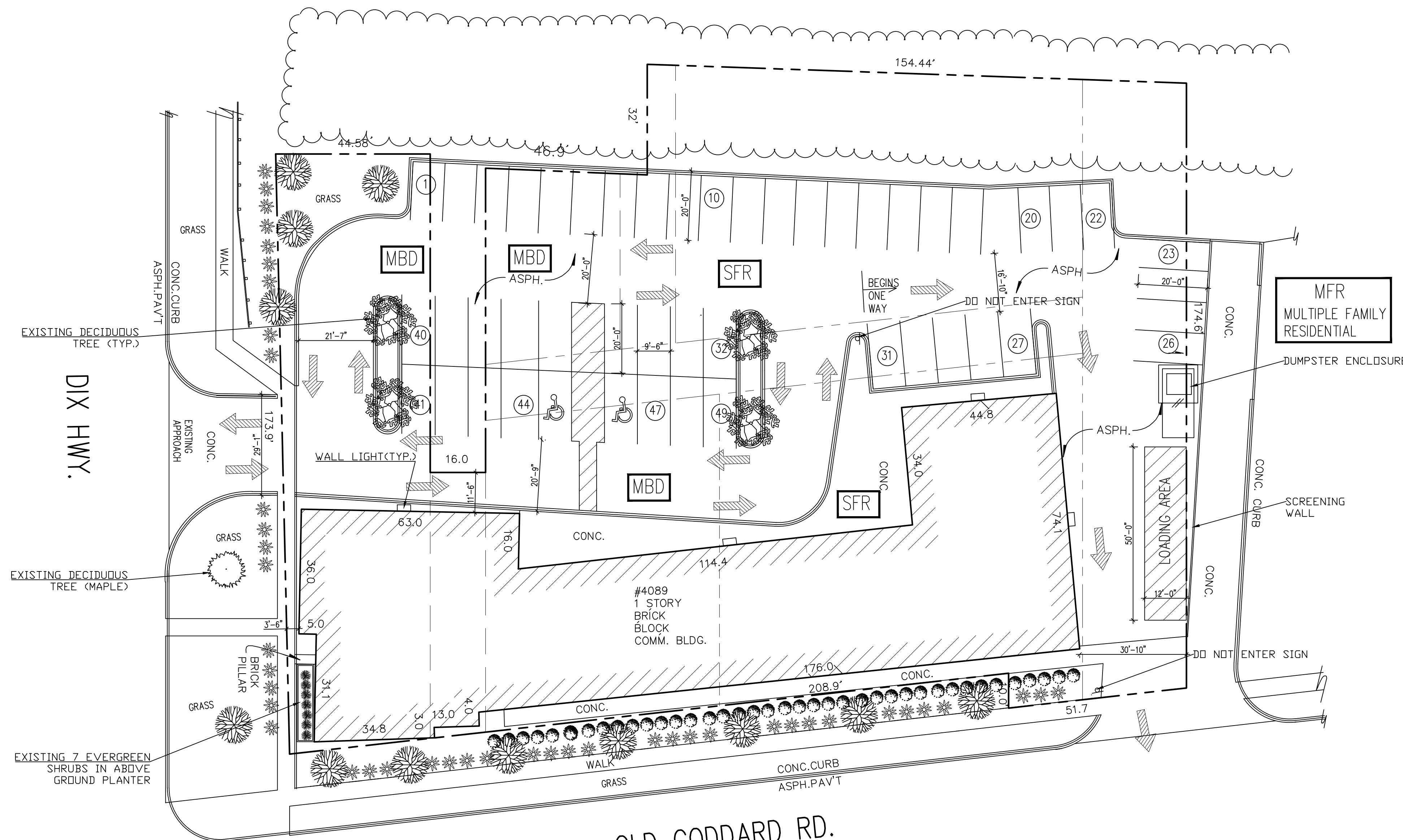


MBD

SFR



DRAIN



	PLANT LIST	QUAN	SIZE	BOTANICAL NAME	REMARK	SYMBOL
EVERGREEN SHRUBS & BUSHES	44	36 IN HIGH	CLETHRA ALNIFOLIA	NEW		
	7	36 IN HIGH	Euonymus Fortunei 'Emerald N' Gold'	Emerald N' Gold		
	40	8-10 FEET TALL	ARBORVITAE EVERGREEN	EXISTING		
DECIDUOUS TREES	4	2 1/2-3' CALIPER	BIRCH TREE	EXISTING		
	12	2-2 1/2' CALIPER	LIQUIDAMBAR STYRACIFLUA	NEW		
	1	2-2 1/2' CALIPER	MAPLE	EXISTING		

LANDSCAPE CALCULATIONS:

ALONG DIX HWY:

WIDTH OF FRONTAGE = 173.9'

REQUIRED:  $(173.9/40) \times 1 = 4.3$  DECIDUOUS TREES, PROVIDE 5  
 $(173.9/40) \times 4 = 17.4$  SHRUBS, PROVIDE 18

ALONG GODDARD:

WIDTH OF FRONTAGE = 260.6 FT.

REQUIRED DECIDUOUS TREES:  $(260.6/40) \times 1 = 6.5$  PROVIDE 7  
 REQUIRED SHRUBS:  $(260.6/40) \times 4 = 26$  PROVIDE 26

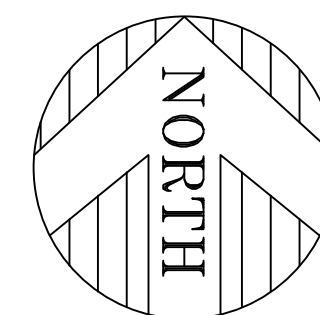
PARKING LANDSCAPING:

NUMBER OF PARKING SPACES = 49  
 REQUIRED DECIDUOUS TREES:  $(49/10) \times 1 = 5$ , PROVIDE 5  
 LANDSCAPE AREA =  $100 \times 5 = 500$  SQ.FT.,

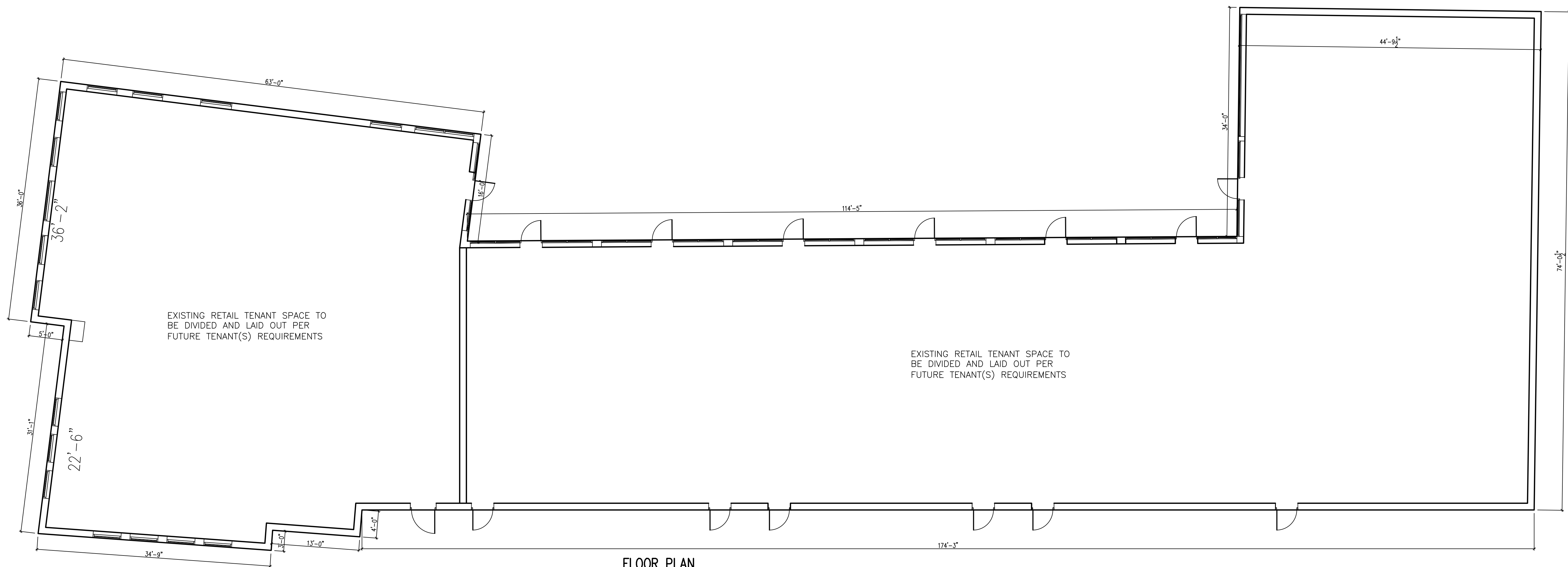
OLD GODDARD RD.

LANDSCAPE PLAN

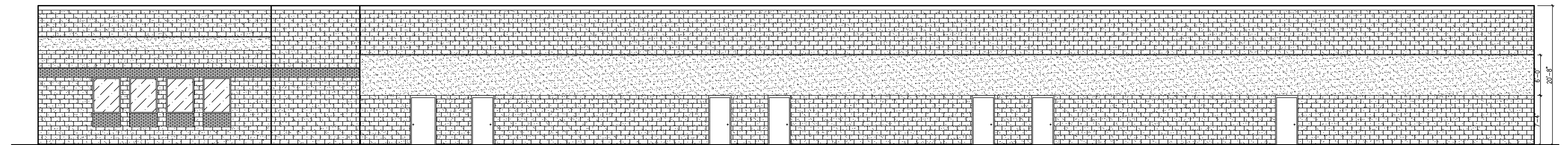
SCALE 1" = 20'



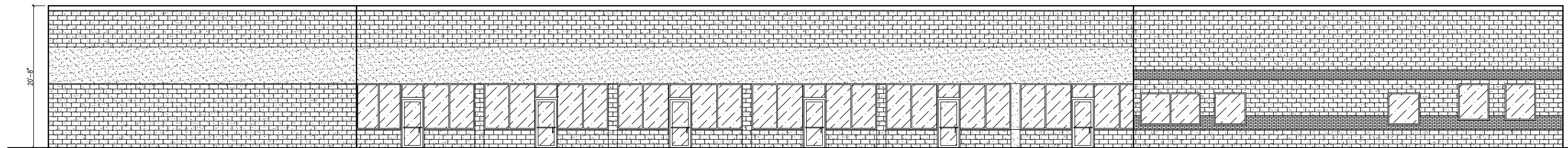




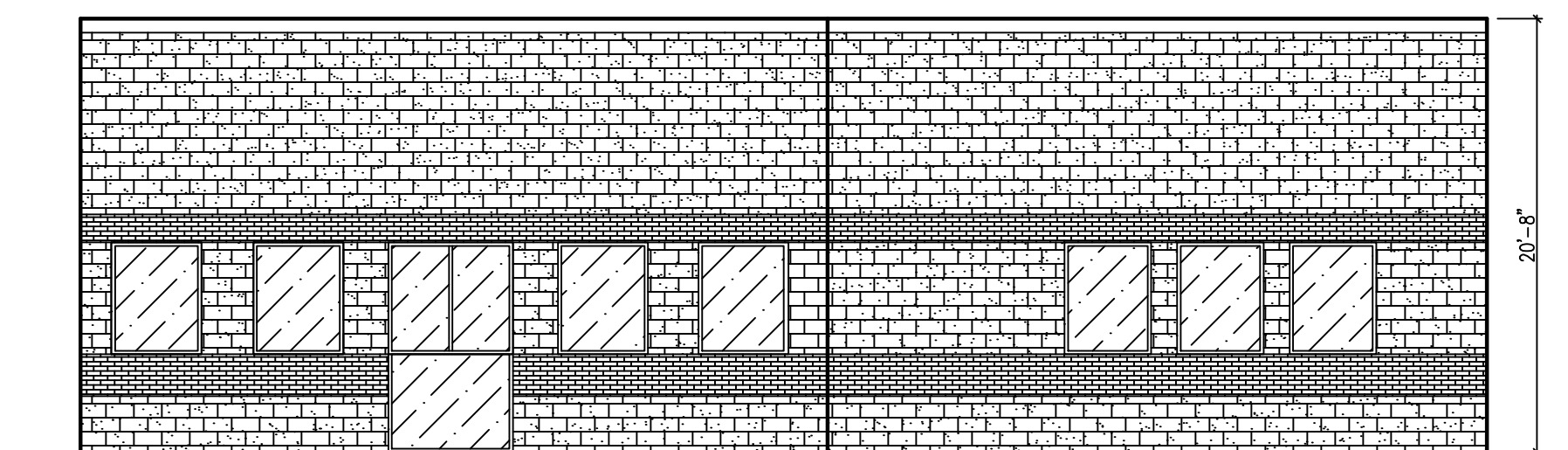
FLOOR PLAN  
SCALE 1/8" = 1'-0"



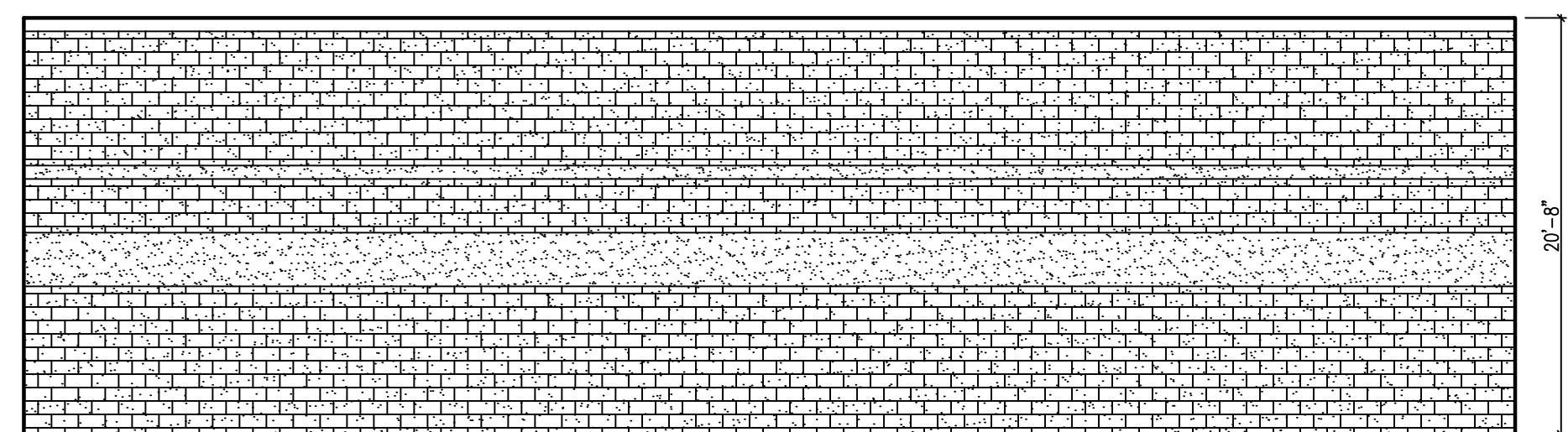
SOUTH ELEVATION FACING GODDARD RD  
SCALE 1/8" = 1'-0"



NORTH ELEVATION FACING PARKING LOT  
SCALE 1/8" = 1'-0"



WEST ELEVATION FACING DIX HWY  
SCALE 1/8" = 1'-0"



EAST ELEVATION FACING DIX HWY  
SCALE 1/8" = 1'-0"

LEGEND  
EXTERIOR FINISHED MATERIAL TYPE

GLASS IN ALUM. FRAME	
BRICK	
E.I.F.S.	
PRE-COLORED SPLIT FACE BLOCK	

**PROJECT:**  
COMMERCIAL PLAZA

**LOCATION:**  
4089 DIX HWY.  
LINCOLN PARK, MICHIGAN

**A & M CONSULTANTS**

835 MASON STE. B290  
DEARBORN, MI 48124  
PH:(313) 582-0022  
FAX:(313) 582-0028

**DRAWN BY:**  
H.O.

**APPROVED BY:**  
ADNAN AL-SAATI

**SUBMITTALS**

**REVISIONS:**

**PROJECT NO**

**DATE**  
10/18/2018

**SCALE**  
NOTED

**SHEET TITLE**  
FLOOR PLAN  
ELEVATIONS

**A-1**

**SEAL**



RECEIVED

OCT 19 2018

CITY OF LINCOLN PARK  
BUILDING DEPARTMENT

City of Lincoln Park

Case No. PPC 18-0007

Date Submitted 10-19-18

**APPLICATION FOR SITE PLAN REVIEW**

**NOTICE TO APPLICANT:** Applications for Site Plan Review by the Planning Commission must be submitted to the City in *substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

**TO BE COMPLETED BY APPLICANT:**

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: DM Investments 26, LLC  
Mailing Address: 645 Crawford Avenue Brooklyn, NY 11223  
Email: moussahasbani@hotmail.com  
Telephone: 718-510-6352 Fax: \_\_\_\_\_

Property Owner(s) Name (if different from Applicant): \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Applicant(s) Explanation of Legal Interest in Property:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Location of Property: Street Address: 4089 Dix Ave Lincoln Park, MI 48146  
Nearest Cross Streets: Dix & Goddard  
Sidwell Number (Parcel ID#): 45-022-04-0077-301

Property Description:  
If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

See Attachment  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Property Size (Square Ft): 48,794 (Acres): 1.01

**Existing Zoning (please check):**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> SFRD Single Family Residential District | <input type="checkbox"/> RBD Regional Business District  |
| <input type="checkbox"/> MFRD Multiple Family Residential District          | <input type="checkbox"/> CBD Central Business District   |
| <input type="checkbox"/> MHRD Mobile Home Park District                     | <input type="checkbox"/> GID General Industrial District |
| <input type="checkbox"/> NBD Neighborhood Business District                 | <input type="checkbox"/> LID Light Industrial District   |
| <input checked="" type="checkbox"/> MBD Municipal Business District         | <input type="checkbox"/> CSD Community Service District  |
| <input type="checkbox"/> PUD Planned Unit Development District              |  |

Present Use of Property: Vacant property zoned as health and spa facility

Proposed Use of Property: Retail

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family Attached Residential	NOT	DETERMINED	YET
Office			
Commercial	WHITE	BOX	
Industrial			
Other			

**Professionals Who Prepared Plans:**

A. Name: Adnan Al-Scati - ALM Consultants  
 Mailing Address: 835 Mason, B290, Dearborn, MI 48124

Email Address: aboled@yahoo.com  
 Telephone: (313) 582-0022 Fax: (313) 582-0028 Primary Design Responsibility: Complete Site Plan

B. Name: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ Address: \_\_\_\_\_  
 Email: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_

C. Name: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 Email Address: \_\_\_\_\_  
 Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_



**ATTACH THE FOLLOWING:**

1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. A brief written description of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:
  - G Wayne County Road Commission                      G Wayne County Drain Commission
  - G Wayne County Health Division                      G Michigan Department of Natural Resources
  - G Michigan Department of Transportation              G Michigan Department of Environmental Quality

**PLEASE NOTE:** The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

**APPLICANT'S ENDORSEMENT:**

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

Signature of Applicant	Date
Signature of Applicant	Date
<i>Moussa Hasbani</i>	<i>10/18/2018</i>
Signature of Property Owner Authorizing this Application	Date

RECEIVED

TO BE COMPLETED BY THE CITY		Case No. _____
Date Submitted: _____	Fee Paid: _____	
By: <u>CITY OF LINCOLN PARK</u> <u>BUILDING DEPARTMENT</u>	Date of Public Hearing: _____	
PLANNING COMMISSION ACTION		
Approved: _____	Denied: _____	Date of Action: _____



# A & M Consultants

835 Mason, B290.  
Dearborn, MI 48124

Phone: (313) 582-0022  
FAX: (313) 582-0028  
email: aboled@yahoo.com

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City of Lincoln Park  
Building and Planning Departments  
1355 Southfield Rd.  
Lincoln Park, Michigan 48146

10/18/2018

**Re: Commercial Plaza  
4089 Dix Hwy.  
Lincoln Park, Michigan 48146**

Dear Sir/Madam:

We are pleased to submit 8 sets of plans and electronic file (via email) for Rezoning and Site Plan Approval for the above referenced address. The project consists of remodeling of an existing building to prepare tenants space for future retail occupancy.

If you have any questions, please call.

Sincerely,



A. Al-Saati, P.E.  
Project Engineer

**RECEIVED**

**OCT 19 2018**

**CITY OF LINCOLN PARK  
BUILDING DEPARTMENT**

**4089 DIX** LINCOLN PARK, MI 48146 (Property Address)

Parcel Number: 45 022 04 0077 301 Account Number: 462560

**Property Owner:** DM INVESTMENTS 26, LLC

No Images Found

**Summary Information**

- > Commercial/Industrial Building Summary
  - Yr Built: 2008
  - Total Sq.Ft.: 11,942
  - # of Buildings: 1
- > Assessed Value: \$202,300 | Taxable Value: \$202,300
- > 44 Building Department records found
- > Property Tax information found
- > Utility Billing information found

**Owner and Taxpayer Information**

<b>Owner</b>	DM INVESTMENTS 26, LLC 645 CRAWFORD AVE BROOKLYN, NY 11223	<b>Taxpayer</b>	SEE OWNER INFORMATION
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**General Information for Tax Year 2018**

<b>Property Class</b>	COMMERCIAL REAL	<b>Unit</b>	45 LINCOLN PARK
<b>School District</b>	45-LINCOLN PARK	<b>Assessed Value</b>	\$202,300
<b>MAP #</b>	No Data to Display	<b>Taxable Value</b>	\$202,300
<b>TEMP CODE</b>	0	<b>State Equalized Value</b>	\$202,300
<b>USE CODE</b>	Not Available	<b>Date of Last Name Change</b>	08/30/2018
<b>ADJ CODE</b>	Not Available	<b>Notes</b>	Not Available
<b>Historical District</b>	Not Available	<b>Census Block Group</b>	Not Available
<b>STATUS CODE</b>	Not Available	<b>Exemption</b>	No Data to Display

**Principal Residence Exemption Information**

**Homestead Date** No Data to Display

Principal Residence Exemption	June 1st	Final
2019	0.0000 %	-
2018	0.0000 %	0.0000 %

**Previous Year Information**

Year	MBOR Assessed	Final SEV	Final Taxable
2017	\$203,200	\$203,200	\$202,405
2016	\$200,700	\$200,700	\$200,600
2015	\$240,300	\$240,300	\$200,000

**Land Information**

<b>Zoning Code</b>		<b>Total Acres</b>	0.000
<b>Land Value</b>	\$340,400	<b>Land Improvements</b>	\$0
<b>Renaissance Zone</b>	No	<b>Renaissance Zone Expiration Date</b>	No Data to Display
<b>ECF Neighborhood</b>	Not Available	<b>Mortgage Code</b>	No Data to Display
<b>Lot Dimensions/Comments</b>	Not Available	<b>Neighborhood Enterprise Zone</b>	No

<b>Lot(s)</b>	<b>Frontage</b>	<b>Depth</b>
No lots found.		
<b>Total Frontage: 0.00 ft</b>		<b>Average Depth: 0.00 ft</b>

**Legal Description**

QK77A-81A,82-84 QM96B-107A LOTS 77 TO 81 INCL EXC THE S 10 FT THEREOF ALSO LOTS 82 TO 84 INCL ALSO W 1/2 VAC COOLIDGE AVE ADJ TO LOTS 82 AND 83 ALSO ADJ VAC ALLEY 16 FT WIDE ALSO ADJ VAC ALLEY 8 FT WIDE DIX AVE MANOR SUB FRAC SEC 24 L 47 P 29 WCR. ALSO LOT 96 EXC THE N 242; THEREOF, ALSO LOTS 97 TO 107 COMBINED EXC THE S 10 FT THEREOF, ALSO EXC THE WLY PT; THEREOF, MEAS 60.70 FT ON THE S LINE OF LOT 99 AND 55.42 FT ON THE N LINE OF LOT 107 ALSO, ADJ VAC ALLEY 8 FT WIDE; ALSO ADJ VAC ALLEY 16 FT ALSO, E 1/2 VAC ALLEY ADJ TO SLY 74.60 FT OF LOT 98, DIX AVE MANOR NO 1 SUB FRAC SEC 24 L 47 P 38 WCR. DIX AVENUE MANOR SUB FRAC SEC 24 L47 P29 WCR

Land Division Act Information

<b>Date of Last Split/Combine</b>	<i>No Data to Display</i>	<b>Number of Splits Left</b>	0
<b>Date Form Filed</b>	<i>No Data to Display</i>	<b>Unallocated Div.s of Parent</b>	0
<b>Date Created</b>	<i>No Data to Display</i>	<b>Unallocated Div.s Transferred</b>	0
<b>Acreage of Parent</b>	0.00	<b>Rights Were Transferred</b>	<i>Not Available</i>
<b>Split Number</b>	0	<b>Courtesy Split</b>	<i>Not Available</i>
<b>Parent Parcel</b>	<i>No Data to Display</i>		

Sale History

Sale Date	Sale Price	Instrument	Grantor	Grantee	Terms of Sale	Liber/Page
04/30/2018	\$775,000.00	PTA	AB PROPERTY MANAGEMENT, LLC	DM INVESTMENTS 26, LLC	16-CONVENTIONAL SALE	
04/18/2017	\$350,000.00	PTA	SUNSHINE PLAZA, LLC	AB PROPERTY MANAGEMENT, LLC	16-CONVENTIONAL SALE	
05/04/2004	\$1.00	QCD	BJS SATA BBP INC	SUNSHINE PLAZA LLC	09-NO CONSIDERATION	204334386

Building Information - 11942.00 sq ft Shopping Centers - Neighborhood (Commercial)

<b>Floor Area</b>	11,942 sq ft	<b>Estimated TCV</b>	\$60,617
<b>Occupancy</b>	Shopping Centers - Neighborhood	<b>Class</b>	C
<b>Stories Above Ground</b>	1	<b>Average Story Height</b>	18 ft
<b>Basement Wall Height</b>	<i>Not Available</i>	<b>Identical Units</b>	<i>Not Available</i>
<b>Year Built</b>	2008	<b>Year Remodeled</b>	<i>Not Available</i>
<b>Percent Complete</b>	50%	<b>Heat</b>	Zoned A.C. Warm & Cooled Air
<b>Physical Percent Good</b>	74%	<b>Functional Percent Good</b>	50%
<b>Economic Percent Good</b>	50%	<b>Effective Age</b>	12 yrs

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# BEST PRACTICES







# Best Practice Three: Development review process

## 3.1—DEVELOPMENT REVIEW PROCEDURES

Best practice 3.1 evaluates the community’s development review policies and procedures, project tracking and internal/external communication.

The purpose of the development review process is to assure plans for specific types of development comply with local ordinances and are consistent with the master plan. Streamlined, well-documented development policies and procedures ensure a smooth and predictable experience when working with a community. It is essential for a community’s development review team to also coordinate with permitting and inspections staff.

Unnecessary steps or unclear instructions increase time

and expenses associated with development. Community leaders should look to simplify and clarify policies, operate in a transparent manner and increase efficiency to create an inviting development climate that is vital to attracting investment. To do this, sound internal procedures need to be in place and followed. Tracking projects internally across multiple departments can alleviate potential delays. Offering conceptual site plan review meetings is one more step a community can take to show investors they are working to remove development barriers and cut down on unexpected time delays.

### EVALUATION CRITERIA 1

The zoning ordinance articulates a thorough site plan review process.

### EXPECTATIONS

- The responsibilities of the governing body, planning commission, zoning board of appeals, other reviewing bodies, and staff are clearly documented.

### EVALUATION CRITERIA 2

The community has a qualified intake professional.

### EXPECTATIONS

- The community identifies a project point person and trains staff to perform intake responsibilities including:
  - Receiving and processing applications and site plans
  - Documenting contact with the applicant
  - Explaining procedures and submittal requirements
  - Facilitating meetings
  - Processing applications after approval
  - Excellent customer service

### EVALUATION CRITERIA 3

The community defines and offers **conceptual site plan review** meetings for applicants.

### EXPECTATIONS

- The community has clearly defined expectations posted online and a checklist to be reviewed at conceptual meetings.



# Best Practice Three: Development review process

## 3.1—DEVELOPMENT REVIEW PROCEDURES *continued*

### EVALUATION CRITERIA 4

The community encourages a developer to seek input from neighboring residents and businesses at the onset of the application process.

### EXPECTATIONS

- The community **assists the developer** in soliciting input on a proposal early in the site plan approval process as detailed in the public participation strategy.

### EVALUATION CRITERIA 5

The appropriate departments engage in **joint site plan reviews**.

### EXPECTATIONS

- The joint site plan review team consists of the following representatives, as appropriate:
  - Planning department
  - Public works department
  - Building department
  - Transportation department
  - Fire
  - Police
  - Assessor
  - Community manager or supervisor
  - Economic development
  - Historic District Commission
  - Consultant
  - Attorney
  - County soil erosion and sedimentation
  - County drain commissioner
  - County health department
  - County road commission
  - Outside agencies

### EVALUATION CRITERIA 6

The community has a clearly documented internal staff review policy.

### EXPECTATIONS

- The internal review process articulates clear roles, responsibilities and timelines.
- Development review standards are clearly defined.

### EVALUATION CRITERIA 7

The community promptly acts on **development requests**.

### EXPECTATIONS

- Site plans for permitted uses are approved administratively or by the planning commission.
- The community follows its documented procedures and timelines.
- The community has easy to follow flowcharts of development processes that include timelines.
- Community development staff coordinates with permitting and inspections staff to ensure a smooth and timely approval process.

# Best Practice Three: Development review process

## 3.1—DEVELOPMENT REVIEW PROCEDURES *continued*

### EVALUATION CRITERIA 8

The community has a method to track development projects.

#### EXPECTATIONS

- The community uses a **tracking mechanism** for projects during the development process.
- The community uses a tracking mechanism for projects during the permitting and inspections process.

### EVALUATION CRITERIA 9

The community annually reviews successes and challenges with the development review process.

#### EXPECTATIONS

- The community **obtains customer feedback** on the site plan approval and permitting and inspections process and integrates changes where applicable.
- The joint site plan review team, including permitting and inspections staff, meets to capture lessons learned and amends the process accordingly.