



LINCOLN PARK PLANNING COMMISSION
CITY HALL – COUNCIL CHAMBERS 1355 SOUTHFIELD ROAD
LINCOLN PARK, MICHIGAN
February 12, 2020 at 7 p.m.

AGENDA

- I. Call to Order**
- II. Pledge of Allegiance**
- III. Roll Call**
- IV. Approval of Previous Minutes**
- V. Approval of Agenda**
- VI. Old Business**
- VII. New Business**
 - A. Site Plan Review: 4032 Fort – Carryout Restaurant
- VIII. Policy Review and Discussion**
 - A. Screening Wall Alternatives Ordinance Amendment
- IX. Education and Training**
 - A. Site Plan Review Training: April 21, 2020
- X. Reports from Department and Other Boards and Commissions**
- XI. Public Comments**
- XII. Comments from Planning Commissioners**
- XIII. Adjournment**

The City of Lincoln Park will provide necessary reasonable auxiliary aides and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park MI 48146; 313-386-1800 ext. 1296

**CITY OF LINCOLN PARK
COUNTY OF WAYNE, STATE OF MICHIGAN
PLANNING COMMISSION MEETING OF JANUARY 8, 2020**

A Planning Commission meeting of January 8, 2020, Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan was called to order at 7:00 p.m. by Mr. Kissel, Commencing with the Pledge of Allegiance.

PRESENT: Palmer, Horvath, Graczyk, Persinger, Kelsey, Kissel, LoDuca

ABSENT: Briones

EXCUSED: Horvath

ALSO PRESENT: Leah DuMouchel, John Meyers, Lillian Ross

APPROVAL OF MINUTES

a. December 11, 2019

Motion by Palmer to approve minutes as presented, support by Kelsey

MOTION CARRIED

APPROVAL OF AGENDA

Approve agenda as submitted

OLD BUISNESS:

A. Public Hearing: Package Delivery Lockers –

The City of Lincoln Park has been approached to permit the addition of package delivery lockers to certain commercial properties within the City. A privately-owned container or locker serving as a package delivery alternative, to be used for personal package pick-up and / or return

Public Hearing opened at 7:04

Ms. Ross questioned whether language should be added to the ordinance to address maintenance of the lockers? Mr. Meyers explained the maintenance language is already in the Ordinance under blight

No further public comment, Public Hearing closed at 7:06

Motion by Kissell to recommend an ordinance amendment proposal governing package delivery lockers for adoption by the Lincoln Park City Council, support by Kelsey

Motion Carried

NEW BUISNESS

A. Election of Officers:

Nomination to have Commissioner Kissell as the Chairman of the Planning Commission, support by Persinger, nomination accepted by Kissell.

Nomination to have Commissioner Palmer as the Vice Chairman of the Planning Commission, nomination accepted by Palmer

Nomination to have Joe Palmer serve as Secretary of the Planning Commission, support by Palmer, nomination accepted by Horvath.

Nominations and acceptance are as follows:

Kissell – Chairman

Palmer – Vice Chairman

Horvath - Secretary

POLICY REVIEW AND DISCUSSION

None

EDUCATION AND TRAINING

Leah distributed information to the Commissioners for workshops and training.

The site plan review training is something the commission is interested in scheduling.

REPORTS FROM DEPARTMENTS AND OTHER BOARDS AND COMMISSIONS

None

PUBLIC COMMENTS

None

COMMENTS FROM PLANNING COMMISSIONERS

ADJOURNMENT

Moved by Kelsey to adjourn, support by Palmer

MOTION CARRIED

Meeting adjourned at 7:23PM PM

MICHAEL HORVATH, Secretary

4032 Fort – Carryout Restaurant

Site Plan Review

Applicant	Michael Braskich
Project	Carryout Restaurant
Address	4032 Fort Street, Lincoln Park, MI 48146
Date	February 12, 2020
Request	Site Plan Review
Recommendation	Approve with conditions

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial View

The applicant proposes a new carryout restaurant in a vacant half of an existing building; the subject parcel was previously a barber shop and the adjacent business (4030 Fort St) is a mobile service provider. The site is 1,875 sf located on Fort St. The applicant proposes improvements to the façade, lighting, wall sign, and landscaping that do not significantly and/or materially change the appearance of the building. There are no proposed changes to the building footprint and vehicular access.

Site conditions

The site is located on Fort St. (M-85), approximately 50 ft from the intersection of Fort St. and St. Johns Blvd. to the south. The front (east) side of the building is served by an approximately fifteen (15) foot concrete sidewalk on Fort St. which provides pedestrian access to the main entrance of the building. The rear (west) side of the building is served by a public alley which provides access to the rear entrance of the building and 3 shared parking spaces. Across the public alley are parking facilities for a multiple family residential building. On-street public parking spaces are offered on both Fort St. and St. Johns Blvd.

Master Plan

Future Land Use Classification

The future land use classification for the site is General Commercial. The proposed use of carryout restaurant is consistent with the designation.

Intent; Desirable Uses and Elements

The General Commercial classification is the main commercial designation along all major corridors. It is intended to permit maximum flexibility of use in conjunction with strong redevelopment and landscaping standards.

Land Use and Zoning

Zoning

The zoning classification on the property is Municipal Business District (MBD). Carryout Restaurants are a principally permitted use in the MBD.



Figure 2: Zoning Map

Proposed and Existing Uses

Site	Commercial; Municipal Business District (MBD)
North	Commercial; Municipal Business District (MBD)
East	R.O.W then Commercial; Municipal Business District (MBD)
South	Commercial; Municipal Business District (MBD)
West	Residential; Multiple Family Residential District (MFRD)

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
C-1	-	12/09/2019	01/20/2020

Dimensional Standards

The dimensional requirements of the MBD district are described in the chart below. (§1294.32, except where noted.)

	Required	Provided	Compliance
Lot Width	Min. 40 FT	16 FT	NOT MET
Street Frontage (§1294.09)	Shrubbery and low retaining walls 2 ½' < height < 8'	Not Applicable	N/A
Lot Area	Min. 4,000 SF	1,875 SF	NOT MET
Lot Coverage	Max. 50%	47%	MET
Height	Max. 2 Stories; 25 FT	1 Story; 14 FT	MET
Setback – Front	0 FT	0 FT	MET
Setback – Sides	0 FT	0 FT	MET
Setback – Rear	0 FT	64 FT 10 IN	MET

The existing parcel dimensions do not meet the requirements for lot width and area in the district.




Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' 	MET

Required	Compliance
<ul style="list-style-type: none"> Architectural variety Similar materials and entrances to buildings within 500'  <p>The site; Fort St.</p>  <p>Fort St. and St. Johns Blvd. Intersection; southeast</p>  <p>Fort St. and Ford Blvd. intersection; northeast</p>	<p>MET</p>
<ul style="list-style-type: none"> Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW). <i>Percentage is not provided; the building material of the front elevation is existing brick and of the rear elevation is existing block. This condition is met.</i> 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly-reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block) <i>This condition is met.</i> Natural colors (bright for decorative features only) <i>Applicant proposes to paint the exterior of the existing brick of the front elevation. Paint sample/color is not provided.</i> 	<ul style="list-style-type: none"> MET MET INQUIRY
<ul style="list-style-type: none"> Façade: <100' uninterrupted If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches All sides similar 	<p>N/A</p>
<ul style="list-style-type: none"> Windows: vertical, recessed, visually-obvious sills Spaces between windows = columns, mullions, or material found elsewhere on the façade Front facades > 25% windows <i>Percentage is not provided, the estimated percentage for the new alum. Store front is 28%. This condition is met.</i> Size, shape, orientation, spacing to match buildings within 500' 	<p>MET</p>
<ul style="list-style-type: none"> Main entrances: doors larger Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) 	<p>MET</p>

Required	Compliance
<ul style="list-style-type: none"> • Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 • Rooflines >100' = roof forms, parapets, cornice lines • Roof-top mechanical equipment screened by roof form. 	MET

Items to be addressed

- Applicant shall provide the proposed paint sample/color for the exterior of the existing brick of the front elevation.
- Applicant shall indicate a clear description of the unidentified material of the area above the entry door which replace the location of the existing A.C. window unit.

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The property is served by an approximately fifteen (15) feet of concrete sidewalk along Fort St, which provides pedestrian access to the main entrance of the building and provides safe and uninterrupted pedestrian circulation seperated from the vehicular circulation. There are no bicycle lanes on Fort St, and bicycle parking facilities are not provided.

Items to be addressed

- Applicant shall ensure that existing concrete sidewalks are brought up to City standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Carry-out restaurant	One (1) for each one-hundred-fifty (150) square feet of gross floor area, with a minimum of six (6). 888/150= 6 parking spaces	(1.5) within the property. Total of 3 parking spaces shared with the adjacent property within the plot	NOT MET

The proposed number of the parking spaces does not comply with the parking requirements for a carryout restaurant. The site plan indicates that ten (10) parking spaces are provided: the three (3) shared parking spaces between the property and adjacent property 4030 Fort St.; three (3) on-street parking spaces on Fort St, and four (4) on-street parking spaces on St. John. Only 1.5 of these spaces can be truly accurately characterized as “provided,” since the remaining 8.5 spaces are off-site and most are not under the direct control of the applicant. This label should be corrected on the site plan.

Given the extremely limited ability of the site to accommodate parking, it is the Planning Commission’s responsibility to determine whether the proposed parking plan offers adequate provision for the intended use while preserving the public health, safety, and welfare. It is assumed that the three shared spaces to the rear of the building will be used primarily for employee parking for the two businesses due to their midblock location and a lack of signage indicating the availability of such parking to the public. The same situation is true of the three other businesses between St. John’s Blvd and the Squeaky Clean Car Wash: Shiloh Christian Book Store, Metro PCS, and Leading Edge Tax Service. Therefore, the entire parking demand of these businesses will be met via on-street parking on Fort St and St John’s Blvd. As it stands, these uses are relatively complementary in terms of peak hours (2 retail, 1 restaurant, 1 office).

§1290.01 (q) **Waiver or Modification of Standards for Special Situations.** The Planning Commission may reduce or waive the number of off-street parking and/or loading spaces required for a specific use, provided they determine that no good purpose would be served by providing the required number of such spaces. In making such a determination to reduce or waive the requirements for off-street parking and/or loading spaces of this chapter, the following may be considered:

- (1) Extent that existing off-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use.
- (2) Extent that existing on-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use without negatively impacting traffic safety or adjacent uses.
- (3) Existing and proposed building placement.
- (4) Location and proximity of municipal parking lots and/or public alleys.
- (5) Agreements for parking and/or loading spaces with adjacent or nearby property owners.

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	The rear public alley serves as egress and ingress for the rear parking spaces	MET
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Existing asphalt parking	MET
	Concrete curbs and gutters	Not provided; curbs and gutters are required between the ground cover and sidewalk and the parking spaces. If the City Engineer determines during detailed engineering review that curbs and gutters are not required for stormwater management, wheel stops may be provided instead.	NOT MET
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	The public alley provides in and out circulation and maneuvering movement to the parking space. A solid masonry wall is not applicable.	N/A
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	The parking space adjoins a public alley and MFRD.	See Parking Area Type A 1290.04 below
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	The public alley serves for backing and maneuvering	MET
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	The parking space does not abut a public sidewalk	N/A

Parking Area Type A §1290.04			
	Required	Proposed	Compliance
General	The parking surface, and all required access drives and maneuvering aisles, shall be covered with a pavement of concrete or plant-mixed bituminous.	Existing asphalt parking.	MET
	No surface water from the parking area shall be permitted to drain onto adjoining property; parking area shall be graded and drained to the storm sewer so as to dispose of surface water which might accumulate within or upon such area.	Not provided.	To be addressed in detailed engineering
	Parking area shall be curbed with concrete curbs and gutters. Necessary curbs or other protection for the public and for the protection of adjoining properties, streets and sidewalks shall be provided and maintained.	No indication of concrete curb and gutter lines within the parking area; they are indicated at the sidewalk of Fort St.	NOT MET
	Entrance shall be only from adjoining principal use or an adjoining alley.	Entrance is provided from adjoining public alley	MET
	Parking lot shall be designed to prevent vehicles from backing into the street, backing into an access drive, or requiring the use of the street for maneuvering between parking rows.	The public alley provides proper circulation and maneuvering	MET
Setbacks	Side yard shall be maintained for a space of not less than (10) ft between the side lot lines of adjoining lots and the parking area.	There is no side yard between the residential building and the property.	N/A
	The depth of the front yard or setback line from the street, as established for houses in any block in any given residential area, shall be continued and made applicable to parking space in such residential area.	The setback from the public alley line to the building line is 64' 10" which provides approximately 9ft between the public alley and the parking space line. The residential building offers parking spaces between the residential building and the public alley.	MET
	Barriers shall be located on the setback line to prevent the use of the setback line and sidewalk for the parking of motor vehicle.	There is no sidewalk between the setback line and the parking or public alley.	N/A
Screening	Whenever parking area adjoins residential property and/or a residential street or alley, a solid masonry wall, ornamental on both sides, and not less than six (6) feet in height, shall be erected and maintained between the required yard space and the area to be used for parking.	The parking spaces open directly onto the public alley, preventing the implementation of screening as described here.	N/A

Parking Area Type A §1290.04			
	Required	Proposed	Compliance
	Walls shall be constructed of the same materials as of the main or principal building, and be faced with either brick, decorative block, or pre-cast concrete formed into a decorative pattern and painted in the same color scheme as the principal building	Not provided; see above condition	N/A
	A greenbelt, berm, or buffer strip as defined in §1296.03 (d) shall be installed along the required wall.	Not provided; see above condition	N/A
	Bumper guards of a type; at least 6" high, or steel posts of 24" to 30" high and not more than 5ft apart, set 3ft in concrete, shall be provided to prevent vehicles from striking such wall or shrubbery	Not provided; see above condition	N/A
Lighting	All parking lot lighting shall be designed, located, and shielded to prevent glare onto adjacent properties, and shall be arranged to prevent adverse effects on motorist visibility on adjacent rights-of-way.	This requirement is addressed under Lighting, below	Addressed under Lighting
	When lighting facilities are used, reflectors shall be installed to reflect the light away from adjacent residential area.	Not Applicable	N/A
	The source of illumination shall not be more than fifteen (15) feet above parking surface	The wall mounted light is within the building. The building height is 14 ft.	MET

Items to be addressed

- *Planning Commission waiver requested to accept the proposed parking plan of 1.5 parking spaces provided on-site to serve employees, and 7 shared on-street parking spaces to serve the four adjoining businesses on the block which do not have private off-street parking facilities.*
- *Applicant shall indicate clearly the concrete curb and gutter lines between the groundcover and sidewalk and the rear parking spaces, and provide the curbs and gutters sectional detail to scale. If the City Engineer determines during detailed engineering review that curbs and gutters are not required for stormwater management, wheel stops may be provided instead.*

O BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 - 25	1	Not Provided	NOT MET

The size of the site, which is existing and nonconforming, will not accommodate barrier-free parking.

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
0 – 2,000	None	None	MET

Items to be addressed

None

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Road, Fort Street, Dix Avenue, and Outer Drive.

There is no vehicular access to this site from any of these routes, so the standards of this section do not apply.

Items to be addressed

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

The proposed site plan indicates a fire lane accessed from the rear alley. The Lincoln Park Police Department and the Lincoln Park Fire Department have each reviewed the plan and indicated no issues.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	The public sidewalk extends to the street; not applicable	N/A
	1 tree and 4 shrubs per 40' of street frontage		
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	Not Applicable	N/A
Interior Landscaping	10% of total lot area landscaped, including groundcover (1,875 sf *0.1) = 187.5 sf landscaping	240 sf is provided on the rear side of the building along the walkway.	MET
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Ground cover is grouped near the rear walkway from both sides.	MET
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping Required interior landscaping = 187.5 sf	The estimated interior landscaping area of the property is less than the required area of interior landscaping for tree and shrub provision.	N/A

	Required	Proposed	Compliance
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces	The size of the parking area does not trigger parking lot landscaping.	N/A
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	3 yard dumpster is provided. Sectional detail is not provided	INQUIRY
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive); solid 6' masonry wall ornamental on both sides	The size of the property and the existing building does not fit the required screening buffer	N/A

The site plan shows a 3-yard dumpster abutting the neighboring building to the south, with no indication of the required screening. The dumpster appears to encroach on the walkway between the parking area and the rear door, and may encroach further once repositioned for pickup service.

As with the parking, there is no ideal accommodation for trash on this small site, and it is the Planning Commission's responsibility to determine whether the proposed trash plan offers adequate provision for the intended use while preserving the public health, safety, and welfare. A previous site design did not include a dumpster, presumably intending to depend instead on bagged trash pickup. While this arrangement has been successful in some proposals, staff had concerns about using it for a food-based business due to its potential to attract rodents and requested a revision. Ongoing internal investigation since the receipt of the revised plan shows that several commercial trash services are willing to provide plastic storage bins to hold the refuse between pickups, which may offer a compromise between loose bagged trash which is accessible to rodents, and a heavy encroaching dumpster which impedes access to the building.

Items to be addressed

- Planning Commission shall determine the appropriate measures to safely accommodate the storage and removal of trash from the site.*

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to ensure that soil erosion is adequately controlled.*

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site. The City of Lincoln Park Director of Public Works notes that the sanitary connection indicated to the east (front) of the building is abandoned, and that the tie-in is to the rear of the site.

Items to be addressed

- Applicant to verify with the City Engineer the existing water services and sanitary service type, size, and determine the lead capacity for the proposed building use.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County. No change is proposed to the amount of impervious surface on the site.

Items to be addressed

- Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

The proposed site plan indicates two (2) directional wall mounted exterior lightings on the front (east) elevation and one (1) wall mounted exterior lighting on the rear (west) elevation.

Items to be addressed

- Applicant shall provide the manufacturing specification and photometric diagram to ensure sidewalks and parking area are properly lit to facilitate the safe movement of pedestrian and vehicles and provide a secure environment.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

No mechanical equipment is visible from the right of way.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during Site Plan Review is for illustrative purposes only.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

No hazardous material or waste is anticipated to be stored on site

Items to be addressed

None

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

The use of carryout restaurant in MBD is a principally permitted use.

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- Applicant to secure all appropriate agency reviews as needed.*

VARIANCES

No variances are anticipated in conjunction with this development.

Items to be addressed

None

RECOMMENDATIONS

Findings

The site plan as proposed is substantially in compliance with §1296.01, Site Plan Review.

Conditions and Waivers

Waivers

- Planning Commission shall determine the appropriate measures to safely accommodate the storage and removal of trash from the site.
- Planning Commission waiver requested to accept the proposed parking plan of 1.5 parking spaces provided on-site to serve employees, and 7 shared on-street parking spaces to serve the four adjoining businesses on the block which do not have private off-street parking facilities.

Conditions to be addressed before approval letter is issued

- Applicant shall provide the proposed paint sample/color for the exterior of the existing brick of the front elevation.
- Applicant shall indicate a clear description of the unidentified material of the area above the entry door which replaces the location of the existing A.C. window unit.
- Applicant shall indicate clearly the concrete curb and gutter lines between the groundcover and sidewalk and the rear parking spaces, and provide the curbs and gutters sectional detail to scale. If the City Engineer determines during detailed engineering review that curbs and gutters are not required for stormwater management, wheel stops may be provided instead.

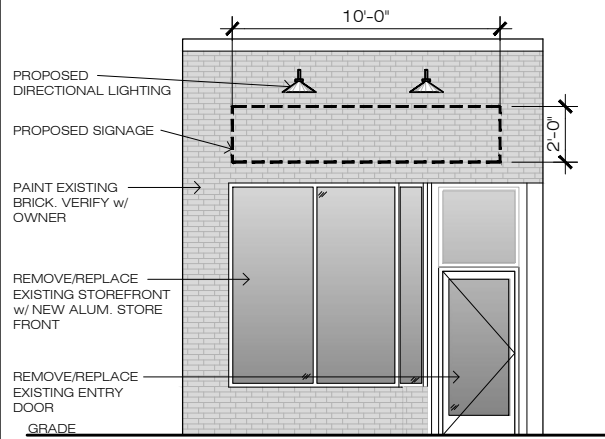
- Applicant shall provide the manufacturing specification and photometric diagram to ensure sidewalks and parking area are properly lit to facilitate the safe movement of pedestrian and vehicles and provide a secure environment.

Conditions of approval

- Applicant shall ensure that existing concrete sidewalks are brought up to City standards.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to ensure that soil erosion is adequately controlled.
- Applicant to verify with the City Engineer the existing water services and sanitary service type and size, and determine the lead capacity for the proposed building use.
- Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Applicant to secure all appropriate agency reviews as needed.

Recommendation

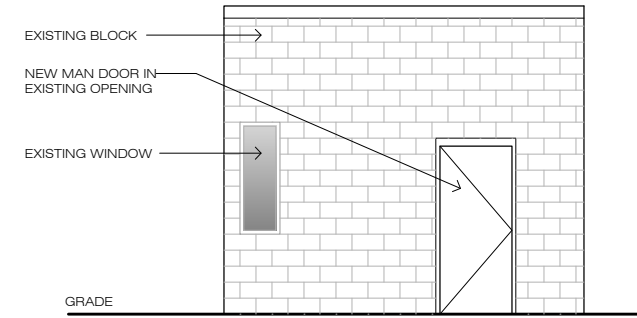
It is recommended that the City of Lincoln Park **approve** the site plan numbered PPC19-016, proposing a carryout restaurant at 4032 Fort St and consisting of the pages and revision dates found under Site Plan Documents above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.



FRONT ELEVATION

2

SCALE: 1/8" = 1'-0"



REAR ELEVATION

2

SCALE: 1/8" = 1'-0"

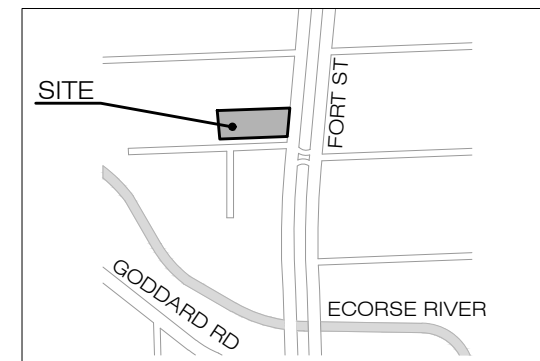
EXTERIOR LIGHTING GUIDELINES

SIGNS

1. EXTERNALLY ILLUMINATED SIGNS.
 - A. THE AVERAGE LEVEL OF ILLUMINATION ON THE VERTICAL SURFACE OF THE SIGN SHALL NOT EXCEED 3.0 FOOTCANDLES, AND THE UNIFORMITY RATIO (THE RATIO OF AVERAGE TO MINIMUM ILLUMINATION) SHALL NOT EXCEED 2:1.
 - B. LIGHTING FIXTURES ILLUMINATING SIGNS SHALL BE CAREFULLY LOCATED, AIMED, AND SHIELDED SO THAT LIGHT IS DIRECTED ONLY ONTO THE SIGN FACADE.
 - C. LIGHT FIXTURES ILLUMINATING SIGNS SHALL BE OF A TYPE SUCH THAT THE LIGHT SOURCE IS NOT DIRECTLY VISIBLE FROM ADJACENT STREETS, ROADS, OR PROPERTIES.
 - D. FIXTURES USED TO ILLUMINATE EXTERNALLY ILLUMINATED SIGNS SHALL BE TOP MOUNTED AND DIRECTED DOWNWARD (I.E., BELOW THE HORIZONTAL).
2. INTERNALLY ILLUMINATED SIGNS.
 - A. INTERNALLY ILLUMINATED SIGNS ARE PROHIBITED WITHIN LIGHTING DISTRICT 2.
 - B. INTERNALLY ILLUMINATED SIGNS ARE ALLOWED IN DISTRICT 1 WHEN ONLY THE SIGN COPY IS ILLUMINATED AND THE SIGN BACKGROUND IS TOTALLY OPAQUE.
 - C. ANY ILLUMINATION SHALL BE LOCATED SO AS NOT TO PRODUCE INTENSE GLARE OR DIRECT ILLUMINATION ACROSS THE BOUNDING PROPERTY LINE.

CANOPIES & AWNINGS

- A. LIGHTING LEVELS ON SERVICE ISLANDS AND UNDER CANOPIES (SHALL BE ADEQUATE TO SAFELY FACILITATE THE ACTIVITIES TAKING PLACE IN SUCH LOCATIONS. LIGHTING OF SUCH AREAS SHALL NOT BE USED TO ATTRACT ATTENTION TO THE BUSINESSES. SIGNS ALLOWED UNDER THE APPROPRIATE SECTION OF THESE REGULATIONS SHALL BE USED FOR THAT PURPOSE.
- B. LIGHT FIXTURES MOUNTED ON CANOPIES SHALL BE RECESSED SO THAT THE LENS COVER IS RECESSED OR FLUSH WITH THE BOTTOM SURFACE (CEILING) OF THE CANOPY.
- C. LIGHTS SHALL NOT BE MOUNTED ON TOP OF A CANOPY, AND THE SIDES (FASCIAS) OF THE CANOPY SHALL NOT BE ILLUMINATED EXCEPT FOR SPECIFICALLY ILLUMINATING ONLY THE SIGNS OR LOGOS IDENTIFYING THE FACILITY.



LOCATION MAP



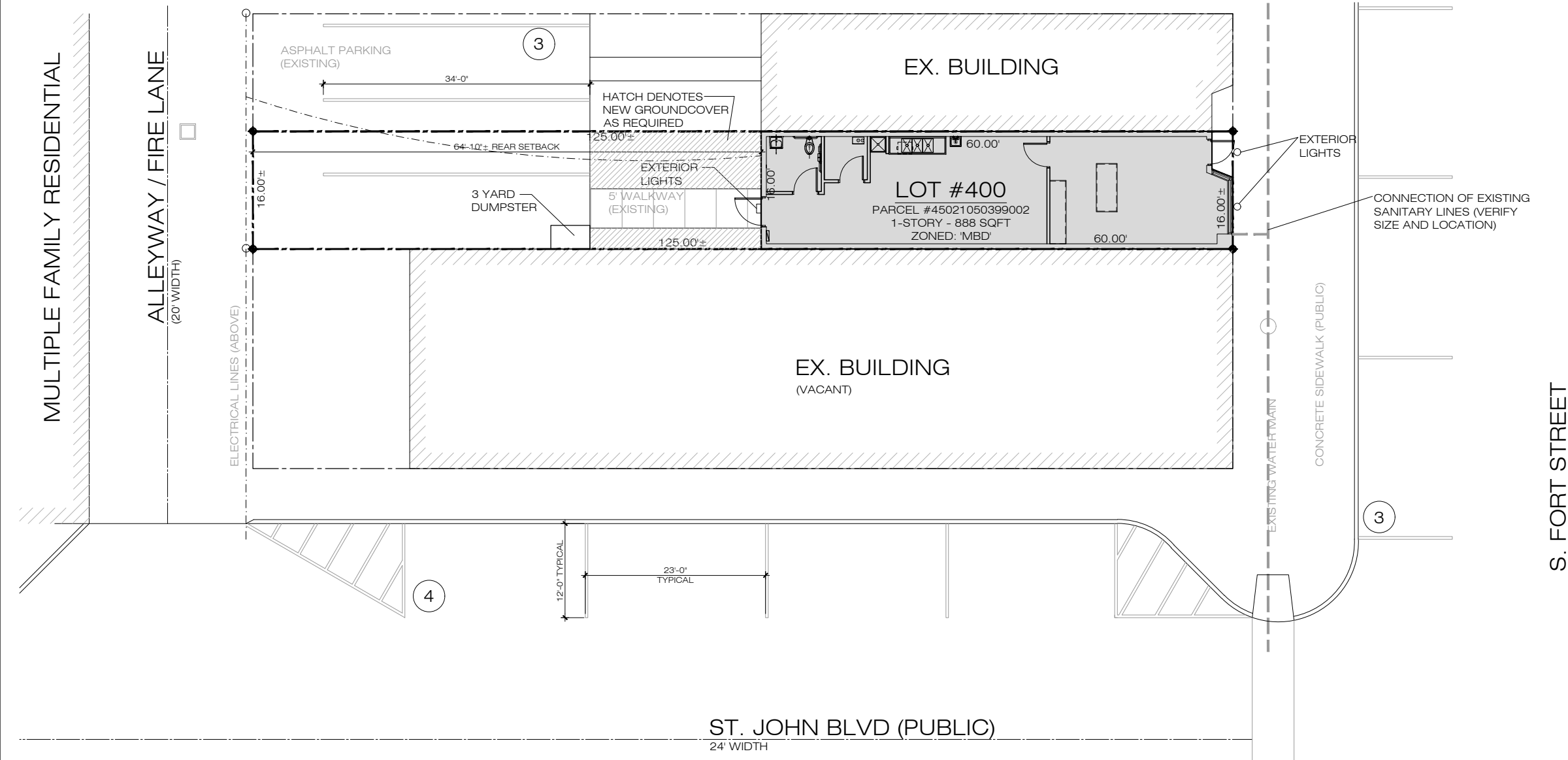
SITE DESCRIPTION

PARCEL NUMBER:	45-021-05-0399-002
AREA OF PROPERTY:	±1,875 SQ FT / 0.04 ACRES
NUMBER OF STORIES:	1-STORY / 14' HIGH
AREA OF EXIST. BLDG:	888 SQ FT
PROPOSED FOOTPRINT:	888 SQ FT
ZONING:	MUNICIPAL BUSINESS DIST.
OCCUPANCY TYPE:	A-2; ASSEMBLY
CONSTRUCTION TYPE:	TYPE III

PARKING
 ONE (1) FOR EACH ONE-HUNDRED-FIFTY (150) SQUARE FEET OF GROSS FLOOR AREA, WITH A MINIMUM OF SIX (6). (1290.02 NUMBER OF SPACES REQUIRED.)

REQUIRED PARKING SPACES	888 SQFT/ 150
	6 SPACES REQUIRED
	10 SPACES PROVIDED

*NO LOADING / UNLOADING AREA REQUIRED (1290.09 OFF-STREET LOADING GENERALLY)



PROPOSED SITE PLAN

SCALE: 1:10



NORTH

1



PROJECT NAME:
LINCOLN PARK SHOP
 4032 FORT STREET
 LINCOLN PARK 48146

DATE:	ISSUED FOR:
12.9.19	SITE PLAN SUBMITTAL
1.20.20	SITE PLAN RESUBMITTAL

DRAWING DATE:
1.20.20

PROJECT NUMBER:
19013

SHEET NUMBER:
C-1

RECEIVED

DEC 09 2019

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

Case No. PPC19-0614

Date Submitted 12-9-19

City of Lincoln Park

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan Review by the Planning Commission must be submitted to the City in substantially complete form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: Michael Braskich
Mailing Address: 2121 Gorno Ct. Trenton MI 48183
Email: brasskitch@gmail.com
Telephone: 734-818-9928 Fax: _____

Property Owner(s) Name (if different from Applicant): _____
Mailing Address: _____
Telephone: _____ Fax: _____
Applicant(s) Explanation of Legal Interest in Property:

Location of Property: Street Address: 4032 Fort St. Lincoln Park MI 48146
Nearest Cross Streets: Fort / Goddard
Sidwell Number (Parcel ID#): _____

Property Description:
If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

Property Size (Square Ft): 888 (Acres): .04

Existing Zoning (please check):

- | | |
|---|--|
| <input type="checkbox"/> SFRD Single Family Residential District | <input type="checkbox"/> RBD Regional Business District |
| <input type="checkbox"/> MFRD Multiple Family Residential District | <input type="checkbox"/> CBD Central Business District |
| <input type="checkbox"/> MHRD Mobile Home Park District | <input type="checkbox"/> GID General Industrial District |
| <input type="checkbox"/> NBD Neighborhood Business District | <input type="checkbox"/> LID Light Industrial District |
| <input checked="" type="checkbox"/> MBD Municipal Business District | <input type="checkbox"/> CSD Community Service District |
| <input type="checkbox"/> PUD Planned Unit Development District | |

Present Use of Property: Previously Barber Shop?

Proposed Use of Property: To-go Sandwich Shop

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	<u>1</u>	<u>888</u>	<u>4</u>
Industrial			
Other			

Professionals Who Prepared Plans:

A. Name: Kyle Alef

Mailing Address: Royal Oak MI 48067

Email Address: kyle.alef@gmail.com

Telephone: 586-215-2720 Fax: _____ Primary Design Responsibility: Site Plan / Interior

Drawings

B. Name: _____

Mailing Address: _____ Address: _____

_____ Email

Address: _____

Telephone: _____ Fax: _____ Primary Design Responsibility: _____

C. Name: _____

Mailing Address: _____

_____ Email Address: _____

Telephone: _____ Fax: _____ Primary Design Responsibility: _____

ATTACH THE FOLLOWING:


1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. **A brief written description** of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:
 - G Wayne County Road Commission G Wayne County Drain Commission
 - G Wayne County Health Division G Michigan Department of Natural Resources
 - G Michigan Department of Transportation G Michigan Department of Environmental Quality

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

APPLICANT ' SENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

 Signature of Applicant	12-9-09 Date
Signature of Applicant	Date
Signature of Property Owner Authorizing this Application	Date

TO BE COMPLETED BY THE CITY		Case No. _____
Date Submitted: _____	Fee Paid: _____	
By: _____	Date of Public Hearing: _____	
PLANNING COMMISSION ACTION		
Approved: _____	Denied: _____	Date of Action: _____

City of Lincoln Park Planning and Development

Zoning Text Amendment Study: Wall Requirements in §1294.28, Screening

February 3, 2020

§1294.28(a) of the Lincoln Park Zoning Ordinance has the following wall screening requirement in order to protect residential properties:

“Where a Business or Industrial District abuts directly upon a Residential District, a landscaped greenbelt meeting the requirements of Section 1296.03, Landscaping Standards, shall be provided and maintained along its entire length by the users of the business or industrially zoned property.

In addition, such Business or Industrial District shall be screened from such contiguous, residentially zoned district by either a building housing a permitted use or by a solid masonry wall, ornamental on both sides, and not less than six (6) feet in height above grade, between the required greenbelt area and the commercial or industrial use. Such walls shall be constructed of the same materials as that of the main or principal building, and be faced with either brick, decorative block, or pre-cast concrete formed into a decorative pattern and painted in the same color scheme as that of the principal building.

Such greenbelt area shall meet the requirements of Section 1296.03, Landscaping Standards, and be a strip of land not less than fifteen (15) feet in width, planted and maintained with evergreens such as spruce, pines or firs, at least five (5) feet in height, so as to create a permanent buffer within one (1) year following approval of the development by the City.

If, in the opinion of the Planning Commission, the greenbelt would serve no good purpose, the Commission may waive such requirement and provide only the wall between the residential use and the business or industrial use. ”

Development review staff have noted that the cost of implementing the solid masonry wall requirement has been cited by potential applicants in several instances as the primary factor in choosing not to proceed with a development proposal. It is also frequently challenging to implement on smaller sites; in no recent case have all three protective measures (wall, greenbelt, and landscape screen) been implemented. In preliminary discussion, the Planning Commission has reinforced the value of the screening requirement, citing protection of privacy and relief from visual and auditory clutter for those residents living closest to the City’s commercial corridors. The following alternatives were considered to provide flexibility while retaining those benefits.

1. Allow for different materials, if the wall is opaque

Potential materials found in comparison ordinances are listed here, with staff assessment:

- Masonry, decorative block, poured concrete, brick, stone – already permitted and expensive
- Rot-resistant wood – poor durability
- Vinyl, metal – poor appearance
- “Or other high-quality, appropriate material” – does not provide enough guidance

Staff suggested a new material called Eco-Wall, a sound barrier material made from recycled rubber which has the appearance of brick or stone at a considerably thinner depth. A brochure is included with this memo.

2. *Allow for a non-opaque fence accompanied with landscaping as a substitution (prohibit chain link).*

This solution saves on cost but not space, and does not considerably add to the visual or auditory protection above what the landscape screen would provide. Standards would need to be developed for the fence.

3. *Allow landscaping as a substitution.*

This is a reasonable substitution that provides choice and flexibility to the developer. Maintenance over time is the biggest concern.

4. *Add a provision that the Planning Commission may waive the solid masonry wall requirement and/or substitute with alternatives, if deemed unnecessary.*

Based on conversation in predevelopment meetings, staff predicts that permitting a simple waiver will result in most proposals requesting it, based on solely economic grounds. Since it is clear that the Commission does not consider this to be in the interest of the City’s residents, this solution may ultimately result in a more conflict-laden development process. Similarly, while it seems attractive to permit an applicant to submit a better alternative, experience has shown that the City’s approach to this requirement (protecting the residential environment) differs fundamentally from the applicants’ approach (cost avoidance), and so acceptable standards should be clear and specific.

The following language is proposed for consideration:

“If, in the opinion of the Planning Commission, the provision of both the wall and greenbelt would serve no good purpose, the Commission may accept either the greenbelt or the wall between the residential use and the business or industrial use. In cases where the screening is located along a rear property line and is not highly visible from a public right-of-way, the Planning Commission may permit the wall to be constructed of a decorative recycled rubber soundproofing alternative such as Eco-Wall.”

Cost Comparison

<i>Screening method</i>	<i>Cost</i>	<i>Comparison</i>
Landscape		
Brick or CMU	\$20-\$30/sf installed	\$120-\$180 lf
Eco-Wall	\$25/sf installed	\$150 lf

Best-Practice Resources

1. RRC-identified best-practice zoning ordinances (Tecumseh and Alpena)
Michigan Economic Development Corporation. MiPlace. RRC Online Resource Library. “Best Practice 2 (Zoning).”
<https://www.miplace.org/programs/redevelopment-ready-communities/rrc-library/>

2. 21st Century Land Development Code

Freilich, Robert S. and S. Mark White. "21st Century Land Development Code." American Planning Association. p. 191, 235.

3. Other recently amending zoning ordinances (Grand Rapids, MI and Portland, OR)

Grand Rapids (Section 5.2.11): <https://www.grandrapidsmi.gov/Government/Programs-and-Initiatives/Zoning-Ordinance>

Portland (Section 33.248): <https://www.portlandoregon.gov/bps/article/53315>



DETAILS:

Size:

8' L x 1' H x 2" (per panel)

Weight:

60 lbs (per panel)

Average:

6' H x 8' L (6 panels per section)

Sound Transmission Class (STC): 29

Noise Reduction Coefficient (NRC): 0.30

Colors: (Actual colors may vary)

Grey, Black, Redwood, Brown, Terra-Cotta

Applications:

Commercial, Residential and much more

Shipping:

FOB Legal, Alberta, Canada



ADVANTAGES:

- Provides privacy and reduces **the noise level**.
- **No heavy equipment required** to be installed.
- Tongue and groove **joints** for easy installation and added strength.
- Designed to be **visually appealing**.
- Preserves aesthetic values and scenic vistas.
- **Easily placed, relocated and removed** as needed.
- **Reinforced** with a rigid spine for added strength (patent pending).
- Made from **100% Recycled Rubber** tires makes them a durable, long-lasting solution.



COLORS:

