



## LINCOLN PARK PLANNING COMMISSION

**DATE CHANGED: June 17, 2020 at 7 p.m.**  
**(postponed from June 10)**

### REMOTE MEETING VIA ZOOM

Call: 1 646 558 8656

Web: [www.zoom.us](http://www.zoom.us)

Meeting ID 827 7951 1947

Participant ID is #

## AGENDA

- I. **Call to Order**
- II. **Roll Call**
- III. **Approval of Previous Minutes**
- IV. **Approval of Agenda**
- V. **Old Business**
  - A. Public Hearing: Waste Management Zoning Text Amendment
  - B. Waste Management Zoning Text Amendment
- VI. **New Business**
  - A. Public Hearing: Rezoning – 1805 JA Papalas
  - B. Rezoning – 1805 JA Papalas
  - C. Site Plan Review: 3476 Fort – Massage Therapy
- VII. **Policy Review and Discussion**
  - A. Proposed Site Plan Review Chapter Draft
  - B. Redevelopment Opportunities in Lincoln Park Package
  - C. Sign Revision Rollout
- VIII. **Education and Training**
- IX. **Reports from Department and Other Boards and Commissions**
- X. **Public Comments**
- XI. **Comments from Planning Commissioners**
- XII. **Adjournment**

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The City of Lincoln Park will provide necessary reasonable auxiliary aides and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park MI 48146; 313-386-1800 ext. 1296

## City of Lincoln Park Planning and Development Zoom Planning Commission Meeting

The Lincoln Park Planning Commission will hold a remotely-conducted Planning Commission meeting. In keeping with Governor Whitmer's Executive Order 2020-15 and subsequent extensions, this and all future meetings will be held in a manner which permits two-way communication between the public body and the general public. These meetings will strive to meet both the spirit and the letter of the Order; patience and forbearance with these new processes are kindly requested.

- Audio observance of the Planning Commission meeting is available by calling +1 646 558 8656 and enter the meeting ID, which can be found on the Planning Commission Agenda. Those calling in will be able to hear the audio of the Planning Commission meeting, and their microphone will be muted. (Please note, that for a brief period of time, when calling in, the caller's full telephone number may be visible for those using the Zoom platform. We will endeavor to manually, yet as quickly as possible, alter what is visible to just the last four digits of the caller's telephone number.)
- These meetings may be streamed at the City's regular YouTube page, or at a link which is provided on the meeting agenda. The stream may lag the meeting by as much as 20 seconds. Streaming may not be available for each meeting, but the audio observance will be.
- Chair Kevin Kissell will call the meeting to order and then the Planning Consultant will be facilitating the meeting and will call on individual members of the Planning Commission and staff participants to speak who "virtually raise their hand," which will occur through the Zoom platform
- Callers wishing to give public comment may call in before the meeting starts and wait in a "virtual waiting room." When the Commission accepts public comment, in the order calls were received, the Planning Consultant will identify the caller by the last four digits of their telephone number and ask them if they would like to make a comment.
- The agenda of future meetings may be reordered to take public comment at the beginning of the meeting.

City of Lincoln Park Planning and Development

## Ordinance Amendment Proposal: Waste Management

April 14, 2020

The City of Lincoln Park Zoning Ordinance does not specifically address waste management requirements for a development. The Ordinance merely requires trash receptacle locations to be shown and the method of screening, if applicable (§1296.01(f)(2)(M)). Issues of waste management have recently come up during the site plan review process; for example, a site's conditions may not allow for the placement of a dumpster due to a small parcel size. Furthermore, depending on the site's use, an operation may not generate enough waste to warrant a dumpster. Therefore, waste management will vary depending on the site. Regardless, the Zoning Ordinance should have a clear requirement for trash management so that developers know what is expected and so that the City has the legal justification for any requirements.

### Best Practice Review

Staff reviewed ordinance excerpts from the City of Ypsilanti, the City of Ann Arbor's Unified Development Code, and the City of Raleigh, NC's "Solid Waste Collection Design Manual." Generally, the ordinances require waste accommodation to be shown on site plans; to be screened; to be orderly and sanitary, and to be accessible. The Cities of Ann Arbor and Raleigh both specifically address the use of curb carts rather than dumpsters to handle commercial waste, with provisions requiring review and documentation.

### Recommendation

The City of Lincoln Park's Ordinance can provide for greater clarity in terms of waste management. Below is proposed language for two amendments: (1) to the site plan requirements in §1296.01(f)(2)(M); and (2) adding a section in §1294: Provisions Relating to All Districts, outlining trash receptacle and dumpster requirements (to be §1294.41).

#### Proposed Amendment to §1296.01(f)(2)(M)

*(M) ~~Trash receptacle locations and method of screening, if applicable.~~ Waste Management Plan that includes trash receptacle locations and method of screening, if applicable. Trash receptacles and dumpsters must conform to the screening standards outlined in §1296.03(g), and all trash receptacles and dumpsters must conform to the standards and requirements outlined in §1294.41.*

#### Proposed §1294.41

##### *1294.41 TRASH RECEPTACLES AND DUMPSTERS*

*(a) No outdoor trash storage area may be in any front yard or any required side yard setback which is adjacent to a street, unless there is no alternative as established by the Planning Commission. In no instance may any trash receptacle or dumpster be located within or block a designated parking space.*

- (b) Any outdoor trash storage area must be limited to normal refuse which is collected on a regular basis and must be maintained in a neat, orderly, and sanitary condition.*
- (c) Adequate vehicular access must be provided to such containers for truck pickup either via a public alley or vehicular access aisle which does not conflict with the use of off-street parking spaces or access to nearby principal buildings.*
- (d) Where vehicular access is restricted due to space or other constraints, curb carts rather than dumpsters may be permitted by the Planning Commission if it will result in no reduction to the public health, safety, or welfare.*
- (e) Commercial and residential developments may enter into a shared refuse collection facility agreement with one or more neighboring businesses. A copy of this agreement must be submitted as part of the site plan and must specify the location and maintenance responsibility for the shared facilities.*

## 1805 Papalas Zoning Amendment (Rezoning) Review

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Applicant	Ankur Patel
Address	1805 J.A. Papalas
Date	June 17, 2020
Request	Rezoning: MBD to GID
Recommendation	<b>Approve Parcel 1; Deny or Table Parcel 2</b>

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### REQUEST

The applicant wishes to rezone two parcels on the north side of Southfield Road, immediately west of the I-75 and Southfield Road interchange, from Municipal Business District (MBD) to General Industrial District (GID). The two parcels are currently vacant, and there is an existing hotel adjacent to both parcels.

This rezoning request reverses a rezoning granted to the applicant in 2019. Both requests were made in anticipation of a proposed multi-use development including lodging, foodservice, and offices. The applicant wishes to include a medical marijuana growing, processing, and provisioning facility to the mix of uses as a result of the City's recent move to permit these new uses, which are restricted to the General Industrial District. It is important to note that the rezoning, once accomplished, means that all principally permitted uses and those permitted after special approval could occupy the site, and therefore important for the Planning Commission and, later, City Council to approve this zoning amendment only if it finds the entire range of uses acceptable.

The proposed Green Tower Development anticipates including restaurants, bars, and day lofts. The proposal indicates that Parcel 1 (Parcel A of Lot 1 of "Lincoln Park Industrial Subdivision") will host the 5-story, multi-use development, and Parcel 2 (Lot 3 of "Lincoln Park Industrial Subdivision") will host a testing lab and transfer facility.

It is acknowledged that the narrative requests a "conditional rezoning," but the application is for a traditional rezoning and no additional conditions have been proposed, which would be required for a conditional rezoning. Planning staff has confirmed in writing that the application will be considered as map amendment (rezoning).

### Criteria for Review

The Planning Commission and City Council shall at a minimum, consider the following before taking action on any proposed amendment:

**(1) Will the proposed amendment be in accordance with the basic intent and purpose of the Zoning Ordinance?**

Exhibit 1 at the end of this document shows the zoning of the subject and adjacent parcels. The purpose of the General Industrial District is below, per §1286.01 of the Lincoln Park Zoning Ordinance. The proposed medical marihuana growing, processing, and provisioning facility is a general industrial use, and it has adequate access by both road (Southfield Road and I-75) and railroad at the subject property.

“The intent of the General Industrial District (GID) is to permit general industrial uses to be located in desirable areas of the City, which uses are primarily of an intensive manufacturing, assembling, compounding, processing, packaging, assembly, treatment, and fabricating character, including large-scale or specialized industrial operations requiring good access by roads and/or railroads, and needing special sites, or public and utility services. Reasonable regulations apply to users in this District so as to permit the location of industries which will not cause adverse effects on residential and commercial areas in the City.”

*This condition is met.*

**(2) Will the proposed amendment further the comprehensive planning goals of the City?**

Exhibit 2 at the end of this document shows the future land use designations of the subject and adjacent parcels. The Future Land Use Map in the 2019 Lincoln Park Master Plan designates the subject property as “General Commercial.” The description of the “General Commercial” future land use category from the 2019 Master Plan is below. All adjacent parcels to the north and west of the subject property are designated as “Industrial.” The proposed use requires the GID zoning designation for medical marihuana growing, processing, and provisioning; the proposed accessory uses are consistent with General Commercial uses. Furthermore, the site will comply with strong redevelopment and landscaping standards through the site plan review process.

“Main commercial designation along all major corridors; intended to permit maximum flexibility of use in conjunction with strong redevelopment and landscaping standards.”

*This condition is met.*

**(3) Have conditions changed since the Zoning Ordinance was adopted or was there a mistake in the Zoning Ordinance that justifies the amendment?**

The Lincoln Park City Council recently approved a rezoning of the subject property and the parcel with the existing hotel facility on June 3, 2019. The request was to rezone the property from General Industrial District (GID) to Municipal Business District (MBD) for anticipated restaurant and office uses. Since that time, the City has approved a referendum to permit marihuana growing, processing, and provisioning in the General Industrial District, however, and the request at hand is to revert back to the original GID zoning designation to allow these uses in addition to the previously desired lodging and restaurant establishments as permitted by §1284.03b. The rationale for originally designating this area as industrial most likely stemmed from its location at the confluence of the rail line and I-75. This heavy transportation infrastructure is necessary for manufacturing and other related uses, and much of the

area has indeed developed to support such uses. The area to the south of the subject property along Southfield Road (M-39), however, has an asset of over 60,000 average annual daily traffic, and here the I-75 interchange can also function as an asset to commerce as well as industry. Thus, reclassifying the subject property back to Industrial does not so much correct an error; rather the subject property is suitable for either a commercial or industrial designation.

*This condition is met.*

**(4) Will the amendment correct an inequitable situation created by the Zoning Ordinance, rather than merely grant special privileges?**

The amendment does not grant special privileges; rather, it reflects a refinement in the use of the locational assets of the subject parcels. The property is well-suited for both commercial and industrial uses, both of which the proposed development includes.

*This condition is met.*

**(5) Will the amendment result in unlawful exclusionary zoning?**

The concept of “exclusionary zoning” applies to residential land use.

*This condition is not applicable.*

**(6) Will the amendment set an inappropriate precedent, resulting in the need to correct future planning mistakes?**

The regulations for medical and recreation marijuana facilities are new for the entire State of Michigan, and this proposed development is the first of its kind in the City of Lincoln Park. Ensuring that this initial proposal meets all established standards and goes through the proper procedures will set the proper precedent for future developments.

*This condition is met.*

**(7) If a rezoning is requested, is the proposed zoning consistent with the zoning classification of surrounding land?**

All parcels to the north and west of the property are zoned GID, and parcels along Southfield Road are zoned MBD. The subject property is well-served by both industrial and commercial uses.

*This condition is met.*

**(8) If a rezoning is requested, could all requirements in the proposed zoning classification be complied with on the subject parcel?**

The General Industrial District schedule of regulations is shown in the table below alongside the relevant approximate dimensions of the subject parcels. Parcel 2 (the proposed testing lab and transfer facility) does not meet the minimum lot area requirement. It is noted as a courtesy that the conceptual drawings provided do not show compliance with setback requirements on Parcel 1, but this is not a matter for rezoning consideration.

	Required	Parcel 1	Parcel 2
Minimum lot width	100 ft	185 ft	208 ft
Minimum lot area	43,560 sf	49,895 sf	21,695 sf

*Parcel 1: This condition is met*

*Parcel 2: This condition is not met.*

**(9) If a rezoning is requested, is the proposed zoning consistent with the trends in land development in the general vicinity of the property in question?**

Due to the subject property's unique location at the confluence of both a rail line and I-75, it is well-suited for both commercial and industrial uses. The commercial uses along Southfield Road and the industrial uses around the property are compatible and consistent with the proposed rezoning request.

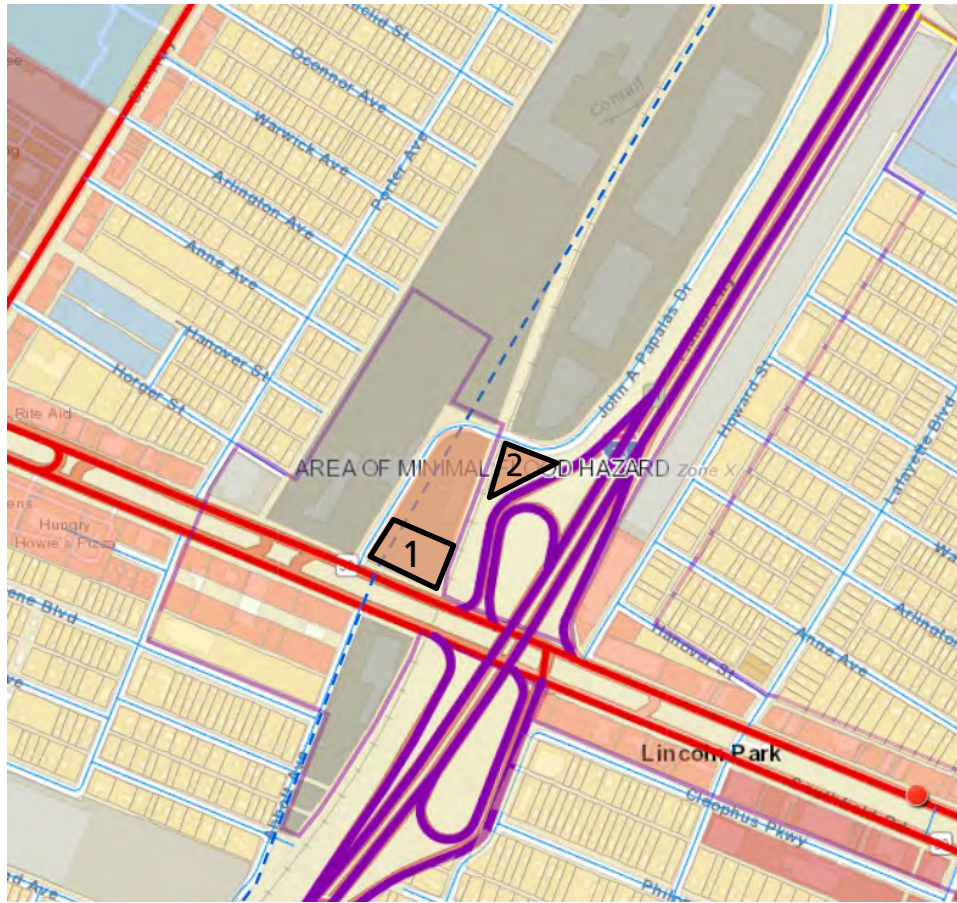
*This condition is met.*

**RECOMMENDATION**

It is recommended that the Lincoln Park Planning Commission request the Lincoln Park City Council to amend the Zoning Map such that the zoning designation assigned Parcel 1 described herein is changed from Municipal Business District (MBD) to General Industrial District (GID).

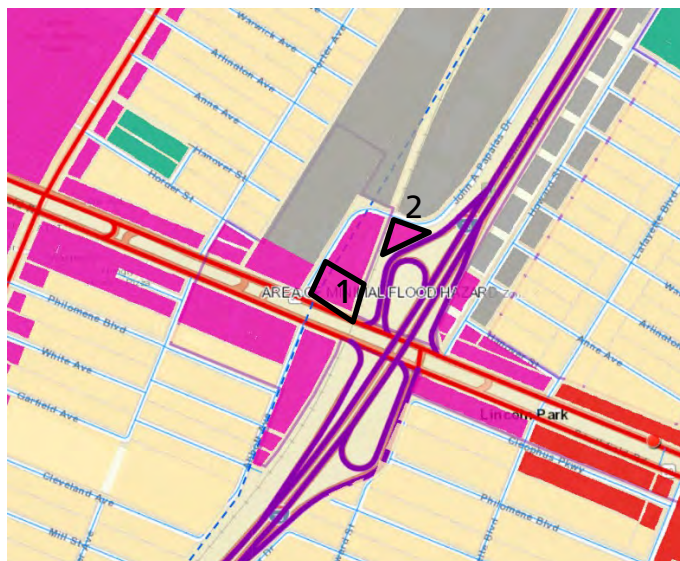


EXHIBIT 1: Zoning



- UNKNOWN
- FUD
- Single Family
- Multiple Family Residential
- Mobile Home Park
- Neighborhood Business
- Municipal Business District
- Central Business District
- Regional Business
- Light Industrial
- General Industrial
- Community Service

EXHIBIT 2: Future Land Use



- Low Density Residential
- Higher Density Residential
- Manufactured Home Park
- Neighborhood Commercial
- General Commercial
- Downtown Commercial
- RC
- Public
- Quasi Public / Inst
- Industrial

**CONDITIONAL REZONING REQUEST - SUMMARY**

**GREEN PARK TOWER  
PAPALAS DRIVE  
LINCOLN PARK, MI**

Pursuant to the provisions of the Michigan Zoning Enabling Act, we are requesting the Zoning Map of the City of Lincoln Park be amended to conditionally rezone the Parcel A of Lot 1 located on Papalas Drive just NE of the intersection of M-39 and I-75.

**DESCRIPTION**

The owner, Nick Patel, proposes to develop a 5-story, (96,169 square feet) Multi-Use Development structure that will include, as a primary use, Medical Marihuana Grow, Processing, and Provisioning Facilities. The proposed Green Park Tower development will also include Restaurant, Quick Serve food Establishments, Bar and Grille, and Day Lofts.

The parcel is currently zoned Municipal Building District [MBD]. The applicant recognizes that the current zoning classification does not permit the use of Medical Marihuana related businesses; however, given the desire by the owner to proceed, we hereby propose a conditional re-zoning to General Industrial District [GID] consideration by the Planning Commission and the City Council.

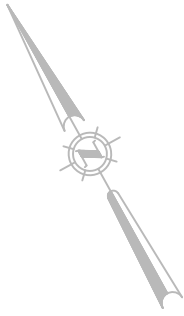
The conditional re-zoning request is to allow, by way of Special Approval application, the use of the marihuana related businesses as follows:

Grower Facility	2 <sup>nd</sup> , 3 <sup>rd</sup> , 4 <sup>th</sup> Levels	48,000 SF
Processing Facility	Basement Level	16,000 SF
Provisioning Facility	Ground Level	5,000 SF

In addition to the uses shown above, the development will also include the construction:

Sports Bar	Ground Level	5,000 SF
Deli and Quick Serve Food Establishments	Ground Level	4,000 SF
Bar and Grille	5 <sup>th</sup> Level	8,000 SF
Day Lofts (Lounges / Meeting Rms)	5 <sup>th</sup> Level	4,000 SF
Offices	5 <sup>th</sup> Level	4,000 SF

The supporting preliminary drawings show a parking scheme that would rely on a proposed shared parking agreement with the adjacent Hotel establishment.



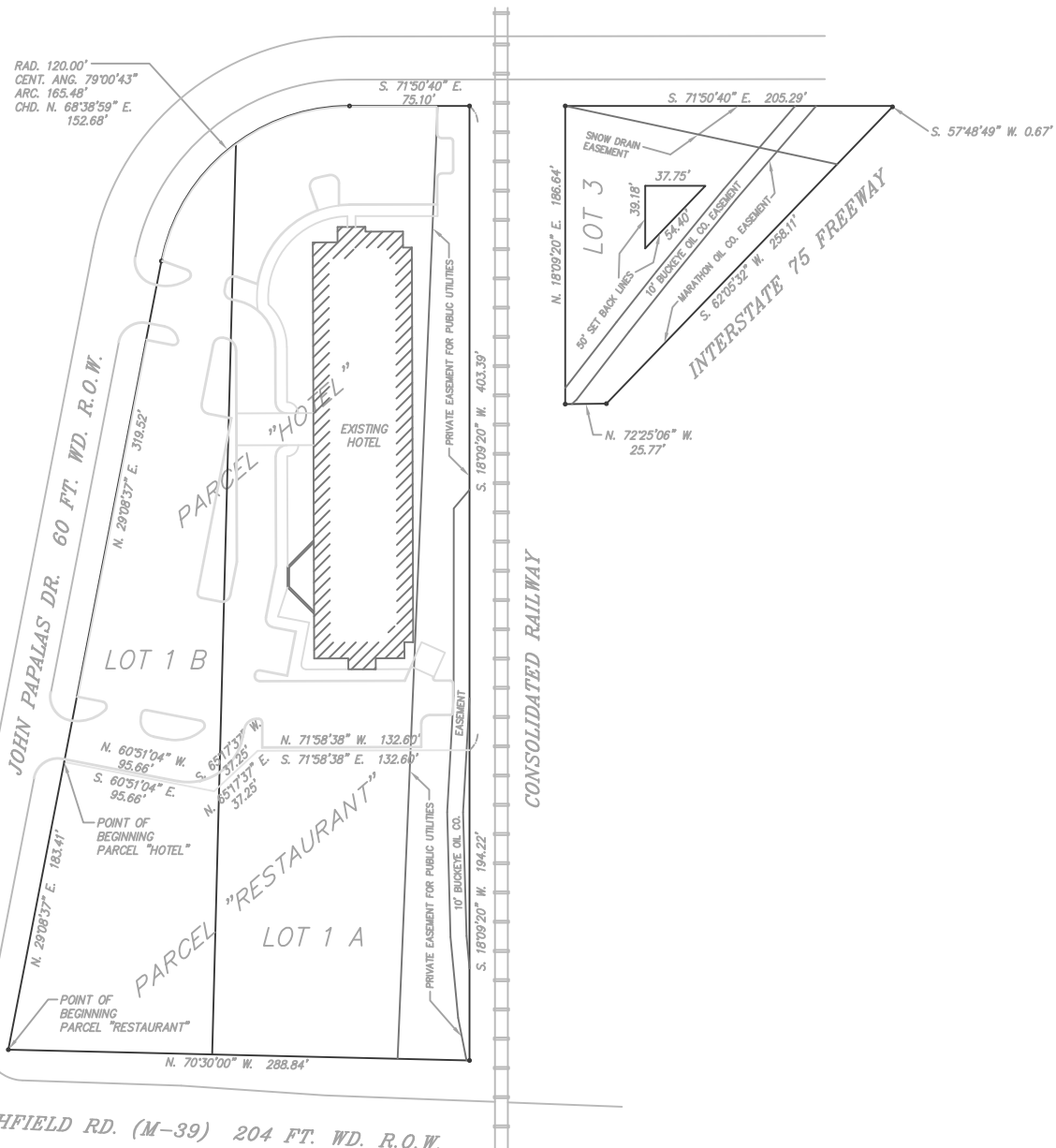
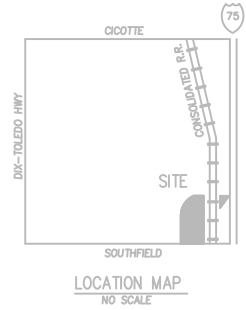
**DESCRIPTION HOTEL PARCEL**

PART OF LOT 1 "LINCOLN PARK INDUSTRIAL SUBDIVISION", CITY OF LINCOLN PARK, WAYNE COUNTY, MICHIGAN, AS RECORDED IN L. 100 OF PLATS, PAGE 26, WAYNE COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT ON THE WEST LINE OF SAID LOT 1 DISTANT N. 29° 08' 37" E. 183.41 FEET FROM THE SW CORNER OF SAID LOT 1 AND PROCEEDING THENCE N. 29° 08' 37" E. 319.52 FEET ALONG THE WEST LINE OF SAID LOT 1; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT 183.48 FEET (RADIUS 120.00 FEET, CENTRAL ANGLE 79° 00' 43") SAID ARC BEING THE NORTHWESTERLY LINE OF SAID LOT 1; THENCE S. 71° 50' 40" E. 75.10 FEET ALONG THE NORTH LINE OF SAID LOT 1; THENCE S. 18° 09' 20" W. 403.39 FEET ALONG THE EAST LINE OF SAID LOT 1; THENCE N. 71° 58' 38" E. 132.60 FEET; THENCE S. 65° 17' 37" W. 37.25 FEET; THENCE N. 60° 51' 04" W. 95.66 FEET TO THE POINT OF BEGINNING. PARCEL CONTAINS 1.97 ACRES AND IS SUBJECT TO RIGHTS AND RESTRICTION OF RECORD.

**DESCRIPTION RESTAURANT PARCEL**

PART OF LOT 1 "LINCOLN PARK INDUSTRIAL SUBDIVISION", CITY OF LINCOLN PARK, WAYNE COUNTY, MICHIGAN, AS RECORDED IN L. 100 OF PLATS, PAGE 26, WAYNE COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE SW CORNER OF SAID LOT 1 AND PROCEEDING THENCE N. 29° 08' 37" E. 183.41 FEET ALONG THE WEST LINE OF SAID LOT 1; THENCE S. 60° 51' 04" E. 95.66 FEET; THENCE N. 65° 17' 37" E. 37.25 FEET; THENCE S. 71° 58' 38" E. 132.60 FEET; THENCE S. 18° 09' 20" W. 194.22 FEET; THENCE N. 70° 30' 00" W. 288.84 FEET ALONG THE SOUTH LINE OF SAID LOT 1 TO THE POINT OF BEGINNING. PARCEL CONTAINS 1.14 ACRES AND IS SUBJECT TO RIGHTS AND RESTRICTIONS.

LOT 3, "LINCOLN PARK INDUSTRIAL SUBDIVISION", CITY OF LINCOLN PARK, WAYNE COUNTY, MICHIGAN AS RECORDED IN L. 100 OF PLATS, P. 26 WAYNE COUNTY RECORDS.



SOUTHFIELD RD. (M-39) 204 FT. WD. R.O.W.

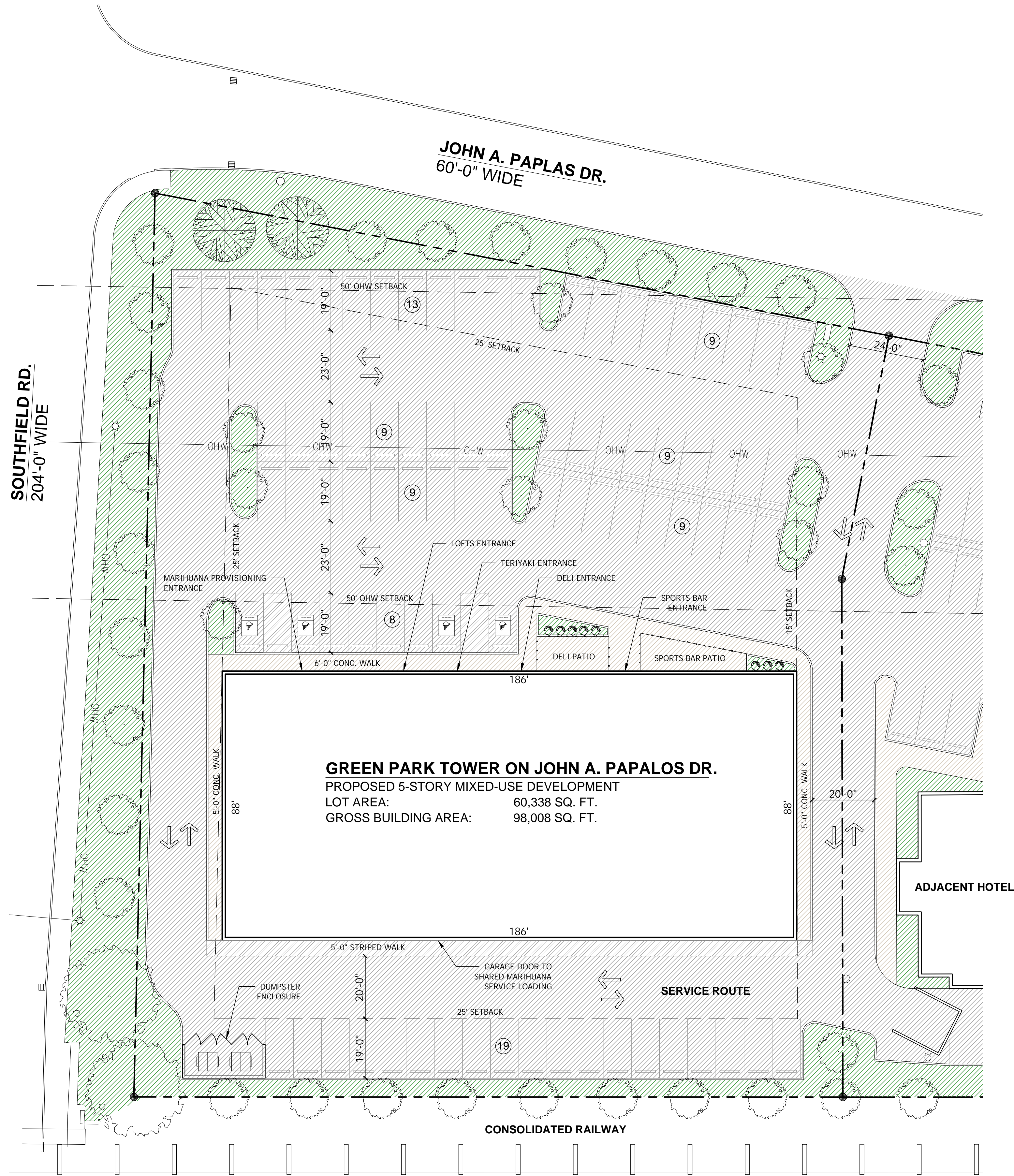
SHT 1 OF 1  
JOB 8594-H  
PLAN OF DESCRIPTIONS FOR NICK PATEL  
LOTS 1 AND 3, LINCOLN PARK INDUSTRIAL SUB  
CITY OF LINCOLN PARK  
WAYNE COUNTY  
MICHIGAN

SCALE	1" = 50'		
DATE	3-21-2002		
DRN	EP OK'D		
REVISIONS			
BY	CHK'D	DATE	REMARK



URBAN ENGINEERING CO.  
6748 ALLEN ROAD  
ALLEN PARK, MICHIGAN 48101  
(313) 383 - 5155

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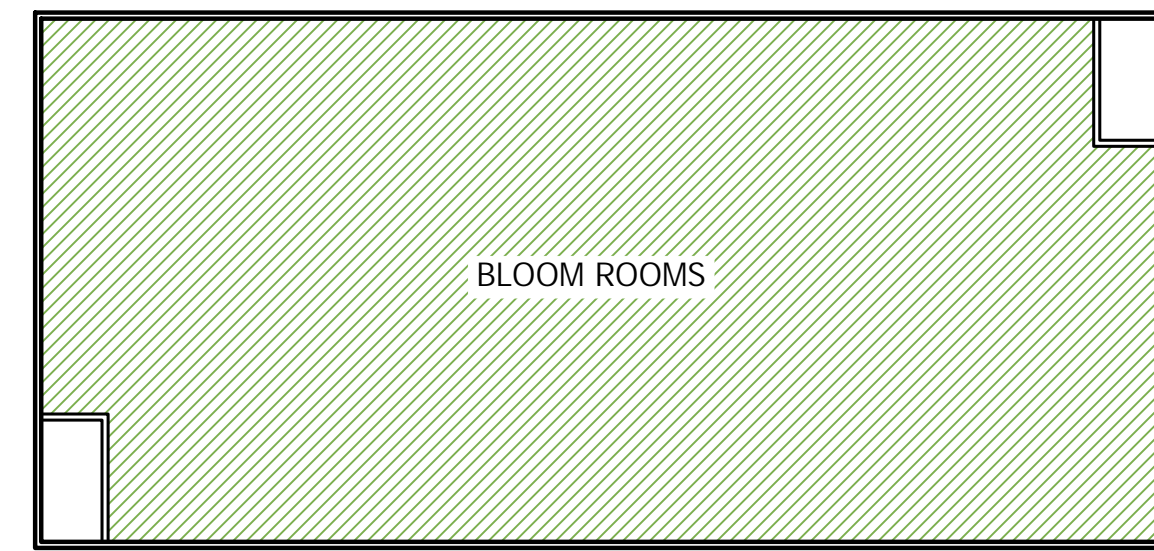
**GREEN PARK TOWER ON JOHN A. PAPANOS DR.**  
 PROPOSED 5-STORY MIXED-USE DEVELOPMENT  
 LOT AREA: 60,338 SQ. FT.  
 GROSS BUILDING AREA: 98,008 SQ. FT.

ADJACENT HOTEL

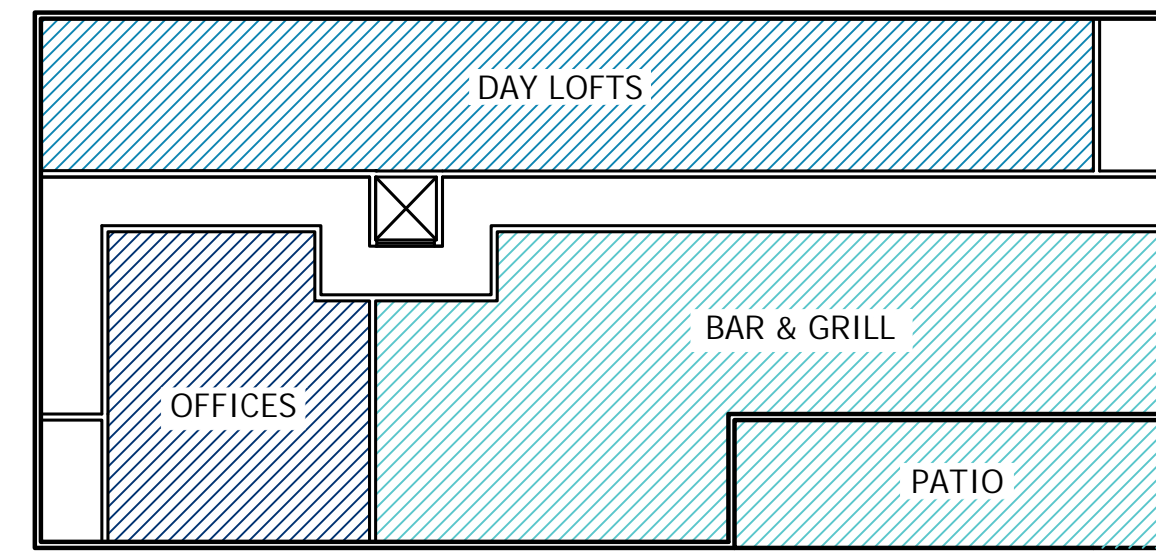
CONSOLIDATED RAILWAY



DESCRIPTION GREEN PARK TOWER PARCEL  
 PART OF LOT 1 "LINCOLN PARK INDUSTRIAL SUBDIVISION", CITY OF LINCOLN PARK, WAYNE COUNTY, MICHIGAN, AS RECORDED IN L. 100 OF PLATS, PAGE 26, WAYNE COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE SW CORNER OF SAID LOT 1 AND PROCEEDING THENCE N. 29° 08' 37" E. 183.41 FEET ALONG THE WEST LINE OF SAID LOT 1; THENCE S. 60° 51' 04" E. 95.66 FEET; THENCE N. 65° 17' 37" E. 37.25 FEET; THENCE S. 71° 58' 38" E. 132.60 FEET; THENCE S. 18° 09' 20" W. 194.22 FEET; THENCE N. 70° 30' 00" W. 288.84 FEET ALONG THE SOUTH LINE OF SAID LOT 1 TO THE POINT OF BEGINNING. PARCEL CONTAINS 1.14 ACRES AND IS SUBJECT TO RIGHTS AND RESTRICTIONS.



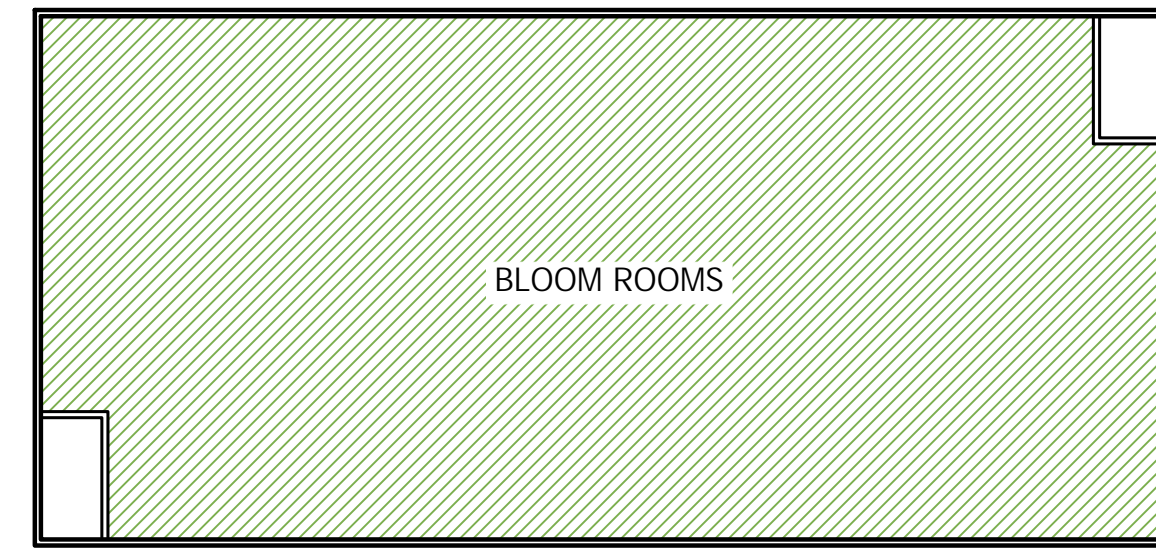
6 FOURTH FLOOR  
 Scale: NTS



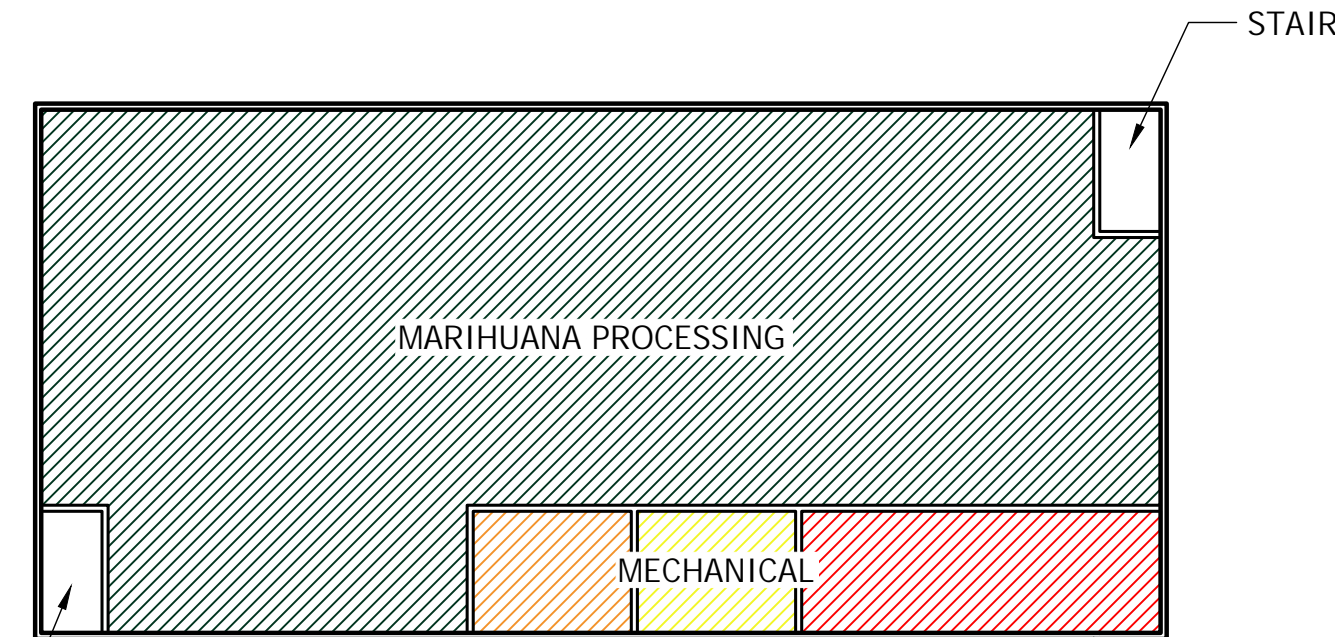
7 FIFTH FLOOR  
 Scale: NTS



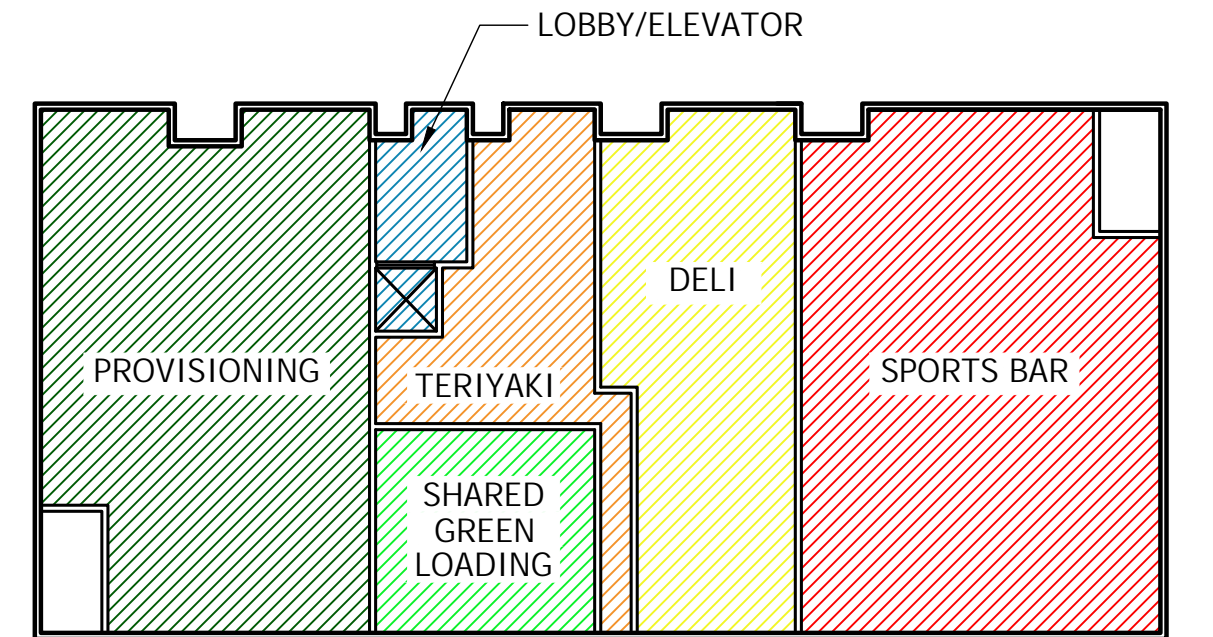
4 SECOND FLOOR  
 Scale: NTS



5 THIRD FLOOR  
 Scale: NTS



2 LOWER LEVEL  
 Scale: NTS



3 FIRST FLOOR  
 Scale: NTS

LICENSE: 1301040247

GIOVANNI LAVIGNE  
 REGISTERED ARCHITECT

**VIGNE**  
 architects and planners  
 41000 WOODWARD AVE, SUITE 350 EAST  
 BLOOMFIELD HILLS, MI 48304  
 586.242.4525

AUTHOR CLAIMS ALL  
 COPYRIGHT  
 PROTECTIONS

ISSUED FOR:

OWNER REVIEW  
 03-10-20

REZONING PACKAGE  
 03-13-20

PROJECT:

**GREEN PARK TOWER**  
 John A. Papalos Dr.  
 Lincoln Park, MI 48146

Proj.# YY-MM-DD

DRAWING TITLE:

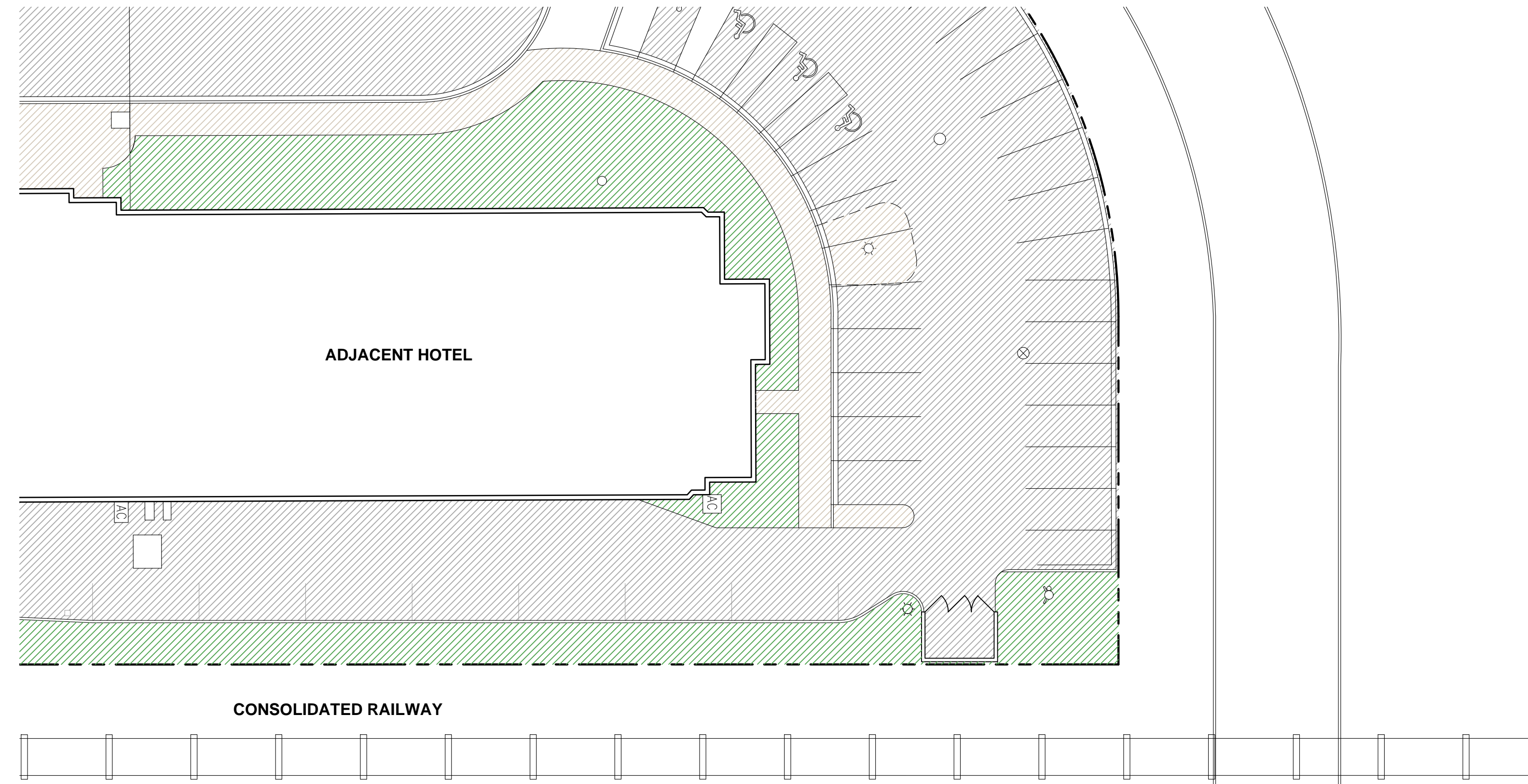
**SITE PLAN  
 AND FLOOR  
 SCHEMATIC**

DRAWN: JAT

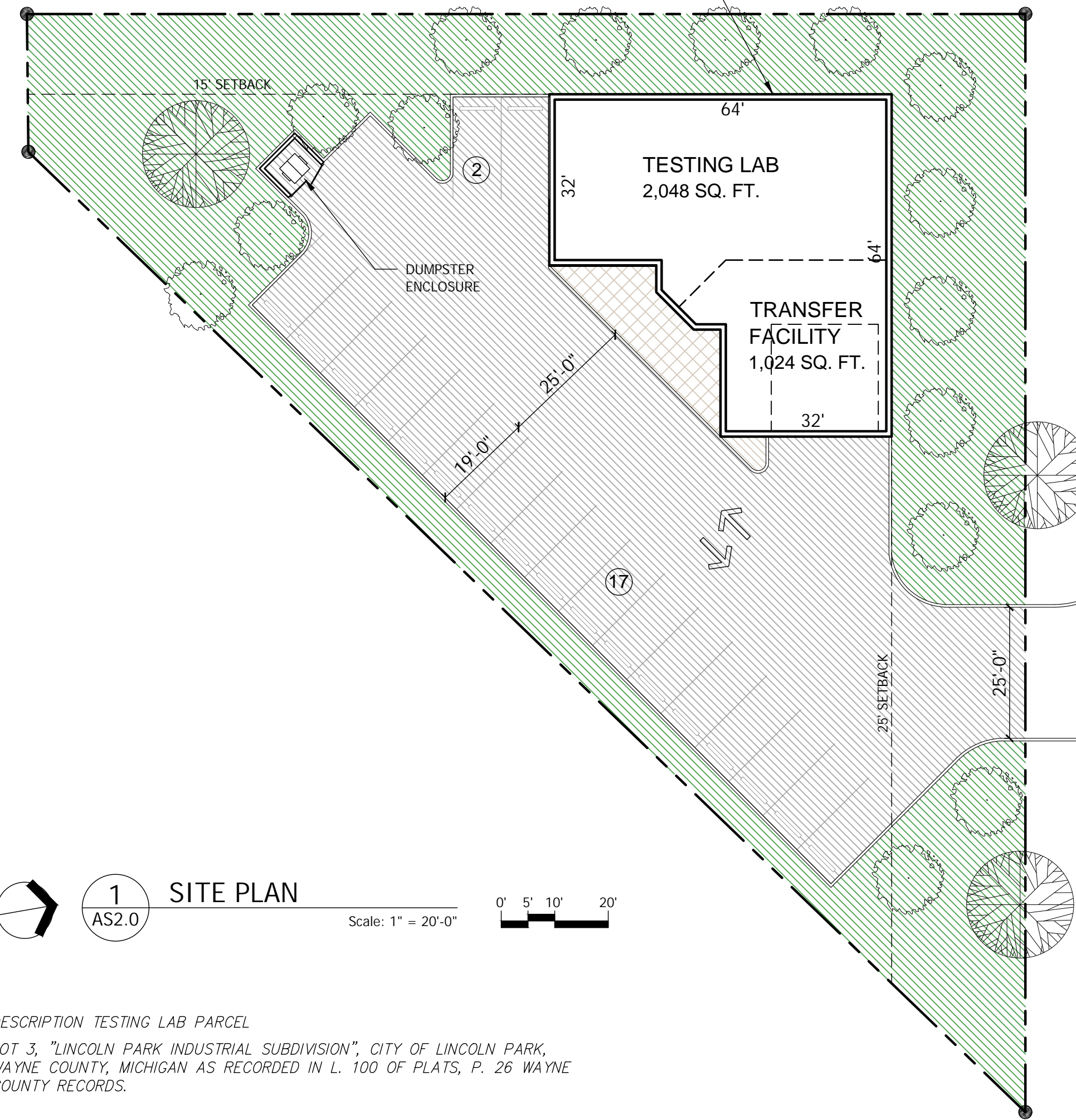
CHECKED: GL

SHEET No.

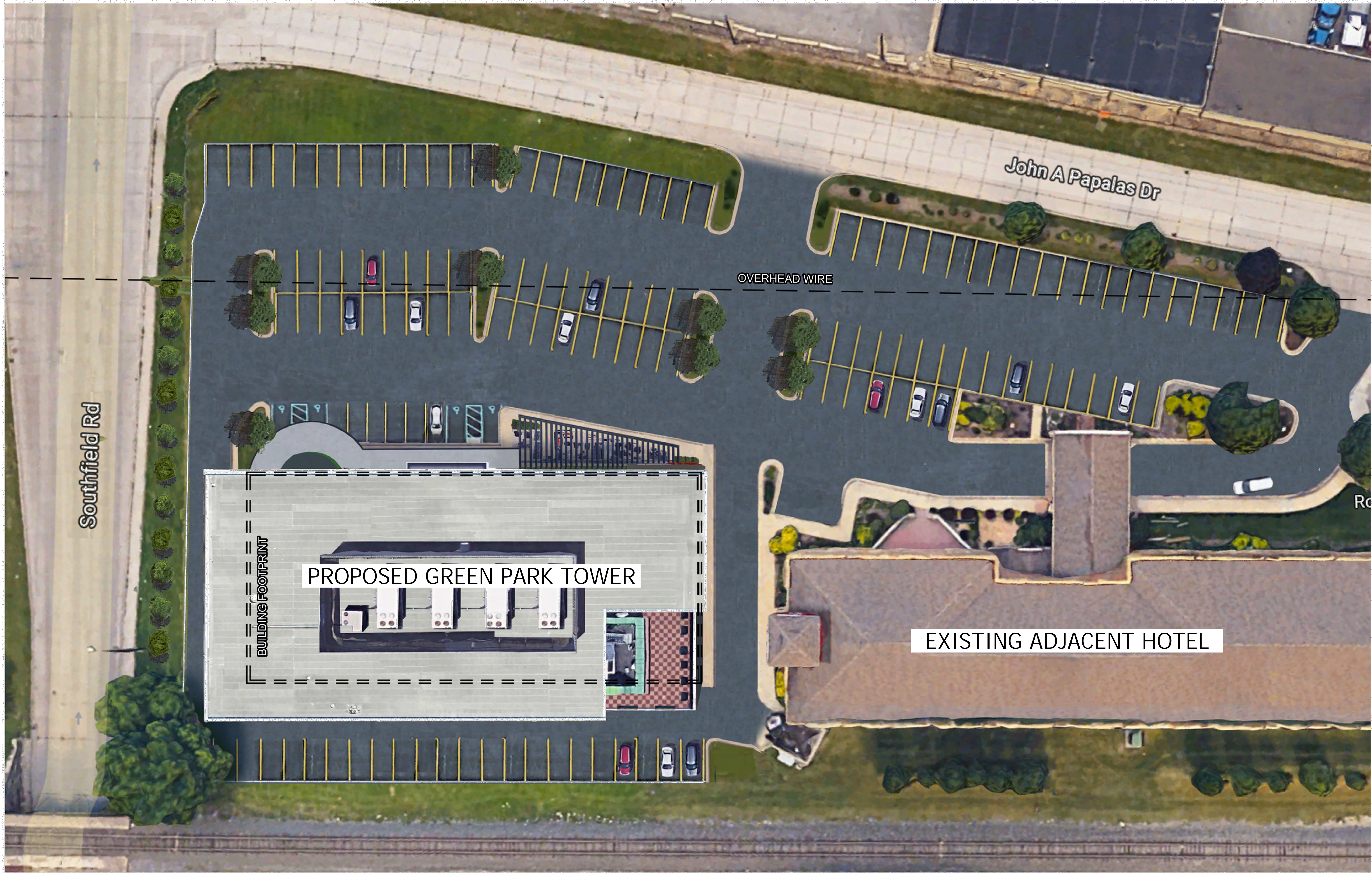
**AS1.0**



**PROPOSED TESTING LAB**  
BLDG AREA: 3,192 SQ. FT.  
LOT AREA: 21,536 SQ. FT.



DESCRIPTION TESTING LAB PARCEL  
LOT 3, "LINCOLN PARK INDUSTRIAL SUBDIVISION", CITY OF LINCOLN PARK,  
WAYNE COUNTY, MICHIGAN AS RECORDED IN L. 100 OF PLATS, P. 26 WAYNE  
COUNTY RECORDS.



Southfield Rd

John A Papalas Dr

OVERHEAD WIRE

PROPOSED GREEN PARK TOWER

BUILDING FOOTPRINT

EXISTING ADJACENT HOTEL

LICENSE: 1301040247

GIOVANNI LAVIGNE  
REGISTERED ARCHITECT

**VIGNE**  
architects and planners  
41000 WOODWARD AVE, SUITE 350 EAST  
BLOOMFIELD HILLS, MI 48304  
586.242.4625

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ISSUED FOR:  
OWNER REVIEW  
03-10-20  
REZONING PACKAGE  
03-13-20

PROJECT:

**GREEN PARK TOWER**  
John A. Papalas Dr.  
Lincoln Park, MI 48146

Proj.# YY-M/DD

DRAWING TITLE:

GRAPHIC  
SITE PLAN

DRAWN: JAT  
CHECKED: GL

SHEET No.

A1.0









**From:** [Leah DuMouchel](mailto:Leah.DuMouchel@vignegroup.com)  
**To:** [glavigne@vignegroup.com](mailto:glavigne@vignegroup.com); [ccooper@vignegroup.com](mailto:ccooper@vignegroup.com)  
**Cc:** [John Meyers](mailto:John.Meyers@vignegroup.com)  
**Subject:** Rezoning - 1805 Papalas  
**Date:** Friday, March 13, 2020 3:27:00 PM

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Hello, Giovanni and Charles. I am receipt of calls from both of you inquiring about the process for rezoning at the address above, so I thought I'd provide this answer to both.

You are requesting a simple rezoning – not a conditional rezoning – at this time, from Municipal Business District to General Industrial District. The level of detail in the drawings provided to John Meyers on 3/11 are sufficient, though please note that the last question on the Petition for Rezoning asks for a narrative that I didn't see included. Once the rezoning fee of \$600 has been submitted to the Building Department along with this narrative, I will begin the rezoning review and place you on a Planning Commission agenda.

Thanks for your interest! Please don't hesitate to reach out if I may be of further assistance.

Leah DuMouchel, AICP, CNU-A, NCI M&FC, FBCI  
Principal

**Beckett&Raeder, Inc.**  
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535 West William St Suite 101  
Ann Arbor, MI 48103

Office: 734.663.2622  
Direct Line: 734.239.6616

Petoskey, MI 231.347.2523  
Traverse City, MI 231.933.8400  
Toledo, OH 419.242.3428

Please visit us at [www.bria2.com](http://www.bria2.com)

RECEIVED

MAR 16 2020

CITY OF LINCOLN PARK  
BUILDING DEPARTMENT



City of Lincoln Park  
Petition for Rezoning

I (we), the undersigned, do hereby make application to and petition the Planning Commission to amend the Zoning Ordinance and change the zoning map as requested. The following facts are shown as part of this application.

1. It is desired and requested that the following described property be rezoned from Municipal Business District, existing zoning district to General Industrial District, proposed zoning district.
2. The property, according to the City of Lincoln Park Comprehensive Development Plan of Future Land Use, is described as General Commercial.
3. The property sought to be rezoned is located on Papalas Drive between and NE corner of M-39 and I-75.

4. The property sought to be rezoned is legally described as follows:  
 PARCEL A, PART OF LOT 1 "LINCOLN PARK INDUSTRIAL SUBDIVISION", CITY OF LINCOLN PARK, WAYNE COUNTY, MICHIGAN, AS RECORDED IN L. 100 OF PLATS, PAGE 26 TO 30, WAYNE COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE SW CORNER OF SAID LOT 1 AND PROCEEDING THENCE N. 29° 08' 37" E. 238.75 FEET ALONG THE WEST LINE OF SAID LOT 1; THENCE S. 60° 51' 23" E. 79.13 FEET; THENCE S. 71° 58' 38" E. 165.46 FEET; THENCE S. 18° 09' 20" W. 226.45 FEET; THENCE N. 70° 30' 00" W. 288.73 FEET (288.84' R.) ALONG THE SOUTH LINE OF SAID LOT 1 TO THE POINT OF BEGINNING. PARCEL CONTAINS 1.383 ACRES AND IS SUBJECT TO EASEMENTS, RIGHTS AND RESTRICTIONS OF RECORD.

5. The land area of this subject property is (square ft/acre) 1.383 ACRES

6. The property sought to be rezoned is owned by  
 Name: ANKUR PATEL Address: 1805 J.A. PAPALAS  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Person requesting rezoning:  
 Name: VIGNE GROUP Address: 41000 WOODWARD AVE.  
 City: BLOOMFIELD HILLS State: MI Zip: 48304

8. Basis of representation: Legal Representative / Owner / Option to Buy

9. It is proposed that the property will be developed as follows:  
[see attached drawings]  
96,000 sf Green Park Tower Development  
Primary Use as Medical Marihuana Grow, Process, and Provisioning Facilities  
Additional uses include Sports Bar / Restaurant, Deli and Quick-Serve Food establishment, Day Lofts - (day lounges and meeting spaces), Roof top Bar and Grille, Offices

10. We attach a statement hereto indicating why, in our opinion, the change requested is necessary for the preservation and enjoyment of substantial property rights, and why such change will not be detrimental to the public welfare, nor the property of other persons located in the vicinity.

[Signature]  
Signature

[Signature]  
Notary Signature

M A SWICK  
 Notary Public - State of Michigan  
 County of Wayne  
 My Commission Expires Dec 7, 2024  
 Acting in the County of Wayne  
 Expiration Date 12/7/2024



44-38861-1000

RECEIVED

JUN 1 1964

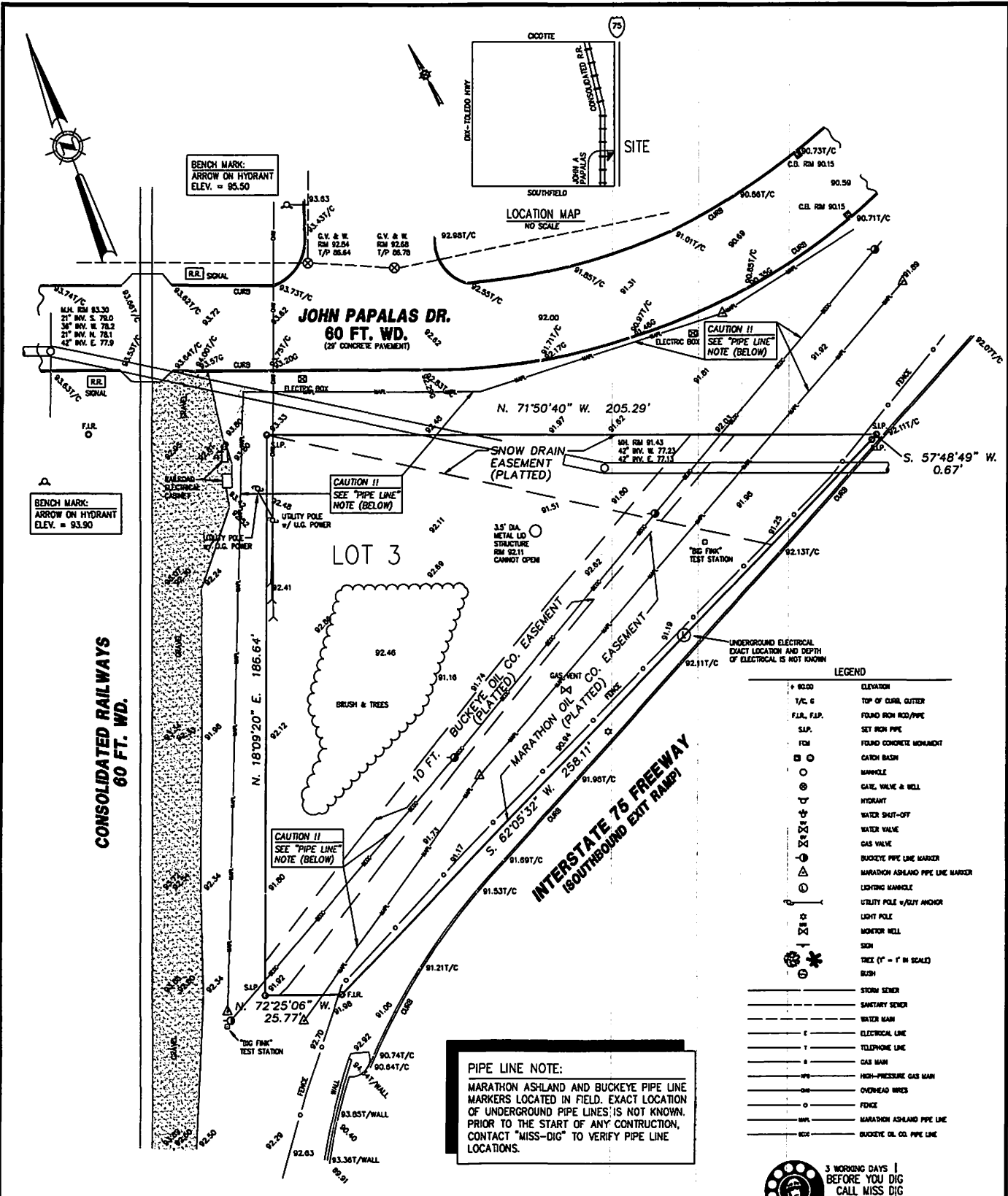
PLANNING DEPARTMENT  
CITY OF CHICAGO

[Faint, illegible text body]

THE CHIEF OF BUREAU OF PLANNING  
CITY OF CHICAGO  
PLANNING DEPARTMENT  
44-38861-1000







LOT 3, "LINCOLN PARK INDUSTRIAL SUBDIVISION", CITY OF LINCOLN PARK, WAYNE COUNTY, MICHIGAN AS RECORDED IN L. 100 OF PLATS, P. 26 WAYNE COUNTY RECORDS.



RIGHT OF WAY LINES, EASEMENT LINES AND UNDERGROUND UTILITY LINES ARE SHOWN FROM AVAILABLE RECORDS EXCEPT WHERE FIELD EVIDENCE INDICATES OTHERWISE. VERIFY UTILITY LOCATIONS 3 WORKING DAYS PRIOR TO START OF CONSTRUCTION BY CALLING "MISS DIG" @ 800-482-7171.

SHT. 1 OF 1 JOB 8944-H	<b>TOPOGRAPHICAL SURVEY FOR NICK PATEL</b>	
	LOT 3 OF LINCOLN PARK INDUSTRIAL SUB CITY OF LINCOLN PARK WAYNE COUNTY MICHIGAN	SCALE 1" = 20' DATE 5-23-2005 DWN EP
	REVISIONS	
	BY	DATE



**URBAN ENGINEERING CO.**  
6748 ALLEN ROAD  
ALLEN PARK, MICHIGAN 48101  
13131 383 - 5155

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**CONDITIONAL REZONING REQUEST - SUMMARY**

**GREEN PARK TOWER  
PAPALAS DRIVE  
LINCOLN PARK, MI**

Pursuant to the provisions of the Michigan Zoning Enabling Act, we are requesting the Zoning Map of the City of Lincoln Park be amended to conditionally rezone the Parcel A of Lot 1 located on Papalas Drive just NE of the intersection of M-39 and I-75.

**DESCRIPTION** *Ankur*

The owner, ~~XXXX~~ Patel, proposes to develop a 5-story, (96,169 square feet) Multi-Use Development structure that will include, as a primary use, Medical Marihuana Grow, Processing, and Provisioning Facilities. The proposed Green Park Tower development will also include Restaurant, Quick Serve food Establishments, Bar and Grille, and Day Lofts.

The parcel is currently zoned Municipal Building District [MBD]. The applicant recognizes that the current zoning classification does not permit the use of Medical Marihuana related businesses; however, given the desire by the owner to proceed, we hereby propose a conditional re-zoning to General Industrial District [GID] consideration by the Planning Commission and the City Council.

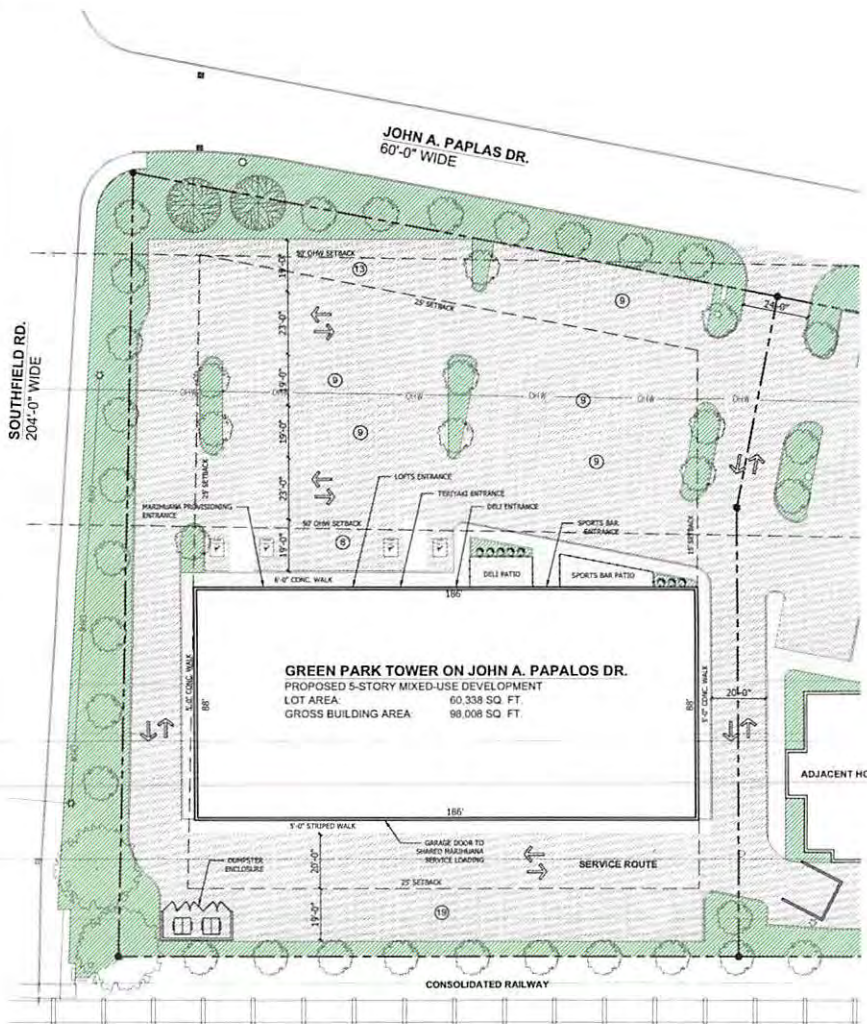
The conditional re-zoning request is to allow, by way of Special Approval application, the use of the marihuana related businesses as follows:

Grower Facility	2 <sup>nd</sup> , 3 <sup>rd</sup> , 4 <sup>th</sup> Levels	48,000 SF
Processing Facility	Basement Level	16,000 SF
Provisioning Facility	Ground Level	5,000 SF

In addition to the uses shown above, the development will also include the construction:

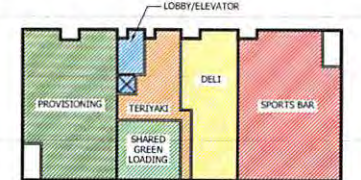
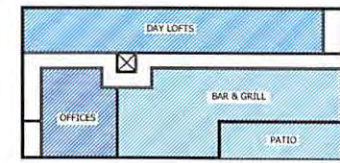
Sports Bar	Ground Level	5,000 SF
Deli and Quick Serve Food Establishments	Ground Level	4,000 SF
Bar and Grille	5 <sup>th</sup> Level	8,000 SF
Day Lofts (Lounges / Meeting Rms)	5 <sup>th</sup> Level	4,000 SF
Offices	5 <sup>th</sup> Level	4,000 SF

The supporting preliminary drawings show a parking scheme that would rely on a proposed shared parking agreement with the adjacent Hotel establishment.



**1 SITE PLAN**  
 Scale: 1" = 20'-0"

**DESCRIPTION GREEN PARK TOWER PARCEL**  
 PART OF LOT 1 "LINCOLN PARK INDUSTRIAL SUBDIVISION", CITY OF LINCOLN PARK, WAYNE COUNTY, MICHIGAN, AS RECORDED IN L. 100 OF PLATS, PAGE 26, WAYNE COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT THE SW CORNER OF SAID LOT 1 AND PROCEEDING THENCE N. 29° 08' 37" E. 188.41 FEET ALONG THE WEST LINE OF SAID LOT 1, THENCE S. 60° 51' 54" E. 88.66 FEET, THENCE N. 85° 11' 33" E. 37.25 FEET, THENCE S. 71° 54' 38" E. 132.80 FEET, THENCE S. 18° 09' 20" W. 194.22 FEET, THENCE N. 70° 30' 00" W. 208.84 FEET ALONG THE SOUTH LINE OF SAID LOT 1 TO THE POINT OF BEGINNING. PARCEL CONTAINS 1.14 ACRES AND IS SUBJECT TO RIGHTS AND RESTRICTIONS.



LICENSE: 130104024

GIOVANNI LAVIGNE  
 REGISTERED ARCHITECT

**VIGNE**  
 ARCHITECTURE & PLANNING  
 4308 WOODLAND AVE. SUITE 300 EAST  
 BLOOMFIELD HILLS, MI 48304  
 248.242.4225

AUTHOR CLAIMS ALL  
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ISSUED FOR:  
 OWNER REVIEW  
 03/2020  
 REZONING PACKAGE  
 03/13/20

PROJECT

**GREEN PARK TOWER**  
 John A. Papalob Dr.  
 Lincoln Park, MI 48146

DRAWING TITLE:  
**SITE PLAN  
 AND FLOOR  
 SCHEMATIC**

DRAWN: JAT  
 CHECKED: GL

SHEET No:  
**AS1.0**







LICENSE 130154021

GIOVANNI LAVIGNE  
REGISTERED ARCHITECT

**VIGNE**  
ARCHITECTS &  
PLANNERS  
1400 WOODWARD AVE. SUITE 100 EAST  
BLOOMFIELD HILLS, MI 48304  
(248) 842-4821

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ISSUED FOR:  
OWNER REVIEW  
12-10-20  
REZONING PACKAGE  
22-11-20

PROJECT:

**GREEN PARK TOWER**  
John A. Papalas Dr.  
Lincoln Park, MI 48146

FILE # 174-14002

DRAWING TITLE:

GRAPHIC  
SITE PLAN

DRAWN: JAT  
CHECKED: GL

SHEET No:

**A1.0**



**1**  
A1.0 GRAPHIC SITE PLAN  
Scale: NTS



SHEET NO.  
A2.0

DRAWN: JAT  
CHECKED: GL

DRAWING TITLE  
GREEN TOWER  
PERSPECTIVE

PROJECT  
GREEN PARK TOWER  
John A. Papalas Dr.  
Lincoln Park, MI 48146

DESIGNED FOR:  
OWNER REVIEW  
REVISIONS TRACKING  
DATE

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**VIGNE**  
ARCHITECTURE  
4100 WOODWARD AVE. SUITE 350 EAST  
BLOOMFIELD HILLS, MI 48304  
586.242.4125

DATE: 11/15/2017



DATE: 12/15/2017  
 PROJECT: 17010001

**VIGNE**  
 ARCHITECTURE & INTERIOR DESIGN  
 4100 WOODWARD AVE, SUITE 350 EAST  
 BLOOMFIELD HILLS, MI 48304  
 586.242.4321

ARCHITECT: VIGNE  
 PROJECT: GREEN PARK TOWER  
 SHEET: 17010001-01

PROJECT: GREEN PARK TOWER  
 SHEET: 17010001-01

**GREEN PARK TOWER**  
 John A. Papalas Dr.  
 Lincoln Park, MI 48146

DRAWING TITLE: GREEN TOWER PERSPECTIVE  
 DRAWN: JAT  
 CHECKED: GL  
 SHEET NO: A3.0



DATE: 12/28/2021

GIANNI LAVIGNE  
GROUP INC.

**VIGNE**  
group inc.  
an Luma and Luma  
4100 WOODWARD AVE, SUITE 350 EAST  
BLOOMFIELD HILLS, MI 48304  
986 242 4125

ARCHITECTURAL RENDERING  
PROJECTIONS

SIGNED FOR:  
DRAWING REVIEW:  
DATE:  
DRAWING PACKAGE:  
03.13.21

PROJECT:

**GREEN PARK TOWER**  
John A. Papalas Dr.  
Lincoln Park, MI 48146

PROJ. # PY 1000

DRAWING TITLE:  
**GREEN TOWER  
PERSPECTIVE**

DRAWN: JAT  
CHECKED: GL

SHEET NO.  
**A4.0**

3476 Fort – Massage Facility

## Site Plan Review

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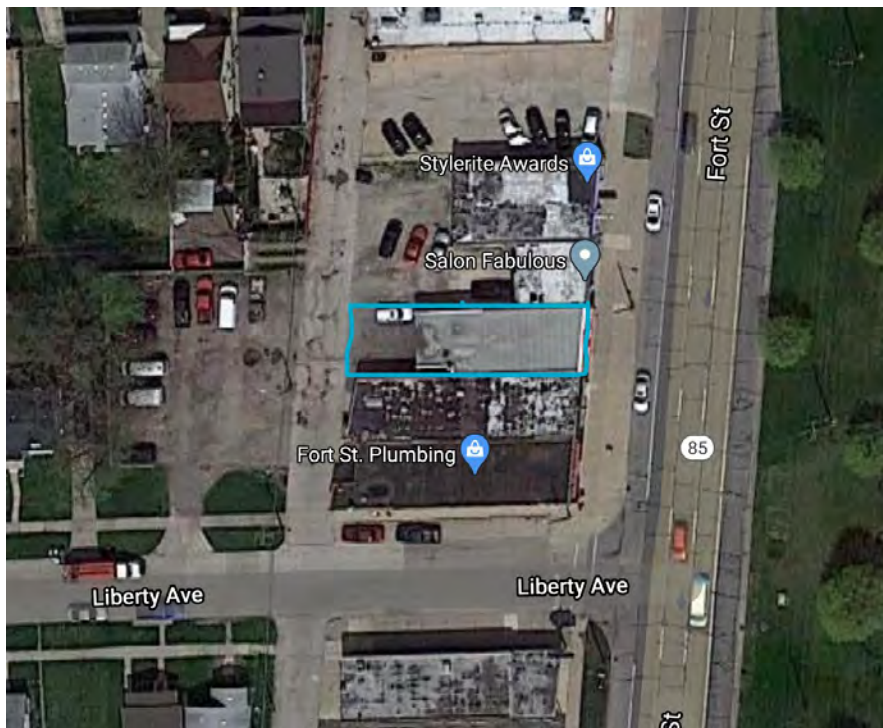
Applicant	Janeise N. Daniels
Project	Massage Facility
Address	3476 Fort Street, Lincoln Park, MI 48146
Date	June 11, 2020
Request	Site Plan Review
Recommendation	

---

### GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

### Project and Site Description



The applicant proposes to open a Massage Facility. The space was previously used to retail tattoo supplies.

#### *Site conditions*

The 0.1-acre parcel is located on Fort Street just north of Liberty Avenue. The building takes up the majority of the midblock site, leaving just enough room for three parking spaces behind it. It is served by a rear alley, and there is a parking lot in the residential zone immediately across the alley from the proposed business. On-street parking is available in front of the building.

Figure 1: Aerial View

## Master Plan

### *Future Land Use Classification*

The Future Land Use classification for this parcel is General Commercial.

### *Intent; Desirable Uses and Elements*

General commercial properties are intended to serve the whole community and are located along major thoroughfares.

## Land Use and Zoning

### *Zoning*



The parcel is zoned Neighborhood Business District. Personal services are a principally permitted use in this district.

Figure 2: Zoning Map

### *Proposed and Existing Uses*

Site	Commercial; Neighborhood Business District (NBD)
North	Commercial; Neighborhood Business District (NBD)
East	ROW then Neighborhood Business District (NBD)
South	Commercial; Neighborhood Business District (NBD)
West	Public Alley then Single Family District (SFD)

**Site Plan Documents**

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
A-101	-	-	-
1	Floor Plan, Front Building Elevation, Project Information	10/31/2019	-
2	Reflectove Ceiling Plan, Barrier Fixture Mounting Details, Barrier Free Signage	10/31/2019	-
e1	Electrical Plan	10/31/2019	-
m1	Mechanical Plan	10/31/2019	-
-	Floor Plan	-	-

**Dimensional Standards**

The dimensional requirements of the Neighborhood Business District (NBD) are described in the chart below. (§1294.32, except where noted.)

	Required	Provided	Compliance
<b>Lot Width</b>	Min. 40	27' 3"	<b>NOT MET</b>
<b>Street Frontage</b> (§1294.09)	Shrubbery and low retaining walls 2 ½' < height < 8'	Not Applicable	N/A
<b>Lot Area</b>	Min. 4,000 sq ft	2,710 sq ft	<b>NOT MET</b>
<b>Lot Coverage</b>	Max. 50%	62%	MET
<b>Height</b>	2-Story Building; 25 ft	One-Story; 15' 5"	MET
<b>Setback – Front</b>	0	0	MET
<b>Setback – Sides</b>	0	0	MET
<b>Setback – Rear</b>	0	30'	MET

The size of the parcel and the existing building cannot meet the letter of the dimensional requirements for Lot Width and Lot Area. The existing building width and proportion relate to existing adjoining properties/buildings within the same block.

**Items to be addressed**

*None*



**BUILDING DESIGN**

*The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.*

Required	Compliance
<ul style="list-style-type: none"> <li>• Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500'</li> </ul>	MET
<ul style="list-style-type: none"> <li>• Architectural variety</li> <li>• Similar materials and entrances to buildings within 500'</li> </ul>	MET
<ul style="list-style-type: none"> <li>• Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW)</li> <li>• 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly-reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block)</li> <li>• Natural colors (bright for decorative features only)</li> </ul>	MET
<ul style="list-style-type: none"> <li>• Façade: &lt;100' uninterrupted</li> <li>• If &gt;100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches</li> <li>• All sides similar</li> </ul>	MET
<ul style="list-style-type: none"> <li>• Windows: vertical, recessed, visually-obvious sills</li> <li>• Spaces between windows = columns, mullions, or material found elsewhere on the façade</li> <li>• Front facades &gt; 25% windows</li> <li>• Size, shape, orientation, spacing to match buildings within 500'</li> </ul>	MET
<ul style="list-style-type: none"> <li>• Main entrances: doors larger</li> <li>• Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls)</li> </ul>	MET
<ul style="list-style-type: none"> <li>• Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1</li> <li>• Rooflines &gt;100' = roof forms, parapets, cornice lines</li> <li>• Roof-top mechanical equipment screened by roof form.</li> </ul>	MET

1276.06, Required Conditions (NEIGHBORHOOD BUSINESS DISTRICT)	Compliance
<ul style="list-style-type: none"> <li>• All businesses, services or processing shall be conducted wholly within a completely enclosed building.</li> </ul>	MET
<ul style="list-style-type: none"> <li>• All lighting in connection with permitted business uses shall be so arranged as to reflect away from adjoining residence buildings or residentially zoned property, and shall be no greater than ten (10) foot candles at any point upon the lot, and no greater than one (1) foot candle along any lot line.</li> </ul>	See Lighting, below
<ul style="list-style-type: none"> <li>• All business or service establishment shall be for the purpose of dealing directly with consumers. All goods produced or processed on the premises shall be sold at retail on the premises where produced and/or processed.</li> </ul>	MET

1276.06, Required Conditions (NEIGHBORHOOD BUSINESS DISTRICT)	Compliance
<ul style="list-style-type: none"> <li>Where a new or expanded land use occurs in a Neighborhood Business District (NBD), which new or expanded land use abuts directly upon a residentially zoned district, protective screening shall be provided in accordance with Section 1294.28, Screening.</li> </ul>	N/A

**Items to be addressed**

None

**PRESERVATION OF SIGNIFICANT NATURAL FEATURES**

*Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.*

There are no significant natural features to preserve.

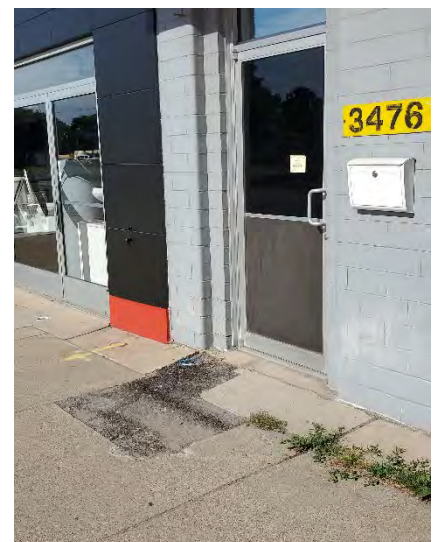
**Items to be addressed**

None

**SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION**

*The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.*

The site is served by a 20 ft concrete sidewalk along Fort Street which provides pedestrian circulation seperated from the vehicular circulation. There are no bicycle lanes on the ROW or bicycle parking facilites proposed. Engineering comments note a patch in front of the door and attribute it to a water service repair; the review states that Lincoln Park DPS has scheduled a repair this year.



**Items to be addressed**

- Applicant shall ensure that concrete sidewalks are brought up to City standards.

**PARKING**

*The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.*

The Lincoln Park Code of Ordinance §1290.02 Number of Spaces requirements does not clearly indicate “Massage Facilities” use under the Business and Commercial category. The Massage Facilities are recognized as principal permitted uses within the Neighborhood Business District (NBD) under §1276.02 (f) of Personal Services uses; which can fit under subsection (5) health Salons, Spas, Gymnasium or subsection (8) uses similar to the uses set forth in this subsection.

Use	Required	Proposed	Compliance
Service establishments, except as otherwise specified herein	Two (2) for every one-thousand (1,000) square feet of gross leaseable floor area.  1,670 sf /1000 sf = 2 Parking Spaces	3 Parking Spaces	MET

	Required	Proposed	Compliance
<b>Parking Area Type B §1290.05</b>	Adequate means of ingress and egress shall be provided and shown	The public Alley serves as egress and ingress to the parking space	MET
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	“Existing surface material in the parking area is slag”	<b>NOT MET</b>
	Concrete curbs and gutters	Not provided	<b>NOT MET</b>
	When adjoining residential property and/or a residential street or alley: 6’ solid masonry wall, ornamental on both sides, with bumper guards	No solid masonry wall is proposed. The property adjoins SFRD to the west (rear) that is vacant and occupied by parking spaces. The adjoining residential buildings are screened with existing wooden fence.	<b>See Landscaping, below</b>
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	The parking space abuts a public alley and SFRD occupied by parking spaces.	N/A
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	The public alley serves for backing and maneuvering	MET

Parking	Required	Proposed	Compliance
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	The Parking space abuts public alley	N/A

The site plan indicates that the existing parking lot is surfaced with slag, which does not meet code, and engineering comments note that the lot will need to be repaved due to its condition.



**Items to be addressed**

- Applicant shall provide curb and gutters detailed to scale in accordance with LP Code of Ordinance.
- Site plan shall be revised to indicate compliant parking lot surface.

**BARRIER-FREE ACCESS**

*The site has been designed to provide barrier-free parking and pedestrian circulation.*

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1-25	1	Not Provided	NOT MET

Standard barrier-free access requires that one of the parking spaces shall be van-accessible. At the applicant’s request, a legal opinion may be requested from the City’s attorneys as to whether the omission of this space could be permitted due to the limited availability of parking. If no such legal opinion is requested, then the required accessible space shall be provided.

**Items to be addressed**

- Applicant shall provide one signed and marked barrier-free space at a convenient location of the parking lot in accordance with §1290.02 (b), or shall request a review from the City of Lincoln Park legal counsel regarding an exception due to existing conditions and limited space.

**LOADING**

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
0 to 2,000	None	None	MET

**Items to be addressed**

None

**ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION**

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Road, Fort Street, Dix Avenue, and Outer Drive.

There is no vehicular access to this site from any of these routes, so the standards of this section do not apply.

**Items to be addressed**

None

**EMERGENCY VEHICLE ACCESS**

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicle access will be via Fort St. or the alley west of the site. The Lincoln Park Police Department has reviewed this plan and indicate no outstanding issues.

Items to be addressed

None

**STREETS**

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

**LANDSCAPING, SCREENING, AND OPEN SPACE**

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	Not provided; sidewalk extends between building and ROW	N/A
	1 tree and 4 shrubs per 40' of street frontage <i>27 total = 1 trees and 4 shrubs</i>		
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge		
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>2710 sf * 0.1 = 271 sf landscaping</i>	Not provided; lot is entirely covered by building, sidewalk, and parking	N/A
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas		
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>271 sf = 1 trees and 2 shrubs</i>		
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces <i>&lt;10</i>	Not provided; The parking lot 27*30 ft accommodates 3 existing parking spaces, each 9*19 ft, leaving 11 ft for proper backing and maneuvering	N/A
	100 sf of planting area per tree		

	Required	Proposed	Compliance
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Waste receptacle is not proposed. Appliant proposes the use of weekly trash pickup. Site Plan indicates an "area where trash cans will be placed on trash day	N/A
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive); solid 6' masonry wall ornamental on both sides	Not provided; the placement and size of the building provide no adequate space to deliver the provision of the greenbelt requirements in accordance with §1296.03 landscaping standrads and the 6 ft solid masonry wall requirments in accordnace with §1294.28 screening.	N/A

§1294.28

- (a) Where a Business or Industrial District abuts directly upon a Residential District, a landscaped greenbelt meeting the requirements of Section 1296.03, Landscaping Standards, shall be provided and maintained along its entire length by the users of the business or industrially zoned property.  
If, in the opinion of the Planning Commission, the greenbelt would serve no good purpose, the Commission may waive such requirement and provide only the wall between the residential use and the business or industrial use.
- (b) Where required walls are provided on the business side of public alleys, wall requirements may be waived to provide necessary entrance to or exit from required off-street parking and loading areas, provided the parking area is in mid-block with no possibility for street ingress or egress, and provided, further, that such opening, if approved by the Police Department, the Traffic Division, and the Commission, shall be stepped down to a three (3)-foot level for a minimum of ten (10) feet on each side of the opening.

§1296.03 (k) Waiver or Modification of Standards for Special Situations. The Planning Commission may determine whether or not existing landscaping or screening intended to be preserved, or a different landscape design, would provide all or part of the required landscaping and screening. In making such a determination to waive or reduce the landscaping and screening requirements of this section, the following may be considered:

- (1) The extent that existing natural vegetation provides desired screening.
- (2) Whether there is a steep change in topography which would limit the benefits of required landscaping.
- (3) The presence of existing wetlands and watercourses.
- (4) Existing and proposed building placement.
- (5) Whether the abutting or adjacent land is developed or planned by the City for a use other than residential uses.
- (6) Building heights and views.
- (7) Whether the adjacent Residential District is over two-hundred (200) feet away from the subject site.
- (8) Whether similar conditions to the above exist such that no good purpose would be served by providing the landscaping or screening required.

#### Items to be addressed

- *Applicant shall request waiver for the provision of the landscape, greenbelt, and 6' solid masonry wall in accordance with sections 1294.28 and 1296.03 (k) of Lincoln Park Zoning Code.*

#### SOIL EROSION CONTROL

*The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.*

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

#### Items to be addressed

- *Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to review soil erosion practices as needed.*

#### UTILITIES

*Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.*

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site.

#### Items to be addressed

- *Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*

#### STORMWATER MANAGEMENT

*Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.*

Stormwater management is under the jurisdiction of Wayne County. No new stormwater management system is proposed to the site.

#### Items to be addressed

- *Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process.*



**LIGHTING**

*Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.*

1276.06, Required Conditions (NEIGHBORHOOD BUSINESS DISTRICT)	Compliance
<ul style="list-style-type: none"> <li>All lighting in connection with permitted business uses shall be so arranged as to reflect away from adjoining residence buildings or residentially zoned property, and shall be no greater than ten (10) foot candles at any point upon the lot, and no greater than one (1) foot candle along any lot line.</li> </ul>	<p><b>INQUIRY</b></p>

The site is served by an existing light pole located at the sidewalk of Fort Street. The Electrical Plan Sheet e1 indicates two (B) Twin Head Exterior light Fixtures; Lithonia Lighting ELA LED T. Each light fixture is mounted above the entry doors of the east and west sides of the building, and is shielded by the mansard façade at the front of the building.

**Items to be addressed**

*None*

**NOISE**

*The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.*

No adverse noise impacts are anticipated from the development.

**Items to be addressed**

*None*

**MECHANICAL EQUIPMENT**

*Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.*

Existing roof-top A/C condenser is not visible from Fort Street.

**Items to be addressed**

*None*

**SIGNS**

*The standards of the City's Sign Code are met.*

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Signinformation presented during site Plan Review is for illustrative purposes only.

**Items to be addressed**

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.

### HAZARDOUS MATERIALS OR WASTE

*For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.*

There is no indication of hazardous substances and polluting materials to be used or stored on-site at the facility.

#### Items to be addressed

*None*

### SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

*All applicable standards for uses permitted after special approval are met.*

The use of Massage Facility in the NBD is a principal permitted use in compliance with §1276.02 (f) (5).

#### Items to be addressed

*None*

### OTHER AGENCY REVIEWS

*The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.*

#### Items to be addressed

- Applicant to secure all appropriate agency reviews as needed.

### VARIANCES

No variances are anticipated in conjunction with this development.

#### Items to be addressed

*None*

## RECOMMENDATIONS

### Findings

The proposal is substantially in compliance with §1296.01, Site Plan Review.

### Conditions and Waivers

#### *Waivers*

- Waiver requested for the provision of the landscape, greenbelt, and 6' solid masonry wall in accordance with sections 1294.28 and 1296.03 (k) of Lincoln Park Zoning Code.*

#### *Conditions to be addressed before final approval*

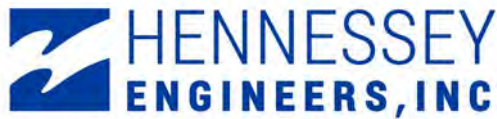
- Applicant shall provide curb and gutters detailed to scale in accordance with LP Code of Ordinance.*
- Site plan shall be revised to indicate compliant parking lot surface.*
- Applicant shall provide one signed and marked barrier-free space at a convenient location of the parking lot in accordance with §1290.02 (b), or shall request a review from the City of Lincoln Park legal counsel regarding an exception due to existing conditions and limited space.*

#### *Conditions of approval*

- Applicant shall ensure that concrete sidewalks are brought up to City standards.*
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to review soil erosion practices as needed.*
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process.*
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*
- Applicant to secure all appropriate agency reviews as needed.*

### Recommendations

It is recommended that, based on the above information which demonstrates conformance with the requirements of Section 1296.01 of the City of Lincoln Park Zoning Ordinance, the request by Janeise Daniels for a Site Plan Approval for a Massage Facility at 3476 Fort St., dated October 31 2019 and March 31 2020, be **approved** with the waivers herein and conditions as noted above to be resolved administratively.



June 8, 2020

Ms. Leah DuMouchel, AICP  
Beckett & Raeder, Inc.  
535 West William St. Suite 101  
Ann Arbor, MI, 48103-4978

**Re: Relaxation Therapy Spa  
3476 Fort St.  
City of Lincoln Park, MI  
Hennessey Project 72130**

Dear Ms. DuMouchel:

Hennessey Engineers, Inc. completed our second review of the Preliminary Plan based on the plan I received via email January 20, 2020 from you.

The proposed development is a conversion of an existing commercial salon to a restaurant. The existing building is approximately 1700, square feet, single story commercial building. There is limited parking in the rear of the property.

Listed below are some comments:

**GENERAL**

1. Based on the site plan submitted, all existing utilities and leads are being reused. It is important that the developer realize these existing utilities are very old and may have reached their life expectancy. It is our strong recommendation for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the service lead needs to be replaced the installation of the new service will need to be inspected by our office. The developer should verify with the City the existing sanitary service type and size. If it is undersized for the proposed building use it must be placed. The developer's engineer or architect shall determine the sanitary service lead capacity.
2. The developer should verify with the City the existing water service type and size. If it is a lead service or if the service is undersized for the proposed building use, it should be placed. The developer's engineer or architect shall determine the water service lead capacity.
3. There is a temporary patch in the concrete sidewalk at the entrance to the building on Fort Street. It appears that there was a water service repair. The Lincoln Park DPS is aware of this patch and has it scheduled to be repaired this year.

4. Overall the parking lot in the rear of the building is in rough condition. The property owner should repave the parking lot and bring it up to the City's Standards.

From an engineering feasibility our office does not have any issues with the approval of the Preliminary Site Plan submittal. Therefore, from the engineering feasibility review it would be our recommendation for the **"approval"** of the Preliminary Site Plan contingent upon the items listed above being addressed. If there will not be any utility we will not need to perform a detailed engineering review.

If you have any questions, please do not hesitate to contact me.

Sincerely,

**HENNESSEY ENGINEERS, INC**

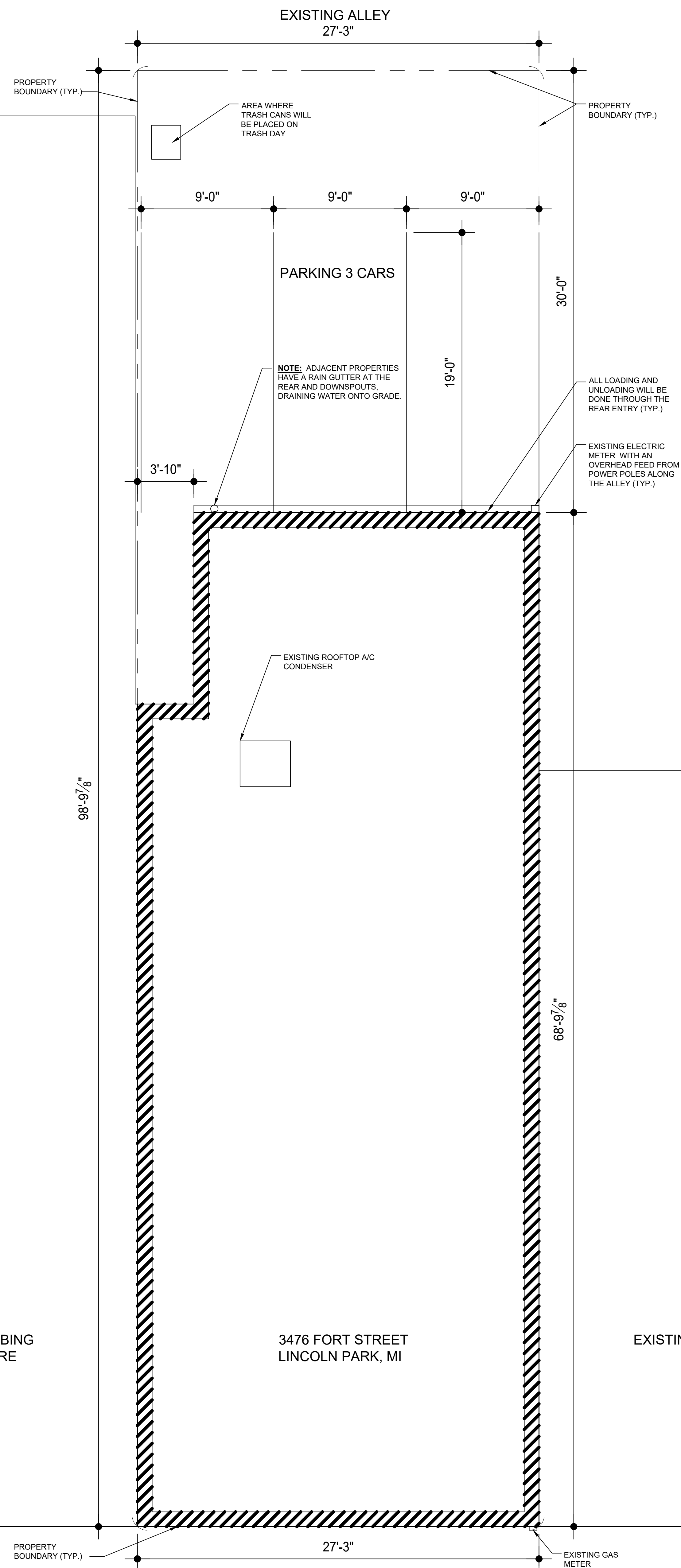


James D. Hollandsworth, P.E., P.S.  
Lincoln Park Project Manager

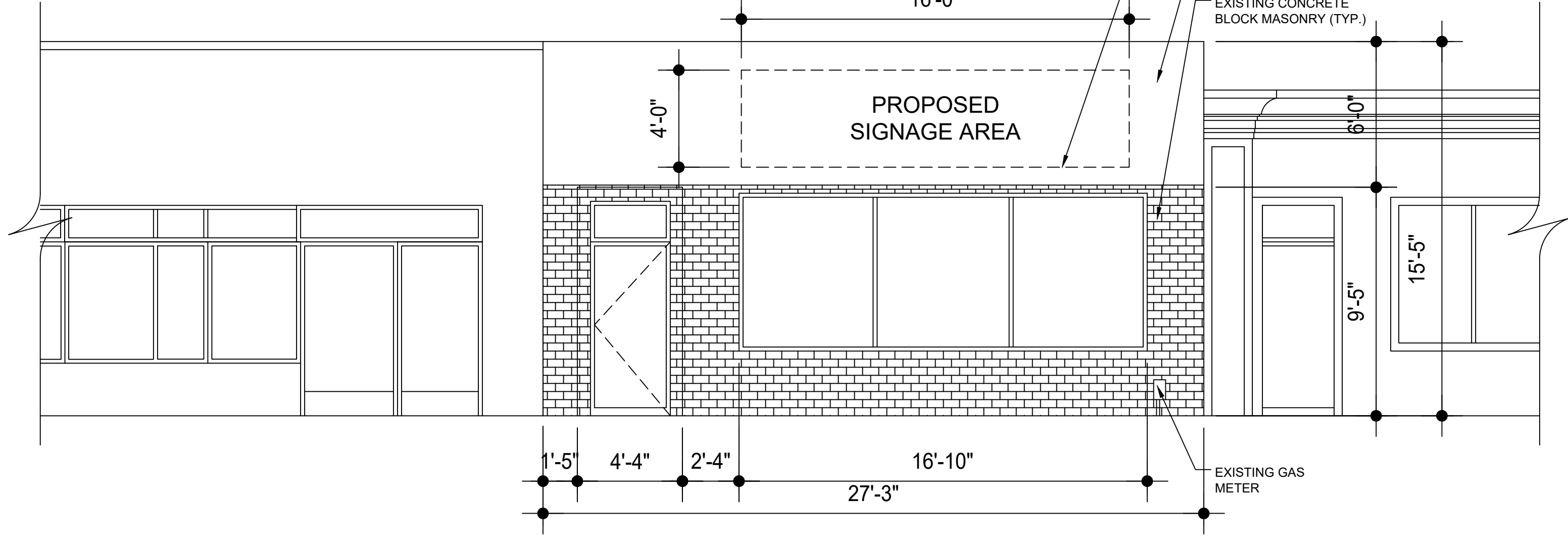
JDH/bd

cc: John Kozuh, DPW Director, City of Lincoln Park  
John J. Hennessey, Hennessey Engineers, Inc.  
B.3

R:\Municipalities\70000's Lincoln Park\72000's\72130 Relaxation Therapy Spa 3476 Fort St\3476 Fort St 1st PC Review June 8, 2020.docx



**2 SITE PLAN**  
 A-101 SCALE: 1/4" = 1'-0"  
 REF:



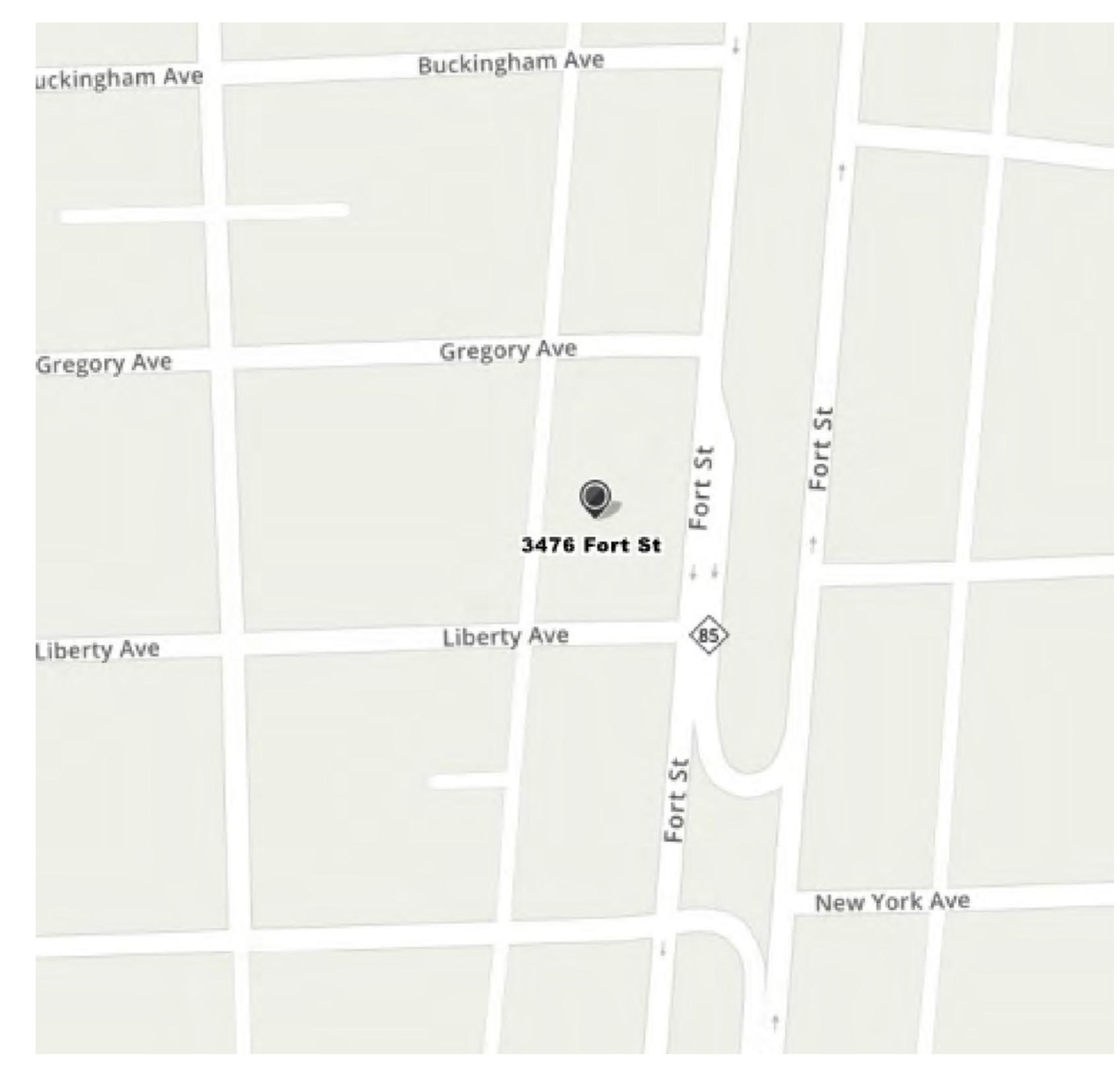
**2 SOUTH ELEVATION**  
 A-101 SCALE: 1/4" = 1'-0"  
 REF:

**LEGAL DESCRIPTION OF PROPERTY:**

LOT 374, ASSESSORS FORT SUPERHIGHWAY SUBDIVISION NO. 11, LIBER 63

**GENERAL NOTES:**

- PROPERTY IS 0.1 ACRES - NET AND TOTAL ACREAGE ARE THE SAME.
- PROPERTY IS EXISTING - FRONT AND SIDE SETBACKS, GRADING, SEDIMENTATION AND DRAINAGE ARE NOT APPLICABLE.
- TRANSFORMER PAD DOES NOT EXIST - ELECTRICAL POWER IS FROM AN OVERHEAD FEED.
- THERE ARE NO EXISTING DRAINS OR OTHER STORM WATER FEATURES IN THE PARKING AREA. EXISTING SURFACE MATERIAL IN THE PARKING AREA IS SLAG.
- HEATING IS PROVIDED FROM AN EXISTING FURNACE LOCATED INSIDE THE BUILDING.



**1 LOCATION MAP**  
 A-101 SCALE: 1" = 20'-0"  
 REF: A-101

REGISTRATION SEAL

KEY PLAN

SHEET TITLE

SCALE:

ISSUED FOR

DATE

L. CALHOUN

G. HARRISON

CHECKED

APPROVED

20002.00

FILE NO.

**A-101**

SHEET NO.

## ADA CODE

A BARRIER FREE SYMBOL WILL BE MOUNTED ADJACENT TO ALL ACCESSIBLE BUILDING ENTRANCES.  
 THE INTERIOR EMERGENCY EXIT SIGNAGE SHALL COMPLY WITH SECTION 1190.0. ALL SIGNAGE SHALL MEET CABO/ANSI REQUIREMENTS.  
 FURNISH TACTILE SIGNAGE MOUNTED ADJACENT TO (LATCH SIDE) ROOM DOORS AND PUBLIC SPACES.  
 THE DOOR TO AN ACCESSIBLE ROOM SHALL HAVE A 18"X60" MINIMUM MANEUVERING SPACE ON THE LATCH SIDE OF THE DOOR.  
 THE LATCH SIDE CLEARANCE OF 12" (PUSH SIDE) AND 18" (PULL SIDE) SHALL BE MET IN ALL ACCESSIBLE ROOMS.

## OWNER

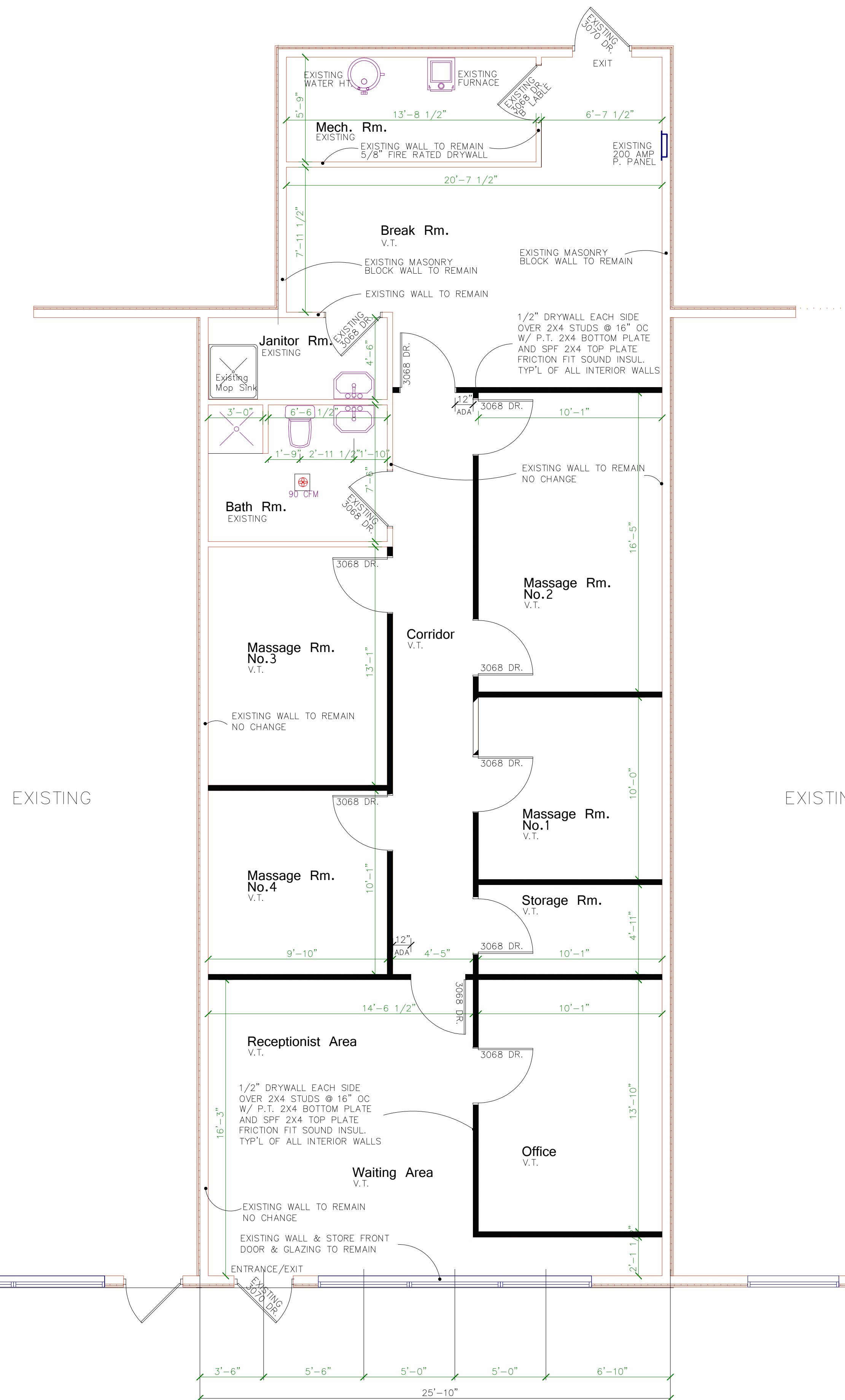
Janeise Daniles  
 3476 Fort St.  
 Lincoln Park, MI 48416

## MICHIGAN CODE

PROJECT NO. 2019-123  
 MICH MECHANICAL CODE 2015  
 MICH PLUMBING CODE 2015  
 MICH ELECTRICAL CODE 2015  
 INTERNATIONAL FIRE CODE 2012  
 ALL PLANS ARE TO COMPLY WITH MBC 2016

CONSTRUCTION TYPE: III B  
 OCCUPANCY LOAD: 10 PEOPLE  
 USE GROUP: (B) BUSINESS  
 ALLOWABLE AREA 12,000 sq ft & TWO STORY  
 PROPOSED AREA 1,670 sq ft & ONE STORY  
 OKAY

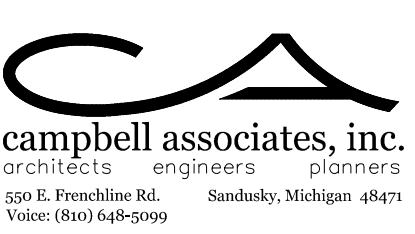
NOTE:  
 CONSTRUCTION DOCUMENTS AT PROJECT SITE.  
 AN APPROVED SET OF CONSTRUCTION DOCUMENTS SHALL BE KEPT AT THE SITE OF THE WORK AND SHALL BE AVAILABLE FOR REFERENCE BY BUILDING OFFICIAL OR THE BUILDING OFFICIALS DESIGNATED REPRESENTATIVE AT ALL TIMES DURING WORKING HOURS WHILE SUCH WORK IS IN PROGRESS.



**Floor Plan**  
 Scale: 1/4" = 1'-0"



**Front Building Elevation**  
 Scale: 1/4" = 1'-0"



### Janeise Daniles

Location: 3476 Fort St., Lincoln Park, MI 48416  
 General Contractor: Curtis Holmes, 313-790-0135

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 Every effort has been made to ensure the accuracy of these plans. However, it is the responsibility of the Contractor to review and verify all dimensions and structure prior to the start of construction. Notify the Architect immediately where concerns or discrepancies may occur. Do Not scale this print. Use figured dimensions only.

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 31OCT2019

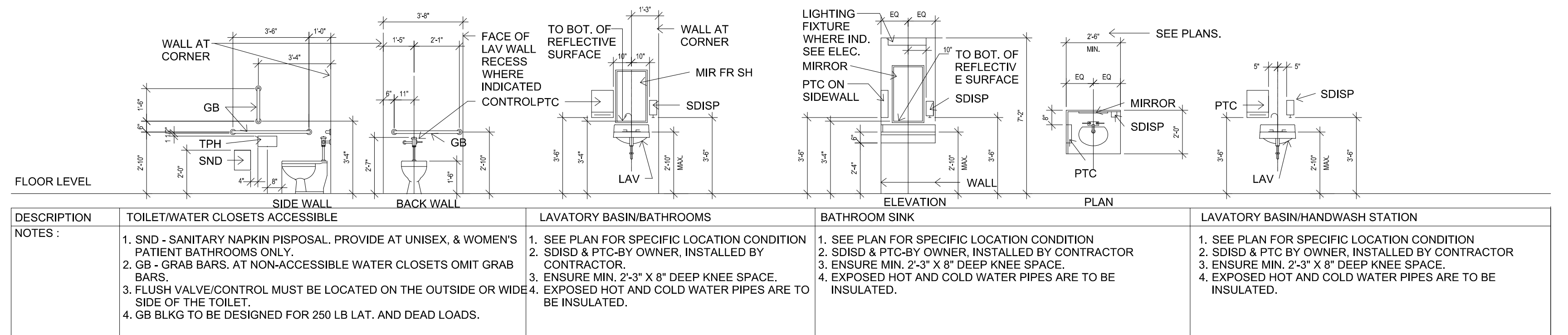
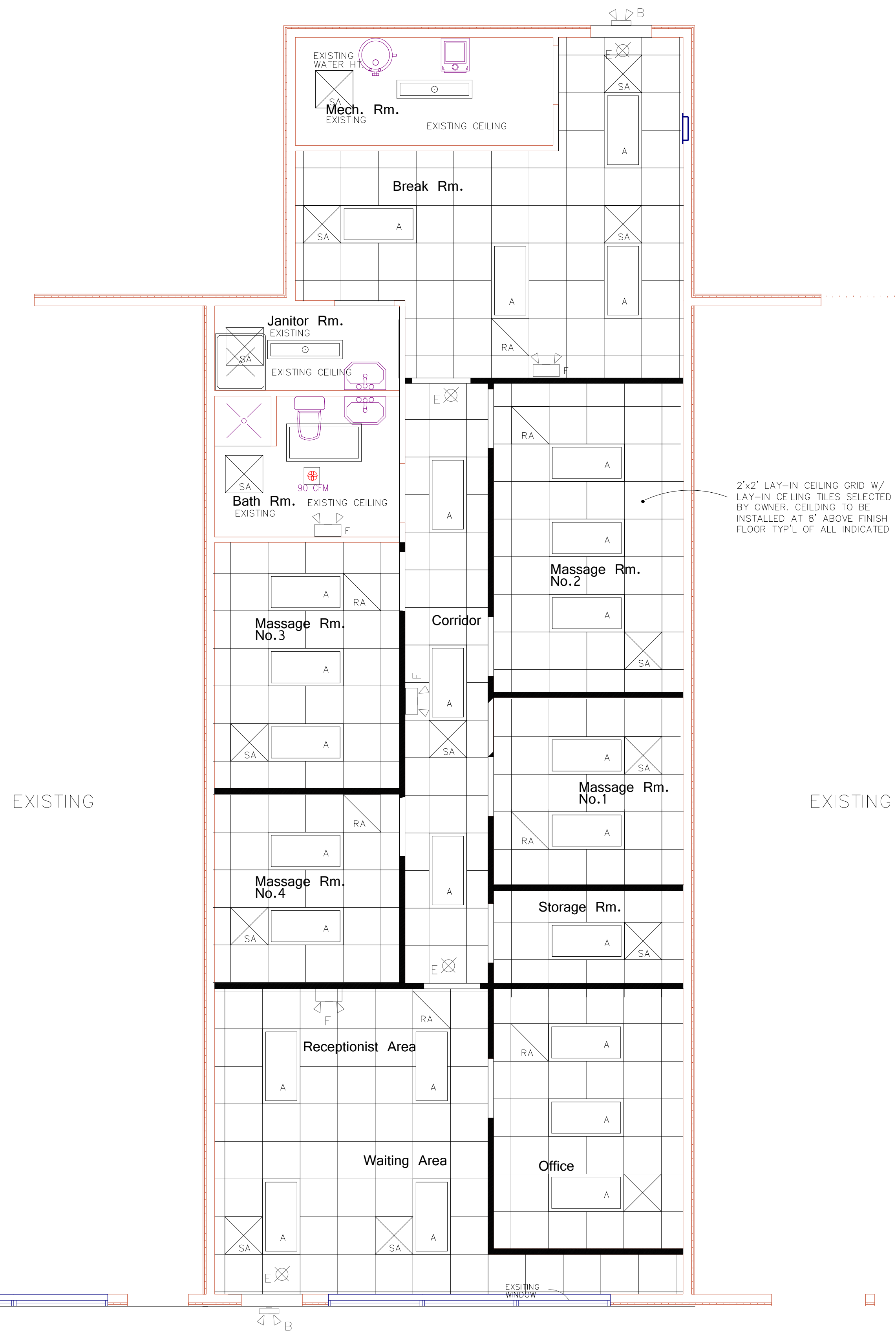
Revisions:

Sheet Contents:  
 Floor Plan  
 Front Building Elevation  
 Project Information

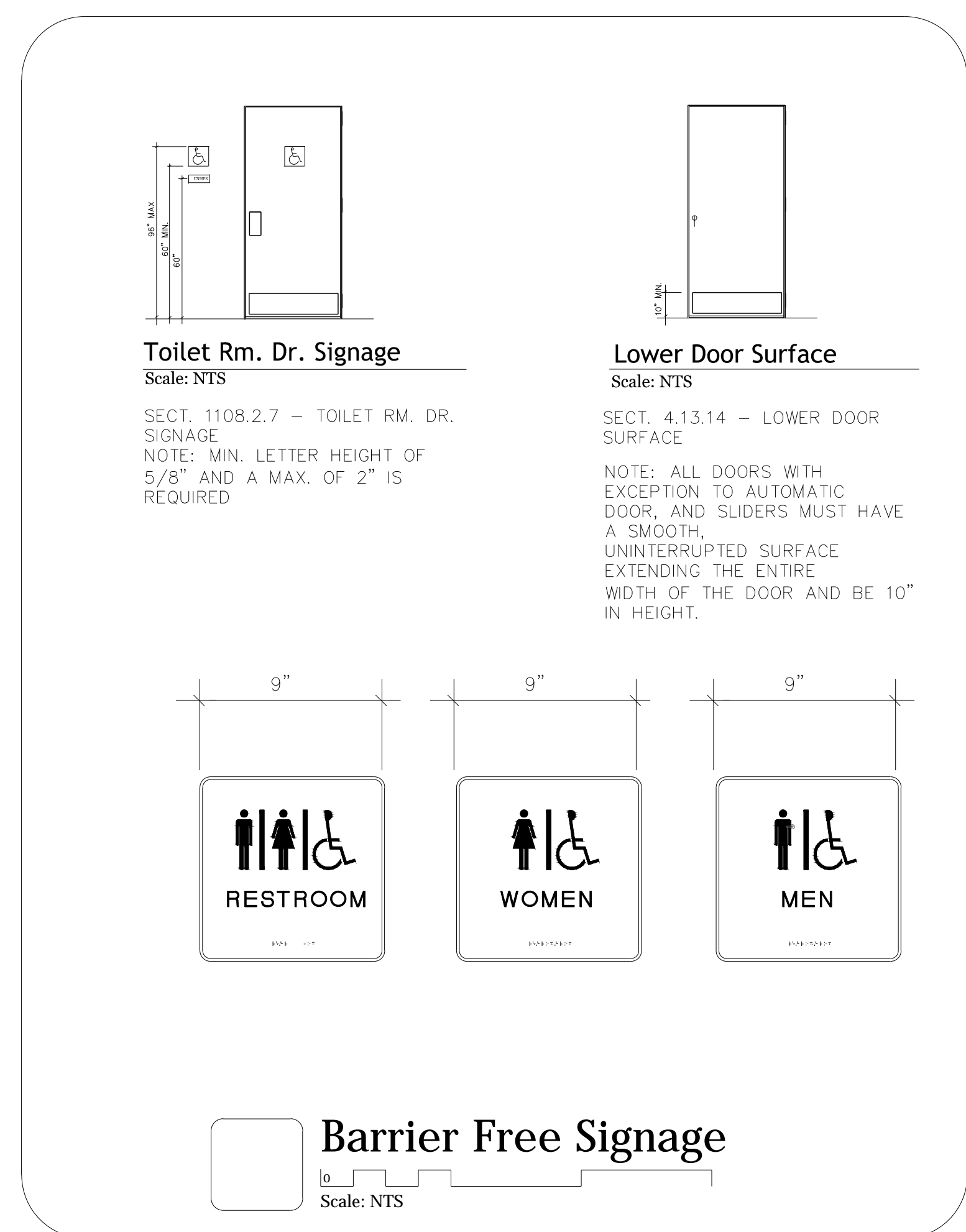
Project Number: 2019-123  
 Drawn by: OEC  
 Date: 31OCT2019  
 Sheet Number:



Architect: Architect In Charge  
 ORIN E. CAMPBELL ARCHT. # 52864  
 CAMPBELL ASSOCIATES, INC.  
 550 E. FRENCHLINE RD.  
 SANDUSKY, MI. 48471  
 810.648.5099



**Barrier Fixture Mounting Details**  
Scale: NTS



**Reflective Ceiling Plan**  
Scale: 1/4" = 1'-0"

**campbell associates, inc.**  
architects engineers planners  
550 E. Frenchline Rd. Sandusky, Michigan 48471  
Voice: (810) 648-5099

Building Improvements for:  
**Janeise Daniles**

Location: 3476 Fort St. Lincoln Park, MI 48416  
General Contractor: Curtis Holmes 313-750-0135



Architect: Architect In Charge  
ORIN E. CAMPBELL ARCHT. # 52864  
CAMPBELL ASSOCIATES, INC.  
550 E. FRENCHLINE RD.  
SANDUSKY, MI. 48471  
810.648.5099

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Issued:  
31OCT2019

Revisions:

Sheet Contents:  
Reflective Ceiling Plan  
Barrier Fixture Mounting Details  
Barrier Free Signage

Project Number: 2019-123  
Drawn by: OEC  
Date: 31OCT2019  
Sheet Number:





### Lighting Fixture Schedule

ALL BALLASTS SHALL BE ELECTRONIC TYPE 10% MAXIMUM TOTAL HARMONIC DISTORTION - PROGRAM RAPID START TYPE, NOT INSTANT START. SUBMIT BALLAST SHOP DRAWINGS WITH HARMONIC DISTORTION INFORMATION WITH LIGHTING FIXTURE SHOP DRAWINGS. IF BALLASTS INFORMATION IS NOT SUBMITTED WITH SHOP DRAWINGS, SHOP DRAWINGS WILL BE REJECTED.

KEY	FIXTURE DISCRPTION
A	DIRECT INDIRECT LIGHT FIXTURE LITHONIA LIGHTING 2AVL4 40L MDR E21 LP835 SURFACE MOUNTED
B	TWIN HEAD EXTERIOR LIGHT FIXTURE LITHONIA LIGHTING ELA LED T
E	EXIT SIGN LIGHT FIXTURE LITHONIA LIGHTING ELA Q L0309 SD Single LED indoor remote head, white, self-diagnostics 3,4,5 ELA W3 Wireguard, 30"W x 13-1/2"H x 6"D6
F	EMERGANCY LIGHT FIXTURE LITHONIA LIGHTING ELA W T L124 LP06VS

### General Mechanical And Electrical Notes:

- MECHANICAL AND ELECTRICAL PLANS ARE DIAGRAMMATIC IN NATURE, INTENDED TO INDICATE DESIGN INTENT ONLY. CONTRACTOR IS RESPONSIBLE TO COORDINATE SPECIFIC LOCATIONS OF ITEMS AND ADJUST AS REQUIRED TO ACCOMMODATE EXISTING CONDITIONS, CODE REQUIREMENTS, MANUFACTURER'S INSTALLATION REQUIREMENTS, AND THE WORK OF OTHER TRADES.
- MECHANICAL AND ELECTRICAL INFORMATION IS PRESENTED ON A SCREENED BACKGROUND FLOOR PLAN. IN CASE OF CONFLICT BETWEEN BACKGROUND PLAN AND ARCHITECTURAL FLOOR PLAN, ARCHITECTURAL FLOOR PLAN SHALL GOVERN.
- RUN ALL PIPING, CONDUIT, ETC., CONCEALED IN WALLS WHENEVER POSSIBLE. AVOID EXPOSED INSTALLATION UNLESS SPECIFICALLY REQUIRED. (TYPICAL)
- THE ENGINEER WILL NOT HAVE CONTROL OR CHARGE OF THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, OR PROCEDURES. IS NOT RESPONSIBLE FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THOSE DOCUMENTS PREPARED BY THE ENGINEER.
- ALL CONSTRUCTION SHALL BE DONE IN COMPLIANCE WITH CURRENT CODES, INCLUDING: MICHIGAN BUILDING CODE 2003, MICHIGAN PLUMBING CODE 2003, MICHIGAN MECHANICAL CODE 2003, NATIONAL ELECTRICAL CODE 2002, AND APPLICABLE NFPA CODES.

**Electircal Plan**  
  
 Scale: 1/4" = 1'-0"



**Architect: Architect In Charge**  
 ORIN E. CAMPBELL ARCHT. # 52864  
 CAMPBELL ASSOCIATES, INC.  
 550 E. FRENCHLINE RD.  
 SANDUSKY, MI. 48471  
 810.648.5099



**Building Improvements for:**  
**Janeise Daniles**

Location: 3476 Fort St.  
 Lincoln Park, MI 48416  
 General Contractor: Curtis Holmes  
 313-750-0135

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Revisions:

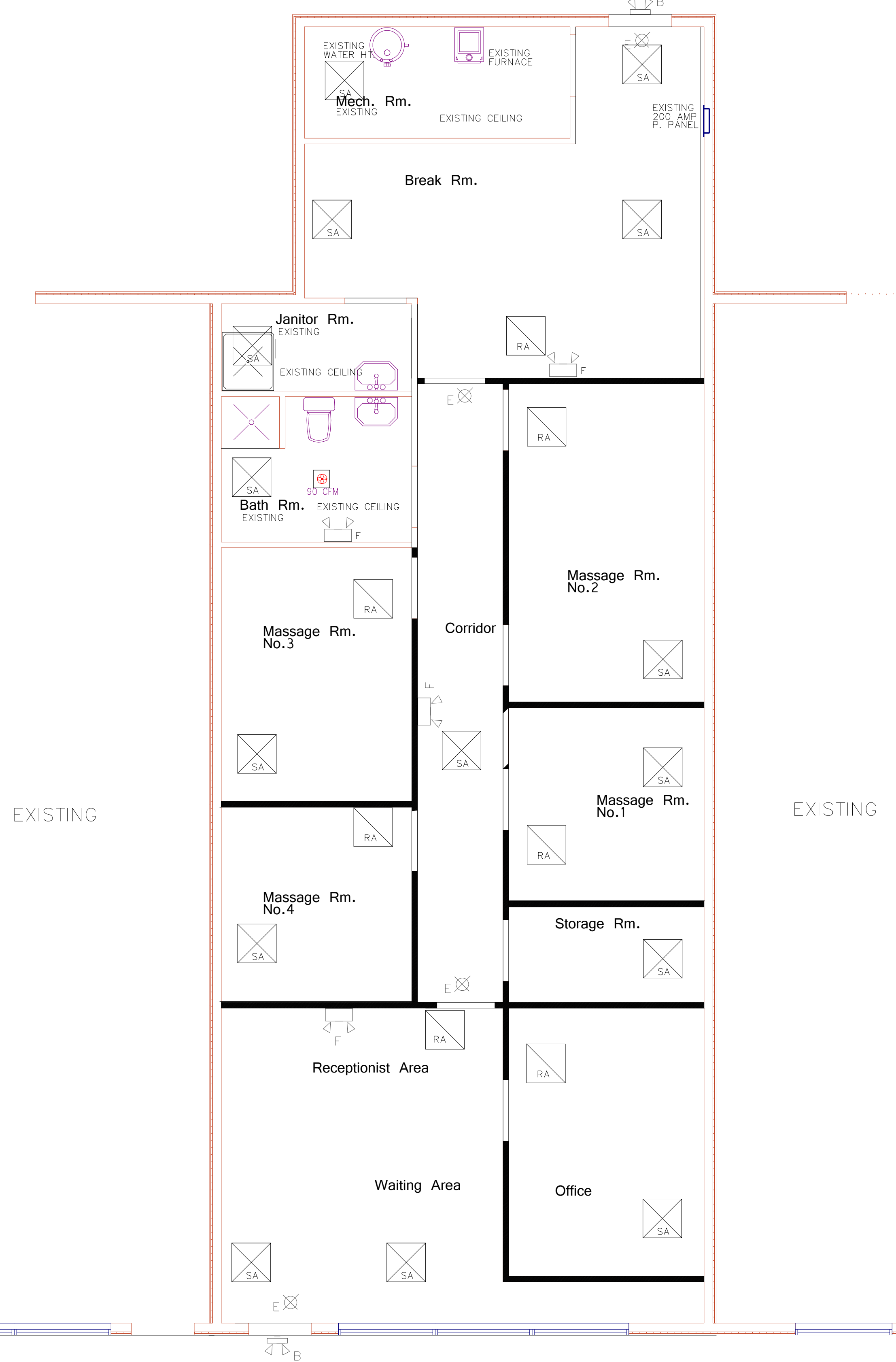
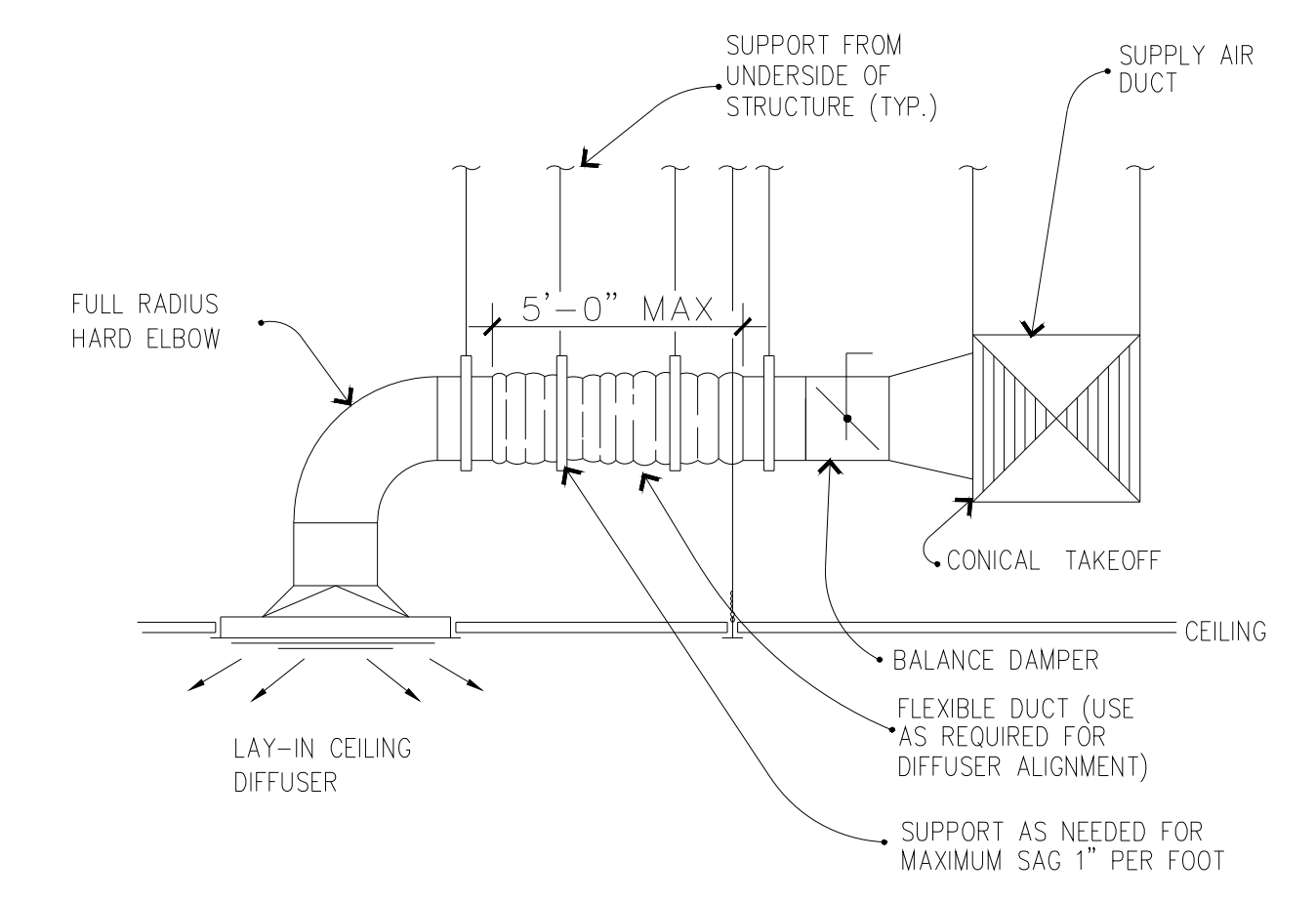
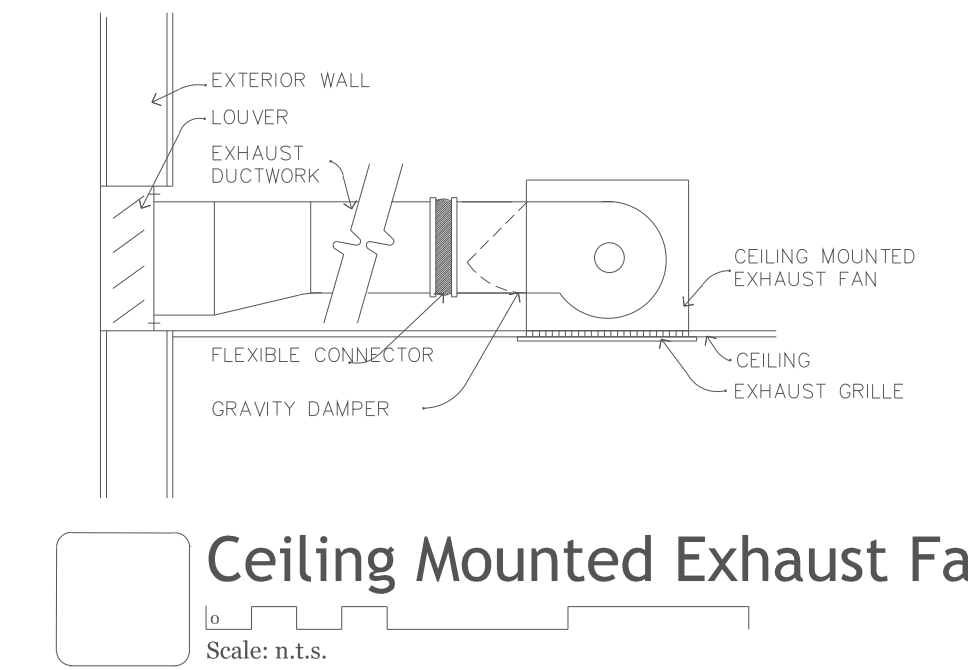
Sheet Contents:  
 Electrical Plan

Project Number: 2019-123  
 Drawn by: OEC  
 Date: 31OCT2019  
 Sheet Number:

# Mechanical Specifications

- THE MECHANICAL CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES, MATERIALS, OPERATIONS OR METHODS MENTIONED, LISTED OR SCHEDULED ON THE DRAWINGS AND IN THESE SPECIFICATIONS, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT AND ALL INCIDENTALS NECESSARY REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS.
- THE INSTALLATION SHALL BE MADE SO THAT ALL COMPONENT PARTS FUNCTION TOGETHER AS WORKABLE SYSTEM; IT SHALL BE COMPLETE WITH ALL ACCESSORIES NECESSARY FOR PROPER OPERATION. WHEN THE INSTALLATION IS COMPLETE, ALL EQUIPMENT OPERATIVE AND IN PROPER ADJUSTMENT. ALL WORK SHALL BE EXECUTED IN CONFORMITY WITH THE BEST PRACTICE SO AS TO CONTRIBUTE TO EFFICIENCY OF OPERATION, MINIMUM MAINTENANCE, ACCESSIBILITY AND SIGHTINESS.
- TO ACCOMPLISH THESE RESULTS, THE MECHANICAL CONTRACTOR SHALL CONSULT THE ARCHITECT'S FIELD LAYOUTS OF THE CONTRACTORS FOR THESE TRADES AND THEIR SHOP DRAWINGS. HE SHALL COORDINATE HIS WORK ACCORDINGLY.
- DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF WORK AND ARE PARTLY DIAGRAMMATIC. THEY ARE NOT INTENDED TO BE SCALED FOR ROUGH-IN MEASUREMENTS FOR TO SERVE AS SHOP DRAWINGS.
- MINOR ITEMS AND ACCESSORIES OR DEVICES REASONABLY INFERRABLE AS NECESSARY TO THE COMPLETE AND PROPER OPERATION OF ANY SYSTEM SHALL BE PROVIDED BY THE CONTRACTOR OR SUBCONTRACTOR FOR SUCH SYSTEM WHETHER OR NOT THEY ARE SPECIFICALLY CALLED FOR BY THE SPECIFICATIONS OR DRAWINGS.
- WHERE WORK OF THE CONTRACTOR CONNECTS TO THAT OF ANOTHER TRADE, OR TO PIPING OR EQUIPMENT IN PLACE, THE CONTRACTOR SHALL TAKE SUCH MEASUREMENTS IN THE FIELD AS MAY BE NECESSARY TO MAKE HIS WORK COME TRUE OR LINE UP WITH THAT WORK.
- MECHANICAL CONTRACTOR SHALL FURNISH TO THE ARCHITECTURAL TRADES CONTRACTOR INFORMATION SUCH AS SIZE AND LOCATIONS CONCERNING ALL FRAMED OPENINGS AND EQUIPMENT BASES REQUIRED.
- EQUIPMENT SUCH AS FURNACES AND AIR CONDITIONING UNITS SHALL BE FACTORY PAINTED.
- UNLESS OTHERWISE INDICATED, ALL MOTORS SHALL BE FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR. UNLESS OTHERWISE INDICATED, THE ELECTRICAL CONTRACTOR SHALL FURNISH, INSTALL AND WIRE ALL STARTERS, SAFETY LINE SWITCHES AND CONTROLLERS.
- PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE PLUMBING CODE AS LOCALLY ADOPTED, LOCAL REGULATIONS AND OTHER CODES OR REGULATIONS HAVING LEGAL JURISDICTION IN THE AREA. CONTRACTOR SHALL SECURE AND PAY FOR A PERMITS AND CERTIFICATES OF INSPECTION AS MAY BE REQUIRED.
- ANY CHANGES IN THE WORK TO SECURE CERTIFICATES SHALL BE MADE BY THIS CONTRACTOR AT HIS OWN EXPENSE. IN THE EVENT PLANS AND SPECIFICATIONS CONFLICT WITH ANY RULES, REGULATIONS, AND CODES SHALL GOVERN THE CONTRACTOR.
- ALL HEATING AND COOLING WORK SHALL BE DONE IN FULL ACCORD WITH ASME AND ALL STATE, FEDERAL, AND LOCAL CODES OR ORDINANCES WHICH MAY APPLY IN THE AREA. SYSTEM IS EXISTING.
- RULES OF THE LOCAL UTILITY COMPANIES SHALL BE COMPLIED WITH.
- IT IS THE INTENT OF THESE SPECIFICATIONS TO ESTABLISH A STANDARD OF QUALITY. THE CONTRACTOR MUST SELECT ONE OF SPECIFIED MANUFACTURERS FOR EACH PIECE OF EQUIPMENT AND, WHERE ONLY ONE MANUFACTURE IS SPECIFIED, THAT MAKE MUST BE USED. THESE ITEMS MAY NOT BE CHANGED EXCEPT BY PERMISSION OF THE ENGINEER.
- DRAWINGS ARE DIAGRAMMATIC AND INDICATES THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. DRAWINGS ARE NOT TO BE SCALED. THE ARCHITECTURAL DRAWINGS AND DETAILS SHALL BE EXAMINED FOR EXACT LOCATIONS OF FIXTURES AND EQUIPMENT, WHERE THEY ARE NOT DEFINITELY LOCATED, THIS INFORMATION SHALL BE OBTAINED FROM THE ENGINEER.
- CONTRACTOR SHALL FOLLOW DRAWINGS IN LAYING OUT WORK AND CHECK DRAWINGS OF OTHER TRADES TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED. MAINTAIN MAXIMUM HEADROOM AND SPACE CONDITIONS AT ALL POINTS. WHERE HEADROOM OR SPACE CONDITIONS APPEAR INADEQUATE, ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH INSTALLATION. CONTRACTOR MAY CHANGE SHAPE OF DUCTS AS LONG AS THE FREE AREA NOTED ON PLANS IS RETAINED.
- IF DIRECTED BY ENGINEER, THE CONTRACTOR SHALL WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICT WITH WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF THE WORK.
- FURNISH TO THE ENGINEER, FOR THE OWNER, TWO BOUND OPERATION MANUALS CONSISTING OF THE FOLLOWING:
  - ONE COPY OF THE SHOP DRAWINGS OF EACH PIECE OF EQUIPMENT.
  - OPERATING INSTRUCTIONS.
  - PARTS LIST.
- THE CONTRACTOR SHALL FURNISH A COMPETENT INSTRUCTOR TO ADVISE THE OWNER IN SERVICING, OPERATING, ETC., OF MAIN ITEMS OF EQUIPMENT.
- CONTRACT SHALL GUARANTEE ALL WORK INSTALLED BY HIM OR SUBCONTRACTORS TO BE FREE FROM DEFECT IN MATERIAL OR WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE WORK, AND SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER ANY MATERIAL OR EQUIPMENT DEVELOPING DEFECTS AND SHALL ALSO MAKE GOOD ANY DAMAGE CAUSED BY SUCH DEFECTS OR THE CORRECTION OF THE DEFECTS. THIS REQUIREMENT SHALL BE BINDING EVEN THOUGH IT WILL EXCEED PRODUCTS GUARANTEES NORMALLY FURNISHED BY SOME MANUFACTURERS.
- CONTRACTOR SHALL SUBMIT HIS OWN AND EACH EQUIPMENT MANUFACTURERS WRITTEN CERTIFICATES, WARRANTIES THAT EACH ITEM OR EQUIPMENT FURNISHED COMPLIES WITH ALL REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS. NOTE THAT GUARANTEE SHALL RUN FROM DATE OF THE FINAL ACCEPTANCE OF WORK, NOT FROM THE DATE OF INSTALLATION OF A DEVICE OR PIECE OF EQUIPMENT.
- ALL WORK AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST STANDARDS PRESCRIBED BY LOCAL AND/OR STATE CODES AND/OR ORDINANCES INCLUDING THE LATEST RULES OF THE N.F.P.A., AND AMERICAN STANDARDS ASSOCIATION, AND WITH ANY PREVAILING RULES AND REGULATIONS PERTAINING TO ADEQUATE PROTECTION AND/OR GUARDING OF ANY HAZARDOUS LOCATIONS.
- IN ALL CASES WHERE THE MANUFACTURERS OF ARTICLES USED IN THIS CONTRACT FURNISH DIRECTIONS COVERING POINTS NOT SHOWN ON THE DRAWINGS OR HEREIN SPECIFIED, SUCH DIRECTIONS SHALL BE FOLLOWED.
- UNTIL FINAL ACCEPTANCE OF WORK, THE CONTRACTOR SHALL PROTECT ALL MATERIALS.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE EQUAL IN QUALITY AND CAPACITY TO THAT SPECIFIED AND HARMONIOUS IN DESIGN AS DETERMINED BY THE ENGINEER.
- MECHANICAL WORK SHALL BE CAREFULLY EXECUTED BY SKILLED MECHANICS WELL VERSED IN THEIR PARTICULAR TRADES. IT SHALL ALSO HAVE A CLEAN, NEAT, WELL ARRANGED AND FINISHED APPEARANCE TO THE COMPLETE SATISFACTION OF THE OWNER AND THE ARCHITECT/ENGINEER.
- THE MECHANICAL INSTALLATION SHALL BE MADE SO THAT THEIR SEVERAL COMPONENTS PARTS IN THE BUILDING WILL FUNCTION TOGETHER AS WORKABLE SYSTEMS, COMPLETE WITH ALL ACCESSORIES NECESSARY FOR THEIR OPERATION AND ALL COMPLETED IN WORKING ORDER.
- CHARACTER OF PIPING WORK SHALL BE AS FOLLOWS:
  - ALL PIPING SHALL BE INSTALLED SO AS TO PERMIT COMPLETE DRAINAGE.
  - PROVIDE FACILITIES AND DRAIN VALVES SO AS TO PERMIT COMPLETE DRAINAGE.
  - ALL PIPING SHALL BE INSTALLED SO AS TO BE FREE FROM POCKETS CAUSED BY SAGGING. SPECIAL CARE SHALL BE TAKEN TO INSURE UNHINDERED EXPANSION AND CONTRACTION OF PIPING. EXPANSION AND CONTRACTION OF PIPING SHALL BE PROVIDED FOR IN A SATISFACTORY, APPROVED AND SAFE MANNER BY MEANS OF LOOPS OR OFFSETS OR SWING CONNECTIONS, WHERE MECHANICAL EXPANSION JOINTS ARE NOT SPECIFICALLY CALLED FOR. CORRUGATED COPPER PIPE SLEEVES SHALL BE USED AT ALL CONSTRUCTION EXPANSION JOINTS.
  - ALL THREADED PIPE JOINTS SHALL BE MADE TIGHT, STEEL TO STEEL, USING AN APPROVED THREADED PASTE. TO BE APPLIED ON MALE THREADS ONLY. REAM OUT ALL THREADED PIPE ENDS, TURN ON END AND RATTLE BEFORE INSTALLING. CLEAN AND SWAB OUT ALL PIPING BEFORE INSTALLING.
  - RISER AND VERTICAL PIPES ARE TO BE RUN PLUMB, STRAIGHT, AND TRUE AND HAVE NO UNNECESSARY OFFSETS. NO PIPING SHALL BE INSTALLED IN SUCH A MANNER AS TO INTERFERE WITH NECESSARY HEADROOM OR WITH DOORS OR WINDOWS.
  - PIPING SUSPENDED FROM CEILING OR BENEATH FLOOR SLABS SHALL BE KEPT AS CLOSE THE CONSTRUCTION AS POSSIBLE, CONSISTENT WITH THE INSTALLATION AND PITCH REQUIREMENTS.
- ALL OPENINGS IN CONSTRUCTION, THROUGH WHICH PIPING AND DUCTWORK PASS, SHALL BE SEALED UP AIR TIGHT AFTER INSTALLATION OF DUCTS OR PIPING.
- ALL TEMPERATURE CONTROL WIRING SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR UNLESS OTHERWISE NOTED.
- PLUMBING FIXTURES SHALL BE CAULKED AT WALL AND FLOOR JOISTS WITH COMMERCIAL GRADE WHITE SILICON CAULK.
- PROVIDE COMPRESSION STOPS IN SUPPLIES TO FIXTURES.
- PROVIDE SHOP DRAWINGS FOR APPROVAL FOR PLUMBING FIXTURES, FURNACES, GRILLES, AND REGISTERS, FANS, AC UNITS, COILS, AND THERMOSTATS.
- PIPING MATERIALS
  - SANITARY LINES: SCHEDULE 40 PVC
  - SOIL, WASTE, AND VENT: SCHEDULE 40 PVC
  - GAS ABOVE GROUND: SCHEDULE 40 BLACK STEEL WITH MALLEABLE IRON FITTINGS OR TRAC
  - GAS BELOW GROUND: SCHEDULE 40 BLACK STEEL TARRD AND WRAPPED OR TRAC.
- SANITARY AND WASTE LINE SHALL PITCH DOWN NOT LESS THAN 1/8" PER FOOT IN THE DIRECTION OF LOW AND SHALL BE PROVIDED WITH ACCESSIBLE CLEANOUTS AT ALL TURNS AND EVERY 50' ON STRAIGHT RUNS. PROVIDE VENTS AS SHOWN IN THE DRAWINGS OR REQUIRED BY THE PLUMBING CODE. VENTS EXTENDING THROUGH ROOF SHALL BE PVC.
- ALL DOMESTIC WATER PIPING SHALL BE PROPERLY STERILIZED BEFORE BEING PUT INTO SERVICE.
- ALL DOMESTIC LINES, EXPOSED, IN IMMEDIATE PROXIMITY TO FIXTURES SHALL BE CHROME PLATED.
- GAS PIPING SHALL HAVE DRIPS AT BOTTOM OF GAS RISERS. BRANCHES SHALL BE TAKEN FROM TOP OR SIDE OF HORIZONTAL PIPE. PROVIDE SHUTOFF VALVES FOR EACH PIECE OF GAS BURNING EQUIPMENT. CAP ALL GAS PIPING OUTLETS AT ALL CONNECTIONS UNTIL CONNECTED TO GAS APPLIANCES.
- THE CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH CONDITIONS WHICH WILL AFFECT THE WORK HE IS TO PERFORM. THE SUBMISSION OF A PROPOSAL BY THIS CONTRACTOR SHALL BE CONCLUSIVE EVIDENCE THAT THIS CONTRACTOR HAS VISITED THE SITE AND HAS GIVEN CONSIDERATION AND EVALUATION OF THESE CONDITIONS IN THE PREPARATION OF HIS PROPOSAL. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE IN HIS BEHALF FOR EXTRA EXPENSE INCURRED DUE TO FAILURE OF NEGLECT ON HIS PART TO MAKE THIS VISIT AND EXAMINATION.
- PLUMBING FIXTURES SHALL BE AN AMERICAN STANDARD, GERBER, MANSFIELD, KOHLER, ELKAY, WADE, AO SMITH, OR ZURN AS SPECIFIED ON DRAWINGS.
- EXHAUST FANS SHALL BE EQUAL TO BROAN, PATTON, CARNES, GREENHECK, OR ACME. NOTE: SOME FANS DO NOT HAVE EQUALS ALLOWED- SEE PLANS.

EF-A EQUAL TO 'NUTONE', LO-SONE, 0.25 SONES, 120 VOLT. NO SUBSTITUTIONS ALLOWED. SWITCH AS SHOWN ON PLANS. PROVIDE 8"X8" DISCHARGE GRILLE WITH BIRDSCREEN IN SOFFITS. 4" DIA DISCHARGE DUCT BACKDRAFT DAMPER, 120 VOLT, 25 WATTS, 80 CFM



**Mechanical Plan**  
Scale: 1/4" = 1'-0"

**campbell associates, inc.**  
engineers  
550 E. Frenchline Rd. Sandusky, Michigan 48471  
Voice: (810) 648-5099

Building Improvements for:  
**Janeise Daniles**

Location: 3476 Fort St. Lincoln Park, MI 48416  
General Contractor: Curtis Holmes 313-750-0135



Copy right 2019  
Every effort has been made to ensure the accuracy of these plans. However, it is the responsibility of the Contractor to review and verify all dimensions and structure prior to the start of construction. Notify the Architect immediately where concerns or discrepancies may occur. Do Not scale this print. Use figured dimensions only.

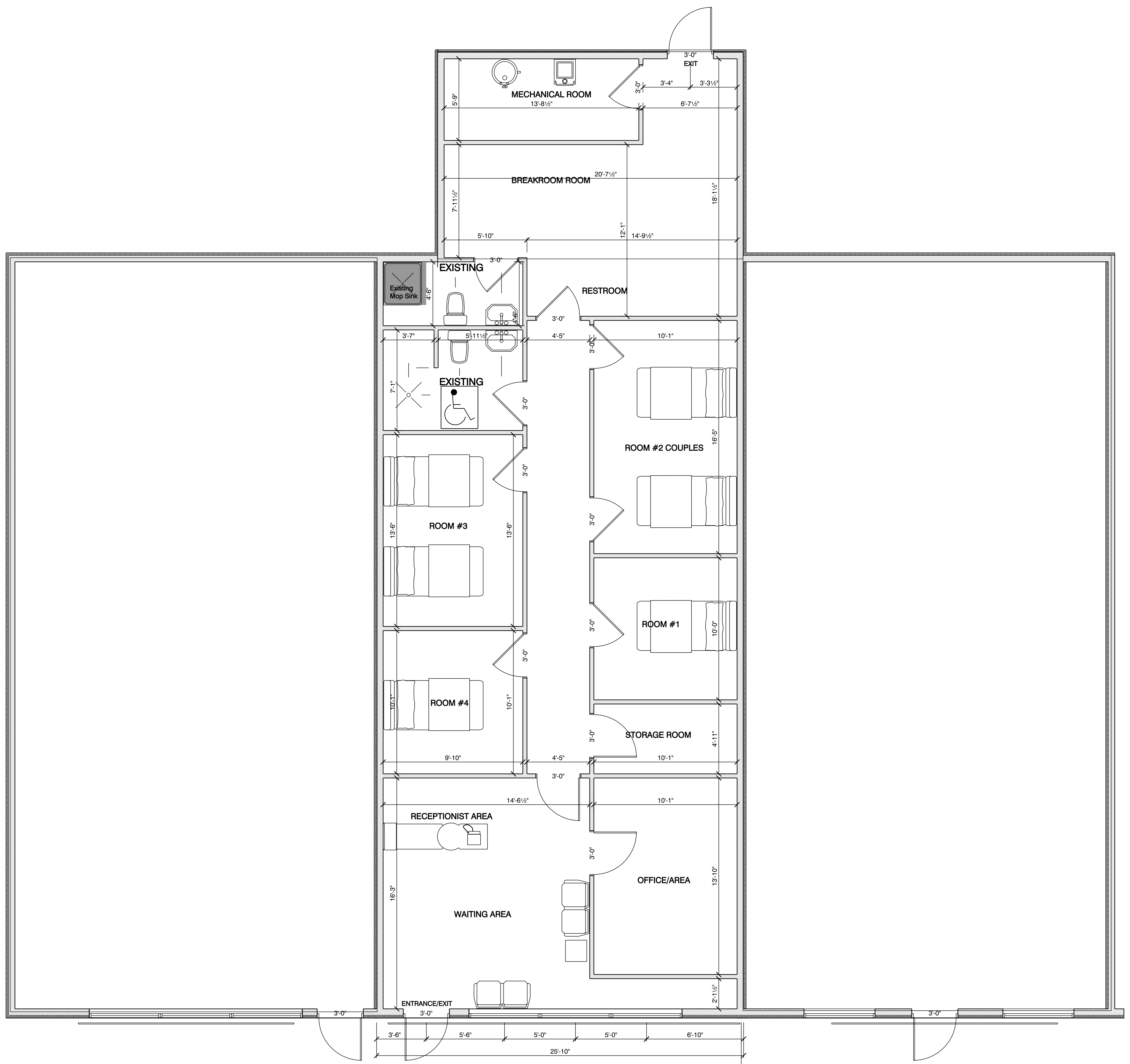
Issue:  
31OCT2019

Revisions:

Sheet Contents:  
**Mechanical Plan**

Project Number: 2019-123  
Drawn by: OEC  
Date: 31OCT2019  
Sheet Number:

ORIN E. CAMPBELL ARCHT. # 52864  
CAMPBELL ASSOCIATES, INC.  
550 E. FRENCHLINE RD.  
SANDUSKY, MI. 48471  
810.648.5099



**FLOOR LAYOUT** **1670 sq ft**

Case No. PPC19-0008

Date Submitted 11-14-19

**City of Lincoln Park**

**APPLICATION FOR SITE PLAN REVIEW**

**NOTICE TO APPLICANT:** Applications for Site Plan Review by the Planning Commission must be submitted to the City in *substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

**TO BE COMPLETED BY APPLICANT:**

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: Janise N. Daniels  
Mailing Address: 9426 Lisa Street Romulus MI 48174  
Email: relaxation1217@aol.com  
Telephone: 313-404-3699 Fax: 947-282-8873

Property Owner(s) Name (if different from Applicant): N/A  
Mailing Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Applicant(s) Explanation of Legal Interest in Property:  
Owner of J.D. Madison Investments, LLC 100% ownership

Location of Property: Street Address: 3476 Fort Street Lincoln Park MI 48146  
Nearest Cross Streets: Between Southfield road and Emmons  
Sidwell Number (Parcel ID#): 82 45 016 01 0374 000

→ Property Description:  
If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

Sub No. 11 PC 48 L63 P61 WCR

Property Size (Square Ft): 2710 sqft (Acres): 0.06

**Existing Zoning (please check):**

- |  |  |
|--|--|
| <input type="checkbox"/> SFRD Single Family Residential District       | <input type="checkbox"/> RBD Regional Business District  |
| <input type="checkbox"/> MFRD Multiple Family Residential District     | <input type="checkbox"/> CBD Central Business District   |
| <input type="checkbox"/> MHRD Mobile Home Park District                | <input type="checkbox"/> GID General Industrial District |
| <input checked="" type="checkbox"/> NBD Neighborhood Business District | <input type="checkbox"/> LID Light Industrial District   |
| <input type="checkbox"/> MBD Municipal Business District               | <input type="checkbox"/> CSD Community Service District  |
| <input type="checkbox"/> PUD Planned Unit Development District         |  |

Present Use of Property: Not in use currently

Proposed Use of Property: Massage therapy

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial		1700	3
Industrial			
Other			

Professionals Who Prepared Plans:

A. Name: ORIN E. CAMPBELL, CAMPBELL ASSOCIATES, INC

Mailing Address: 550 E. FRENCHLINE RD  
SANDUSKY, MI 48471

→ Email Address: peacesdesigns76@gmail.com

Telephone: 810-548-5099 Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_

B. Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Address: \_\_\_\_\_

\_\_\_\_\_ Email \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_

C. Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_

**ATTACH THE FOLLOWING:**


1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. **A brief written description** of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:
  - G Wayne County Road Commission                      G Wayne County Drain Commission
  - G ~~Wayne County Health Division~~                      G ~~Michigan Department of Natural Resources~~
  - G Michigan Department of Transportation              G Michigan Department of Environmental Quality

**PLEASE NOTE:** The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

**APPLICANT'S ENDORSEMENT:**

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

 _____ Signature of Applicant	<u>Nov. 1, 2019</u> _____ Date
_____ Signature of Applicant	_____ Date
_____ Signature of Property Owner Authorizing this Application	_____ Date

RECEIVED

**TO BE COMPLETED BY THE CITY**

Date Submitted: <u>NOV 14 2019</u>	Case No. _____
Fee Paid: <u>\$ 3,150.00</u>	Date of Public Hearing: _____
By  CITY OF LINCOLN PARK BUILDING DEPARTMENT <b>PLANNING COMMISSION ACTION</b>	
Approved: _____	Denied: _____ Date of Action: _____

**Property at 3476 Fort Street Lincoln Park, MI 48146**

**Proposed use-** Massage Therapy facility operating between the hours of 9 am and 9 pm Sunday through Saturday. Largest shift of employees will be three with three company vehicles.

I would like this building zoned for massage therapy.

**Sita Data-** Trash receptacle will be located in the rear of the building

Parking is located at the rear of the building with three parking spaces already existing.

**Information concerning utilities, drainage, and related issues** are unknown because it is an existing structure.

MICHIGAN REAL ESTATE TRANSFER TAX  
Wayne County County Tax Stamp #518968  
05/10/2019  
Receipt# 19-151784 L: 55040 P: 1049  
State Tax: \$282.50 County Tax: \$38.50



DEED OF PERSONAL REPRESENTATIVE OR CONSERVATOR  
*sent 12/10/17*

KNOW ALL MEN BY THESE PRESENTS, THAT Walter Sakowski, Personal Representative of the Estate of Lawanda F. Hamlet, WCPC #2018-841430-DE whose address is 15244 Middlebelt, Livonia, Michigan, 48154 in pursuance of an order of the Probate Court for the County of Wayne, in the State of Michigan, made on the 26 day of APRIL, A.D., 2019, and in pursuance of, and after a full compliance with all provisions of the law, requisite to a valid sale of the real estate hereinafter mentioned, and in consideration of the sum of Thirty-Five Thousand (\$35,000.00) Dollars paid to Estate of Lawanda F. Hamlet, Deceased, WCPC #2018-841430-DE by J.D. Madison Investments, L.L.C, a Michigan Corporation, whose address is 24901 Northwestern Highway, Suite 315, Southfield, MI 48075 the receipt whereof is hereby acknowledged, do hereby grant, bargain, sell and convey unto the said J.D. Madison Investments, L.L.C, a Michigan Corporation, its heirs and assigns, FOREVER all of a certain piece or parcel of land situated in the City of Lincoln Park County of Wayne and State of Michigan, described as follows, to-wit:

Lot 374 Assessors Fort Superhighway Subdivision No. 11 PC 48 as recorded in Liber 63, Page 61 of Plats, Wayne County Records.

Commonly known as: 3476 Fort Street, Lincoln Park, MI 48146

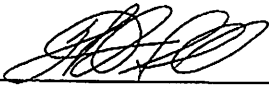
Parcel Number: 45 016 01 0374 000

This is to certify that there are no delinquent property taxes owed to our office on this property for five years prior to the date of this instrument. No representation is made as to the status of any tax liens or titles owed to any other entities.  
No. 9253 *Tom Riddle* 2018 Not Examined  
Date 5-8-19 WAYNE COUNTY TREASURER Clerk RB

TO HAVE AND TO HOLD, the above granted premises, and appurtenances, to said J.D. Madison Investments, L.L.C, a Michigan Corporation, its heirs and assigns, FOREVER. And I do hereby covenant with the said J.D. Madison Investments, L.L.C, a Michigan Corporation that I will WARRANT AND DEFEND the said granted premises, and appurtenances, unto the said heirs and assigns, FOREVER, against the lawful claims and demands of all persons claiming by, from or under the Estate of Lawanda F. Hamlet, Deceased, WCPC #2018-841430-DE but against no other persons.

IN TESTIMONY WHEREOF I have hereunto set my hand and seal at LIVONIA in the County of Wayne and State of Michigan, this 26 day of APRIL, A.D., 2019.


Signed, Sealed and Delivered  
in Presence of

  
WALTER SAKOWSKI, Personal Representative,  
Estate of Lawanda F. Hamlet, Deceased  
WCPC #2018-841430-DE

STATE OF MICHIGAN )  
                          )  
COUNTY OF WAYNE )

On this 26 day of April, A.D., 2019, before me a notary public in and for said County, personally appeared Walter Sakowski, Personal Representative of the Estate of Lawanda F. Hamlet, Deceased, WCPC #2018-841430-DE known to me to be the person who executed the foregoing instrument, and acknowledged the same to be his free act and deed, as in said instrument described.

TONIA AUDIA ALOE  
NOTARY PUBLIC, STATE OF MI  
COUNTY OF WAYNE  
MY COMMISSION EXPIRES Jan 6, 2022  
ACTING IN COUNTY OF Wayne

  
Notary Public, State of Michigan  
County, \_\_\_\_\_  
Acting in the County of \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_



Parcel Number: 82 45 016 01 0374 000

Jurisdiction: LINCOLN PARK

County: WAYNE

Printed on

11/14/2019

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.		
HAMLET, LAWANDA F.	J.D. MADISON INVESTMENTS	35,000	05/10/2019	DPR	14-TRANS AFFIDAVIT		OTHER/L-4260	0.0		
HAMLET, LAWANDA F.		35,000	04/26/2019	PTA	06-TO/FRM TRUST/EST		OTHER/L-4260	100.0		
SMILEY, ROBERT A & JOANNE	HAMLET, LAWANDA F.	43,000	04/30/2015	PTA	11-OTHER/SEE NOTES		OTHER/L-4260	100.0		
MALUCHNIK, FRED	ROBERT SMILEY & ASSOC	0	07/07/2000	LCM	09-NO CONSIDERATION	200272174	DEED	100.0		
Property Address	Class: COMMERCIAL REAL	Zoning:	Building Permit(s)	Date	Number	Status				
3476 FORT	School: 45-LINCOLN PARK									
	P.R.E. 0%									
Owner's Name/Address	MAP #:									
J.D. MADISON INVESTMENTS LLC 24901 NORTHWESTERN HIGHWAY #315 SOUTHFIELD MI 48075		2020 Est TCV 103,098 TCV/TFA: 47.36								
	X Improved	Vacant	Land Value Estimates for Land Table 00270.COMMERCIAL (2000-1.17)							
	Public Improvements		* Factors *							
	Dirt Road		Description	Frontage	Depth	Front Depth	Rate	%Adj.	Reason	Value
	Gravel Road		Rate Table 5.00			2710 SqFt	5.05000	100		13,686
	Paved Road		0.06 Total Acres Total Est. Land Value =							13,686
	Storm Sewer		Land Improvement Cost Estimates							
	Sidewalk		Description	Rate	Size	% Good	Cash Value			
	Water		D/W/P: Asphalt Paving	2.68	540	48	695			
	Sewer		Total Estimated Land Improvements True Cash Value =							695
	Electric									
	Gas									
	Curb									
	Street Lights									
	Standard Utilities									
	Underground Utils.									
	Topography of Site									
	Level									
	Rolling									
	Low									
	High									
	Landscaped									
	Swamp									
	Wooded									
	Pond									
	Waterfront									
	Ravine									
	Wetland									
	Flood Plain									
	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value			
	Who	When	What	2020	6,800	44,700	51,500			51,500S
				2019	6,800	45,200	52,000			39,769C
				2018	6,800	36,600	43,400			38,837C
				2017	12,200	29,500	41,700			38,039C

The Equalizer. Copyright (c) 1999 - 2009.  
Licensed To: City of Lincoln Park, County of Wayne, Michigan

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



**MICHIGAN** MI  
USA

**DRIVER LICENSE**

**NOT FOR FEDERAL IDENTIFICATION**



**D 542 368 622 957**

**ISS 12-11-2017**

**DOB 12-17-1984**

**EXP 12-17-2021**

121784

**JANEISE NATICE DANIELS**

**9426 LISA ST  
ROMULUS, MI 48174-1575**

**Sex F**

**Hgt 411**

**Eyes BRO**

**Lic Type 0**

**End NONE**

**Restrictions NONE**

*J. Daniels*

**DD: 0000156204831**

**Rev 01-21-2011**

D54236862295719841217211201



12-17-1984



**MEDICAL  
ALERT**

ENCODED DATA: BIRTH,  
EXPIRATION, REVISION  
& TRANSACTION DATES;  
DL/ID CARD #; NAME;  
ADDRESS; GENDER;  
ISSUING STATE &  
INVENTORY  
CONTROL #,  
COMPLIANCY INDICATOR,  
DURATION INDICATOR.

DL  
12-17-1984



This space available for change of address label.

Card does not contain Radio Frequency Identification (RFID) Technology.

Case No. PPC19-0008

Date Submitted 11-14-19

**City of Lincoln Park**

**APPLICATION FOR SITE PLAN REVIEW**

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- |  |  |
|--|--|
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Commercial		1700	3
Industrial			
Other			

Professionals Who Prepared Plans:

A. Name: ORIN E. CAMPBELL, CAMPBELL ASSOCIATES, INC

Mailing Address: 550 E. PRENCHLINE RD  
SANDUSKY, MI 48471

→ Email Address: peacesdesigns76@gmail.com

Telephone: 810-548-5099 Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_

B. Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Address: \_\_\_\_\_

\_\_\_\_\_ Email \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_

C. Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Primary Design Responsibility: \_\_\_\_\_

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 _____ Signature of Applicant	<u>Nov. 1, 2019</u> _____ Date
_____ Signature of Applicant	_____ Date
_____ Signature of Property Owner Authorizing this Application	_____ Date

RECEIVED

**TO BE COMPLETED BY THE CITY**

Date Submitted: <u>NOV 14 2019</u>	Case No. _____
Fee Paid: <u>\$ 3,150.00</u>	Date of Public Hearing: _____
By  CITY OF LINCOLN PARK BUILDING DEPARTMENT <b>PLANNING COMMISSION ACTION</b>	
Approved: _____	Denied: _____ Date of Action: _____

**Property at 3476 Fort Street Lincoln Park, MI 48146**

**Proposed use-** Massage Therapy facility operating between the hours of 9 am and 9 pm Sunday through Saturday. Largest shift of employees will be three with three company vehicles.

I would like this building zoned for massage therapy.

**Sita Data-** Trash receptacle will be located in the rear of the building

Parking is located at the rear of the building with three parking spaces already existing.

**Information concerning utilities, drainage, and related issues** are unknown because it is an existing structure.



MICHIGAN REAL ESTATE TRANSFER TAX  
Wayne County County Tax Stamp #518968  
05/10/2019  
Receipt# 19-151784 L: 55040 P: 1049  
State Tax: \$282.50 County Tax: \$38.50



DEED OF PERSONAL REPRESENTATIVE OR CONSERVATOR  
*sent 12/17*

KNOW ALL MEN BY THESE PRESENTS, THAT Walter Sakowski, Personal Representative of the Estate of Lawanda F. Hamlet, WCPC #2018-841430-DE whose address is 15244 Middlebelt, Livonia, Michigan, 48154 in pursuance of an order of the Probate Court for the County of Wayne, in the State of Michigan, made on the 26 day of APRIL, A.D., 2019, and in pursuance of, and after a full compliance with all provisions of the law, requisite to a valid sale of the real estate hereinafter mentioned, and in consideration of the sum of Thirty-Five Thousand (\$35,000.00) Dollars paid to Estate of Lawanda F. Hamlet, Deceased, WCPC #2018-841430-DE by J.D. Madison Investments, L.L.C, a Michigan Corporation, whose address is 24901 Northwestern Highway, Suite 315, Southfield, MI 48075 the receipt whereof is hereby acknowledged, do hereby grant, bargain, sell and convey unto the said J.D. Madison Investments, L.L.C, a Michigan Corporation, its heirs and assigns, FOREVER all of a certain piece or parcel of land situated in the City of Lincoln Park County of Wayne and State of Michigan, described as follows, to-wit:

Lot 374 Assessors Fort Superhighway Subdivision No. 11 PC 48 as recorded in Liber 63, Page 61 of Plats, Wayne County Records.

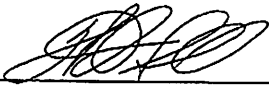
Commonly known as: 3476 Fort Street, Lincoln Park, MI 48146  
Parcel Number: 45 016 01 0374 000

This is to certify that there are no delinquent property taxes owed to our office on this property for five years prior to the date of this instrument. No representation is made as to the status of any tax liens or titles owed to any other entities.  
No. 9253 *Travis R. Nelson* 2018 Not Examined  
Date 5-8-19 WAYNE COUNTY TREASURER Clerk RB

TO HAVE AND TO HOLD, the above granted premises, and appurtenances, to said J.D. Madison Investments, L.L.C, a Michigan Corporation, its heirs and assigns, FOREVER. And I do hereby covenant with the said J.D. Madison Investments, L.L.C, a Michigan Corporation that I will WARRANT AND DEFEND the said granted premises, and appurtenances, unto the said heirs and assigns, FOREVER, against the lawful claims and demands of all persons claiming by, from or under the Estate of Lawanda F. Hamlet, Deceased, WCPC #2018-841430-DE but against no other persons.

IN TESTIMONY WHEREOF I have hereunto set my hand and seal at LIVONIA in the County of Wayne and State of Michigan, this 26 day of APRIL, A.D., 2019.

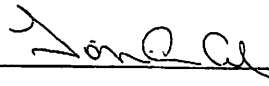
Signed, Sealed and Delivered  
in Presence of

  
WALTER SAKOWSKI, Personal Representative,  
Estate of Lawanda F. Hamlet, Deceased  
WCPC #2018-841430-DE

STATE OF MICHIGAN )  
COUNTY OF WAYNE )

On this 26 day of April, A.D., 2019, before me a notary public in and for said County, personally appeared Walter Sakowski, Personal Representative of the Estate of Lawanda F. Hamlet, Deceased, WCPC #2018-841430-DE known to me to be the person who executed the foregoing instrument, and acknowledged the same to be his free act and deed, as in said instrument described.

TONIA AUDIA ALOE  
NOTARY PUBLIC, STATE OF MI  
COUNTY OF WAYNE  
MY COMMISSION EXPIRES Jan 6, 2022  
ACTING IN COUNTY OF Wayne

  
Notary Public, State of Michigan  
County, \_\_\_\_\_  
Acting in the County of \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

Parcel Number: 82 45 016 01 0374 000

Jurisdiction: LINCOLN PARK

County: WAYNE

Printed on

11/14/2019

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.		
HAMLET, LAWANDA F.	J.D. MADISON INVESTMENTS	35,000	05/10/2019	DPR	14-TRANS AFFIDAVIT		OTHER/L-4260	0.0		
HAMLET, LAWANDA F.		35,000	04/26/2019	PTA	06-TO/FRM TRUST/EST		OTHER/L-4260	100.0		
SMILEY, ROBERT A & JOANNE	HAMLET, LAWANDA F.	43,000	04/30/2015	PTA	11-OTHER/SEE NOTES		OTHER/L-4260	100.0		
MALUCHNIK, FRED	ROBERT SMILEY & ASSOC	0	07/07/2000	LCM	09-NO CONSIDERATION	200272174	DEED	100.0		
Property Address	Class: COMMERCIAL REAL	Zoning:	Building Permit(s)	Date	Number	Status				
3476 FORT	School: 45-LINCOLN PARK									
	P.R.E. 0%									
Owner's Name/Address	MAP #:									
J.D. MADISON INVESTMENTS LLC 24901 NORTHWESTERN HIGHWAY #315 SOUTHFIELD MI 48075		2020 Est TCV 103,098 TCV/TFA: 47.36								
	X Improved	Vacant	Land Value Estimates for Land Table 00270.COMMERCIAL (2000-1.17)							
	Public Improvements		* Factors *							
	Dirt Road		Description	Frontage	Depth	Front Depth	Rate	%Adj.	Reason	Value
	Gravel Road		Rate Table 5.00			2710 SqFt	5.05000	100		13,686
	Paved Road		0.06 Total Acres Total Est. Land Value =							13,686
	Storm Sewer		Land Improvement Cost Estimates							
	Sidewalk		Description	Rate	Size	% Good	Cash Value			
	Water		D/W/P: Asphalt Paving	2.68	540	48	695			
	Sewer		Total Estimated Land Improvements True Cash Value =							695
	Electric									
	Gas									
	Curb									
	Street Lights									
	Standard Utilities									
	Underground Utils.									
	Topography of Site									
	Level									
	Rolling									
	Low									
	High									
	Landscaped									
	Swamp									
	Wooded									
	Pond									
	Waterfront									
	Ravine									
	Wetland									
	Flood Plain									
	Who	When	What	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
				2020	6,800	44,700	51,500			51,500S
				2019	6,800	45,200	52,000			39,769C
				2018	6,800	36,600	43,400			38,837C
				2017	12,200	29,500	41,700			38,039C

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\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Desc. of Bldg/Section: Calculator Occupancy: Stores - Retail				<<<<< Calculator Cost Computations >>>>>				
Class: C Floor Area: 2,177 Gross Bldg Area: 2,177 Stories Above Grd: 1 Average Sty Hght : 12 Bsmnt Wall Hght				Class: C    Quality: Average Stories: 1    Story Height: 12    Perimeter: 220 Overall Building Height: 14				
Construction Cost				Base Rate for Upper Floors = 101.70				
		High	Above Ave.	Ave.	X	Low		
Depr. Table : 3% Effective Age : 32 Physical %Good: 38 Func. %Good : 100 Economic %Good: 100				** ** Calculator Cost Data ** ** Quality: Average Heat#1: Zoned A.C. Warm & Cooled Air 100 Heat#2: Zoned A.C. Warm & Cooled Air 0% Ave. SqFt/Story: 2177 Ave. Perimeter: 220 Has Elevators:				
1947 Year Built Remodeled				(10) Heating system: Zoned A.C. Warm & Cooled Air    Cost/SqFt: 23.00    100% Adjusted Square Foot Cost for Upper Floors = 124.70				
14 Overall Bldg Height		Area: Perimeter: Type: Heat: Hot Water, Radiant Floor		Total Floor Area: 2,177    Base Cost New of Upper Floors =    271,472		Eff. Age: 32    Phy. %Good/Abnr. Phy./Func./Econ./Overall %Good: 38 /100/100/100/38.0 Total Depreciated Cost =    103,159		
Comments:				ECF (ALL COMMERCIAL 1.0650)    0.860 => TCV of Bldg: 1 =    88,717 Replacement Cost/Floor Area= 124.70    Est. TCV/Floor Area= 40.75				
*** Basement Info ***								
* Mezzanine Info *								
* Sprinkler Info *								
Area #1: Type #1: Area #2: Type #2: Area: Type: Average								
(1) Excavation/Site Prep:		(7) Interior:		(11) Electric and Lighting:		(39) Miscellaneous:		
(2) Foundation:		(8) Plumbing:		Outlets:                      Fixtures:				
X	Poured Conc	Brick/Stone	Block	Many Above Ave.	Average Typical	Few None		
(3) Frame:		Total Fixtures 3-Piece Baths 2-Piece Baths Shower Stalls Toilets		Urinals Wash Bowls Water Heaters Wash Fountains Water Softeners		Few Average Many Unfinished Typical		
(4) Floor Structure:				Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct		Incandescent Fluorescent Mercury Sodium Vapor Transformer		
(5) Floor Cover:		(9) Sprinklers:		(13) Roof Structure:    Slope=0		(40) Exterior Wall:		
(6) Ceiling:		(10) Heating and Cooling:		(14) Roof Cover:		Thickness	Bsmnt Insul.	
		Gas Oil	Coal Stoker	Hand Fired Boiler				

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

**MICHIGAN** MI  
USA

**DRIVER LICENSE**

**NOT FOR FEDERAL IDENTIFICATION**



**D 542 368 622 957**

**ISS 12-11-2017**

**DOB 12-17-1984**

**EXP 12-17-2021**

121784

**JANEISE NATICE DANIELS**

**9426 LISA ST  
ROMULUS, MI 48174-1575**

**Sex F**

**Hgt 411**

**Eyes BRO**

**Lic Type 0**

**End NONE**

**Restrictions NONE**

*J. Daniels*

**DD# 0000156204831**

**Rev 01-21-2011**

D54236862295719841217211201



12-17-1984



**MEDICAL  
ALERT**

ENCODED DATA: BIRTH,  
EXPIRATION, REVISION  
& TRANSACTION DATES;  
DL/ID CARD #; NAME;  
ADDRESS; GENDER;  
ISSUING STATE &  
INVENTORY  
CONTROL #,  
COMPLIANCY INDICATOR,  
DURATION INDICATOR.

FD  
IM



This space available for change of address label.

Card does not contain Radio Frequency Identification (RFID) Technology.

## 1296.01 SITE PLAN REVIEW.

(a) Purpose and Intent.

The purpose of site plan review is to promote the stability of land values and investments and the general welfare by ensuring the orderly development and redevelopment of the City in compliance with this Zoning Code, and consistent with the character of the City and with the goals and design guidelines in the Master Plan.

(b) Applicability and Authority.

(1) Site Plan Required. A site plan as described in section 1296.01(d) is required prior to any of the following activities:

- A. The erection of any building or structure in any zoning district for any principal permitted use in the City.
- B. Any land use requiring special approval, conditional rezoning, or planned unit development, other than one single-family residence and accessory buildings and structures thereto, subject to the procedures set forth in this section unless otherwise provided in paragraph (b)(2) hereof.
- C. Establishment of any regulated use unless expressly exempted in this Article.
- D. Development of non-residential uses in a residential zoning district.
- E. Any development that would, if approved, provide for the establishment of more than one (1) principal use on a parcel, such as, a single-family site condominium or similar project where a single parcel is developed to include two (2) or more sites for detached single family dwellings, excluding accessory dwelling units.
- F. The development or construction of any accessory uses or structures, except for uses or structures that are accessory to a residential use.
- G. Any use or construction for which submission of a site plan is required by any provision of these regulations.

(2) Site Plan Not Required. Site plan approval is not required for the following activities; instead, a sketch plan as described in section 1296.01(d) may be required.

- A. A change in the ownership of land or a structure.
- B. Site or building improvements which increase or maintain conformity with the Zoning Code.
- C. A change in the use of a structure to a use allowed by right in the zoning district in which it is located, and which is deemed similar to the previous use by the Building Superintendent or designee, provided that no modification to the site is proposed or required by the standards of this Ordinance and that the site maintains full and continuing compliance with this regulations.
- D. Constructing, moving, relocating, or structurally altering a principal residential structure, including any customarily incidental accessory structures and also including excavating, filling, or otherwise removing soil where such activity is normally and customarily incidental.
- E. Permitted home occupations.

(3) Approval Authority.

- A. Administrative. The Building Official or designee shall have the authority to approve all sketch plans. The Building Official or designee shall also have the authority to approve site plans meeting the criteria in this section. Nothing in this section shall be construed to prevent the consideration of a proposal by the Planning Commission.

1. The use is permitted by right in the established zoning district;

2. The proposal conforms to all requirements and specifications of this ordinance and does not require waivers or other consideration reserved to the Planning Commission or other authority; and
  3. The proposal will result in an increase in floor area of less than 1,000 square feet or 5% of the existing floor area, whichever is less.
- B. Planning Commission. The Planning Commission shall have the authority to approval all proposals for development permitted by right and by Special Land Use approval. For all proposals for Conditional Rezoning and Planned Unit Development, the Planning Commission shall make a recommendation as to approval to City Council.
- C. City Council. City Council shall have the authority to approve Planned Unit Developments in accordance with Chapter 1288 and to Conditional Rezonings in accordance with Chapter 1289.
- (4) Approval Table. The following table summarizes types of uses and the type of review each requires.

Type of Use	Type of Submittal	Approval Authority
1. Single-Family Detached Dwellings	Sketch Plan	Administrative
2. Single-Family Attached Dwellings, Two-Family Dwellings	Site Plan	Administrative
3. Multiple-Family Dwelling Units	Site Plan	Administrative or Planning Commission, per 1296.01(3)(a)
4. Principal Non-Residential Uses in New Structures	Site Plan	Planning Commission
5. Change of Use – permitted uses within district	Site Plan	Administrative or Planning Commission, per 1296.01(3)(a)
6. Multiple Principal Uses	Site Plan	Planning Commission
7. Non-Residential Uses in Residential Districts	Site Plan	Planning Commission
8. Expansion of an existing use, other than single- and two-family dwellings	Site Plan	Administrative or Planning Commission, per 1296.01(3)(a)
9. Accessory Structures for Residential Buildings	Sketch Plan	Administrative
10. Accessory Structures for Non-Residential Buildings	Site Plan	Planning Commission
11. Parking Lots – repairing, resurfacing, restriping, curbing	Sketch Plan	Administrative
12. Parking Lots – reconstructing	Site Plan	Planning Commission
13. Site and Building Improvements	Sketch Plan	Administrative
14. Special Land Uses	Conceptual Plan, Site Plan	Planning Commission
15. Planned Unit Developments	Conceptual Plan, Site Plan, PUD Agreement	Planning Commission, City Council
16. Conditional Rezoning	Site Plan, CR Agreement	Planning Commission, City Council

- (c) Standards for Site Plan Approval.

The following criteria shall be used as a basis upon which site plans will be reviewed and approved.

- (1) Adequacy of information. The site plan shall include all required information in sufficiently complete and understandable form to provide an accurate description of the proposed uses and structures.
- (2) Site design characteristics. All elements of the site design shall be harmoniously and efficiently organized in relation to topography, the size and type of parcel, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted by this section.
- (3) Appearance. Landscaping, earth berms, fencing, signs, walls, and other site features shall be designed and located on the site so that the proposed development is aesthetically pleasing and harmonious with nearby existing or future developments.
- (4) Compliance with district requirements. The site plan shall comply with the district requirements for minimum floor space, height of building, lot size, open space, density and all other requirements set forth in the Schedule of Regulations (Section 1294.32), except as provided elsewhere in this section.
  - A. Site condominiums.
    1. In the case of site condominiums, these regulations shall be applied by requiring the site condominium unit and a surrounding limited common element to be equal in size to the minimum lot size and lot width requirements for the district in which the project is located. The site condominium unit shall be equivalent to the area of the lot where a principal building can be constructed and there shall be a limited common element associated with each site condominium unit which shall be at least equivalent to the minimum yard area requirements.
    2. In addition, site condominium projects shall comply with the applicable design standards which have been developed for similar types of development in the City, as described in the City Subdivision Ordinance, the City Engineering Design Specifications, and other applicable ordinances and regulations, including requirements for streets, blocks, lots, utilities, and storm drainage. These requirements and specifications are hereby incorporated and are made a part of this section by reference.
  - B. Detached condominiums.
    1. In the case of detached condominiums, these regulations shall be applied by requiring that the detached condominium units comply with the requirements governing minimum distance between buildings, attachment of buildings, and other applicable requirements for the district in which the project is located. Furthermore, proposed detached condominium projects shall not exceed the maximum permitted density for the district in which the project is located.
    2. In addition, site condominium projects shall comply with the applicable design standards which have been developed for similar types of development in the City, as described in the City Subdivision Ordinance, the City Engineering Design Specifications, and other applicable ordinances and regulations, including requirements for streets, blocks, lots, utilities, and storm drainage. These requirements and specifications are hereby incorporated and are made a part of this section by reference.
  - C. Condominium document review and approval.



1. The Planning Commission shall review the final condominium documents to determine compliance with site plan approval and City and State of Michigan condominium development requirements. The Planning Commission shall approve or deny the request for final approval of the condominium documents. Condominium documents include the Condominium Subdivision Plan (Exhibit B drawing), Master Deed and Bylaws.
  2. An application for condominium document review must be submitted to the Building Superintendent according to the requirements of paragraph (c)(3) and (4) hereof, as applicable, within one year after the date of approval of the condominium site plan by the Planning Commission, or such approval shall be deemed null and void, unless an extension subject to the requirements of paragraph (e)(6)C. hereof is granted.
  3. No installation or construction of any improvements or land balancing or grading shall be made or begun until the final condominium documents have been approved. No removal of trees and/or other vegetation shall be started at this time except for minor clearing required for surveying and staking purposes.
- (5) Privacy. The site design shall provide reasonable visual and sound privacy. Fences, walls, barriers, and landscaping shall be used, as appropriate, for the protection and enhancement of property and the safety and privacy of occupants and uses.
  - (6) Emergency Vehicle Access. All buildings or groups of buildings shall be so arranged as to permit convenient and direct emergency vehicle access.
  - (7) Circulation. Every structure or dwelling unit shall be provided with adequate means of ingress and egress via public streets and walkways. The site plan shall provide a pedestrian circulation system that is insulated as completely as is reasonably possible from the vehicular circulation system. The arrangement of public and common ways for vehicular and pedestrian access shall respect the pattern of existing or planned streets and pedestrian ways in the vicinity of the site. The width of streets and drives shall be appropriate for the volume of traffic they will carry.
  - (8) Barrier-free access. The site shall be designed to provide barrier-free parking and pedestrian circulation.
  - (9) Parking. The number and dimensions of off-street parking spaces shall be sufficient to meet the minimum required by this Zoning Code. Where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.
  - (10) Stormwater management. Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complement the natural drainage patterns and wetlands, and which prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.
  - (11) Soil erosion and sedimentation. The proposed development shall include measures to prevent soil erosion and sedimentation during and upon completion of construction, in accordance with current State (MDNR) Standards and City Code of Ordinances.
  - (12) Building design. The building design shall relate to the surrounding environment with regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials shall be incorporated into the new development. In

addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

- (13) Exterior lighting. Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.
- (14) Signs. The development meets all standards in the City's Sign Code.
- (15) Public Services. Adequate services and utilities, including water, sewage disposal, sanitary sewer, and stormwater control services, shall be available or provided, and shall be designed with sufficient capacity and durability to properly serve the development.
- (16) Screening. Off-street parking, loading and unloading areas, outside refuse storage areas, and other storage areas that are visible from adjacent homes or from public roads, shall be screened by walls or landscaping of adequate height.
- (17) Landscaping and open space. The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls, and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.
- (18) Danger from Fire and Hazards. The level of vulnerability to injury or loss from incidents involving fire and hazardous materials or processes shall not exceed the capability of the City to respond to such incidents so as to prevent injury and loss of life and property. In making such an evaluation, the City shall consider the location, type, characteristic, quantities, and use of materials or processes in relation to the personnel, training, equipment and materials, and emergency response plans and capabilities of the City. Sites that include significant storage of flammable or hazardous materials or waste, fuels, salt, or chemicals shall be designed to prevent spills and discharges of polluting materials to the ground, groundwater, and public sewer system. For businesses utilizing, storing, or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.
- (19) Health and safety concerns. Any use in any zoning district shall comply with applicable federal, state, county, and local health and pollution laws and regulations with respect to noise; dust, smoke, and other air pollutants; vibration; glare and heat; fire and explosive hazards; gases; electromagnetic radiation; radioactive materials; and, tox and hazardous materials.
- (20) Phases. All development phases shall be designed in logical sequence to ensure that each phase will independently function in a safe, convenient, and efficient manner without being dependent upon subsequent improvements in a later phase or on other sites.
- (21) Relationship to adjacent sites. All site features, including circulation, parking, building orientation, landscaping, lighting, utilities, common facilities, and open space shall be review with regard to any common relationship with adjacent properties.

(22) Other agency reviews. The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

(d) Application Requirements.

1. Site Plan Review. An application for site plan review, supplied by the Building Department, shall be submitted to the Building Superintendent with the required items presented in the table below. Required items shall be demonstrated on the site plan drawings, written narrative / submitted documentation, or both as indicated in the table. All site plan drawings shall be submitted on sheets twenty-four (24) by thirty-six (36) inches and in digital PDF format.
2. Conceptual Plan Review. Where a Conceptual Plan Review is included as a part of the Site Plan Review procedure, either as required by ordinance or requested by the applicant, the application for site plan review and required fees shall be submitted to the Building Superintendent with the required items presented in the table below. All site plan drawings shall be submitted on sheets twenty-four (24) by thirty-six (36) inches and in digital PDF format.
3. Sketch Plan Review. Where a conceptual plan or sketch plan is required by the procedures described in 1296.01(e), such required items are also described and shall include narrative/documentation. The applicant shall submit one (1) copy of the final sketch plan, reduced in size to eight and one-half (8 ½) by fourteen (14) inches.

SITE PLAN APPLICATION REQUIREMENTS					
Item	Description	Sketch Plan	Conceptual Plan	Site Plan	Narrative
<i>Descriptive and Identification Data</i>					
1	Applicant's name, address, and telephone number.	√	√	√	All
2	The name of the development.	√	√	√	All
3	The date(s) (submission and revisions), north point, and scale.	√	√	√	
	Scale shall be as follows: < 1 acre: One (1) inch = twenty (20) feet > 1 acre and < 3 acres: One (1) inch = thirty (30) feet > 3 acres: One (1) inch = fifty (50) feet			√	
4	A small location sketch of sufficient size and scale (within a one-quarter mile is suggested) showing the location of the area in relation to surrounding properties, streets, freeways, schools, school sites, and other significant features of the City, where appropriate.	√	√	√	
5	Legal and common description of property	√	√	√	
6	The dimensions of all lots and property lines, showing the relationship of the site to abutting properties. If the site is a part of a larger parcel, the plan should indicate the boundaries of total land holding.	√	√	√	

SITE PLAN APPLICATION REQUIREMENTS					
Item	Description	Sketch Plan	Conceptual Plan	Site Plan	Narrative
7	Size of property in net acreage (minus rights-of-way), total acreage (to the nearest one-tenth acre), and square feet	√	√	√	
8	Proximity to driveways serving adjacent parcels and to section corners and major thoroughfares.			√	
9	Zoning classification of applicant's parcel and all abutting parcels.	√	√	√	
10	A schedule for completing the project, including the phasing or timing of all proposed developments.				Sketch Site
11	Written description of proposed land use.				All
12	Notation of any variances which have or must be secured.				All
13	Identification and seal of architect, engineer, land surveyor, or landscape architect who prepared the plan.	√	√	√	
14	Current proof of ownership of the land to be utilized or evidence of a contractual arrangement to acquire such land.				All
<i>Site Data</i>					
15	Existing lot lines, building lines, structures, parking areas, and other improvements on the site and within 100 feet of the site.	√	√	√	
16	Front, side, and rear setback dimensions.	√	√	√	
17	Topography on the site and within 100 feet of the site at two-foot contour intervals, referenced to a U.S.G.S. benchmark.			√	
18	Proposed site plan features, including buildings, roadway widths and names, and parking areas.	√	√	√	
19	Dimensions and centerlines of roads and road rights-of-way.			√	
20	Acceleration, deceleration, and passing lanes, where required.			√	
21	Proposed location of driveway entrances and on-site driveways.			√	
22	Typical cross-section of proposed roads and driveways.			√	
23	Location of existing drainage courses, floodplains, lakes, and streams, with elevations.		√	√	
24	Location and dimensions of wetland areas. If deemed necessary because of site or soil conditions or because of the scope of the project, a detailed hydrology study may be required.		√	√	
25	Location of sidewalks within the site and within the right-of-way.		√	√	
26	Exterior lighting locations and method of shielding lights from shining off the site.			√	

SITE PLAN APPLICATION REQUIREMENTS					
Item	Description	Sketch Plan	Conceptual Plan	Site Plan	Narrative
27	Trash receptacle and/or transformer pad locations and method of screening, if applicable.			√	
28	Parking spaces, typical dimensions of spaces, indication of total number of spaces (including information needed to calculate required parking in accordance with Zoning Code standards), drives, and method of surfacing.			√	
29	General landscape plan showing the location and type of lawn/groundcover, landscaped areas, trees, and other live plant material.	√	√		
	Detailed landscape plan showing (1) the location of lawns and landscaped areas; (2) the location, size, type, and quantity of proposed shrubs, trees, and other live plant material; (3) the location, size, and type of existing trees five inches or greater in diameter, measured at one foot of the ground, before and after proposed development; and (4) cross section of proposed berms.			√	
30	Location and description of all easements for public right-of-way, utilities, access, shared access, and drainage.		√	√	
31	Designation of fire lanes.			√	
32	Loading / unloading area.			√	
33	The location of any outdoor storage of materials and method of screening.			√	
<i>Building and Structure Details</i>					
34	Location, height, and outside dimensions of all proposed buildings or structures.			√	
35	Indication of the number of stores and number of commercial or office units contained in the building.		√	√	All
36	Building floor plans, including total floor area.			√	
37	Location, size, height, and lighting of all proposed signs.			√	
38	Proposed fences and walls, including typical cross-section and height above the ground on both sides.			√	

SITE PLAN APPLICATION REQUIREMENTS					
Item	Description	Sketch Plan	Conceptual Plan	Site Plan	Narrative
39	Building facade elevations (scale: One (1) inch = four (4) feet). Elevations shall indicate type of building materials, roof design, projections, canopies, awnings and overhangs, screen walls and accessory building, and any outdoor or roof-located mechanical equipment, such as air conditioning units, heating units, and transformers, including the method of screening such equipment. Such equipment shall be screened from view of adjacent properties and public rights-of-way. Such screening shall be designed to be perceived as an integral part of the building design.	Only where façade changes are proposed		√	
<i>Information Concerning Utilities, Drainage, and Related Issues</i>					
40	Schematic layout of existing and proposed sanitary sewers and septic systems; water mains, well sites, and water service leads; hydrants that would be used by public safety personnel to service the site; and, the location of gas, electric, and telephone lines.		√	√	
41	Location of exterior drains, dry wells, catch basins, retention/ detention areas, sumps and other facilities designed to collect, store, or transport stormwater or wastewater. The point of discharge for all drains and pipes should be specified on the site plan.		√	√	
42	Indication of site grading and drainage patterns.		√	√	



SITE PLAN APPLICATION REQUIREMENTS					
Item	Description	Sketch Plan	Conceptual Plan	Site Plan	Narrative
43	<p>Information required for permission to commence any type of development within a flood hazard area:</p> <ul style="list-style-type: none"> <li>The elevation in relation to mean sea level of the floor, including basement, of all structures.</li> <li>A description of the extent to which any watercourse will be altered or relocated as a result of proposed development.</li> <li>Proof of development permission from appropriate local, state, and federal agencies as required by this Zoning Code, including a floodplain permit, approval, or letter of no authority from the Michigan Department of Energy, Great Lakes, and the Environment under authority of Act 245 of the Public Acts of 1929, as amended by Act 167 of the Public Acts of 1968, the Flood Plain Regulatory Authority.</li> <li>Base flood elevation data where the proposed development is subject to Act 288 of the Public Acts of 1967, the Subdivision Control Act, or greater than five acres in size.</li> </ul>				All
44	Soil erosion and sedimentation control measures.			√	Site
45	Proposed finish grades on the site, including the finish grades of all buildings, driveways, walkways, and parking lots.			√	
46	Listing of types and quantities of hazardous substances and polluting materials which will be used or stored on-site at the facility in quantities greater than twenty-five gallons per month.				All
47	Areas to be used for the storage, use, loading/unloading, recycling, or disposal of hazardous substances and polluting materials, including interior and exterior areas and underground storage tank locations.			√	
48	Delineation of areas on the site which are known or suspected to be contaminated, together with a report on the status of site cleanup.			√	
<i>Information Concerning Residential Development</i>					
49	The number, type, and location of each type of residential unit (one-bedroom units, two-bedroom units, etc.) and density calculations by type of residential unit (dwelling units per acre).		√	√	All
50	Lot coverage calculations.			√	

SITE PLAN APPLICATION REQUIREMENTS					
Item	Description	Sketch Plan	Conceptual Plan	Site Plan	Narrative
51	Floor plans of typical buildings with square feet of floor area.			√	
52	Garage and carport locations and details, if proposed.			√	
53	Pedestrian circulation system.		√	√	
54	Location and names of roads and internal drives with an indication of how the proposed circulation system will connect with the existing adjacent roads. The plan should indicate whether proposed roads are intended to be private or dedicated to the public.			√	
55	Community building location, dimensions, floor plans, and facade elevations, if applicable.			√	
56	Swimming pool fencing detail, including height and type of fence, if applicable.			√	
57	Location and size of recreation open areas, including an indication of type of recreation facilities proposed.			√	
<i>Information Concerning Mobile Home Parks</i>					
58	Location and number of pads for mobile homes.			√	
59	Distance between mobile homes.			√	
60	Proposed placement of mobile home on each lot.			√	
61	Average and range of size of mobile home lots.			√	
62	Density calculations (dwelling units per acre)			√	
63	Lot coverage calculations.			√	
64	Garage and carport locations and details, if proposed.			√	
65	Pedestrian circulation system.			√	
66	Location and names of roads and internal drives.			√	
67	Community building location, dimensions, floor plans, and facade elevations, if applicable.			√	
68	Swimming pool fencing detail, including height and type of fence, if applicable.			√	
69	Location and size of recreation open areas, including an indication of type of recreation facilities proposed.			√	
<i>Information Concerning Condominium Development</i>					
70	Condominium documents, including the proposed master deed, restrictive covenants, and condominium bylaws.				√
71	Condominium subdivision plan requirements, as specified in Section 66 of Public Act 59 of 1978, as amended, and Rule 401 of the Condominium Rules promulgated by the Michigan Department of Commerce, Corporation and Securities Bureau.			√	



- (2) Items not applicable. If any of the items in the above-listed table are not applicable to a particular site, the following information shall be provided on the site plan:
  - A. A list of each item considered not applicable.
  - B. The reason(s) why each listed item is not considered applicable.
- (3) The Planning Commission, Building Superintendent, or other party authorized by the City may request any additional information it deems necessary in the review of the submitted site plan.

(e) Site Plan Application Review Procedures.

(1) Pre-Application Meeting.

In order to facilitate processing of a site plan in a timely manner, the City provides opportunities for potential applicants to meet with and discuss development/redevelopment proposals with City officials and staff, which may include but is not limited to the Building Superintendent, City Planner, and City Engineer, for the purposes of obtaining information and guidance in the preparation of the required site plan and application materials. The applicant may, but is not required to, present drawings or site plans at a pre-application meeting, and no formal action shall be taken on a site plan submitted for pre-application meetings. The City Planner's and City Engineer's fees for any such pre-application conference shall be paid by the applicant.

- A. Optional. Any applicant may request a pre-application meeting to discuss land use proposals and site characteristics.
- B. Recommended. A pre-application meeting is strongly recommended for all proposed developments within the Downtown Development Authority (DDA) District and all Special Land Use applications.
- C. Required. A pre-application meeting is required for Planned Unit Development proposals.

(2) Conceptual Review by Planning Commission.

- A. The Planning Commission will offer comments on a conceptual plan as described in 1296.01(d), showing site arrangement, context, density, landscaping, circulation, drainage, and utilities.
- B. Conceptual site plan review is required for all special land use, planned unit development, condominium, and conditional rezoning projects.
- C. An applicant may file a written request for conceptual review in conjunction with any project requiring site plan review.
- D. Conceptual review fees shall be paid according to the fee schedule established by City Council.
- E. No formal action shall be taken on a site plan submitted for conceptual review, and neither the applicant nor the Planning Commission shall be bound by any comments or suggestions made during the course of the conceptual review.

(3) Completeness Review.

All required application materials shall be presented to the Building Superintendent's office by the property owner or their designated agent at least thirty (30) days prior to the Planning Commission meeting where the site plan will be considered. The Building Superintendent or designee shall review the application for completeness in order to determine if the application has been properly submitted and the applicant has corrected all deficiencies. Completeness reviews are solely for the purpose of determining whether the preliminary information required for submission of the application is sufficient to allow further processing, and shall not constitute a decision as to whether an application complies with the provisions of this Zoning Code.

(4) Technical Review.

- A. Upon confirmation from the City Planner, City Engineer, City Attorney and other consultants and staff that the site plan substantially meets the requirements of this chapter, an additional ten copies of the site plan shall be submitted to the Building Department. The Commission may prepare forms and require the use of such forms in site plan preparation. A separate escrow deposit may be required for administrative charges to review the site plan submittal.
- B. Upon submission of all required application materials, the site plan proposal shall be distributed, at the option of the Building Superintendent, to the City Planner, City Engineer, City Attorney and other City consultants and staff for review. For site plans determined not to be in substantial compliance, the applicant may be required to complete revisions and re-submit the plans for further review prior to final action.
- C. Technical review shall result in a report submitted to the Planning Commission with the site plan review application. Once the technical review is complete, the application will be placed on the next regularly scheduled Planning Commission meeting. All required revisions must be completed prior to the site plan being placed on the Planning Commission agenda for review.

(5) Administrative Review.

The Building Superintendent or his or her designee may review and make a decision on a qualifying site plan review application that meets the standards of 1296.01(3)A.

(6) Planning Commission Review.

- A. All applications for Site Plan Review except those eligible for Administrative Review shall be considered by the Planning Commission. Planning Commission review shall be required for all Special Land Use, Conditional Rezoning, and Planned Unit Development proposals.
- B. Public Hearing. A public hearing conducted by the Planning Commission is required for all site plans involving uses that are subject to special land use approval, applications for conditional rezoning, and planned unit developments. After payment of appropriate fees, the Building Superintendent or designee shall set the date of the public hearing.

(7) City Council Review.

Applications for Planned Unit Development and Conditional Rezoning which are recommended for approval by the Planning Commission shall be reviewed by City Council in accordance with the procedures set forth in Chapters 1288 and 1289 of this Zoning Code, respectively.

(f) Site Plan Application Determinations.

The Building Superintendent, Planning Commission, or City Council shall review the application and make a determination to approve the application, require any conditions it may find necessary, deny the application, or table the application.

- (1) Approval. Upon determination that a site plan is in compliance with the standards and requirements of this Section and other applicable ordinances and laws, approval shall be granted.
- (2) Conditional Approval. Upon determination that a site plan is in compliance except for minor modifications, the conditions for approval shall be identified and the applicant shall be given the opportunity to correct the site plan. The conditions may include the need to obtain variances or obtain approvals from other agencies. If a plan is approved subject to conditions, the applicant shall submit a revised plan with a revision date,

- indicating compliance with the conditions the Building Superintendent or Planning Consultant, for final approval stamp after conditions have been met.
- (3) Denial. Upon determination that a site plan does not comply with the standards and regulations set forth in this Chapter or elsewhere in this Section, or requires extensive revision in order to comply with said standards and regulations, site plan approval shall be denied.
  - (4) Tabling. Upon determination that a site plan is not ready for approval or rejection, or upon a request by the applicant, the Planning Commission may table consideration of a site plan until a future meeting.
- (g) Record of Actions.  
The City shall keep a record of decisions on all site plans on file in the City Hall. The record shall include the following information:
- (1) Minutes. All minutes from any meeting where the site plan was considered.
  - (2) Finding of Fact. The decision on a site plan review shall be incorporated in a finding of fact relative to the land use under consideration and shall specify the basis for the decision and any conditions imposed.
  - (3) Final Site Plans. An electronic PDF version and a full-size print set (24" x 36") of the final site plans stamped by a licensed architect, landscape architect, or civil engineer.
    - A. Three (3) copies of the application and approved plans shall be stamped APPROVED and signed by the Building Superintendent or City Planner. One marked copy shall be returned to the applicant and the other two copies will be kept on file in the City Hall.
  - (4) Development Agreement. An approved site plan shall include a site plan development agreement outlining the approved use, any applicable conditions, and procedural process. The development agreement shall be signed by the applicant and the Planning Commission Chair.
- (h) Procedure After Site Plan Approval.
- (1) Application for Building Permit.
    - A. Following final approval of the site plan and the engineering plans, the applicant may apply for a building permit. It shall be the responsibility of the applicant to obtain all other applicable City, County, or State permits and approvals prior to issuance of a building permit.
    - B. A building permit for a structure in a proposed condominium project shall not be issued until evidence of a recorded master deed has been provided to the City. However, the Building Superintendent may issue permits for site grading, erosion control, installation of public water and sewage facilities, and construction of roads, prior to recording the master deed. No permit issued or work undertaken prior to recording of the master deed pursuant to this section shall grant any rights or any expectancy interest in the approval of the master deed.
  - (2) Expiration of Site Plan Approval. If construction has not commenced within twelve (12) months of final approval of the site plan, or if construction has not been completed within twelve (12) months after it was commenced, the site plan approval becomes null and void and a new application for site plan review shall be required. The Building Superintendent may grant an extension of up to twelve (12) months, upon written request from the applicant, if his or her designee finds that the approved site plan adequately represents current conditions on and surrounding the site and provided that the site plan conforms to the current Zoning Code standards.

(3) Application for Certificate of Occupancy. Following completion of site work and building construction, the applicant may apply for a certificate of occupancy or a temporary certificate of occupancy from the Building Superintendent. It shall be the applicant's responsibility to obtain these required certificates prior to any occupancy of the property.

(4) Property Maintenance After Approval.

A. It shall be the responsibility of the owner of a property for which site plan approval has been granted to maintain the property in accordance with the approved site design on a continuing basis until the property is razed, or until new zoning regulations supersede the regulations upon which site plan approval was based, or until a new site design is approved. Any property owner who fails to so maintain an approved site design shall be deemed in violation of the use provisions of this Section and shall be subject to the same penalties appropriate for a use violation.

B. With respect to condominium projects, the master deed shall contain provisions describing the responsibilities of the condominium association, condominium owners, and public entities, with regard to maintenance of the property in accordance with the approved site plan on a continuing basis. The master deed shall further establish the means of permanent financing for required maintenance and improvement activities which are the responsibility of the condominium association. Failure to maintain an approved site plan shall be deemed in violation of the use provisions of this Section and shall be subject to the same penalties appropriate for a use violation.

(5) Recorded and As-Built Condominium Documents.

A. Upon approval of the site plan for a condominium project involving new construction, the condominium project developer or proprietor shall furnish the City with the following:

1. One (1) copy of the recorded master deed, and
2. One (1) copy of any condominium bylaws and restrictive covenants.

B. Upon completion of the project, the condominium project developer or proprietor shall furnish the city with the following:

1. Two (2) copies of an "as built survey", and
2. One (1) copy of the site plan on a mylar sheet of at least thirteen (13) by sixteen (16) inches with an image not to exceed ten and one-half (10 ½) by fourteen (14) inches.

C. The as-built survey shall be reviewed by the City Engineer for compliance with City ordinances. Fees for this review shall be established by the City Council.

(6) Revocation. Approval of a site plan may be revoked by the Planning Commission or Building Superintendent if construction is not in conformance with the approved plans. In this case, at the discretion of the Building Superintendent, the site plan shall be placed on the agenda of the Planning Commission for consideration and written notice shall be sent to the applicant at least ten (10) days prior to the meeting. The Building Superintendent, applicant, and any other interested persons shall be given the opportunity to present information to the Planning Commission and answer questions. If the Planning Commission finds that a violation exists and has not been remedied prior to the hearing, then it shall revoke the approval of the site plan.

(i) Amendments and Modifications.

A site plan approved in accordance with the provisions in this section may be subsequently modified, subject to the following requirements:

(1) Minor Modifications.

- A. Minor modifications to an approved site plan may be reviewed by the City Building Superintendent or his or her designee.
- B. Minor modifications are changes that do not substantially affect the character or intensity of the use, vehicular or pedestrian circulation, drainage patterns, the demand for public services, or the vulnerability to hazards. Examples of minor modifications include, but are not limited to:
  - 1. An addition to an existing commercial or industrial building that does not increase or decrease the floor space by more than 25% or 3,000 square feet, whichever is less.
  - 2. Re-occupancy of a vacant building that has been unoccupied for less than twelve (12) months.
  - 3. Changes to building height that do not add an additional floor.
  - 4. Additions or alterations to the landscape plan or landscape materials.
  - 5. Relocation or screening of a trash receptacle.
  - 6. Alterations to the internal parking layout of an off-street lot.
- C. Determination of Minor Modification. The Building Superintendent, or his or her designee, shall determine if the proposed modifications are minor in accordance with the guidelines in this Section. In order to make the determination, the Building Superintendent shall solicit comments and recommendations from the Planner, Engineer, and public safety officials, as deemed necessary.

(2) Major Modifications.

- A. If the modifications are not deemed minor by the Building Superintendent, then full review, and approval by the Planning Commission shall be required.
- B. Planning Commission review shall be required for all site plans that involve a request for a variance, a special land use, conditional rezoning, and planned unit development proposal that involves a discretionary decision, or a proposal that involves a nonconforming use or structure.
- C. Examples of major modifications include, but are not limited to:
  - 1. The construction of a new building or structure.
  - 2. The addition or deletion of parking.
  - 3. The addition of curb cuts onto a public road.

(3) Recording of Action.

- A. Each action related to modification of a site plan shall be duly recorded in writing on a copy of the approved plan and shall be kept on file in the office of the Building Superintendent.
- B. The Planning Commission shall be advised of all minor site plan modifications approved by the Building Superintendent and such modifications shall be noted on the site plan and in the minutes of the Planning Commission.

(j) Fees and Performance Guarantees.

- (1) Fees. Fees for the review of site plans and inspections as required by this section shall be established and may be amended by resolution by the City Council.
- (2) Performance Guarantees. Performance guarantees shall be required subject to the standards in Section 1262.09.

CITY OF  
LINCOLN  
PARK



REDEVELOPMENT  
OPPORTUNITIES

# RESIDENTIAL

## Redevelopment Opportunities



Below is a list of City-owned parcels that are suitable for residential development. The parcels are separated into categories based on the size of the lot frontages. Nonconforming parcels that do not meet either minimum lot frontage or minimum area requirements are not included in this list. Instead, those nonconforming parcels are best suited for either stormwater management purposes or combination with another parcel of an adjacent property owner.

**RESIDENTIAL REDEVELOPMENT OPPORTUNITIES**

Map Number	Address	Parcel Number	Acres	Zoning	Frontage	Maximum Building Footprint*	Potential Future SEV**	Maximum Structure(s)***	Complete
<b>40'&lt;50' Lot Frontage (Single Family) or 20'&lt;50' (Multifamily)</b>									
1	Electric	45007080051002	0.07	MFRD	29	1,220	\$33,460	4 Three-Bedroom Apartments	
2	Goddard	45020060311000	0.08	MFRD	34	1,394	\$34,338	5 Three-Bedroom Apartments	
3	Longtin	45022070057000	0.08	MFRD	34.9	1,394	\$34,338	5 Three-Bedroom Apartments	
4	Washington	45007010033000	0.1	SFRD	41.5	1,812	\$36,445	3,625 sq. ft. Single-Family Home	
5	River Dr	45020020008001	0.18	SFRD	43.6	3,179	\$43,338	6,359 sq. ft. Single-Family Home	
6	River Drive	45020020007001	0.17	SFRD	43.9	2,962	\$42,243	5,924 sq. ft. Single-Family Home	
<b>50'&lt;60' Lot Frontage (Single Family &amp; Multifamily)</b>									
7	LeBlanc	45019040081000	0.1	SFRD	54.3	14,258	\$99,198	28,515 sq. ft. Single-Family Home	
8	1205 Chandler	45002060188002	0.5	SFRD	59	1,826	\$36,516	3,652 sq. ft. Single-Family Home	
<b>60'&lt;70' Lot Frontage (Single Family &amp; Multifamily)</b>									
9	1225 Chandler	45002060185000	0.14	SFRD	60	1826	\$36,516	5,039 sq. ft. Single-Family Home	
10	Austin	45007100044002	0.13	SFRD	64	2520	\$40,015	4,432 sq. ft. Single-Family Home	
11	Ferris	45007100053001	0.15	SFRD	66.3	2231	\$38,558	5,217 sq. ft. Single-Family Home	
<b>&gt;70' Lot Frontage (Single Family &amp; Multifamily)</b>									
12	Marion	45007020148002	0.26	SFRD	70.5	4,547	\$50,235	9,093 sq. ft. Single-Family Home	
13	Cloverlawn	45020080015002	0.31	SFRD	71.6	5,367	\$54,369	10,733 sq. ft. Single-Family Home	
14	917 Park	45008030226000	0.19	SFRD	75	3,249	\$43,690	6,498 sq. ft. Single-Family Home	
15	1418 Warwick Ave	45006040193300	0.22	SFRD	89.9	3,841	\$46,675	7,682 sq. ft. Single-Family Home	
16	River Drive	45008040099000	0.06	SFRD	97.1	1,079	\$32,749	2,158 sq. ft. Single-Family Home	



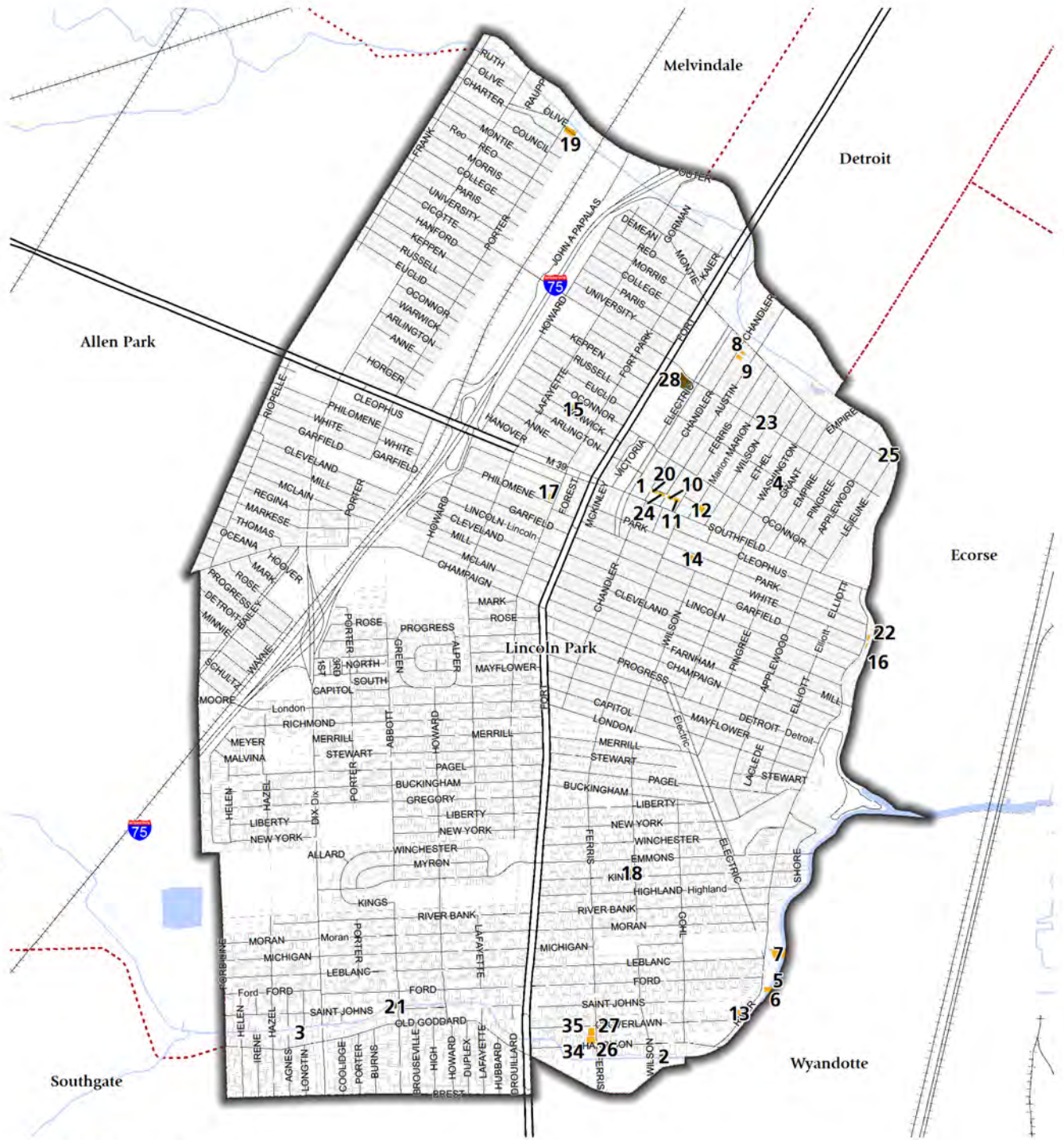
## RESIDENTIAL REDEVELOPMENT OPPORTUNITIES

Map Number	Address	Parcel Number	Acres	Zoning	Frontage	Maximum Building Footprint*	Potential Future SEV**	Maximum Structure(s)***	Complete
17	Fort Park	45009090088000	0.23	SFRD	98.3	4,087	\$47,916	8,175 sq. ft. Single-Family Home	
18	Kings	45019011053000	0.19	SFRD	102	3,267	\$43,781	6,534 sq. ft. Single-Family Home	
19	Outer Drive	45004010043000	0.5	SFRD	103.6	8,710	\$71,225	17,421 sq. ft. Single-Family Home	
20	Chandler	45007090050000	0.11	SFRD	105.1	1,858	\$36,677	3,716 sq. ft. Single-Family Home	
21	Saint Johns	45022020125000	0.1	MFRD	106.3	1,742	\$36,092	6,970 sq. ft. Single-Family Home	
22	White	45008030323000	0.11	SFRD	108	1,878	\$36,778	3,757 sq. ft. Single-Family Home	
23	1340 Wilson	45007020209000	0.1	SFRD	108	1,698	\$35,870	3,397 sq. ft. Single-Family Home	
24	Austin	45007090040002	0.14	SFRD	114.6	2,400	\$39,410	4,799 sq. ft. Single-Family Home	
25	LeJeune	45001010113000	0.3	SFRD	119	5,299	\$54,027	10,598 sq. ft. Single-Family Home	
26	Harrison	45020040041000	0.41	SFRD	124.9	7,219	\$63,707	14,438 sq. ft. Single-Family Home	
27	Cloverlawn	45020030112000	0.33	SFRD	129.3	5,663	\$55,862	11,327 sq. ft. Single-Family Home	
28	1356 Electric	45007030005000	1.17	MFRD	185	20,386	\$130,095	70-80 Three-Bed Apartments	
29	1035 Lincoln	45009030263000	0.34	SFRD	185	5,998	\$57,551	11,515 sq. ft. Single-Family Home	

\*Estimated using maximum lot coverages specified in the Lincoln Park Zoning Ordinance (sq. ft.)

\*\*Estimated using a linear extrapolation of building sq. ft. and SEV from existing residential structures in Lincoln Park

\*\*\*Estimated from the schedule of regulations in the Lincoln Park Zoning Ordinance & Maximum Building Footprint



# CITY OF LINCOLN PARK Residential Redevelopment

Data Sources: State of Michigan Geographic Data Library, City of Lincoln Park, Wayne County GIS

- Lincoln Park Boundary
- Freeways
- State Roads
- All Roads
- Railroads
- Municipalities
- Zoned Single Family Residential District
- Zoned Multiple Family Residential District



# COMMERCIAL

## Redevelopment Opportunities

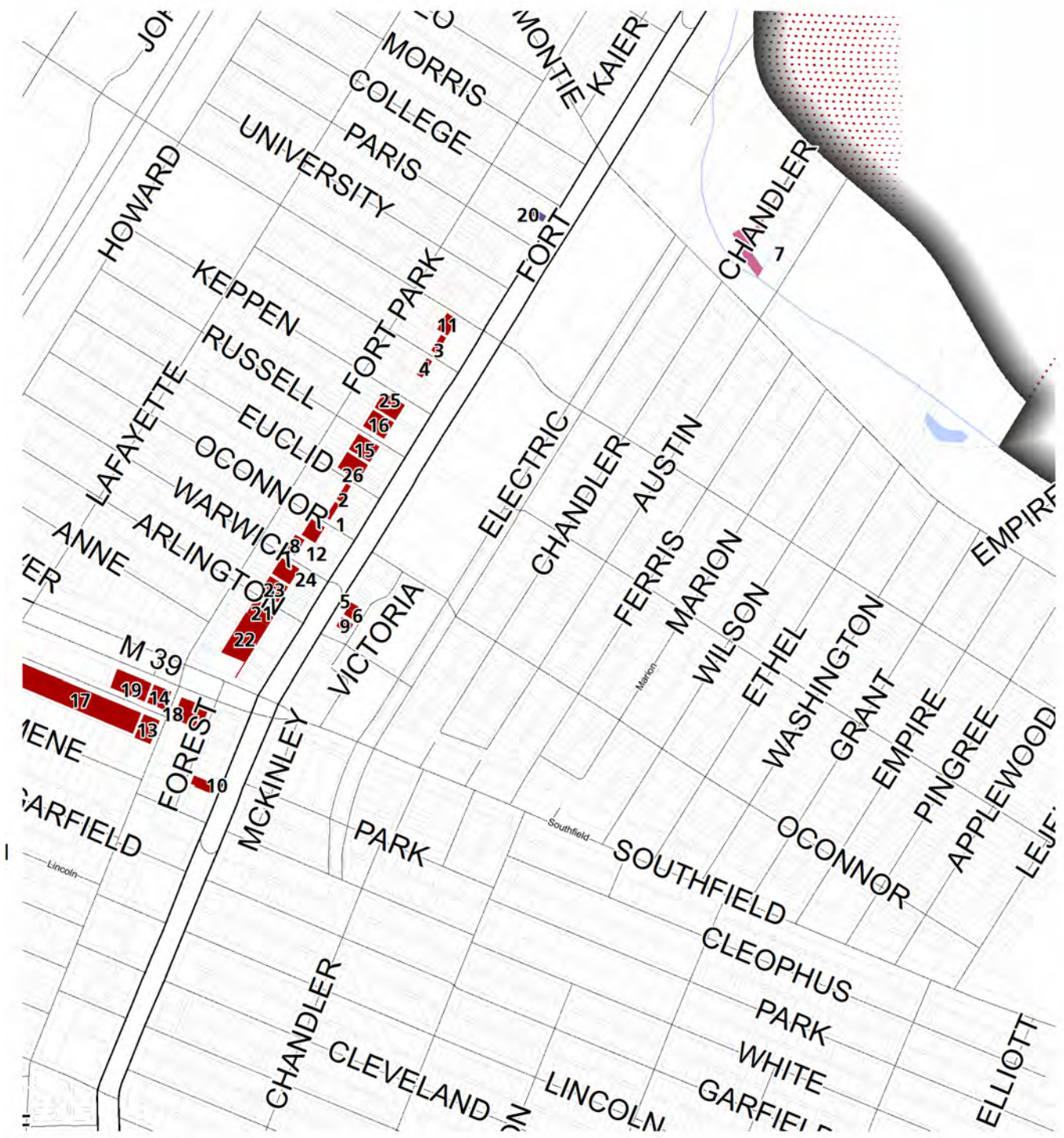


Below is a list of City-owned parcels that are suitable for commercial development.

COMMERCIAL REDEVELOPMENT OPPORTUNITIES								
Map Number	Address	Parcel Number	Acres	Zoning	Frontage	Maximum Building Size*	Potential Future SEV**	Complete
1	O'Connor	45006040286000	0.07	CBD	29.9	3,098	\$357,145	
2	1305 Euclid	45006040308000	0.07	CBD	29.9	3,168	\$357,712	
3	1304 Hanford	45003080555000	0.08	CBD	35	3,692	\$361,956	
4	1303 Hanford	45003080535000	0.09	CBD	36	3,827	\$363,049	
5	1657 Fort	45007050015001	0.07	CBD	40	3,043	\$356,699	
6	1661 Fort	45007050017001	0.07	CBD	40	3,064	\$356,869	
7	1212 Fort	45003050036000	0.09	NBD	40	2,000	\$348,252	
8	Warwick	45006040212000	0.14	CBD	44	6,241	\$382,600	
9	1673 Fort	45007050020001	0.11	CBD	60	4,654	\$369,747	
10	Fort	45009080001000	0.17	CBD	60	7,378	\$391,808	
11	1303 Cicotte	45003080590000	0.17	CBD	69.3	7,551	\$393,210	
12	O'Connor	45006040237000	0.22	CBD	89.9	9,468	\$408,735	
13	1355 Cleophus	45009090078000	0.32	CBD	97.9	14,020	\$445,602	
14	1355 Southfield	45009090007001	0.27	CBD	107.8	11,610	\$426,083	
15	Russell	45006040379300	0.34	CBD	122.3	14,639	\$450,615	
16	Russell	45006040425300	0.35	CBD	124.2	15,170	\$454,916	
17	1427 Cleophus	45009090093000	2.31	CBD	124.3	100,645	\$1,147,178	
18	Fort Park	45009070006000	0.51	CBD	167.4	22,057	\$510,694	
19	1393 Southfield	45009090071001	0.54	CBD	216	23,322	\$520,939	
20	Outer Drive	45002010052309	0.42	RBD	228	13,543	\$441,739	
21	Fort	45006060278000	0.3	CBD	246	13,050	\$437,746	
22	Southfield	45006990003000	0.89	CBD	246.8	38,585	\$644,554	
23	Arlington	45006040141000	0.29	CBD	343.7	12,518	\$433,437	
24	Warwick	45006040166000	0.29	CBD	345	12,621	\$434,271	
25	Keppen	45006040450300	0.33	CBD	484.3	14,302	\$447,886	
26	Euclid	45006040354300	0.33	CBD	487.9	14,534	\$449,765	

\*Estimated using maximum lot coverages specified in the Lincoln Park Zoning Ordinance (sq. ft.)

\*\*Estimated using a linear extrapolation of building sq. ft. and SEV from existing commercial structures in Lincoln Park

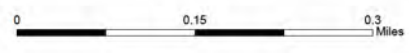


CITY OF LINCOLN PARK

# Commercial Redevelopment

Data Sources: State of Michigan Geographic Data Library, City of Lincoln Park, Wayne County GIS

- Lincoln Park Boundary
- Freeways
- State Roads
- All Roads
- Railroads
- Municipalities
- Zoned Central Business District
- Zoned Municipal Business District
- Zoned Regional Business District
- Zoned Neighborhood Business District



# STORMWATER MANAGEMENT

## Redevelopment Opportunities



Below is a list of City-owned parcels that are suitable for stormwater management because of their presence in a FEMA-designated floodplain or because of their proximity to parcels that experienced flooding in 2019.

**STORMWATER MANAGEMENT REDEVELOPMENT OPPORTUNITIES**

Map Number	Address	Parcel Number	Acres	Zoning	Frontage	Complete
1	Chandler	45002060177002	0.01	SFRD	5	
2	River Drive	45008040665003	0.01	CSD	15.1	
3	Southfield	45009010100001	0.01	MBD	45	
4	Harrison	45020040139002	0.02	SFRD	19.3	
5	Cloverlawn	45020080017003	0.02	SFRD	123.8	
6	Southfield	45008030027001	0.04	MBD	64.5	
7	Bailey	45014020598000	0.04	SFRD	18.8	
8	Champaign	45013020291000	0.05	SFRD	20	
9	Saint Johns	45022020147000	0.05	SFRD	111	
10	Park	45008030121000	0.06	SFRD	29.4	
11	Park	45008030122000	0.06	SFRD	28.5	
12	Grant	45001040088000	0.07	CSD	28.8	
13	Arlington	45006030192002	0.07	SFRD	29.9	
14	Russell	45006040409000	0.07	SFRD	30	
15	Park	45008030123000	0.07	SFRD	29.9	
16	Park	45008030318000	0.07	SFRD	29	
17	Park	45008030319000	0.07	SFRD	28.3	
18	Park	45008030124000	0.07	SFRD	102	
19	River Drive	45008040100000	0.07	SFRD	97.9	
20	1318 Hanford	45003080558000	0.08	SFRD	35	
21	Morris	45003080756000	0.08	SFRD	35	
22	1420 Montie	45003090048000	0.08	SFRD	34.9	
23	1415 Rio	45003090077301	0.08	SFRD	35	
24	1419 Rio	45003090078302	0.08	SFRD	35	
25	1464 College	45003100257000	0.08	SFRD	35	
26	1458 Morris	45003100274000	0.08	SFRD	35	
27	1770 O'Connor	45005030218000	0.08	SFRD	35	
28	Saint Johns	45021070110000	0.08	SFRD	29.9	
29	Agnes	45022070074000	0.08	SFRD	34.9	
30	Paris	45003080700300	0.09	SFRD	34.8	
31	1848 Paris	45004010251000	0.09	SFRD	38.5	
32	Saint Johns	45021070096001	0.09	SFRD	36	
33	Saint Johns	45021070114000	0.09	SFRD	37.2	
34	O'Connor	45005030193300	0.09	SFRD	100	
35	White	45008030322000	0.09	SFRD	55.1	
36	River Drive	45008040299002	0.1	CSD	38	
37	College	45003080738000	0.17	SFRD	35	



# CITY OF LINCOLN PARK Stormwater Management

Data Sources: State of Michigan Geographic Data Library, City of Lincoln Park, Wayne County GIS

- Lincoln Park Boundary
- Freeways
- State Roads
- All Roads
- Railroads
- Municipalities
- Parcels suitable for stormwater management





# PARCEL COMBINATION

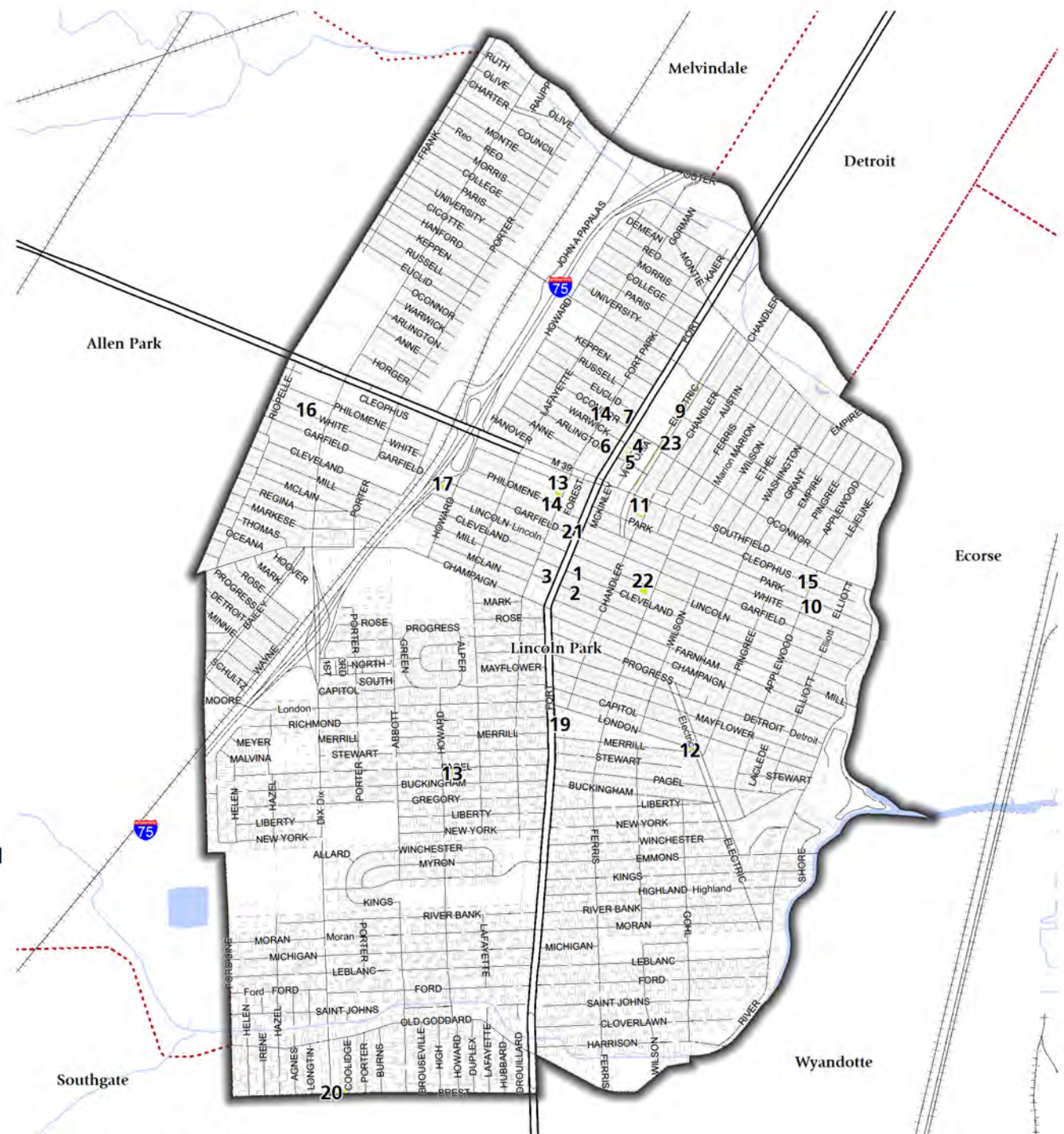
## Redevelopment Opportunities



Below is a list of City-owned parcels that should be offered to adjacent property owners and combined into existing parcels because they are one of the following: (1) too small to redevelop, (2) not in a FEMA-designated floodplain, or (3) in an area that experienced flooding in 2019.

**PARCEL COMBINATION REDEVELOPMENT OPPORTUNITIES**

Map Number	Address	Parcel Number	Acres	Zoning	Frontage	Complete
1	Fort	45009040070000	<0.01	SFRD	1	
2	Fort	45009040071000	0.01	SFRD	1	
3	Mill	45009060132000	0.01	SFRD	2.8	
4	Fort	45007050014001	0.03	CBD	19.9	
5	1667 Fort	45007050019001	0.04	CBD	20	
6	Fort Park	45006040145001	0.05	CBD	20	
7	1560 Fort	45006060210000	0.05	CBD	20	
8	Fort Park	45009090085000	0.05	SFRD	20	
9	Electric	45007030007000	0.06	CBD	1	
10	573 Park	45008030279000	0.07	SFRD	30.1	
11	2054 Chandler	45009010050000	0.07	SFRD	30.9	
12	Electric	45012060334000	0.07	SFRD	37.3	
13	1573 Pagel	45016020639002	0.07	SFRD	29.9	
14	1606 Fort Park	45006040244000	0.07	SFRD	103.9	
15	605 Cleophus	45008030105000	0.07	SFRD	130.7	
16	2086 White	45010040210000	0.08	SFRD	29.9	
17	Garfield	45009100037001	0.08	SFRD	185.4	
18	2106 Fort Park	45009090086000	0.09	SFRD	39.9	
19	Fort	45012030371001	0.09	CSD	19.9	
20	Coolidge	45022040048301	0.09	SFRD	150	
21	Garfield	45009030112002	0.12	SFRD	34.9	
22	1035 Lincoln	45009030263000	0.34	SFRD	420.1	
23	Electric	45007990002001	0.59	-	1	



CITY OF LINCOLN PARK  
**Parcels to be Combined**

Data Sources: State of Michigan Geographic Data Library, City of Lincoln Park, Wayne County GIS

- Lincoln Park Boundary
- Parcel to be Combined
- Freeways
- State Roads
- All Roads
- Railroads
- Municipalities



# City of Lincoln Park Updated Sign Code: What's New?

## Overview

The City of Lincoln Park recently adopted an updated sign code. The code has been reorganized so that it is clearer, more consistent, and easier to use. Many signs which were previously illegal, such as pole or pylon signs, are now permitted. New types of temporary signs, such as window signs, are now also permitted. This document summarizes the sign type regulations within the updated code, explains how sign types may be combined on a single parcel, and outlines the permitting and application process.

## Updated Regulations: A Summary

The updated sign code includes tables that clearly identify the standards for each sign type. All sign types are classified as either permanent or temporary, and each sign type has its own table with the following standards clearly spelled out:

- Districts where the sign type is permitted
- Maximum area
- Height standards
- Any additional dimensional requirements
- Number permitted
- Setback requirements
- Material and construction standards
- Whether electronic display is permitted
- Whether a permit is required
- Time limits
- Any additional standards

## Permitting Process

In general, a sign permit is required before erecting, relocating, or modifying a sign in any way. Modification includes replacing a sign face and adding or converting to any form of electronic display. The tables of standards for each sign type indicate whether a permit is required. In short, all permanent sign types require a sign permit, and most temporary or portable sign types require a temporary sign permit, excluding temporary window signs, vehicle signs, wire-frame yard signs, balloons and balloon signs, window lighting, and festoons.

Sign permit applications are available at the Building Department office. Required sign application information includes sign construction plans, a sketch plan showing sign location(s), and other pertinent information. The Building Official will review the application and will issue a permit when all applicable standards are met.

## Implementation and Enforcement

For businesses to have an adequate amount of time to acclimate to the new sign regulations, implementation and enforcement of the updated relations will occur in stages. Enforcement of the new sign ordinance will begin in October of 2020, six months after the City Council approved the ordinance. This should allow business owners time to remove existing signs that are either not in use or are no longer permitted, which includes feather signs and unsafe roof signs. Beginning in

October 2020, the City will begin enforcing the new sign regulations and will fine businesses for signs that do not meet current standards. The six-month grace period does not apply for any new signs – all new signs must follow the application procedures and standards outlined in the new sign ordinance.

### Overview of Updated Sign Standards

The following tables summarize the main standards for permanent and temporary sign types, though are in no way meant to encompass all required standards for each sign type.

#### TEMPORARY & PORTABLE SIGNS

Sign Type	Maximum Area	Maximum Height	Number Permitted	Additional Provisions
<b>Banner Signs</b> (freestanding & building)	6 sq. ft. / building frontage, max. 120 sq. ft.	6 ft. (freestanding) Not above building roof (building)	1 per parcel	<ul style="list-style-type: none"> <li>• 60-day time limit, only 10 days when attached to awning or marquee</li> <li>• 2 permits per parcel per calendar year</li> <li>• Additional material and distance between banner signs requirements</li> </ul>
<b>Window Signs</b>	6 sq. ft.	N/A	None within max. area	<ul style="list-style-type: none"> <li>• Only allowed on windows on same building face as principal entrance</li> </ul>
<b>A-Frame Signs</b>	6 sq. ft.	3.5 ft.	1 per parcel	<ul style="list-style-type: none"> <li>• 60-day time limit – must be removed at end of each business day</li> <li>• 3 permits per parcel per calendar year</li> </ul>
<b>Vehicle Signs</b>	N/A	N/A	2 per licensed vehicle	<ul style="list-style-type: none"> <li>• Must be parked in designated off-street parking areas of business</li> </ul>
<b>Yard Signs, Wire-Frame</b>	6 sq. ft.	3 ft.	2 per parcel (3 per parcel in SFRD & MHRD)	<ul style="list-style-type: none"> <li>• Additional standards apply for the period of 60 days before and 14 days after an election, depending on district</li> <li>• 60-day time limit</li> </ul>
<b>Yard Signs, Rigid-Frame</b>	16 ft.	6 ft.	1 per parcel	<ul style="list-style-type: none"> <li>• 30-day time limit</li> <li>• 3 permits per parcel per calendar year</li> </ul>
<b>Balloons &amp; Balloon Signs</b>	24-in. diameter	35 ft.	1 bunch of 12 balloons or fewer per business	<ul style="list-style-type: none"> <li>• Must be attached to building or placed within 1 ft. of building</li> <li>• Must be removed once deflated or damaged</li> </ul>
<b>Window Lighting</b>	N/A	Limited to 1 <sup>st</sup> floor	4 windows / doors	<ul style="list-style-type: none"> <li>• Allowed around window / door perimeter on 1<sup>st</sup> floor</li> </ul>
<b>Festoons</b>	N/A	N/A	2 per parcel	<ul style="list-style-type: none"> <li>• Must be removed if damaged</li> </ul>

#### Signs Not Permitted

- Roof Signs
- Suspended (Bracket) Signs
- Inflatable Signs
- Feather Flag Signs
- People Signs

## PERMANENT SIGNS

Sign Type	Maximum Area	Maximum Height	Number Permitted	Additional Provisions
<i>Permanent Freestanding Signs</i>				
Pole Signs	80 sq. ft.	20 ft.	1 per parcel (max. 2 with approval)	<ul style="list-style-type: none"> <li>• Special provisions for shopping centers and parcels within 100' of a major highway</li> </ul>
Monument Signs	80 sq. ft. (60 sq. ft. in CBD)	8 ft. (6 ft. in CBD)	1 per parcel (max. 2 with approval)	<ul style="list-style-type: none"> <li>• Special provisions for shopping centers</li> <li>• Must use same materials as principal building or have landscaping</li> </ul>
Entranceway Signs	50% of entranceway structure (up to 40 sq. ft.)	District height limitations	2 per entranceway	<ul style="list-style-type: none"> <li>• Signs must remain inside of entranceway structure</li> </ul>
<i>Permanent Building Signs</i>				
Wall Signs	3 sq. ft. / building frontage up to district maximum	Depends on district height limitations	1 per parcel (max. 2 with approval)	<ul style="list-style-type: none"> <li>• Additional wall signs permitted for parking lot signs, alley signs, and buildings adjacent to I-75</li> <li>• Districts have varying max. size limits</li> <li>• 1 wall sign per building face</li> <li>• Additional standards in CBD</li> </ul>
Window or Door Signs	10% of window / door area, max. 4 sq. ft.	N/A	1 per business	<ul style="list-style-type: none"> <li>• Window transparency standards</li> <li>• Silk screened or hand painted in CBD</li> </ul>
Marquee Signs	3.5 sq. ft. / building frontage, max. 40 sq. ft.	10 ft. vertical clearance	1 per parcel	<ul style="list-style-type: none"> <li>• Only permitted in CBD</li> <li>• May not extend above base of 2<sup>nd</sup> floor windowsill or above roofline</li> </ul>
Awning Signs	3 sf per linear foot of building frontage, max. 40 sq. ft.	10 ft. vertical clearance	2 per business	<ul style="list-style-type: none"> <li>• 2<sup>nd</sup> story business: max. 4 sq. ft.</li> <li>• Max. 6 ft. projection from building</li> </ul>
Projecting Signs	7.5 sq. ft.	10 ft. vertical clearance	1 per business	<ul style="list-style-type: none"> <li>• Permitted in CBD and NBD for buildings built to property line</li> <li>• Must be perpendicular to building</li> </ul>
Canopy Signs	4 sq. ft.	District height limitations	2 per canopy	<ul style="list-style-type: none"> <li>• Only permitted in MBD and RBD</li> </ul>
<i>Billboard Signs</i>				
Billboards	72 sq. ft.	20 ft.	Must be 500 ft. between billboards	<ul style="list-style-type: none"> <li>• Electronic display is permitted, but may not have any movable parts</li> <li>• No stacking of billboards</li> </ul>

## Sign Combination

Multiple sign types may exist on a single property, though some limitations exist.

- A property may have either a pole sign or a monument sign, but not both. It is possible, however, for the building official to grant special approval for a maximum of two permanent freestanding signs per parcel.
- The number of permanent building signs (i.e. wall signs, projecting signs, awning signs, etc.) allowed on a property is independent of the number of permanent freestanding signs allowed on a property. For instance, it is permissible for a property to have both a monument sign and a wall sign.
- Temporary and portable signs are independent of permanent signs, though they are subject to the time limitations outlined for each temporary / portable sign type.



### QUESTIONS?

For more information, please contact:

**Leah DuMouchel, AICP**

*City of Lincoln Park Planner of Record*

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