



## LINCOLN PARK PLANNING COMMISSION

December 9, 2020 at 7 p.m.

### REMOTE MEETING VIA ZOOM

Call: 1 646 558 8656

Web: [www.zoom.us](http://www.zoom.us)

Meeting ID 871 5265 0312

Participant ID is #

## AGENDA

- I. **Call to Order**
- II. **Roll Call**
- III. **Approval of Previous Minutes**
- IV. **Approval of Agenda**
- V. **Old Business**
- VI. **New Business**
  - A. Site Plan Review: 1519 Southfield – Taco Bell
  - B. 2020 Annual Report
  - C. 2021 Meeting Dates
  - D. 2020 Development Approval Process Review
- VII. **Policy Review and Discussion**
- VIII. **Education and Training**
  - A. Michigan Winter Cities Planning and Development – Michigan Association of Planning and Michigan Economic Development Corporation. Workshop, tools, and resources to help our community thrive during the cold winter months. January 14, 2-3:30 pm plus self-paced segments and guidebook. \$20  
<https://www.planningmi.org/assets/COVID19/MAP%20MEDC%20Winter%20Cities%20Program%20Brochure%20January%202021.pdf>
  - B. Citizen Planner Online – Michigan State University Extension. Self-paced version of the gold standard of Commissioner training. \$275. [https://www.canr.msu.edu/michigan\\_citizen\\_planner/](https://www.canr.msu.edu/michigan_citizen_planner/)
- IX. **Reports from Department and Other Boards and Commissions**
- X. **Public Comments**
- XI. **Comments from Planning Commissioners**
- XII. **Adjournment**

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The City of Lincoln Park will provide necessary reasonable auxiliary aides and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park MI 48146; 313-386-1800 ext. 1296

## 1519 Southfield – Taco Bell

### Site Plan Review

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Applicant	Matt Yanda, GDP Group
Project	Taco Bell
Address	1519 Southfield Road, Lincoln Park, MI 48146
Date	December 9, 2020
Request	Site Plan Review
Recommendation	Approve with Conditions

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#### GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

#### Project and Site Description



Figure 1: Aerial View

The applicant represents Taco Bell of America, LLC. Taco Bell of America, LLC proposes to lease the now-vacant property from the current property owner in order to construct a new Taco Bell restaurant with a drive-thru facility and associated parking.

#### Site conditions

The 0.39-acre site is located just east of the I-75 and Southfield Road interchange and is located on a corner abutting three roadways: Southfield Road to the north, Lafayette Boulevard to the east, and Cleophus Parkway to the South.

The site was previously a gas station, which was demolished in 2017. The site has since been vacant, but has maintained three access points: one on Cleophus Parkway and two on Southfield Road.

**Master Plan**

*Future Land Use Classification*

The Future Land Use classification for this parcel is General Commercial. The proposed drive-thru restaurant is consistent with the General Commercial future land use classification.

*Intent, Desirable Uses, and Elements*

General commercial properties are intended to serve the whole community and are located along major thoroughfares.

**Land Use and Zoning**

*Zoning*

The parcel is zoned Municipal Business District (MBD). A drive-thru service establishment is a principal permitted use in the district, subject to the site design standards of Section 1296.02, Site Design Standards for Uses Permitted After Special Approval.



Figure 2: Zoning Map

*Proposed and Existing Uses*

Site	Commercial (vacant); Municipal Business District (MBD)
North	ROW; Commercial (restaurants); Municipal Business District
East	ROW; Commercial (medical facility); Central Business District (MBD)
South	ROW; Residential; Single Family Residential District (SFRD)
West	Commercial (vacant, Masonic Temple); Municipal Business District (MBD)

### Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
T-001	Title Sheet	11/11/2020	11/23/2020
1 of 1	ALTA Survey	11/11/2020	–
C-111	Preliminary Site Plan	11/11/2020	11/23/2020
C-121	Preliminary Grading Plan	11/11/2020	–
C-131	Preliminary Utility Plan	11/11/2020	–
C-112	Masonry Fence Wall Detail	11/23/2020	–
C-113	Masonry Fence Wall Notes	11/23/2020	–
L-101	Preliminary Landscape Plan	11/11/2020	11/23/2020
G2.0	Trash Enclosure Details	11/11/2020	–
A4.0	Exterior Elevations	11/11/2020	11/23/2020
A4.1	Exterior Elevation	11/23/2020	–
–	Equipment Plan	11/11/2020	–
–	Photometrics Completed by Capitol Light	–	–

### Dimensional Standards

The dimensional requirements of the Municipal Business District (MBD) are described in the chart below. (§1294.32, except where noted.)



	Required	Provided	Compliance
<b>Lot Width</b>	Min. 40	~217	Met
<b>Street Frontage</b> (§1294.09)	Shrubbery and low retaining walls maximum 2 ½' < height < 8'	No shrubbery or retaining wall proposed at intersections.	N/A
<b>Lot Area</b>	Min. 4,000 sq. ft.	~25,181 sq. ft.	Met
<b>Lot Coverage</b>	Max. 50%	~1,537/25,181 = 6%	Met
<b>Height</b>	2-Story Building; 25 ft	1 story; 21' 4"	Met
<b>Setback – Front</b>	0	~68' (Cleophus)	Met
<b>Setback – Sides</b>	0	~73' (Lafayette) ~87' (West)	Met
<b>Setback – Rear</b>	0	~19' (Southfield)	Met

**Items to be addressed**

None

**BUILDING DESIGN**

*The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.*

Required	Compliance
<ul style="list-style-type: none"> <li>Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500'</li> </ul>	Met

Required	Compliance
<ul style="list-style-type: none"><li>• Architectural variety</li><li>• Similar materials and entrances to buildings within 500' <i>primarily brick, single-story, auto-oriented</i></li></ul>  <p>1 block west on Southfield – vacant land excluding the brick Masonic Temple</p>  <p>1 block east on Southfield – strip mall style, mostly brick and flat roof</p>	Met



Required	Compliance
<ul style="list-style-type: none"> <li>• Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 <i>Flat roof proposed, no overhanging eaves.</i></li> <li>• Rooflines &gt;100' = roof forms, parapets, cornice lines</li> <li>• Roof-top mechanical equipment screened by roof form. <i>No roof-top mechanical equipment shown.</i></li> </ul>	<p><b>NOT MET</b></p> <p>N/A <b>INQUIRY</b></p>

**Items to be addressed**

- Applicant shall revise front façade materials to comply with façade material percentage requirements.
- Applicant shall show roof-top mechanical equipment screening, if applicable.

**PRESERVATION OF SIGNIFICANT NATURAL FEATURES**

*Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.*

There are no significant natural features to preserve.

**Items to be addressed**

*None*

**SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION**

*The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.*

The site is served by a public sidewalk on three sides of the building (Southfield Road to the north, Lafayette Boulevard to the east, and Cleophus Parkway to the South) which provides pedestrian circulation separated from the vehicular circulation. There is a proposed paved internal sidewalk that runs along the south side of the building (7' 7" wide) and along the west side of the building (6' wide) that connects to the public sidewalk along Southfield Road. There are no bicycle lanes on the ROW or bicycle parking facilities proposed. The concrete sidewalks on Southfield Road, Lafayette Boulevard, and Cleophus Parkway do not appear to currently meet City standards. Any broken, cracked, or unsafe sidewalks in the rights-of-way and onsite must be repaired.

**Items to be addressed**

- Applicant shall ensure that concrete sidewalks are brought up to City standards.

**PARKING**

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

The Lincoln Park Code of Ordinance §1290.02 Number of Spaces requirements clearly indicates parking formulas for each use under the Business and Commercial category.

Use(s)	Required	Proposed	Compliance
Drive-thru restaurant	<p><u>Parking Spaces</u>: One (1) for every two (2) seats in an established seating plan area, plus one (1) for every fifteen (15) square feet of usable customer area other than in an established seating plan area, plus one (1) for every two (2) employees based upon maximum employment shift, plus one (1) for every outside customer automobile service stall area, plus required vehicle stacking spaces.</p> <p><i>[6 seats / 2 = 3 spaces] + [86 sf usable customer area / 15 = 5.7 spaces] + [9 employees / 2 = 4.5 spaces] = 13.2 spaces = 13 spaces required</i></p>	18 spaces	Met
	<p><u>Stacking Spaces</u>: Ten (10) per service window at a size of 10' x 24'</p> <p><i>1 service window = 10 stacking spaces required</i></p>	17 spaces depicted by 11' x 27' cars	Met

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Demonstrated – two points of ingress and egress (one on Southfield Road and one on Cleophus Parkway)	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Proposed asphalt for parking area and proposed concrete for ingress and egress points and internal drives	Met
	Concrete curbs and gutters	Concrete curb and gutter locations shown on plan, but no details provided.	<b>INQUIRY</b>
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	Proposed 6' solid masonry decorative fence shown along south property line.	Met



	Required	Proposed	Compliance
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	Residential properties are located on the opposite side of Cleophus Parkway. The street boundaries meet the requirements with the proposed 6' solid masonry wall and landscaping.	Met
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	There are two ingress and egress points, both of which are wide enough for two-way traffic. There are ample stacking spaces provided.	Met
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	Drive-thru lanes abutting public sidewalks are appropriately curbed. No proposed parking spaces abut public sidewalks.	Met

**Items to be addressed**

- Applicant shall provide curb and gutter details per the City's standards.

**BARRIER-FREE ACCESS**

*The site has been designed to provide barrier-free parking and pedestrian circulation.*

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1-25	1	2	Met

**Items to be addressed**

*None*

**LOADING**

*All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.*

Per section 1290.09(b), commercial buildings with less than 2,000 sq. ft. of gross floor area do not require a designated loading space. The proposed building is 1,537 sq. ft. There is a proposed 50-ft. loading zone area provided on the site plan for reference only.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
0 - 2,000	0	0	Met

Items to be addressed

None

**ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION**

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Road, Fort Street, Dix Avenue, and Outer Drive.

Required	Provided	Compliance
<ul style="list-style-type: none"> <li>Single two-way driveway or pair of one-way driveways</li> </ul>	<ul style="list-style-type: none"> <li>Single two-way driveways provided on Southfield Rd and Cleophus Pkwy</li> </ul>	Met
<ul style="list-style-type: none"> <li>Two-way: 25' &lt; throat width &lt; 30' (face to face of curb). One-way paired: each 20' measured perpendicularly. May be separated by 10' median; sidewalks shall be continued or maintained</li> <li>25' radii; 30' radii where daily truck traffic expected</li> </ul>	<ul style="list-style-type: none"> <li>Throat width on Southfield = ~30' Throat width on Cleophus = ~25', sidewalks continue</li> <li>Radii noted as R-15 and R-12 for both Southfield and Cleophus</li> </ul>	Met
<ul style="list-style-type: none"> <li>Corner lots: one access point per street with &gt;100' frontage</li> <li>If frontage &gt;300' and documented need (ITE), may allow additional access with design restrictions</li> </ul>	<ul style="list-style-type: none"> <li>One access point per street provided (Southfield and Cleophus)</li> <li>N/A</li> </ul>	Met
<ul style="list-style-type: none"> <li>Shared access: driveways along property lines, connecting parking lots, on-site frontage roads, rear service drives. Encouraged and may be required for sites within 1/4 mile of major intersections; having dual frontage; with &lt;300' frontage; with sight distance problems; along congested or accident-prone roadway segments</li> <li>Connection to adjacent facilities may be required; site accommodation may be required for future connection to undeveloped adjacent property</li> <li>Letters of agreement or access easements required</li> </ul>	<ul style="list-style-type: none"> <li>N/A</li> <li>Proposed future cross access point provided along west property line</li> <li>N/A</li> </ul>	N/A
		Met
		N/A

Required	Provided	Compliance
<ul style="list-style-type: none"> <li>• Triangular unobstructed view areas: from corner of two ROWs, 25' along each; from corner of ROW and driveway, 10' along driveway and 5' along ROW</li> <li>• Grass / groundcover only in 3' strip abutting driveway and ROW</li> <li>• Trees permitted if trimmed between 30" and 6' from ground level</li> </ul>	<ul style="list-style-type: none"> <li>• From both corners, &gt;25' unobstructed area provided; corner of ROW and driveways are clear</li> <li>• Sod provided in 3' strip abutting driveways and ROWs</li> <li>• Note: ensure proposed "Street Keeper Honeylocust" tree closest to Southfield drive meets trimming requirements</li> </ul>	<p>Met</p> <p>Met</p> <p><b>INQUIRY</b></p>
<ul style="list-style-type: none"> <li>• May require drive to be located on the far side of the property from congested intersections</li> <li>• &gt;150' from signalized intersection or 4-way stop, or right-turn-only at 75' from intersection</li> <li>• &gt;100' otherwise</li> <li>• &gt;200' from centerline of I-75 access ramps</li> </ul>	<p>Proposed drive on Southfield is located on far side of the property, &gt;150' from intersection; proposed drive is &gt;200' from the centerline of I-75 access ramps</p>	<p>Met</p>
<ul style="list-style-type: none"> <li>• Same side of street: Driveway spacing determined by speed limits in §1290.10</li> <li>• Across the street: Driveways directly aligned or &gt;150' offset (excludes right-turn-only)</li> <li>• Directional driveways, divided driveways, and deceleration tapers and/or by-pass lanes may be required by the Planning Commission where they will reduce congestion and accident potential</li> </ul>	<ul style="list-style-type: none"> <li>• Speed limit is 35 mph, so minimum driveway spacing is 150'. The distance to the next driveway east on Southfield is about 360' and to next driveway west is about 1,436'.</li> <li>• N/A</li> <li>• There is an existing right-turn-only lane on Southfield in front of the property.</li> </ul>	<p>Met</p> <p>N/A</p> <p>Met</p>

**Items to be addressed**

- Driveway radii shall be revised to meet the standards.*
- Applicant shall ensure that all proposed trees will be trimmed properly to meet unobstructed view requirements from driveways.*
- Southfield Road is under the jurisdiction of the Wayne County Road Commission, and all work in the right-of-way shall be permitted and approved through that agency.*

**EMERGENCY VEHICLE ACCESS**

*All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.*

Emergency vehicle access will be via Cleophus Parkway, which is noted on the plan. The Fire Department has verified that no fire lane is required for this property.

**Items to be addressed**

None

**STREETS**

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

**Items to be addressed**

None

**LANDSCAPING, SCREENING, AND OPEN SPACE**

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	8' sod area along Southfield and Cleophus; 4' sod area along Lafayette.	Met with waiver
	1 tree and 4 shrubs per 40' of street frontage 218' (Southfield) + 115' (Lafayette) + 217' (Cleophus) = 550' street frontage $550/40 = 13.75 = 14$ trees and 55 shrubs.	<u>Southfield</u> : 5 Street Keeper Honeylocust trees, 21 Sea Green Juniper shrubs, 8 Green Gem Boxwood shrubs, 3 proposed Goldfinger Potentilla shrubs, 22 Going Bananas Daylily flowers (not counted toward shrub requirement) <u>Lafayette</u> : 2 Princeton Sentry Ginkgo trees (between parking	Met

	Required	Proposed	Compliance
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	area and drive-thru lane) and 26 Karl Forester Reed Grass <u>Cleophus</u> : 5 Street Keeper Honeylocust trees, 1 existing tree (eligible for 1 additional tree credit) <u>Total</u> : 14 trees and 58 shrubs  No proposed parking area will result in headlights from parked vehicles shining into ROW; proposed shrubs along Southfield and Lafayette will adequately obscure headlights from vehicles in drive-thru lanes	Met
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>25,181 sf * 0.1 = 2,518 sf landscaping.</i>	~6,043 sf of total lot is landscaped	Met
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Grouped near entrances, foundations, and walkways	Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>2,518/400 = 6.3 = 6 trees</i> <i>2,518/250 = 10.08 = 10 shrubs</i>	6 proposed Emerald Arborvitae trees, 1 Wichita Blue Juniper shrub, 17 Green Gem Boxwood shrubs, 4 Color Guard Yucca shrubs, 20 Going Bananas Daylily (not counted toward shrub requirement), 16 Goldfinger Potentilla shrubs, 4 Blue Fescue shrubs, and 4 Dwarf Golden Arborvitae shrubs <u>Total</u> : 6 trees and 46 shrubs	Met
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces <i>18 spaces = 2 trees</i>	2 proposed Princeton Sentry Ginkgo trees	Met
	100 sf of planting area per tree	>100 sf planting area for each tree	
	Where parking lot landscaping cannot be provided, additional landscaping along the street or in the buffer areas should be considered	Additional landscaping: 12 Goldfinger Potentilla shrubs, 10 Blue Fescue shrubs, and 18 Going Bananas Daylily flowers	



	Required	Proposed	Compliance
Screening	Waste receptacle: Decorative masonry wall of at least 6’ with solid or impervious gate	8’-tall screened masonry dumpster enclosure with solid gate provided	Met
	Abutting residential: greenbelt, 15’ with 5’ evergreens (PC may waive), and/or solid 6’ masonry wall ornamental on both sides	8’ greenbelt sod area with 5 proposed Street Keeper Honeylocust trees (deciduous), waste enclosure wall, and 6’ masonry decorative wall	Met

The applicant has proposed 26 Karl Forester Reed Grass plants along Lafayette Boulevard to meet street landscaping requirements. While Reed Grass is not a shrub and is not listed as a permitted species in Section 1296.03, it will provide the desired function for street landscaping and is an effective screening plant. It is recommended that the applicant not cut down the Reed Grasses in the fall, but instead let the dried grasses remain in place over the winter and then cut the grasses down in the early spring when new growth will quickly take over.

**Items to be addressed**

- Applicant shall request Planning Commission waiver for greenbelt width.
- Applicant shall request Planning Commission permission for Karl Forester Reed Grass plant substitution.

**SOIL EROSION CONTROL**

*The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.*

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

**Items to be addressed**

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to review soil erosion practices as needed.

**UTILITIES**

*Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.*

The Preliminary Utility Plan shows all proposed utilities and connections.

**Items to be addressed**

- Applicant shall work with the City Engineer to review all proposed utilities.

### STORMWATER MANAGEMENT

*Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.*

Stormwater management is under the jurisdiction of Wayne County.

#### Items to be addressed

- Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process and shall secure all required permits from Wayne County as needed.*

### LIGHTING

*Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.*

The Photometric Plan shows two proposed lighting fixtures, each 25 feet in height, though no specifications on fixture design are provided. The Plan provides a luminaire schedule, indicating that the plan shows measurements in lumens; however, the lighting requirements in section 1294.31(f) are in footcandles.

#### Items to be addressed

- Applicant shall provide manufacturer specifications and measurements in footcandles to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

### NOISE

*The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.*

No adverse noise impacts are anticipated from the development.

#### Items to be addressed

*None*

### MECHANICAL EQUIPMENT

*Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.*

Ground-mounted mechanical equipment is adequately screened with landscaping. There is no proposed roof-top mechanical equipment.

**Items to be addressed**

None

**SIGNS**

*The standards of the City's Sign Code are met.*

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during site Plan Review is for illustrative purposes only.

**Items to be addressed**

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

**HAZARDOUS MATERIALS OR WASTE**

*For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.*

The previous use on the property was a gas station; however, according to the ALTA survey and geotechnical report, there are no remaining underground storage tanks onsite.

**Items to be addressed**

None

**SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL**

*All applicable standards for uses permitted after special approval are met.*

A drive-thru restaurant is a principal permitted use in the MBD zoning district; however, Section 1278.02 specifies that a drive-thru service establishment is subject to the site design standards of Section 1296.02, Site Design Standards for Uses Permitted After Special Approval. Thus, while the project does not require Special Land Use approval, it must meet the requirements of Section 1294.16, Drive-in and Drive-Through Establishments.

	Required	Proposed	Compliance
Location & Access	Abut a principal or regional thoroughfare, with all ingress and egress directly to thoroughfare.	The site abuts Southfield Road.	Met
	Adequate ingress and egress.	Adequate ingress and egress has been provided	Met

	Required	Proposed	Compliance
Lighting	Does not create a driving hazard on abutting streets or cause direct illumination on adjacent residential properties.	The photometric plan provided does not show footcandle measurements or proposed light fixture design; therefore, cannot determine lighting impact.	<b>INQUIRY</b>
Paved Areas	<b>Hard surfaced; curbs along landscape</b>	Proposed asphalt for parking areas; proposed concrete for internal drives and access points; curbs provided along landscaped areas.	Met
Walls & Screening	Where adjoining residential district: 6' solid, ornamental, masonry wall along interior or alley lot line	Proposed 6' masonry decorative fence shown along south property line.	<b>Met</b>
	Trash areas, tires, parts, etc. enclosed on all sides by 6' masonry wall	Trash area enclosed with 6' masonry wall.	Met
	Walls: same materials as principal building; brick, decorative block, pre-cast concrete with decorative pattern; painted principal building color scheme	Proposed walls enclosing trash areas are brick with a painted fence. Proposed masonry wall on south side of property along Cleophus Parkway, but no color details provided.	<b>INQUIRY</b>
	Protected by curb or vehicle barrier	Curbed	Met
Additional Review	Police and Fire Dept. review as to the suitability of the location of entrances and exits to the site, parking area, screening, lighting, and other design features.	The Police and Fire Departments have reviewed the plan. Police review notes that assistance has been required by drivers in the drive-thru lanes and inquired about emergency vehicle access to the lanes.	Met

**Items to be addressed**

- Applicant shall provide color details for the proposed masonry wall to ensure it is consistent with the principal building.
- Applicant shall provide manufacturer specifications and measurements in footcandles to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.
- Applicant shall address emergency vehicle access to the drive-thru lanes.

### OTHER AGENCY REVIEWS

*The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.*

Work on the Southfield Road ROW requires permit from Wayne County Road Commission.

#### Items to be addressed

- Work on the Southfield Road ROW requires a permit from Wayne County Road Commission.*

### VARIANCES

No variances are anticipated in conjunction with this development.

#### Items to be addressed

*None*

### RECOMMENDATIONS

#### Findings

The information submitted with this proposal is substantially in compliance with §1296.01, Site Plan Review.

#### Conditions and Waivers

##### *Waivers*

- Applicant shall request Planning Commission waiver for greenbelt width.
- Applicant shall request Planning Commission permission for Karl Forester Reed Grass plant substitution.

##### *Conditions to be addressed before approval letter is issued*

- Applicant shall revise front façade materials to comply with façade material percentage requirements.
- Applicant shall show roof-top mechanical equipment screening, if applicable.
- Applicant shall provide curb and gutter details per the City's standards.
- Driveway radii shall be revised to meet the standards.
- Applicant shall ensure that all proposed trees will be trimmed properly to meet unobstructed view requirements from driveways.



- Applicant shall provide manufacturer specifications and measurements in footcandles to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.
- Applicant shall provide color details for the proposed masonry wall to ensure it is consistent with the principal building.
- Applicant shall address emergency vehicle access to the drive-thru lanes.

*Conditions of Approval*

- Applicant shall ensure that concrete sidewalks are brought up to City standards.
- Southfield Road is under the jurisdiction of the Wayne County Road Commission, and all work in the right-of-way shall be permitted and approved through that agency.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to review soil erosion practices as needed.
- Applicant shall work with the City Engineer to review all proposed utilities.
- Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process and shall secure all required permits from Wayne County as needed.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Work on the Southfield Road ROW requires a permit from Wayne County Road Commission.

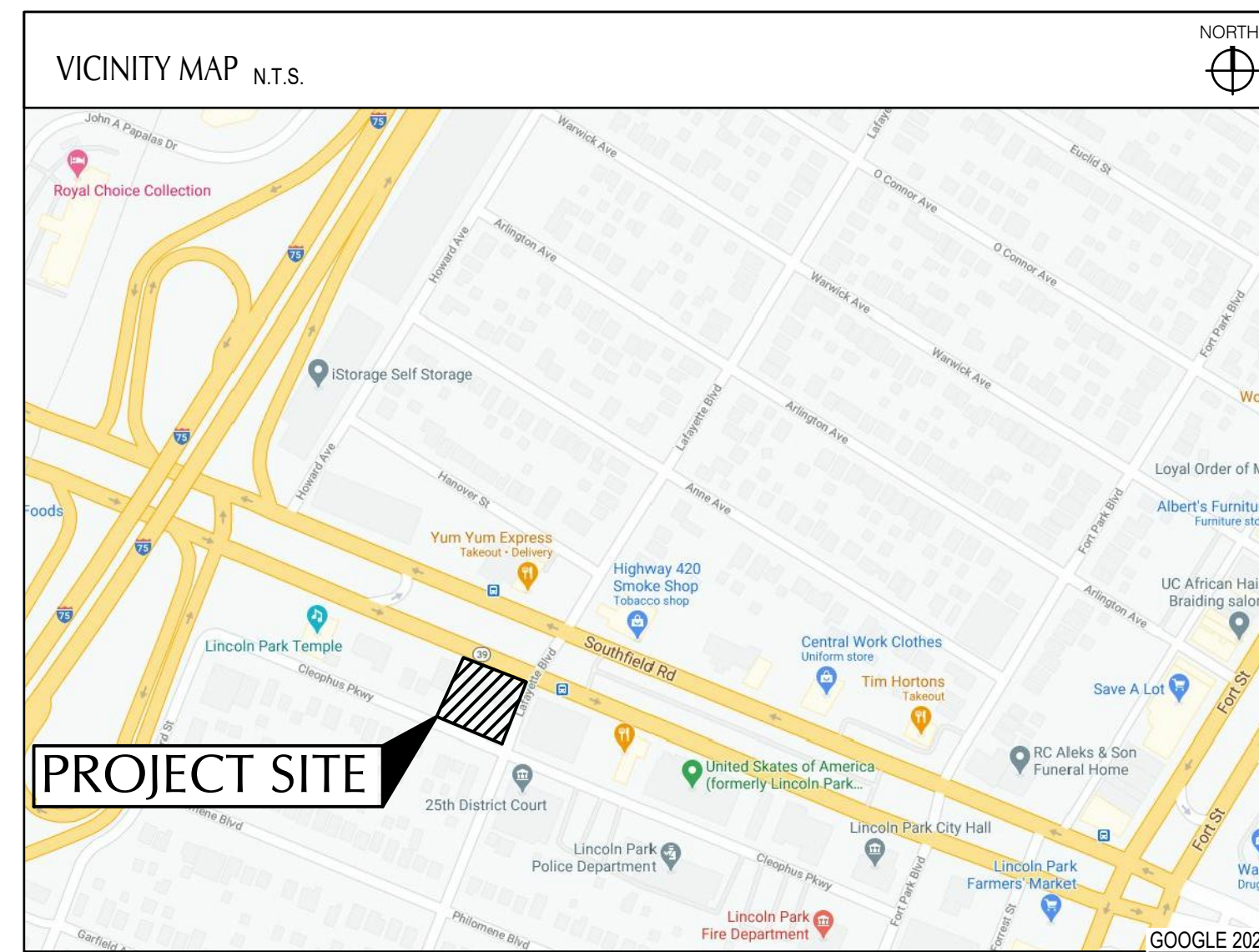
**Proposed Motion**

I move that the City of Lincoln Park approve the site plan numbered PPC 20-0011, proposing a Taco Bell drive-thru restaurant at 1519 Southfield Road and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

IMPROVEMENT PLANS

# TACO BELL

1519 SOUTHFIELD RD  
 LINCOLN PARK, MI 48146  
 NOVEMBER 9, 2020



INDEX OF DRAWINGS	
TITLE SHEET .....	T-001
ALTA SURVEY .....	1 OF 1
SITE PLAN .....	C-111
MASONRY FENCE WALL DETAIL .....	C-112
MASONRY FENCE WALL NOTES .....	C-113
GRADING PLAN .....	C-121
UTILITY PLAN .....	C-131
LANDSCAPE PLAN .....	L-101
FLOOR PLAN .....	A1.0
EQUIPMENT AND SEATING PLAN .....	A2.0
EXTERIOR ELEVATIONS .....	A4.0
EXTERIOR ELEVATIONS .....	A4.1

**PLAN REPRODUCTION WARNING**  
 THE PLANS HAVE BEEN PREPARED  
 FOR PRINTING ON ANSI D (22"x34")  
 SHEETS. PRINTING ON OTHER SIZE  
 SHEETS MAY DISTORT SCALES.  
 REFER TO GRAPHIC SCALES.



PLANNING COMMENTS	DATE
	11.23.20

CONTRACT DATE: -  
 BUILDING TYPE: ENDEAVOR XS-6  
 PLAN VERSION: -  
 BRAND DESIGNER:  
 SITE NUMBER: 313798  
 STORE NUMBER: 2019088.10

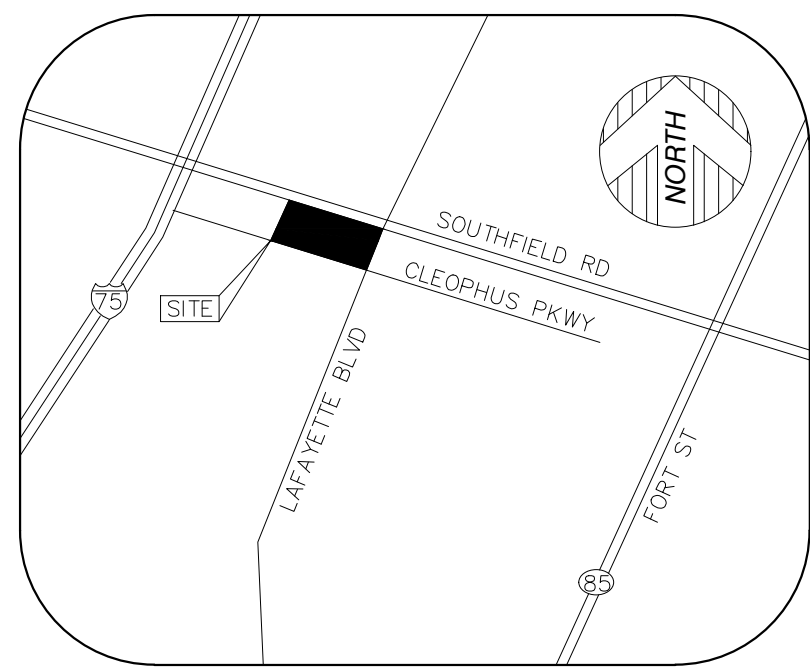
**TACO BELL**  
 1519 Southfield Road  
 Lincoln Park, MI 48146

**TACO BELL**  
 END XS6  
 TITLE SHEET

**T-001**  
 PLOT DATE: 11-23-20

"This submittal is for general informational purposes only and is preliminary in nature. As such, any other use or reliance is strictly prohibited."





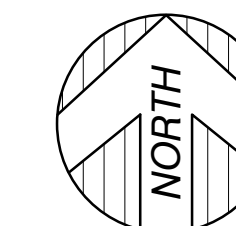
VICINITY MAP  
(NOT TO SCALE)

**BASIS OF BEARING**

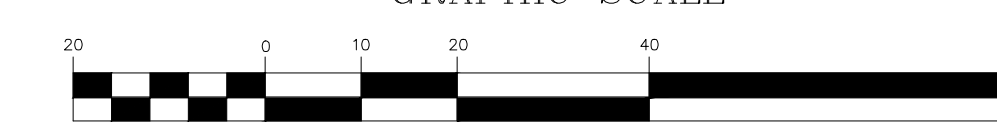
NORTH 83°48'00" WEST, BEING THE NORTHERLY RIGHT OF WAY OF CLEOPHUS PARKWAY, AS PLATTED.

**COMBINED PARCEL DESCRIPTION**  
LAND SITUATED IN THE CITY OF LINCOLN PARK, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

LOTS 241 THROUGH 244, INCLUSIVE, EXCEPT NORTHERLY PART THEREOF MEASURING 8.71 FEET ON THE EASTERLY LOT LINE AND 8.91 FEET ON THE WESTERLY LOT LINE, ALSO LOTS 245, EXCEPT THE NORTHERLY PART THEREOF MEASURING 8.92 FEET ON THE EASTERLY LINE AND 9.10 FEET ON THE WESTERLY LINE OF SAID LOT; AND LOTS 246, EXCEPT THE NORTHERLY PART THEREOF MEASURING 9.10 FEET ON THE EASTERLY LINE AND 9.27 FEET ON THE WESTERLY LINE OF SAID LOT, GEORGE P. EMRICK'S MAPLELAWN SUBDIVISION, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN LIBER 42 OF PLATS, PAGE 72, WAYNE COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE SOUTHEASTLY CORNER OF SAID LOT 241; THENCE NORTH 69 DEGREES 48 MINUTES 00 SECONDS WEST 217.00 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT 249; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOT 249 NORTH 19 DEGREES 33 MINUTES 00 SECONDS EAST 115.73 FEET TO THE SOUTHERLY RIGHT OF LINE OF SOUTHFIELD ROAD; THENCE EASTERLY ALONG SAID SOUTHERLY RIGHT OF WAY LINE THE FOLLOWING THREE (3) COURSES: SOUTH 70 DEGREES 34 MINUTES 34 SECONDS EAST 34.64 FEET; THENCE SOUTH 70 DEGREES 18 MINUTES 08 SECONDS EAST 35.72 FEET; THENCE SOUTH 69 DEGREES 31 MINUTES 41 SECONDS EAST 146.83 FEET TO THE EASTERLY LINE OF SAID LOT 241; THENCE SOUTHERLY ALONG SAID EASTERLY LINE SOUTH 19 DEGREES 38 MINUTES 31 SECONDS WEST 115.81 FEET TO THE POINT OF BEGINNING.



**GRAPHIC SCALE**



( IN FEET )  
1 inch = 20 ft.

**PROPERTY DESCRIPTION**

LAND SITUATED IN THE CITY OF LINCOLN PARK, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

**PARCEL 1:** LOTS 241 THROUGH 244, INCLUSIVE, EXCEPT NORTHERLY PART THEREOF MEASURING 8.71 FEET ON THE EASTERLY LOT LINE AND 8.91 FEET ON THE WESTERLY LOT LINE, GEO. P. EMRICK'S MAPLELAWN SUBDIVISION, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN LIBER 42 OF PLATS, PAGE 72, WAYNE COUNTY RECORDS.

**PARCEL 2:** LOTS 245, EXCEPT THE NORTHERLY PART THEREOF MEASURING 8.92 FEET ON THE EASTERLY LINE AND 9.10 FEET ON THE WESTERLY LINE OF SAID LOT, GEORGE P. EMRICK'S MAPLELAWN SUBDIVISION OF PART OF PRIVATE CLAIM 43, EDORSE TOWNSHIP, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN LIBER 42 OF PLATS, PAGE 72, WAYNE COUNTY RECORDS.

**PARCEL 3:** LOTS 246, EXCEPT THE NORTHERLY PART THEREOF MEASURING 9.10 FEET ON THE EASTERLY LINE AND 9.27 FEET ON THE WESTERLY LINE OF SAID LOT, GEORGE P. EMRICK'S MAPLELAWN SUBDIVISION, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN LIBER 42 OF PLATS, PAGE 72, WAYNE COUNTY RECORDS.

**BENCHMARK**

**SITE BENCHMARK #1**  
PAINT "X" ON EXPOSED BOLT ON TRAFFIC POLE.  
ELEVATION = 586.83' (NAVD 88 DATUM)

**SITE BENCHMARK #2**  
SOUTHEAST BOLT ON LIGHT POLE.  
ELEVATION = 587.15' (NAVD 88 DATUM)

**SITE BENCHMARK #3**  
MAG NAIL IN LIGHT POLE.  
ELEVATION = 589.40' (NAVD 88 DATUM)

**PARCEL AREA**

**PARCEL 1**  
17,064± SQUARE FEET = 0.39± ACRES

**PARCEL 2**  
4,144± SQUARE FEET = 0.09± ACRES

**PARCEL 3**  
4,037± SQUARE FEET = 0.09± ACRES

**TOTAL**  
25,215± SQUARE FEET = 0.57± ACRES

**PARKING**

NO MARKED PARKING ON SITE.

**LEGEND**

- SET 1/2" REBAR WITH CAP P.S. 53499
- ▲ SET MAG NAIL
- x SET X-CUT
- FOUND MONUMENT (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- .00 GROUND ELEVATION
- UTILITY POLE
- LIGHT POLE WITH STREET LAMP
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL CONTROL BOX
- SEWER MANHOLE
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- WATER VALVE
- UNKNOWN MANHOLE
- BOLLARD
- FLAG POLE
- LIGHTPOST/LAMP POST
- SINGLE POST SIGN
- DOUBLE POST SIGN
- DECIDUOUS TREE (AS NOTED)
- PARCEL BOUNDARY LINE
- PLATTED LOT LINE
- ADJOINER PARCEL LINE
- EASEMENT (AS NOTED)
- BUILDING
- CONCRETE CURB
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- OVERHEAD UTILITY LINE
- GAS LINE
- SEWER LINE
- WATER LINE
- STORM LINE
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- BUILDING AREA
- ASPHALT
- CONCRETE

**ZONING REGULATIONS**

MBD - MUNICIPAL BUSINESS DISTRICT

- \*MINIMUM LOT AREA - 4,000 SQUARE FEET
- \*MAXIMUM LOT COVERAGE - 50%
- \*REQUIRED SETBACK LINE MINIMUM DIMENSIONS IN FEET - FRONT - (O) LEAST ONE SIDE - (P) TOTAL TWO SIDES - (P) REAR - (S)
- \*MAXIMUM HEIGHT IN FEET - 25 FEET

**\*FOOTNOTES**

O - WHERE AN EXISTING FRONT SETBACK LINE HAS BEEN ESTABLISHED BY EXISTING COMMERCIAL BUILDINGS OCCUPYING FORTY PERCENT (40%) OR MORE OF THE FRONTAGE WITHIN THE SAME BLOCK, OR BY COMMERCIAL BUILDINGS OCCUPYING SIXTY PERCENT (60%) OR MORE OF THE FRONTAGE WITH ADJACENT BLOCKS, SUCH ESTABLISHED SETBACK SHALL APPLY.

P - IN ANY COMMERCIAL DISTRICT, EXCEPT FOR THE REGIONAL BUSINESS DISTRICT (RBD), SIDE YARDS ARE NOT REQUIRED ALONG INTERIOR SIDE LOT LINES DIRECTLY ABUTTING A PUBLIC RIGHT-OF-WAY, OR ALONG INTERIOR SIDE LOT LINES.

S - NO REAR SETBACK IS REQUIRED WHERE PROPERTY ABUTS A PUBLIC ALLEY.

NOTE: ALL ZONING INFORMATION IS TAKEN FROM THE CITY OF LINCOLN PARK WEBSITE. ALL ZONING INFORMATION MUST BE VERIFIED FOR COMPLETENESS WITH CURRENT ZONING REGULATIONS.

**FLOOD NOTE**

SUBJECT PARCEL LIES WITHIN OTHER AREA (ZONE X); AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AS SHOWN ON FLOOD INSURANCE RATE MAP; MAP NUMBER 26163C0268E, DATED 2/2/2012, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

**SURVEYOR'S NOTES**

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

2. THERE ARE NO DELINEATED WETLANDS ON SITE.

**TITLE REPORT NOTE**

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 821076606NTS, DATED DECEMBER 20, 2018, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

4. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENTS RECORDING NO: LIBER 1937, PAGE 120, AND REGISTER NO. A-33983. (SEE DOCUMENT FOR TERMS AND CONDITIONS)

5. TERMS, COVENANTS, AND CONDITIONS OF EASEMENT AGREEMENT AS SET FORTH BELOW; RECORDING NO: LIBER 54228, PAGE 232. (AS SHOWN)



**BENCHMARKS:**  
 NORTH 69°48'00" WEST, BEING THE NORTHERLY RIGHT OF WAY OF CLEOPHUS PARKWAY, AS PLATTED. ELEVATIONS ARE NAVD 88 DATUM.  
 BENCHMARK #1 - PAINT 'X' ON EXPOSED BOLT ON TRAFFIC POLE. ELEVATION=586.83'  
 BENCHMARK #2 - SOUTHEAST BOLT ON LIGHT POLE. ELEVATION=587.15'  
 BENCHMARK #3 - MAG NAIL IN LIGHT POLE. (NOT SHOWN ON PLAN. SEE ALTA SURVEY FOR LOCATION) ELEVATION=589.40'



BUILDING SETBACKS		
	REQUIRED	PROVIDED
FRONT: CLEOPHUS	15'	68.4'
REAR: SOUTHFIELD	15'	19.7'
SIDE: LAFAYETTE	15'	73.0'
SIDE: WEST	0'	86.6'

PARKING SETBACKS		
	REQUIRED	PROVIDED
FRONT: CLEOPHUS	15'	6.1'
REAR: SOUTHFIELD	10'	6.5'
SIDE: LAFAYETTE	10'	2.5'
SIDE: WEST	0'	1.2'

LANDSCAPE SETBACKS		
	REQUIRED	PROVIDED
FRONT: CLEOPHUS	15'	6.1'
REAR: SOUTHFIELD	10'	6.5'
SIDE: LAFAYETTE	10'	2.5'
SIDE: WEST	0'	1.2'

PARKING SPACES		
	REQUIRED	PROVIDED
NUMBER OF SPACES	15	18

**PARKING REQUIREMENTS**  
 1 SPACE PER 2 SEATS, PLUS 1 PER EVERY 15 SF OF USABLE CUSTOMER AREA, PLUS 1 PER EVERY 2 EMPLOYEES, PLUS ONE FOR CUSTOMER SERVICE STALL AREA  
 THEREFORE: 6 SEATS / 2 = 3 STALLS + 86 SF OF USABLE AREA / 15 = 6 STALLS; 9 EMPLOYEES / 2 = 5 STALLS; PLUS 1 = 15 SPACES REQUIRED.

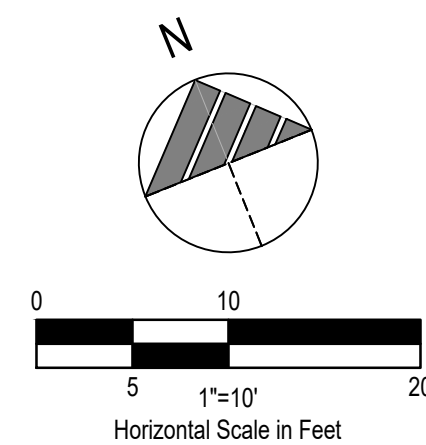
LAND USE DATA		
	% OF SITE AREA	AREA PROVIDED
BUILDING	6.9%	0.04 AC.
PAVEMENT/IMPERVIOUS	69.0%	0.40 AC.
LANDSCAPING	24.1%	0.14 AC.
TOTAL	100%	0.58 AC.

CURRENT ZONING:  
 MUNICIPAL BUSINESS DISTRICT

ASPHALT PAVEMENT		
MATERIAL	DEPTH (STD. DUTY)	MDOT SPECIFICATIONS ITEM
A.C. SURFACE COURSE	1.5"	MDOT 36A
A.C. INTERMEDIATE COURSE	2"	MDOT 13A
AGG. BASE COURSE	8"	MDOT 21AA
SUBGRADE COMPACTION	PER SOILS REPORT	PER SOILS REPORT

SOILS REPORT GOVERNS IF ANY DISCREPANCIES OCCUR.

NOTE:  
 1. ALL WORK WITHIN THE RIGHT OF WAY LIMITS SHALL BE PER MDOT STANDARDS AND SPECIFICATIONS.  
 2. FIRE ACCESS WILL BE FROM CLEOPHUS PARKWAY.



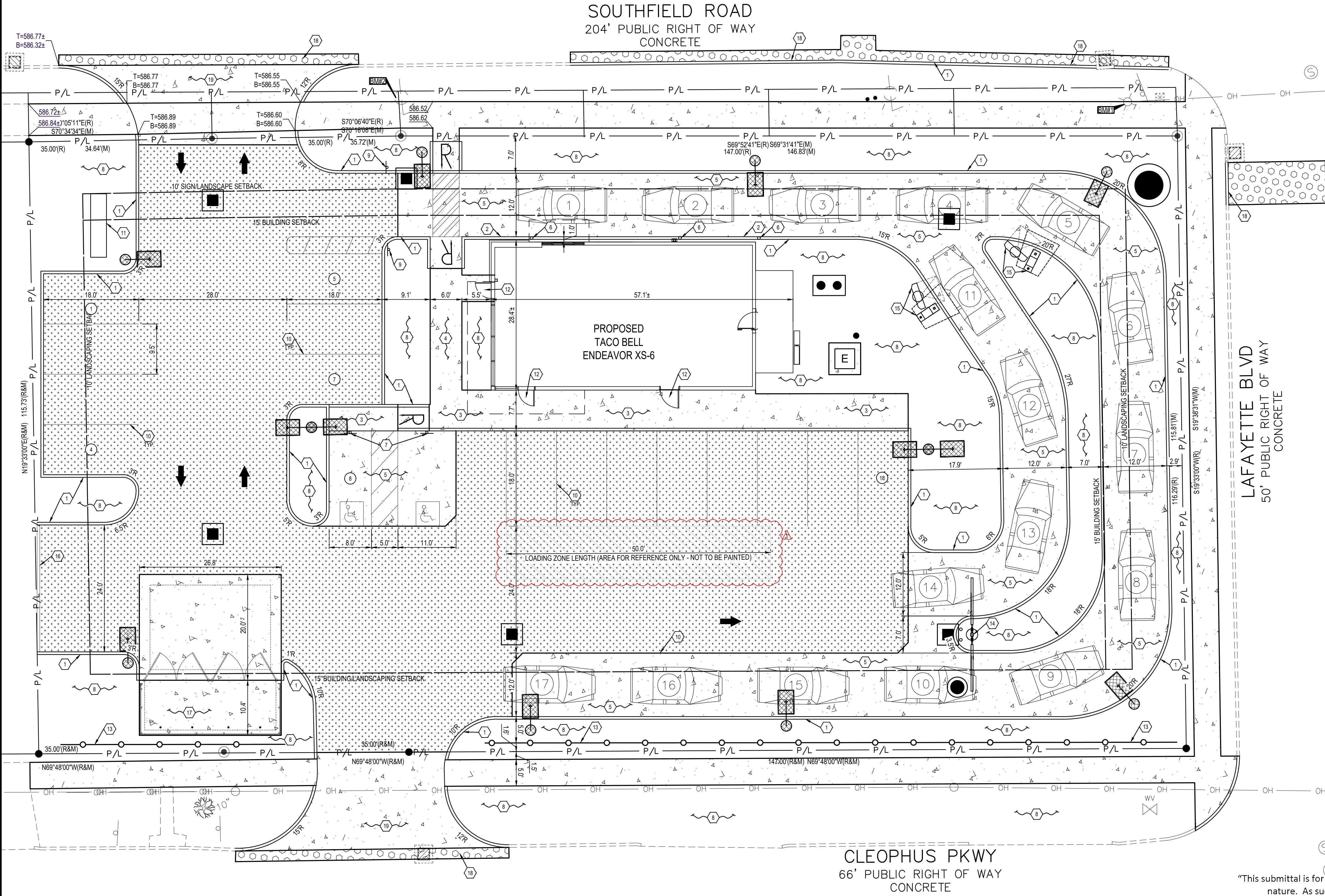
**PLAN KEYNOTES (#)**

- PROPOSED P.C.C. CURB.
- PROPOSED CURB AT DRIVE THRU.
- PROPOSED P.C.C. CURBED WALK.
- PROPOSED P.C.C. WALK.
- PROPOSED 6" P.C.C. PAVEMENT W/ W.W.F. 6" x 6" W2.9 x W2.9 (CONTROL JTS 12'-0" O.C.) OVER 8" CRUSHED AGGREGATE OR GRAVEL BASE. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
- PROPOSED BOLLARD.
- PROPOSED ADA PARKING SIGN.
- PROPOSED LANDSCAPING AREA. SOD ALL DISTURBED AREAS EXCEPT WHERE PLANTING BEDS ARE INDICATED.
- PROPOSED 'DO NOT ENTER' SIGN PER MDOT STANDARDS.
- PROPOSED PAINTED 4" WIDE SOLID STRIPE - WHITE ON ASPHALT, YELLOW ON CONCRETE.
- PROPOSED 8' O.A.H., 70 S.F. MONUMENT SIGN PER SIGN SUPPLIER SPECIFICATIONS.
- PROPOSED FROST SLAB AT DOOR.
- PROPOSED DECORATIVE MASONRY FENCE WALL PER SHEETS C-112 AND C-113.
- PROPOSED CLEARANCE BAR PER TACO BELL STANDARDS.
- PROPOSED MENU BOARD AND SPEAKER PER TACO BELL STANDARDS.
- PROPOSED CROSS ACCESS/ TEMP ASPHALT CURB.
- PROPOSED DUMPSTER ENCLOSURE.
- PROPOSED CURB AND GUTTER PER MDOT STANDARDS.
- PROPOSED COMMERCIAL DRIVE APRON PER MDOT STANDARDS.

**LEGEND**

(SEE SHEET C-001 FOR GENERAL LEGEND)

- PROPOSED ASPHALT PER ASPHALT PAVEMENT TABLE THIS SHEET
- PROPOSED CONCRETE
- PROPOSED PAINTED TRANSVERSE STRIPING
- PROPOSED PAINTED CROSSWALK STRIPING
- PROPOSED PAVEMENT TO MATCH IN KIND AND PER MDOT STANDARDS AND SPECIFICATIONS
- CONSTRUCTION KEYNOTE
- PROPOSED PARKING SPACE NUMBER
- PROPOSED DRIVE THRU STACK CAR AND NUMBER
- PROPOSED DIRECTIONAL PAVEMENT MARKINGS - WHITE ON ASPHALT, YELLOW ON CONCRETE, BLUE FOR ADA
- PROPOSED PAINTED INTERNATIONAL ADA SYMBOL PER ADA SPECIFICATIONS.
- PROPOSED ADA ACCESSIBLE RAMP PER ADA SPECIFICATIONS.
- PROPOSED UTILITY STRUCTURES. REFER TO UTILITY PLAN FOR MORE INFORMATION.



PLANNING COMMENTS	DATE
▲	11.23.20
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	

CONTRACT DATE:  
 BUILDING TYPE: ENDEAVOR XS-6  
 PLAN VERSION:  
 BRAND DESIGNER:  
 SITE NUMBER: 313798  
 STORE NUMBER: 2019088.10

**TACO BELL**  
 1519 Southfield Road  
 Lincoln Park, MI 48146

**TACO BELL**  
 END XS6  
 PRELIMINARY  
 SITE PLAN

**C-111**  
 PLOT DATE: 11-24-20

"This submittal is for general informational purposes only and is preliminary in nature. As such, any other use or reliance is strictly prohibited."



**BENCHMARKS:**  
 NORTH 69°48'00" WEST, BEING THE NORTHERLY RIGHT OF WAY OF CLEOPHUS PARKWAY, AS PLATTED. ELEVATIONS ARE NAVD 88 DATUM.  
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 BENCHMARK #3 - MAG NAIL IN LIGHT POLE. (NOT SHOWN ON PLAN. SEE ALTA SURVEY FOR LOCATION) ELEVATION=589.40'

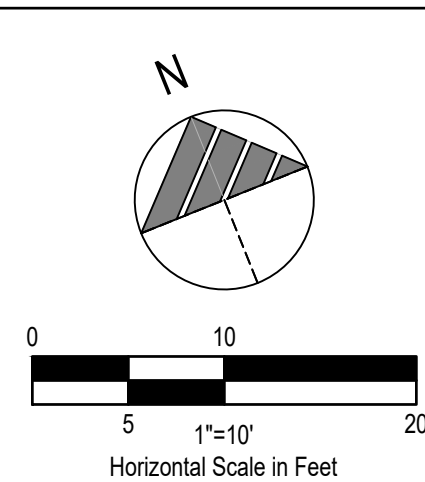


EXISTING STRUCTURES	
STRCT. ID	STRUCTURE DETAILS
CB 2000	EXISTING CATCH BASIN RIM=586.34' INV. 12" CONC, NE=582.54' INV. 12" CONC, SE=582.54'
CB 2001	EXISTING CATCH BASIN RIM=585.57' INV. 12" CONC, SE=582.12' INV. 12" CONC, NW=582.12'
ST 2002	EXISTING STORM SEWER MANHOLE RIM=585.45' INV. 15" NE=578.8' INV. 10" SE=579.35' INV. 10" NW=581.50' INV. 10" SW=581.05'
CB 2003	EXISTING CATCH BASIN RIM=585.10' INV. 10" CONC, NE=581.68'
ST 2004	EXISTING STORM SEWER MANHOLE RIM=586.13' INV. 15" CONC, NE=579.33' INV. 15" CONC, SW=580.23' INV. 10" CLAY, NW=581.13'
ST 2005	EXISTING STORM SEWER MANHOLE RIM=586.16' INV. 15" CONC, NE=580.14' INV. 15" CONC, SW=580.06'
CB 2006	EXISTING CATCH BASIN RIM=584.53' T/WATER=582.43' B/STRUCTURE=580.43'

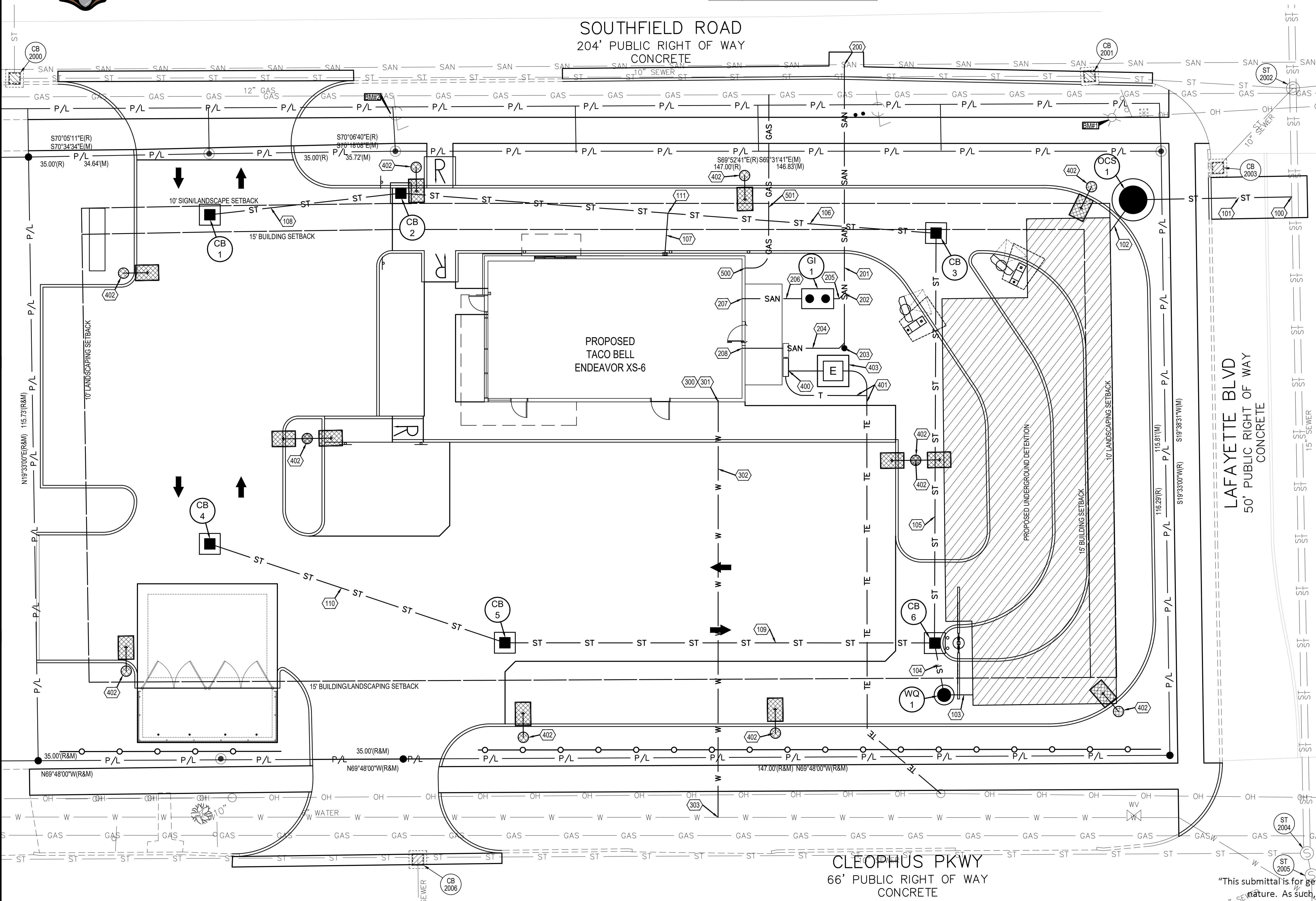
PROPOSED STRUCTURES	
STRCT. ID	STRUCTURE DETAILS
CB 1	PROPOSED CATCH BASIN, MDOT R-1-G RIM=588.15 INV. 12" HDPE (SE)=581.78
CB 2	PROPOSED CATCH BASIN, MDOT R-1-G RIM=588.08 INV. 12" HDPE (NW,SE)=581.59
CB 3	PROPOSED CATCH BASIN, MDOT R-1-G RIM=585.10 INV. 12" HDPE (NW,SW)=581.07
CB 4	PROPOSED CATCH BASIN, MDOT R-1-G RIM=586.00 INV. 12" HDPE (SE)=581.39
CB 5	PROPOSED CATCH BASIN, MDOT R-1-G RIM=585.20 INV. 12" HDPE (NW,SE)=581.09
CB 6	PROPOSED CATCH BASIN, MDOT R-1-G RIM=585.10 INV. 12" HDPE (NW,NE,SW)=580.68
WO 1	PROPOSED WATER QUALITY UNIT (WAYNE COUNTY APPROVED) RIM=585.49 INV. 12" PVC (NE)=580.63 INV. 12" PVC (SE)=580.55
OCS 1	PROPOSED OUTLET CONTROL RIM=586.12 INV. 12" HDPE(W)=579.92 INV. 12" RCP(SE)=579.80
PROPOSED STRUCTURES	
STRCT. ID	STRUCTURE DETAILS
EGI 1	PROPOSED 1,000 GALLON EXTERIOR GREASE INTERCEPTOR RIM=586.74 INV. 6" PVC (SE)=578.60 INV. 6" PVC (NW)=578.85

**LEGEND**  
 (SEE SHEET C-001 FOR GENERAL LEGEND)

- ST — PROPOSED STORM SEWER
- SAN — PROPOSED SANITARY SEWER
- W — PROPOSED WATER SERVICE
- GAS — PROPOSED GAS SERVICE
- E — PROPOSED UNDERGROUND ELECTRIC SERVICE
- APURTENANCES
- ⊕ # UTILITY CONSTRUCTION KEYNOTE
- ▨ PROPOSED UNDERGROUND DETENTION



- PLAN KEYNOTES #**
- STORM**
- CONTRACTOR SHALL CORE EXISTING PIPE AND MAKE AN INSERT-A-TEE WATERTIGHT CONNECTION. PROPOSED INV. 579.50±.
  - PROPOSED 30 L.F. OF 12" RCP STORM SEWER @ 1.00%.
  - PROPOSED 7.5 L.F. OF 12" HDPE STORM SEWER @ 0.50%.
  - PROPOSED 5 L.F. OF 12" HDPE STORM SEWER @ 0.50%.
  - PROPOSED 10 L.F. OF 12" HDPE STORM SEWER @ 0.50%.
  - PROPOSED 78.5 L.F. OF 12" HDPE STORM SEWER @ 0.50%.
  - PROPOSED 103 L.F. OF 12" HDPE STORM SEWER @ 0.50%.
  - PROPOSED 7.5 L.F. OF 6" PVC STORM SEWER @ 1.00%.
  - PROPOSED 37 L.F. OF 12" HDPE STORM SEWER @ 0.50%.
  - PROPOSED 82 L.F. OF 12" HDPE STORM SEWER @ 0.50%.
  - PROPOSED 59.7 L.F. OF 12" HDPE STORM SEWER @ 0.50%.
  - PROPOSED WYE CONNECTION. INV.=582.00.
- SANITARY**
- PROPOSED SANITARY CONNECTION. INV.=577.20±. CONTRACTOR SHALL PROVIDE CONNECTION PER CITY OF LINCOLN PARK SEWER DEPARTMENT STANDARDS.
  - PROPOSED 54.5 L.F. OF 6" PVC SANITARY SEWER @ 3.00%.
  - PROPOSED SANITARY WYE CONNECTION. INV.=578.52.
  - PROPOSED SANITARY CLEANOUT AND WYE CONNECTION. INV.=578.84.
  - PROPOSED 20 L.F. OF 6" PVC SANITARY SEWER @ 3.00%.
  - PROPOSED 2.5 L.F. OF 6" PVC SANITARY SEWER @ 3.00%.
  - PROPOSED 11.5 L.F. OF 6" PVC SANITARY SEWER @ 3.00%.
  - PROPOSED SANITARY CONNECTION. INV.=579.20.
  - PROPOSED SANITARY CONNECTION. INV.=579.45.
- WATER**
- PROPOSED WATER CONNECTION. COORDINATE WITH PLUMBING PLANS.
  - PROPOSED WATER METER AND BACKFLOW PREVENTOR INSIDE BUILDING PER CITY OF LINCOLN PARK STANDARDS AND SPECIFICATIONS. BACKFLOW PREVENTOR SHALL BE LOCATED AFTER THE METER.
  - PROPOSED 80 L.F. 2" (COPPER TYPE K) WATER SERVICE LINE.
  - PROPOSED WATER SERVICE TAP PER CITY OF LINCOLN PARK STANDARDS AND SPECIFICATIONS.
- ELECTRIC AND COMMUNICATIONS**
- PROPOSED ELECTRIC METER PER ELECTRIC COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. ELECTRIC SERVICE LINE TO BE COORDINATED WITH THE ELECTRIC COMPANY.
  - PROPOSED ELECTRIC AND TELECOMMUNICATIONS SERVICE CONNECTION TO BE COORDINATED WITH THE UTILITY COMPANIES.
  - PROPOSED LIGHT POLE.
  - PROPOSED ELECTRICAL TRANSFORMER PER ELECTRICAL COMPANY SPECIFICATIONS. G.C. TO VERIFY EXACT LOCATION AND SIZE WITH UTILITY ENGINEER.
- GAS**
- PROPOSED GAS METER PER GAS COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. GAS SERVICE LINE TO BE COORDINATED WITH THE GAS COMPANY.
  - PROPOSED 37 L.F. GAS SERVICE CONNECTION TO BE COORDINATED WITH THE GAS COMPANY.
- UTILITY CROSSINGS**
- GENERAL CROSSING NOTES: CONTRACTOR SHALL COORDINATE ALL CROSSINGS WITH THE UTILITY COMPANY. PRESSURIZED AND SECONDARY UTILITIES SHALL DEFLECT TO MAINTAIN 18" CLEAR AT SANITARY OR STORM SEWER CROSSINGS.
- PROPOSED UTILITY CROSSING: 12" HDPE STORM SEWER INV.=581.16; 6" PVC SANITARY SEWER INV.=578.13.



- WATER**
- PROPOSED WATER CONNECTION. COORDINATE WITH PLUMBING PLANS.
  - PROPOSED WATER METER AND BACKFLOW PREVENTOR INSIDE BUILDING PER CITY OF LINCOLN PARK STANDARDS AND SPECIFICATIONS. BACKFLOW PREVENTOR SHALL BE LOCATED AFTER THE METER.
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  - PROPOSED LIGHT POLE.
  - PROPOSED ELECTRICAL TRANSFORMER PER ELECTRICAL COMPANY SPECIFICATIONS. G.C. TO VERIFY EXACT LOCATION AND SIZE WITH UTILITY ENGINEER.
- GAS**
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  - PROPOSED 37 L.F. GAS SERVICE CONNECTION TO BE COORDINATED WITH THE GAS COMPANY.
- UTILITY CROSSINGS**
- GENERAL CROSSING NOTES: CONTRACTOR SHALL COORDINATE ALL CROSSINGS WITH THE UTILITY COMPANY. PRESSURIZED AND SECONDARY UTILITIES SHALL DEFLECT TO MAINTAIN 18" CLEAR AT SANITARY OR STORM SEWER CROSSINGS.
- PROPOSED UTILITY CROSSING: 12" HDPE STORM SEWER INV.=581.16; 6" PVC SANITARY SEWER INV.=578.13.



CONTRACT DATE: \_\_\_\_\_  
 BUILDING TYPE: ENDEAVOR XS-6  
 PLAN VERSION: \_\_\_\_\_  
 BRAND DESIGNER: \_\_\_\_\_  
 SITE NUMBER: 313798  
 STORE NUMBER: 2019088.10

**TACO BELL**  
 1519 Southfield Road  
 Lincoln Park, MI 48146

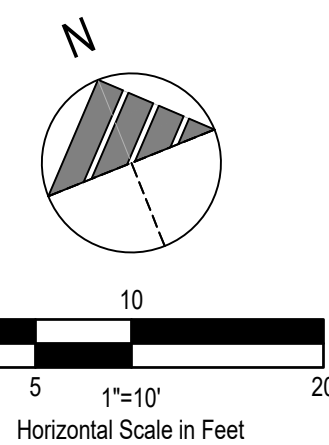
**TACO BELL**  
 END XS6  
 PRELIMINARY  
 UTILITY  
 PLAN

**C-131**  
 PLOT DATE: 11-11-20

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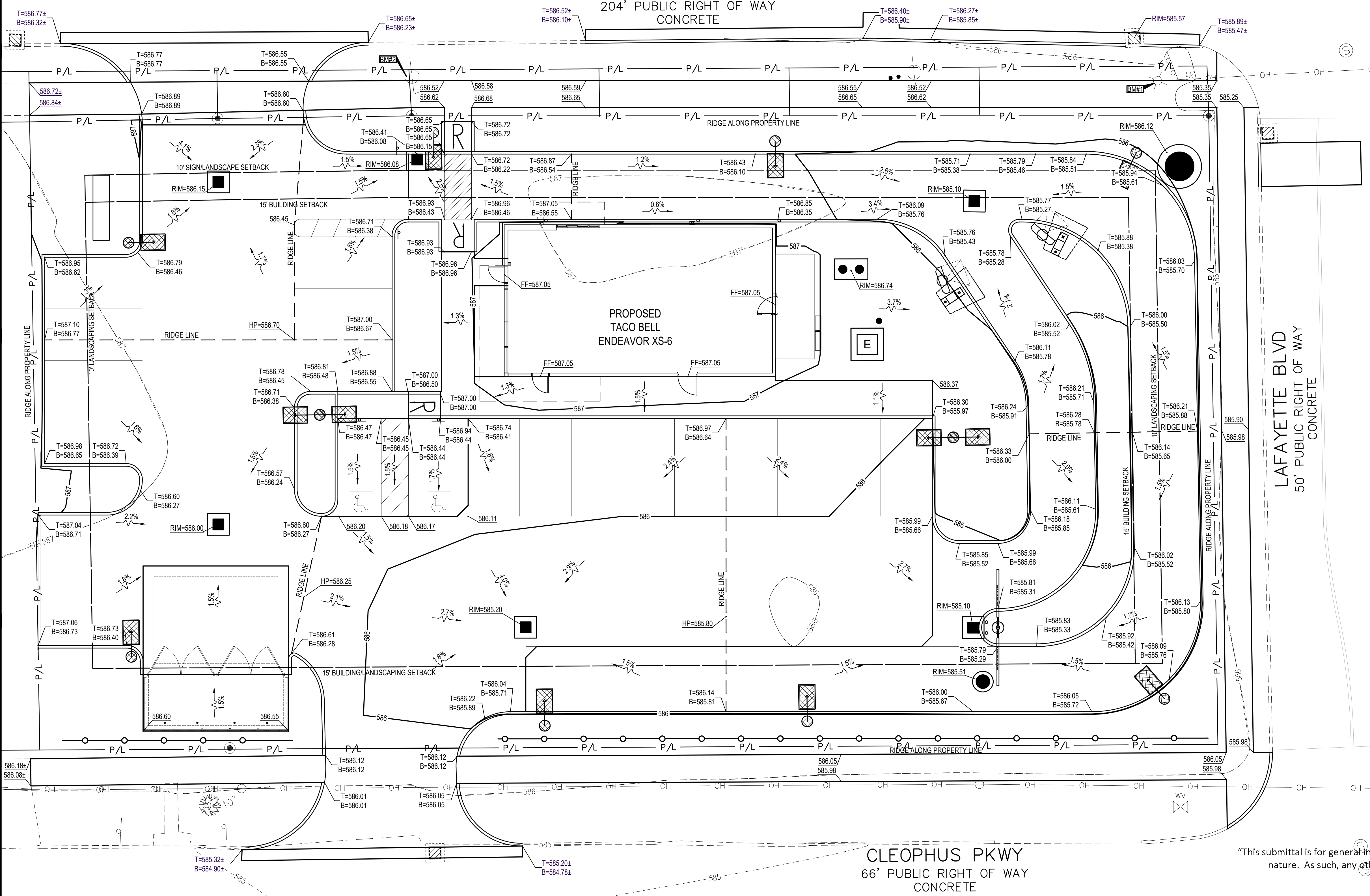
**BENCHMARKS:**  
 NORTH 68°48'00" WEST, BEING THE NORTHERLY RIGHT OF WAY OF CLEOPHUS PARKWAY, AS PLATTED. ELEVATIONS ARE NAVD 88 DATUM.  
 BENCHMARK #1 - PAINT 'X' ON EXPOSED BOLT ON TRAFFIC POLE. ELEVATION=586.83'  
 BENCHMARK #2 - SOUTHEAST BOLT ON LIGHT POLE. ELEVATION=587.15'  
 BENCHMARK #3 - MAG NAIL IN LIGHT POLE. (NOT SHOWN ON PLAN, SEE ALTA SURVEY FOR LOCATION) ELEVATION=589.40'



**LEGEND**  
 (SEE SHEET C-001 FOR GENERAL LEGEND)

- 000 --- EXISTING CONTOUR
- 000 --- PROPOSED CONTOUR
- XXX.XX± EXISTING SPOT ELEVATION/ MATCH EXISTING GRADE
- XXX.XX± PROPOSED ELEVATION @ FINISHED GROUND ELEVATION
- T=XXX.XX± TOP OF CURB ELEVATION
- B=XXX.XX± BOTTOM OF CURB/FINISHED PAVEMENT ELEVATION
- 0.0% PROPOSED DRAINAGE SLOPE & DIRECTION

**SOUTHFIELD ROAD**  
 204' PUBLIC RIGHT OF WAY  
 CONCRETE



CONTRACT DATE:  
 BUILDING TYPE: ENDEAVOR XS-6  
 PLAN VERSION:  
 BRAND DESIGNER:  
 SITE NUMBER: 313798  
 STORE NUMBER: 2019088.10

**TACO BELL**  
 1519 Southfield Road  
 Lincoln Park, MI 48146

**TACO BELL**  
 END XS6  
 PRELIMINARY  
 GRADING  
 PLAN

**C-121**  
 PLOT DATE: 11-11-20

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▲ PLANNING COMMENTS	11.23.20
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CONTRACT DATE:  
BUILDING TYPE: ENDEAVOR XS-6  
PLAN VERSION:  
BRAND DESIGNER:  
SITE NUMBER: 313798  
STORE NUMBER: 2019088.10

**TACO BELL**  
1519 Southfield Road  
Lincoln Park, MI 48146



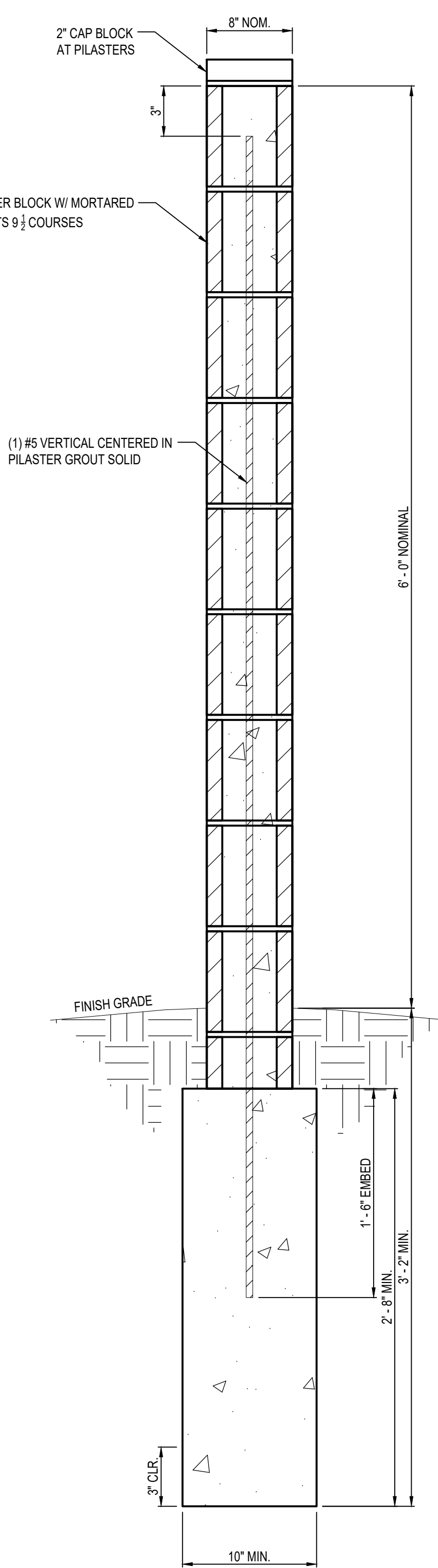
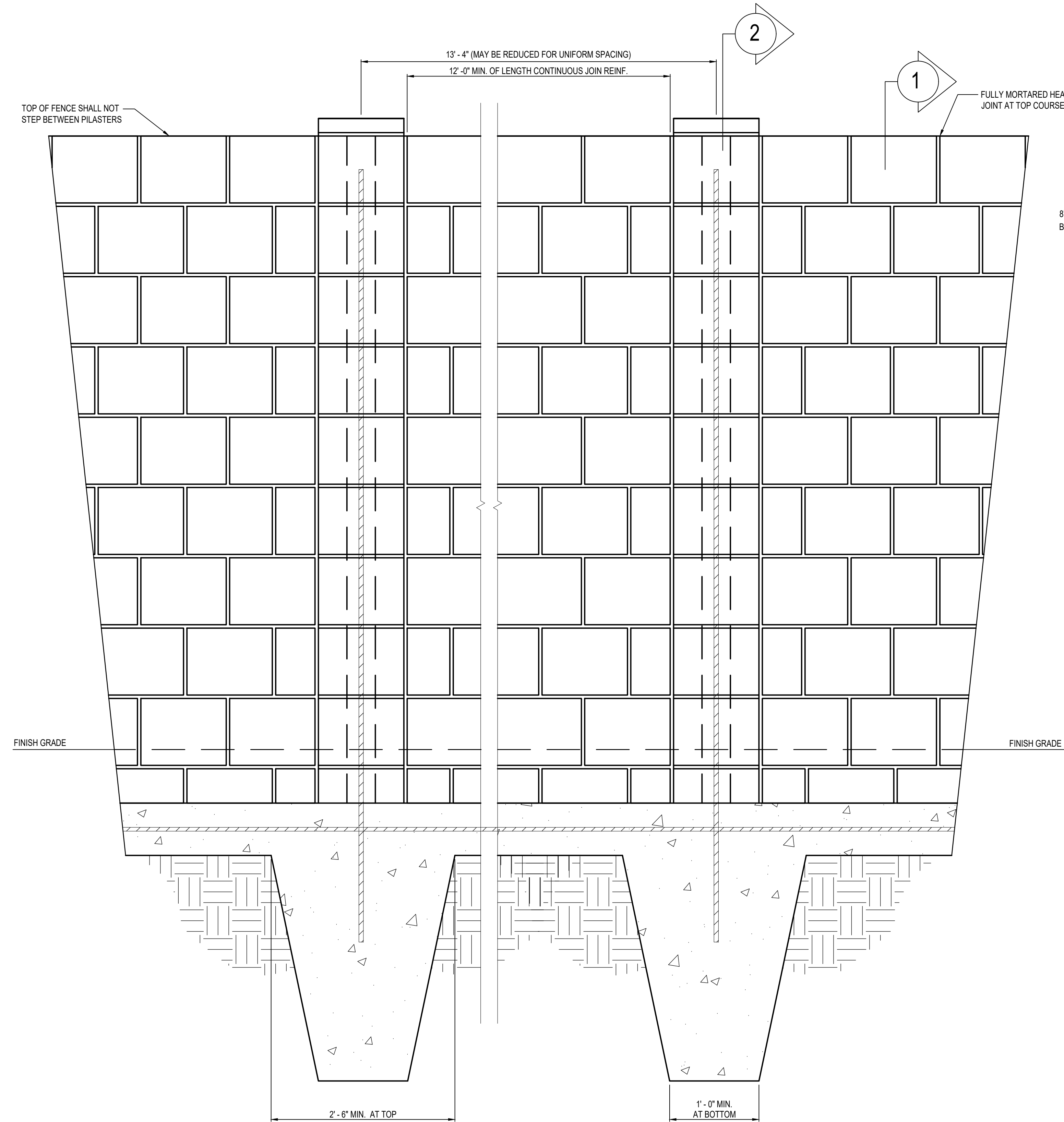
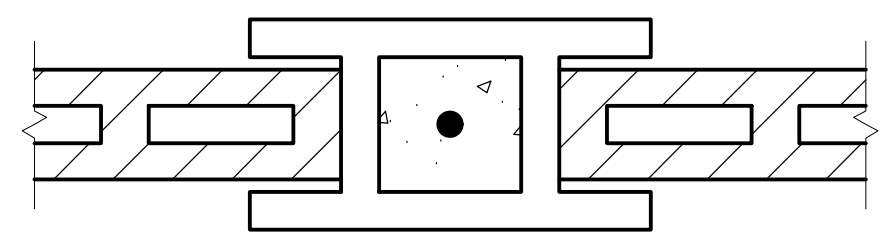
END XS6

MASONRY  
FENCE WALL  
DETAIL

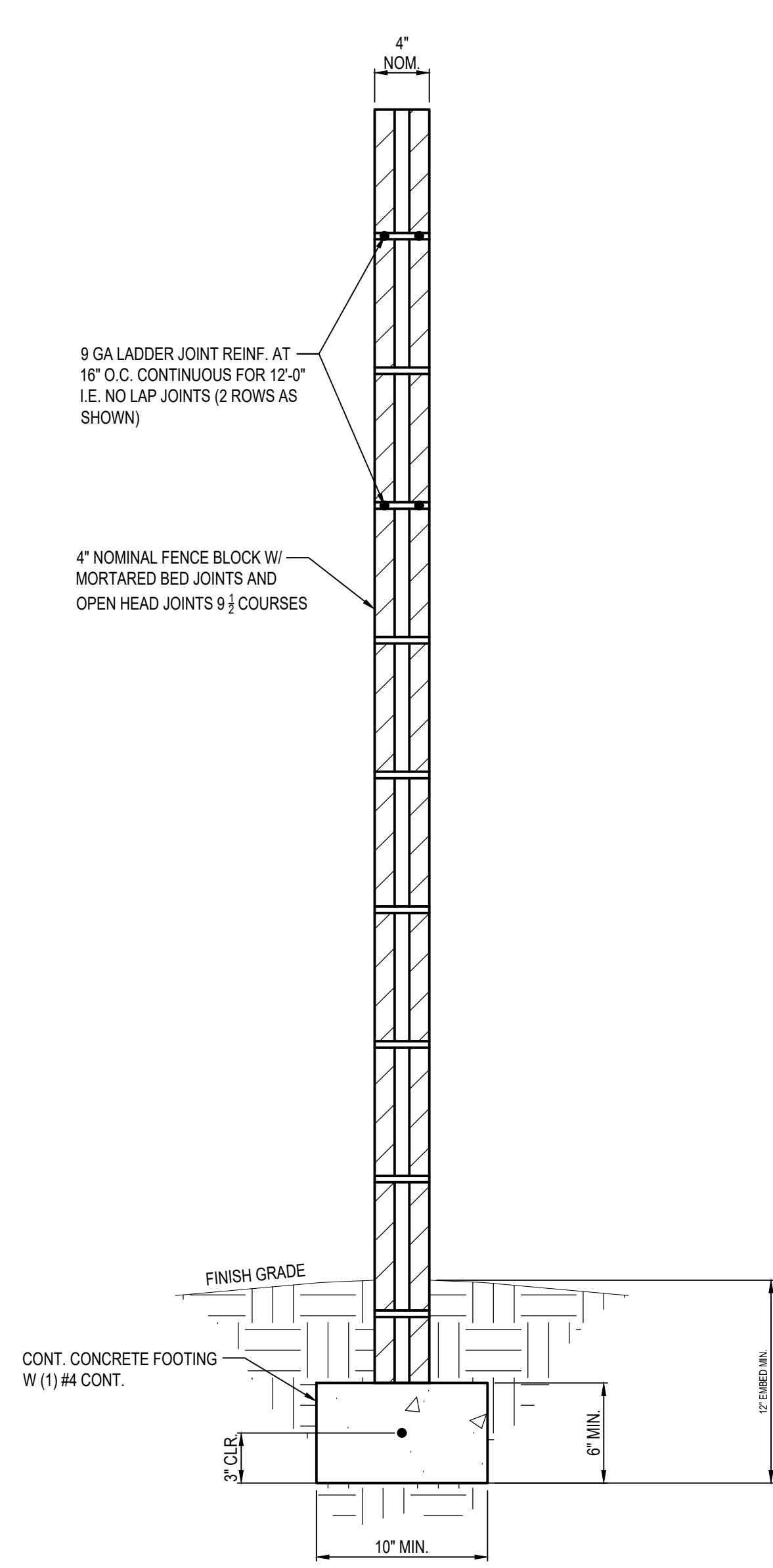
**C-112**

PLOT DATE: 11-23-20

**TOP VIEW  
PILASTERS SHOWING  
4" INTERSECTING WALL**



**2 SECTION**



**1 SECTION**

"This submittal is for general informational purposes only and is preliminary in nature. As such, any other use or reliance is strictly prohibited."





△ PLANNING COMMENTS	11.23.20
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CONTRACT DATE: \_\_\_\_\_  
BUILDING TYPE: ENDEAVOR XS-6  
PLAN VERSION: \_\_\_\_\_  
BRAND DESIGNER: \_\_\_\_\_  
SITE NUMBER: 313798  
STORE NUMBER: 2019088.10

**TACO BELL**  
1519 Southfield Road  
Lincoln Park, MI 48146

END XS6  
MASONRY  
FENCE WALL  
NOTES  
**C-113**  
PLOT DATE: 11-29-20

**METHOD OF CONSTRUCTION**

1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURE DURING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS.
3. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT OR ENGINEER AND SHALL BE RESOLVED BEFORE PRECEDING WITH THE WORK AFFECTED.

**GENERAL**

1. ALL WORK SHALL COMPLY WITH THE GENERAL NOTES, DRAWINGS, APPLICABLE BUILDING CODES AND ALL LOCAL ORDINANCES, LAWS, REGULATIONS, AND PROTECTIVE COVENANTS GOVERNING THE SITE OF WORK.
2. IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
3. TYPICAL DETAILS SHALL APPLY UNLESS SHOWN OTHERWISE IN THE DRAWINGS.
4. NO STRUCTURAL MEMBERS SHALL BE CUT, NOTCHED OR OTHERWISE PENETRATED UNLESS SPECIFICALLY APPROVED BY THE STRUCTURAL ENGINEER IN ADVANCE OR AS SHOWN ON THESE DRAWINGS.
5. THE STANDARD OF CARE FOR ALL PROFESSIONAL ENGINEERING, AND RELATED SERVICES PERFORMED OR FURNISHED BY FELTEN GROUP, WILL BE THE CARE AND SKILL ORDINARILY USED BY MEMBERS OF THE SUBJECT PROFESSION PRACTICING UNDER SIMILAR CIRCUMSTANCES AT THE SAME TIME AND IN THE SAME LOCALITY. FELTEN GROUP MAKES NO WARRANTIES, EXPRESS OR IMPLIED, OR OTHERWISE, IN CONNECTION WITH FELTEN GROUP'S SERVICES. FELTEN GROUP AND ITS CONSULTANTS MAY USE OR RELY UPON THE DESIGN SERVICES OF OTHERS, INCLUDING, BUT NOT LIMITED TO, ENGINEERS, ARCHITECTS, DESIGNERS, CONTRACTORS, MANUFACTURERS, AND SUPPLIERS.
6. ALL DESIGN DOCUMENTS PREPARED OR FURNISHED BY FELTEN GROUP ARE INSTRUMENTS OF SERVICE, AND FELTEN GROUP RETAINS OWNERSHIP AND PROPERTY INTEREST (INCLUDING THE COPYRIGHT) IN SUCH DOCUMENTS, WHETHER OR NOT THE PROJECT IS COMPLETED. CLIENT SHALL NOT REUSE THE DOCUMENTS WITHOUT WRITTEN PERMISSION FROM FELTEN GROUP.
7. THE CONTRACTOR, NOT FELTEN GROUP, IS RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT, AND FELTEN GROUP IS NOT RESPONSIBLE FOR THE ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR OR MATERIAL SUPPLIER. FOR SAFETY PRECAUTIONS, PROGRAMS OR ENFORCEMENT; OR FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES EMPLOYED BY THE CONTRACTOR. FELTEN GROUP SHALL NOT AT ANY TIME SUPERVISE, DIRECT, OR HAVE CONTROL OVER ANY CONTRACTORS WORK.
8. FELTEN GROUP NEITHER GUARANTEES THE PERFORMANCE OF ANY CONTRACTOR NOR ASSUMES RESPONSIBILITY FOR ANY CONTRACTOR'S FAILURE TO FURNISH AND PERFORM ITS WORK IN ACCORDANCE WITH THE CONTRACT BETWEEN CLIENT AND SUCH CONTRACTOR.
9. FELTEN GROUP WILL NOT HAVE CONTROL OVER NOR BE NEITHER RESPONSIBLE NOR LIABLE IN ANY WAY FOR SAFETY PROCEDURES, SAFETY TRAINING AND PROGRAMS OR OTHER SAFETY RELATED ASPECTS OF THE WORK OF THE PROJECT SINCE THESE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. WALL HEIGHT SHOWN BASED ON ACTUAL 8" TALL BLOCK HEIGHT
11. TOP OF FENCE SHALL NOT STEP BETWEEN PILASTERS

**SUBSTITUTIONS**

1. ALL PRODUCT SUBSTITUTIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION. CONTRACTOR TO SUBMIT DOCUMENTATION TO DEMONSTRATE THAT THE PROPOSED SUBSTITUTION IS EQUAL TO THE SPECIFIED PRODUCT. PRODUCT SUBSTITUTIONS MAY BE USED PROVIDED THEY ARE APPROVED BY THE ENGINEER OF RECORD IN WRITING.

**SPECIAL INSPECTION**

1. SPECIAL INSPECTION SHALL BE PROVIDED AS REQUIRED BY THE LOCAL BUILDING OFFICIAL.

**GRADING AND DRAINAGE**

1. PROPER GRADING SHALL BE PROVIDED DURING CONSTRUCTION AS WELL AS THROUGHOUT THE LIFE OF THE STRUCTURE.
2. LANDSCAPE WATERING SHOULD NOT LEAD TO MOISTURE INFILTRATION OR MOISTURE CONTENT FLUCTUATION IN THE SOILS UNDER THE FOUNDATION. IT IS RECOMMENDED THAT VEGETATION BE KEPT A MINIMUM OF 3 FEET FROM THE STRUCTURE AND THAT THE VEGETATION BE DESERT TYPE. (SHALLOW WATERING, MOISTURE NOT TO PENETRATE INTO THE SOIL MORE THAN 8 INCHES).
3. IT IS RECOMMENDED THAT TREES BE KEPT AWAY FROM THE STRUCTURE SUCH THAT THE DRIP LINE OF THE MATURE TREE DOES NOT OVERLAP THE FOUNDATION.

**SOIL**

1. SEE SHEET SIJ FOR GEOTECHNICAL REPORT INFORMATION
2. IN THE ABSENCE OF A GEOTECHNICAL REPORT, PRESUMPTIVE SOIL DESIGN VALUES SHALL BE USED. THE CLIENT ACCEPTS FULL RESPONSIBILITY FOR THE ADEQUACY OF THE PRESUMPTIVE SOIL DESIGN VALUES USED FOR THE PROJECT. THE CLIENT ALSO ASSUMES FULL RESPONSIBILITY FOR THE ADEQUACY OF THE ASSUMED NON-EXPANSIVE, NON-COLLAPSABLE AND NON-CORROSIVE SOIL PROPERTIES
3. PRESUMPTIVE SOIL DESIGN VALUES ARE: ALLOWABLE SOIL BEARING = 1000 P.S.F. 12" BELOW GRADE, EQUIVALENT FLUID PRESSURE =35 psf/ft, PASSIVE PRESSURE =200 psf/ft, COEFFICIENT OF FRICTION =.35
4. SOIL IS ASSUMED TO BE NON-EXPANSIVE NON-COLLAPSABLE, AND NON-CORROSIVE.
5. ALL EXCAVATION, FILL (INCLUDING RETAINING COMPACTION, AND SOIL RELATED OPERATIONS SHALL BE PERFORMED ACCORDING TO THE GEOTECHNICAL REPORT.

**WIND**

1. 10 PSF LATERAL WIND PRESSURE. 2006/2009 IBC, 90 MPH, EXP. B ASCE 7-05/10 NOTE: ASCE 7-02 FIGURE 6-20 TO REPLACE 7-05 FIGURE 6-20 TO KEEP LATERAL WIND FORCE CONSISTENT FOR RESIDENTIAL FENCES AND IS A AN ACCEPTED PRACTICE FOR MANY JURISDICTIONS IN ARIZONA. (FOR EXAMPLE THE CITY OF PHOENIX ADDED EXCEPTION 5 TO 2006 IBC SECTION 1609.1.1 "FOR DESIGN WIND LOADS ON SOLID FREESTANDING WALLS AND SOLID SIGNS PER ASCE 7-05, SECTION 6.5.14, FIGURE 6-20 OF ASCE 7-02 MAY BE USED")
2. 12.5 PSF LATERAL WIND PRESSURE. 2006/2009 IBC, 90 MPH, EXP. C ASCE 7-05/10 NOTE: ASCE 7-02 FIGURE 6-20 TO REPLACE 7-05 FIGURE 6-20 TO KEEP LATERAL WIND FORCE CONSISTENT FOR RESIDENTIAL FENCES AND IS A AN ACCEPTED PRACTICE FOR MANY JURISDICTIONS IN ARIZONA. (FOR EXAMPLE THE CITY OF PHOENIX ADDED EXCEPTION 5 TO 2006 IBC SECTION 1609.1.1 "FOR DESIGN WIND LOADS ON SOLID FREESTANDING WALLS AND SOLID SIGNS PER ASCE 7-05, SECTION 6.5.14, FIGURE 6-20 OF ASCE 7-02 MAY BE USED")

**DISCREPANCIES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND CONDITIONS WITH THE DRAWINGS PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE ARCHITECT OR ENGINEER OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS. ANY SUCH DISCREPANCIES, OMISSIONS, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. NOTED DIMENSIONS TAKE PRECEDENT OVER SCALED.

**DAMP-PROOFING**

1. DAMP-PROOFING OF THOSE PORTIONS OF FENCES BELOW GRADE IS NOT REQUIRED PER CODE, BUT MAY BE USED BY CONTRACTOR AT THEIR DISCRETION.
2. AS AN ALTERNATE TO DAMP-PROOFING, INTEGRAL WATER REPELLANT UNITS AND WATER REPELLANT MORTAR MAY BE USED.

**CONCRETE**

1. ALL MATERIALS, PROCEDURES, PLACEMENT, FORMWORK, LAPS, ETC. TO CONFORM TO THE LATEST ACI STANDARDS.
2. SHALL MEET ALL THE REQUIREMENTS OF ACI 301, TYPE II CEMENT U.N.O. MINIMUM STRENGTHS AT 28 DAYS SHALL BE AS FOLLOWS, U.N.O.:  
CONVENTIONAL FOUNDATIONS - 2500 PSI
3. MAXIMUM SIZE OF AGGREGATE SHALL BE 1 INCH. AGGREGATE PER ASTM C57 OR C33.
4. MAXIMUM SLUMP TO BE 8 INCHES.
5. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED AS ADDITIVES.
6. FLYASH MAY BE USED PROVIDED IT MEETS ASTM C618 TYPE F AND DOES NOT EXCEED 20% OF THE WEIGHT OF TOTAL CEMENTITIOUS MATERIAL FOR CONCRETE STRENGTH UP TO AND INCLUDING 3000 PSI.
7. PROTECT CONCRETE FROM DAMAGE OR REDUCED STRENGTH FROM COLD OR HOT WEATHER IN COMPLIANCE WITH ACI 305 AND ACI 306.
8. THE CONTRACTOR SHALL PROVIDE PROPER CURING TO MINIMIZE SHRINKAGE CRACKING AND ENSURE PROPER STRENGTH GAIN.
9. EVALUATION AND ACCEPTANCE OF CONCRETE SHALL BE BASED ON CYLINDER STRENGTH TESTS AS OUTLINED IN THE APPLICABLE BUILDING CODE
10. CONCRETE THAT IS IN DIRECT CONTACT WITH NATIVE SOILS CONTAINING WATER-SOLUBLE SULFATES SHALL CONFORM TO THE FOLLOWING: FOR SULFATE CONCENTRATIONS GREATER THAN OR EQUAL TO 0.1% BUT LESS THAN 0.2% BY WEIGHT CONCRETE SHALL BE MADE WITH ASTM C 150 TYPE II CEMENT, OR AN ASTM C 595 OR C 1157 HYDRAULIC CEMENT MEETING MODERATE SULFATE-RESISTANT HYDRAULIC CEMENT (M5) DESIGNATION. FOR SULFATE CONCENTRATIONS EQUAL TO OR GREATER THAN 0.2% BY WEIGHT, CONCRETE SHALL BE MADE WITH ASTM C 150 TYPE V CEMENT OR AN ASTM C 595 OR C 1157 HYDRAULIC CEMENT MEETING HIGH SULFATE-RESISTANT HYDRAULIC CEMENT (H5) DESIGNATION AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.

**MASONRY**

1. ALL MATERIALS, PROCEDURES, PLACEMENT, LAPS, ETC. TO CONFORM TO THE LATEST ACI STANDARDS.
2. CONCRETE MASONRY UNITS - NET AREA COMPRESSIVE STRENGTH OF CMU = 1900 PSI, ASTM C90, F'm = 1500 PSI
3. GROUT - 2000 PSI CONFORMING TO ASTM C476.
4. MORTAR - TYPE S - 2000 PSI PORTLAND CEMENT / LIME OR MORTAR CEMENT CONFORMING TO ASTM C270. MORTAR MAY BE USED IN LIEU OF GROUT IN THE PILASTER CELL PROVIDED THAT THE MORTAR IS PLACED IN 8 INCH LIFTS AS THE FENCE IS BUILT
5. JOINT REINFORCING f<sub>y</sub> = 70000 PSI CONFORMING TO ASTM A951.
6. JOINT REINFORCING TO BE CONTINUOUS (NO SPLICES) AT THE BOTTOM OF THE FIRST AND THIRD COURSE FROM THE TOP OF THE WALL AS SHOWN IN THE DRAWINGS. AS AN ALTERNATE, JOINT REINFORCING MAY BE SPLICED WITH NO LAP, PROVIDED THAT AN ADDITIONAL ROW OF JOINT REINFORCING IS PLACED AT THE BOTTOM OF THE SECOND AND FORTH COURSE FROM THE TOP OF THE WALL AND PROVIDED THAT THE SPLICES BETWEEN ADJACENT ROWS OF JOINT REINFORCEMENT ARE STAGGERED BY A MINIMUM OF 4 FEET
7. ALL REINFORCED CELLS OR PILASTERS SHALL BE SOLID GROUTED.
8. MASONRY UNITS AND MORTAR THAT ARE IN DIRECT CONTACT WITH NATIVE SOILS CONTAINING WATER SOLUBLE SULFATES SHALL BE ADDRESSED BY THE CONTRACTOR.
9. CMU EXPOSURE TO WATER (BOTH ABOVE AND BELOW GRADE) IS NOT ADDRESSED IN THIS DESIGN AND SHALL BE ADDRESSED BY THE CONTRACTOR.

**STEEL REINFORCEMENT**

1. SHALL BE SUPPLIED AND INSTALLED PER THE LATEST ACI STANDARDS.
2. USE ASTM A615 GRADE 60
3. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT.  
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"  
EXPOSED TO EARTH OR WEATHER 1 1/2"  
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND 3/4"
4. UNLESS NOTED OTHERWISE, LAP SPLICES SHALL BE 48 BAR DIAMETERS MINIMUM. STAGGER ALTERNATE SPLICES A MINIMUM OF 1 LAP LENGTH. PROVIDE BENT CORNER BARS TO MATCH AND LAP WITH HORIZONTAL BARS AT CORNERS AND INTERSECTIONS OF FOOTINGS AND WALLS.
5. SECURELY TIE ALL BARS IN LOCATION BEFORE PLACING CONCRETE.

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PLANT LIST - TREES

Symbol	Botanical Name	Common Name	Qty.	Min. Size	Condition	Remarks
Gb	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	4	2.5" Cal.	B&B	Specimen
Gt	Gleditsia f. inermis 'Street Keeper'	Street Keeper Honeylocust	10	2.5" Cal.	B&B	Specimen
Te	Thuja occidentalis 'Emerald'	Emerald Arborvitae	6	6" H	B&B	4' o/c

PLANT LIST - SHRUBS / PERENNIALS / ORNAMENTAL GRASSES

Symbol	Botanical Name	Common Name	Qty.	Min. Size	Condition	Remarks
Bx	Buxus x 'Green Gem'	Green Gem Boxwood	25	18" H	B&B	3' o/c
Ca	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	26	No. 2	Cont.	2.5' o/c
Fg	Festuca glauca	Blue Fescue	16	No. 2	Cont.	Per Plan
Hb	Hemerocallis 'Going Bananas'	Going Bananas Daylily	60	No. 1	Cont.	1.5' o/c
Jc	Juniperus chinensis 'Sea Green'	Sea Green Juniper	21	24" H	B&B	5' o/c
Js	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	1	5' H	B&B	Specimen
Pf	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	28	No. 3, 18" H	Cont.	3' o/c
Tr	Thuja occidentalis 'Rheingold'	Dwarf Golden Arborvitae	4	24" H	Cont.	4' o/c
Yf	Yucca filamentosa 'Color Guard'	Color Guard Yucca	4	No. 3	Cont.	Per Plan

LANDSCAPE NOTES

- MULCH PER LANDSCAPE SPECIFICATIONS.
- ALL DISTURBED AREAS NOT TO BE PAVED OR MULCHED SHALL BE SODDED PER SPECIFICATIONS.
- SEE SHEET L-101 FOR PLANT LIST.

LANDSCAPE LEGEND

- EXISTING TREE
- PROPOSED TREE
- PROPOSED SHRUB / PERENNIAL
- PROPOSED PLANT QUANTITY AND SYMBOL
- PROPOSED SODDED AREA
- PROPOSED RIVER ROCK GRAVEL AREA
- PROPOSED INTERIOR LANDSCAPE AREA
- PROPOSED UNDERGROUND DETENTION SEE CIVIL SHEETS
- PROPOSED DECORATIVE FENCE
- PROPOSED LANDSCAPE BED EDGE

LANDSCAPE CALCULATIONS

INTERIOR LANDSCAPE CALCULATIONS	
TOTAL SITE AREA	25,131 SF
REQUIRED INTERIOR LANDSCAPE SF	= 2,513 SF (10%)
PROPOSED INTERIOR LANDSCAPE SF	= 2,520 SF (10%)
TREES	
REQUIRED: (1) TREE PER (400) SF OF ILA	= 6.3 = 7 TREES
PROPOSED:	(4) TREES - VARIANCE REQUESTED
SHRUBS	
REQUIRED: (1) SHRUB PER (250) SF OF ILA	= 10 = 10 SHRUBS
PROPOSED:	(10+) SHRUBS
STREET LANDSCAPE CALCULATIONS	
REQUIREMENT: (1) TREE AND (4) SHRUBS PER 40 LF OF FRONTAGE	
CLEOPHUS PKWY FRONTAGE TOTAL: 192'	
REQUIRED: (5) TREES & (20) SHRUBS	
PROPOSED: (6) TREES & DECORATIVE WALL	
LAFAYETTE BLVD FRONTAGE TOTAL: 116'	
REQUIRED: (3) TREES & (12) SHRUBS	
PROPOSED: (0) TREES & (0) SHRUBS - VARIANCE REQUESTED	
SOUTHFIELD RD FRONTAGE TOTAL: 182'	
REQUIRED: (5) TREES & (19) SHRUBS	
PROPOSED: (6) TREES & (21) SHRUBS	
PARKING LOT LANDSCAPE CALCULATIONS	
18 TOTAL PROPOSED PARKING SPACES; REQ. (1) TREE PER 10 SPACES	
REQUIRED: 18 / 10 = 1.8 = (2) DECIDUOUS TREES @ 2.5" CAL.	
PROPOSED: (4) DECIDUOUS TREES @ 2.5" CAL.	



- ▲ PLANNING COMMENTS 11.23.20
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CONTRACT DATE:  
BUILDING TYPE: ENDEAVOR XS-6  
PLAN VERSION:  
BRAND DESIGNER:  
SITE NUMBER: 313798  
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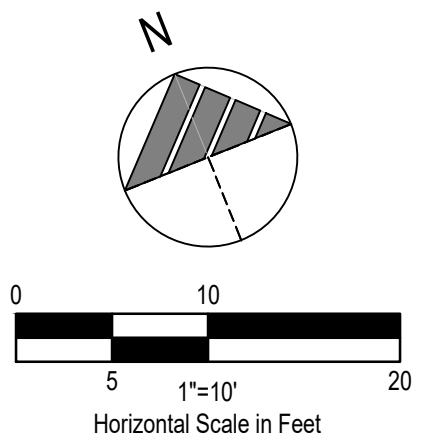
TACO BELL  
1519 Southfield Road  
Lincoln Park, MI 48146



END XS6  
PRELIMINARY  
LANDSCAPE PLAN

L-101  
PLOT DATE: 11-23-20

**BENCHMARKS:**  
NORTH 69°48'00" WEST, BEING THE NORTHERLY RIGHT OF WAY OF CLEOPHUS PARKWAY, AS PLATTED. ELEVATIONS ARE NAVD 88 DATUM.  
BENCHMARK #1 - PAINT "X" ON EXPOSED BOLT ON TRAFFIC POLE. ELEVATION=586.83'  
BENCHMARK #2 - SOUTHEAST BOLT ON LIGHT POLE. ELEVATION=UPDATE



SOUTHFIELD ROAD  
204' PUBLIC RIGHT OF WAY  
CONCRETE

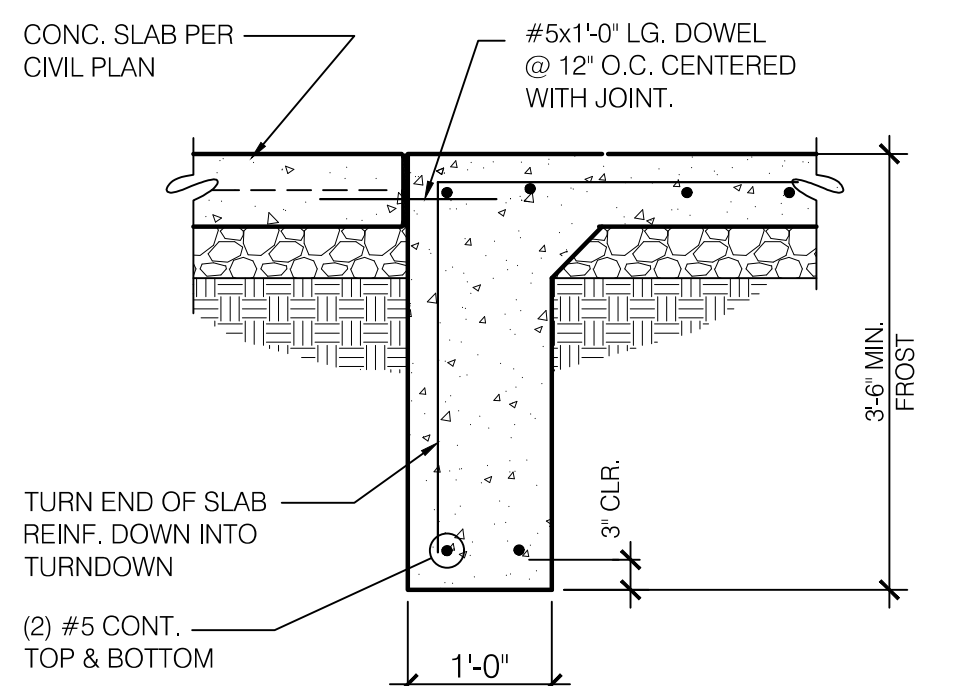
PROPOSED  
TACO BELL  
ENDEAVOR XS-6

LAFAYETTE BLVD  
50' PUBLIC RIGHT OF WAY  
CONCRETE

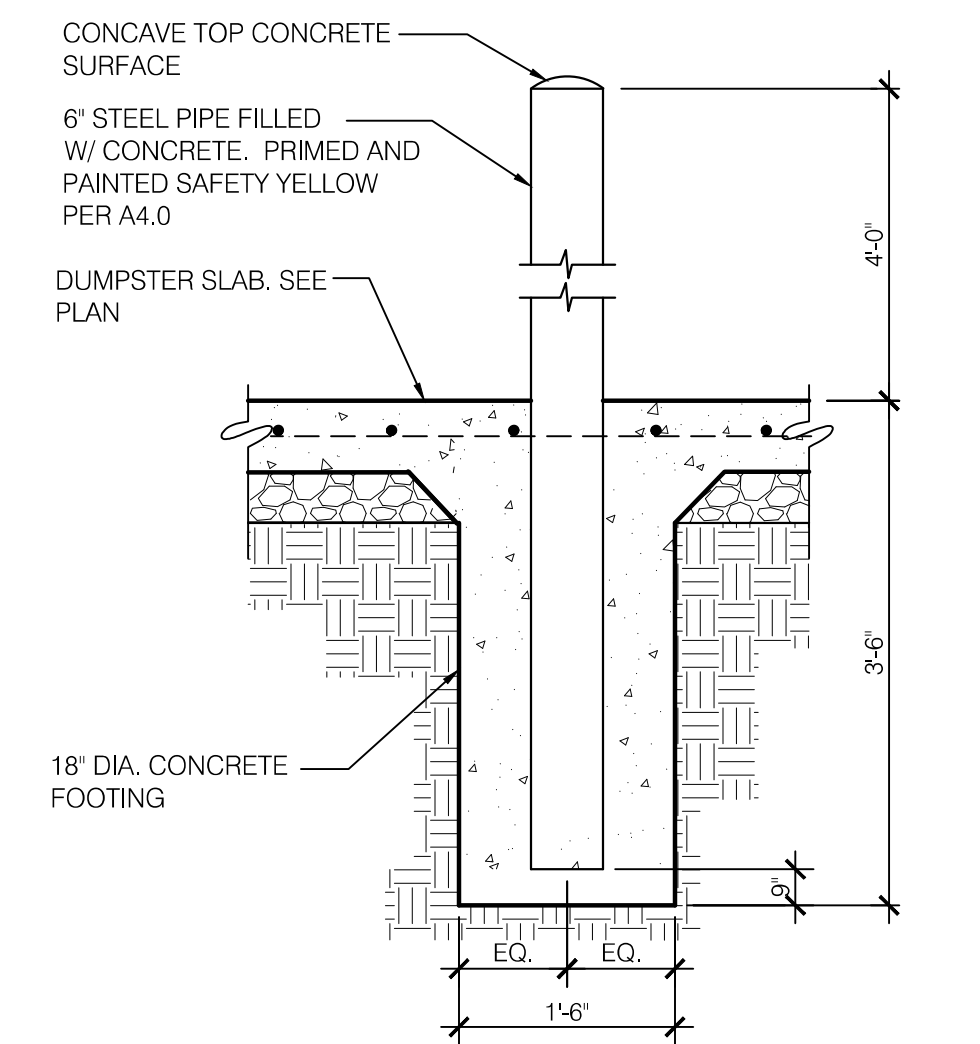
CLEOPHUS PKWY  
66' PUBLIC RIGHT OF WAY  
CONCRETE

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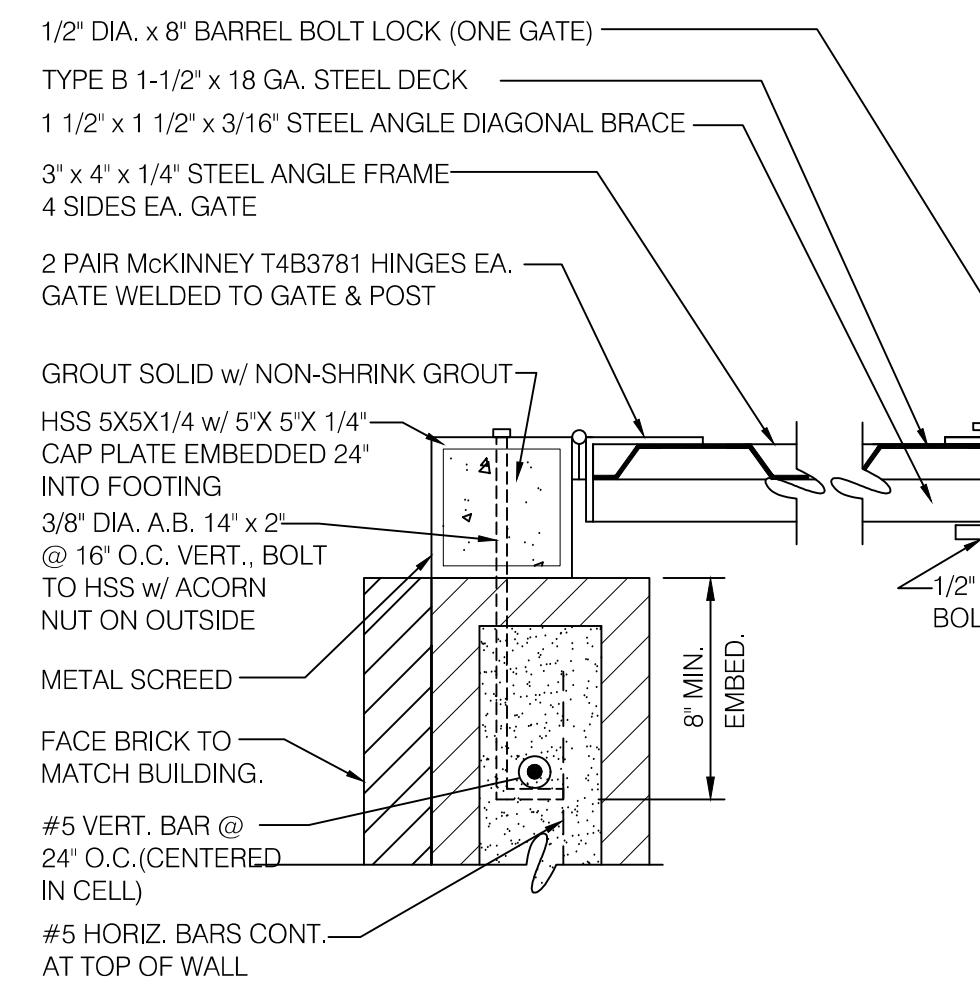




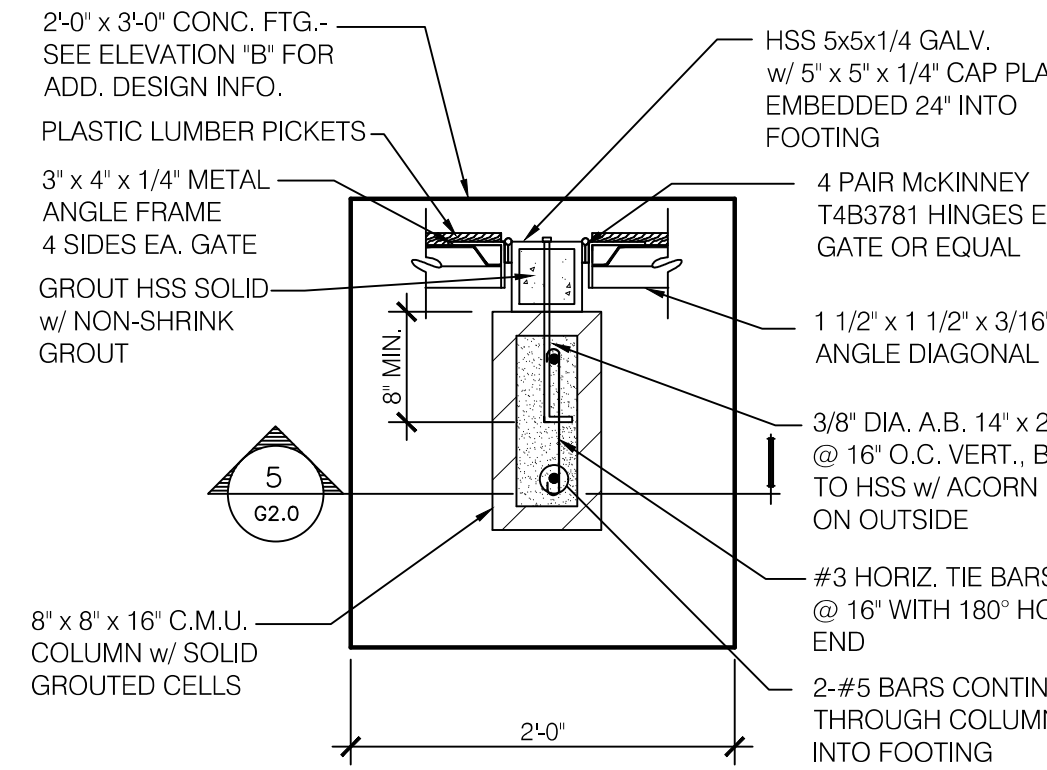
**6**  
SECTION  
3/4"=1'-0"



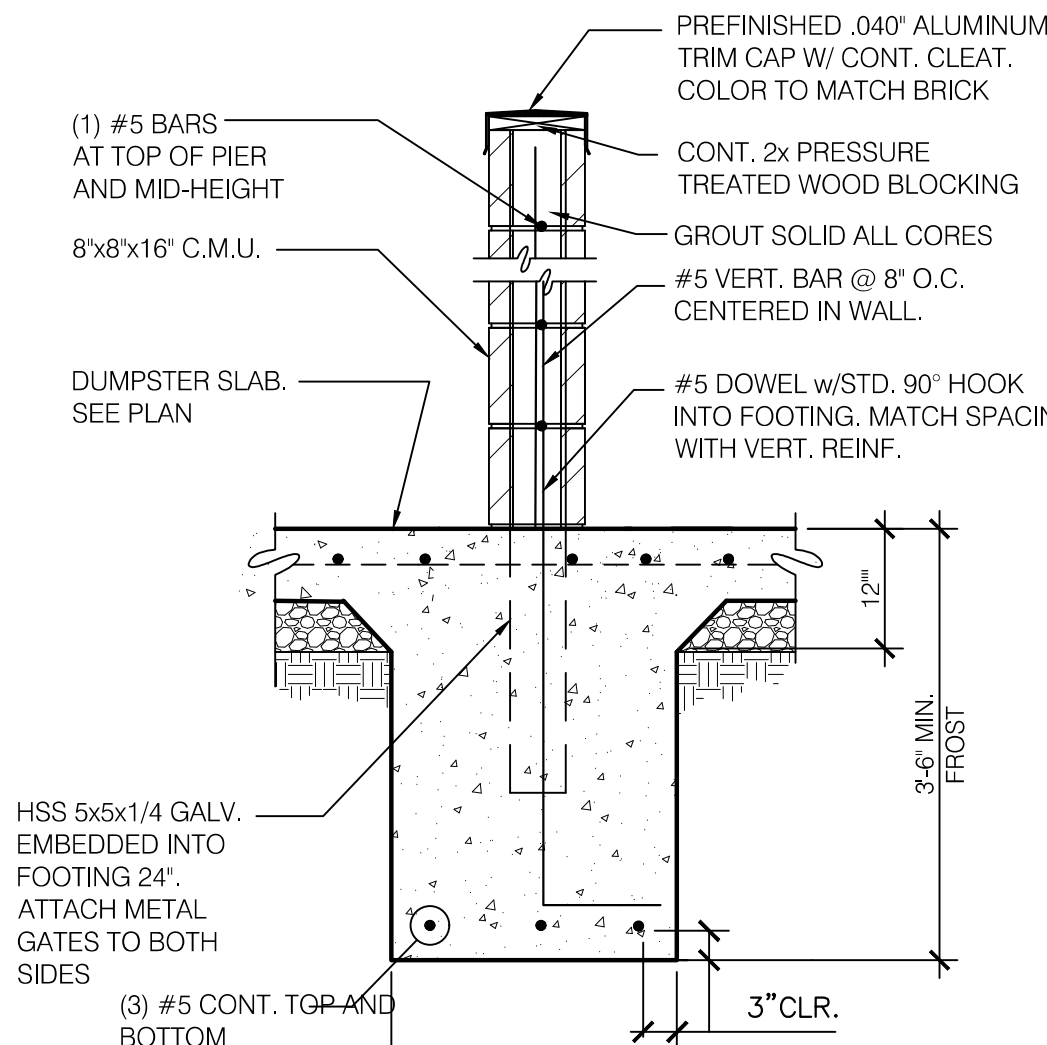
**7**  
BOLLARD DETAIL  
3/4"=1'-0"



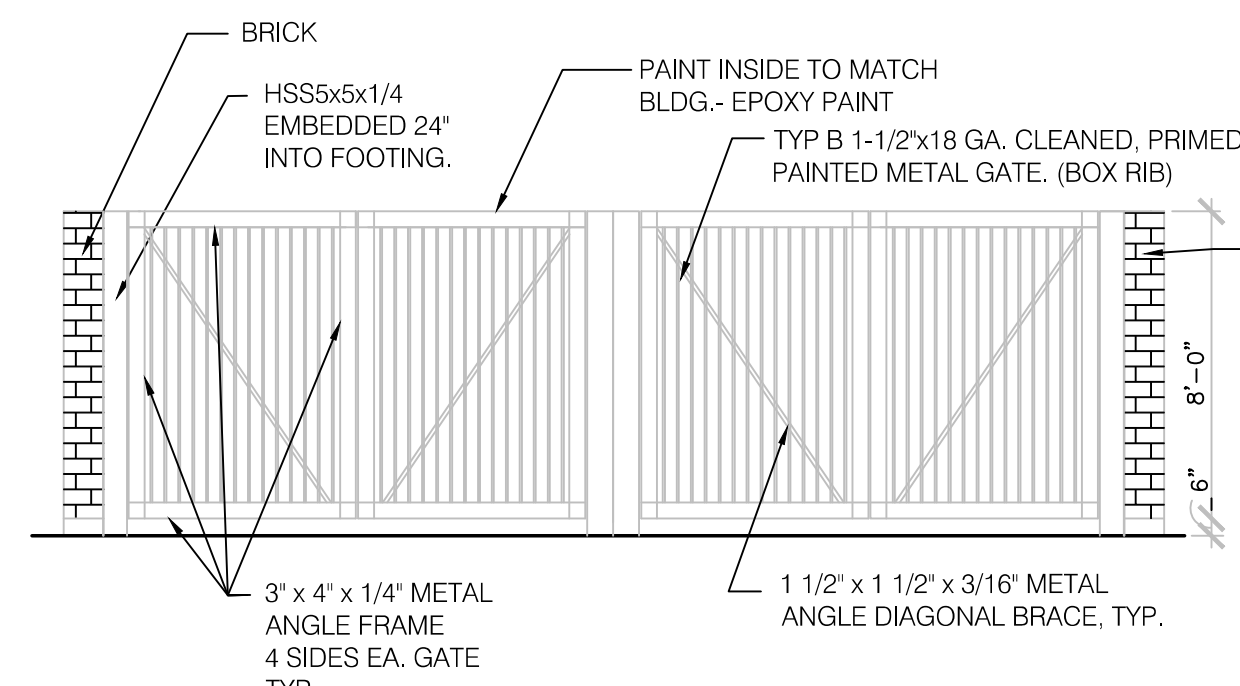
**8**  
JAMB DETAIL  
N.T.S.



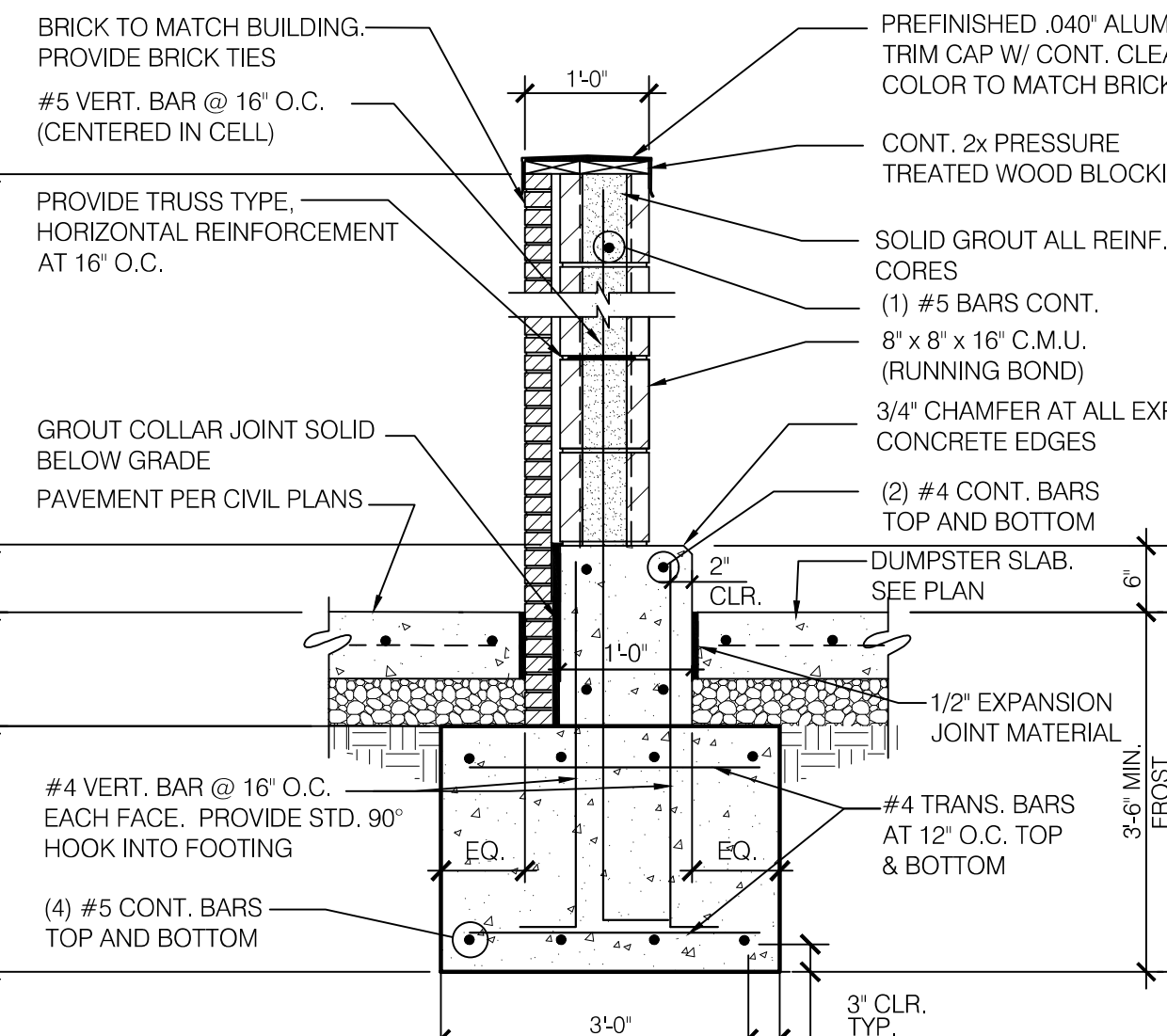
**4**  
JAMB DETAIL  
3/4"=1'-0"



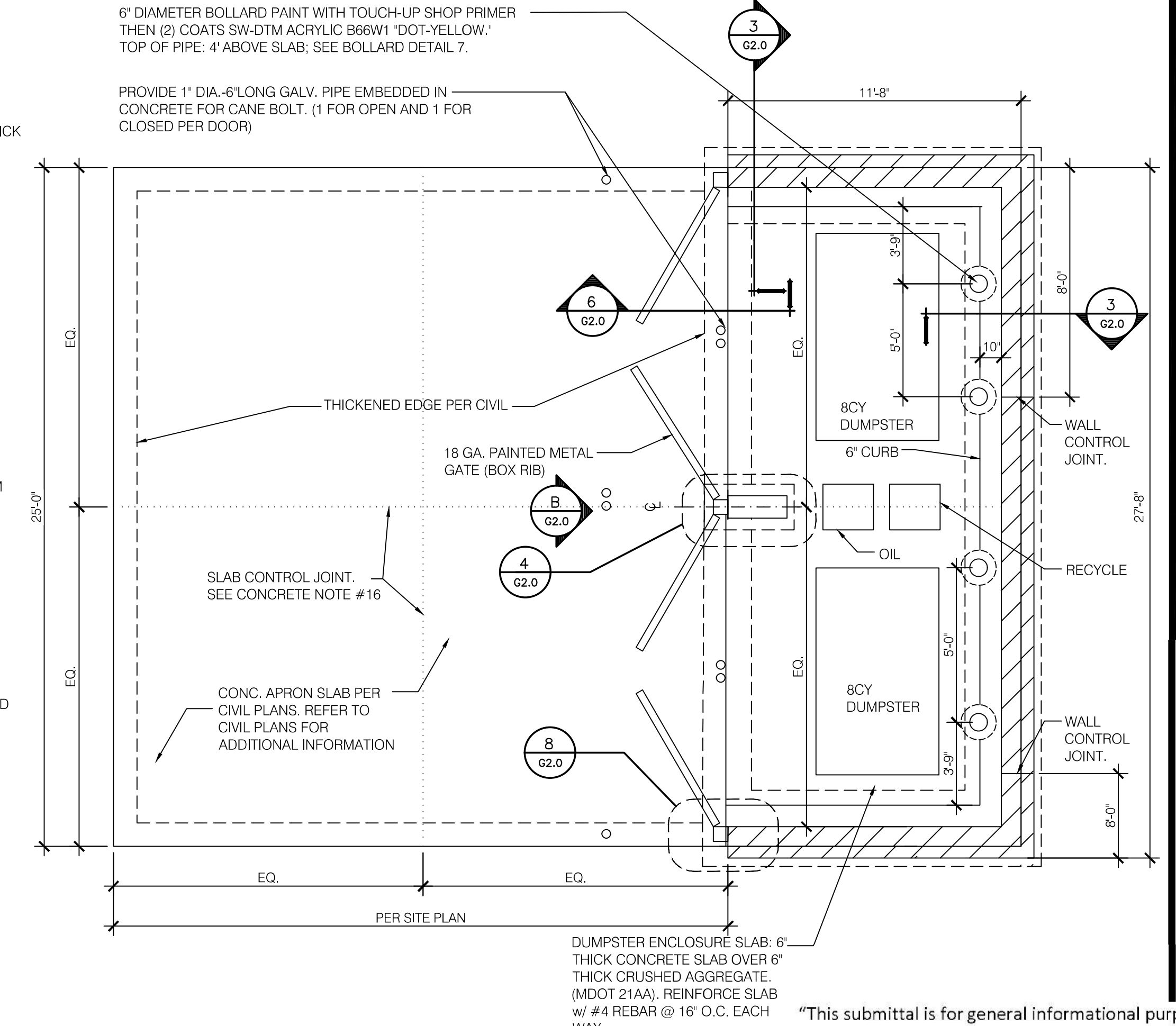
**5**  
SECTION  
3/4"=1'-0"



**B**  
ELEVATION  
N.T.S.



**3**  
SECTION  
3/4"=1'-0"



**A**  
DUMPSTER ENCLOSURE PLAN  
N.T.S.

**GENERAL NOTES:**

- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE (2015 IBC), MATERIALS AND SERVICES PROVIDED BY THE CONTRACTOR SHALL CONFORM TO THE ABOVE MENTIONED CODES AND THE CONTRACT SPECIFICATIONS.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE JOB CONDITIONS AND RESTRICTIONS.
- IMPLEMENTATION OF JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LOCATION SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT.
- AREAS SHALL BE ACCESSIBLE FOR DELIVERY AND COLLECTION.
- GATES SHALL BE CORRUGATED METAL DOORS AND MUST BE APPROVED BY PUBLIC WORKS DEPARTMENT PRIOR TO INSTALLATION. GATE LATCHES SHALL BE OF THE PLUNGER BAR TYPE OR EQUIVALENT AS APPROVED BY THE PUBLIC WORKS DEPARTMENT.

**FOUNDATION NOTES:**

- ALL SOILS WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS. ALL FOUNDATIONS SHALL BEAR ON ENGINEERED FILL AT OR EXCEEDING DEPTHS SHOWN ON THE DRAWINGS. INCREASE DEPTH AS REQ'D BY GEOTECHNICAL ENGINEER. ALL FOOTING EXCAVATIONS SHALL BE AS NEAT AS PRACTICAL. OVER-EXCAVATIONS IN DEPTH SHALL BE FILLED WITH CONCRETE, AND IN WIDTH MAY BE FILLED WITH LEAN CONCRETE OR COMPACTED, APPROVED BACKFILL. ALL LOOSE SOILS SHALL BE REMOVED FROM EXCAVATIONS PRIOR TO PLACEMENT OF REINFORCING OR CONCRETE.
- THE FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 2500 PSF ON PROPERLY COMPACTED ENGINEERED FILL, WELL-GRADED GRANULAR MATERIALS OR LEAN CONCRETE.
- FOOTINGS SHALL EXTEND 3'-6" MINIMUM BELOW FINISH GRADE AND SHALL BE IN NATURAL SOIL OR CERTIFIED FILL.
- FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL REPORT PREPARED BY PSI INC DATED NOVEMBER 15, 2019, PSI PROJECT NO. 0381157.

**GATE HARDWARE:**

ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.

**GATE STOP:**

MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.

**GATE NOTES:**

- EQUAL WIDE x 8'-0" HIGH MTL. GATES, PLASTIC LUMBER PICKETS FASTEN TO STEEL TUBE FRAME W/ STAINLESS STEEL SELF TAPPING SCREWS, 1" X 1/2" X 3/16" METAL ANGLE DIAGONAL BRACE. PRIME AND PAINT ALL STEEL COMPONENTS.

**MASONRY NOTES:**

- ALL BRICK MASONRY SHALL COMPLY WITH THE RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA AND LOCAL BUILDING CODE REQUIREMENTS).
- ALL CONCRETE MASONRY SHALL CONFORM TO 'BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES' (ACI 530-13/ASCE 5-13/TMS 402-13) AND 'SPECIFICATION FOR MASONRY STRUCTURES' (ACI 530-1-13/ASCE 6-13/TMS 602-13) AND LOCAL BUILDING CODE REQUIREMENTS.
- CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90, TYPE II.
- ASTM C279, TYPE 'S' MORTAR WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI SHALL BE USED FOR ALL MASONRY WALLS EXCEPT TYPE 'N' MORTAR MAY BE USED FOR VENEER ONLY.
- GROUT TO FILL CORES SHALL BE ASTM C476, COARSE GROUT (3/8" MAXIMUM AGGREGATE) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI IN 28 DAYS.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.
- LAY MASONRY UNITS WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS. BED WEBS IN MORTAR IN STARTING COURSE OF FOOTINGS AND IN ALL COURSES OF COLUMNS AND PILASTERS, AND WHERE ADJACENT TO CELLS OR CAVITIES TO BE REINFORCED OR FILLED WITH CONCRETE OR GROUT. BLOCKS TO BE STAGGERED (RUNNING BOND).
- VERTICAL REINFORCING LAP SPLICES SHALL BE 48 BAR DIAMETERS.
- PROVIDE HORIZONTAL LADDER TYPE JOINT REINFORCING WITH 9 GAGE SIDE AND CROSS RODS (GALVANIZED) SPACED AT 16" ON CENTER VERTICALLY. HORIZONTAL JOINT REINFORCING SHALL BE LAPPED A MINIMUM OF (2) CROSS BARS OR 6", WHICHEVER IS GREATER.
- MAXIMUM GROUT POUR SHALL BE 5 FEET. CONSOLIDATE BY MECHANICAL VIBRATION.
- MORTAR PROTRUSIONS, EXTENDING INTO CELLS OR CAVITIES TO BE REINFORCED AND FILLED, SHALL BE REMOVED. MORTAR PROTRUSIONS IN COLLAR-JOINT SHALL BE REMOVED.
- GROUT CORES SOLID A MINIMUM OF ONE COURSE BELOW ANY CHANGE IN WALL THICKNESS.
- THE COLLAR-JOINT IN MULTI-WYTHE WALLS BELOW GRADE SHALL BE FULLY GROUTED AS THE WALL IS CONSTRUCTED.
- FILL ALL BEARING POCKETS WITH SOLID MASONRY AFTER INSTALLING BEAMS, JOISTS OR JOIST GIRDERS.
- WHERE THERE IS A CHANGE IN BOND BEAM ELEVATION, PROVIDE LAP BETWEEN BONDS BEAMS THROUGH 2 BARS OF VERTICAL REINFORCING OR 4 FEET, WHICHEVER IS GREATER.
- ALL CORNERS ARE TO BE TIED BY MASONRY BOND.
- ALL MASONRY WALLS SHALL HAVE VERTICAL CONTROL JOINTS AT APPROXIMATELY 20' O.C. AND A MINIMUM OF 10' FROM WALL CORNERS. ALL CELLS CONTAINING REINFORCING STEEL SHALL BE GROUTED.
- APPROVED GROUT STOPS ARE REQUIRED BELOW HORIZONTAL STEEL IN PARTIALLY GROUTED WALLS. BAGS, NEWSPAPERS, ETC. ARE NOT APPROVED GROUT STOPS.
- INITIAL BED JOINT SHALL BE 1/4" MIN. 1" MAX. SUBSEQUENT BED JOINTS SHALL BE 1/2" MIN. - 3/4" MAX.

**CONCRETE NOTES:**

- REINFORCED CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE' (ACI 318-14) COMPLY WITH ASTM C94, ACI 301, SPECIFICATION FOR STRUCTURAL CONCRETE; ACI 117, 'SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS'; AND CRSI 'MANUAL OF STANDARD PRACTICE'.
- CAST-IN-PLACE CONCRETE SHALL HAVE A MINIMUM 4000 PSI 28 DAY COMPRESSIVE STRENGTH (FC).
- PROVIDE AIR ENTRAINMENT (6% ± 1%) FOR ALL CONCRETE EXPOSED TO FREEZE/THAW IN ACCORDANCE WITH ASTM C 260.
- DESIGN MIXES: SUBMIT DESIGNS FOR EACH CONCRETE MIX FOR THE PROJECT PER CHAPTER 5 OF ACI 318-14.
- CONCRETE SHALL BE NORMAL WEIGHT CONCRETE (145 PCF) WITH CEMENT CONFORMING TO ASTM C150, TYPE I.
- AGGREGATE SHALL CONFORM TO ASTM C33 FOR NORMAL WEIGHT CONCRETE. PRIOR TO CONCRETE PLACEMENT, THE CONTRACTOR SHALL SUBMIT A CONCRETE MIX DESIGN PREPARED IN ACCORDANCE WITH THE SPECIFICATIONS TO THE ARCHITECT FOR REVIEW.
- CONCRETE PRACTICES SHALL BE FOLLOWED FOR COLD WEATHER/HOT WEATHER CONSTRUCTION IN ACCORDANCE WITH ACI 305 & 306.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.
- PROVIDE CORNER BARS AT ALL LOCATIONS WHERE REINFORCEMENT CHANGES DIRECTION. PROVIDE STRAIGHT AND DIAGONAL BARS AT EDGES OF ALL OPENINGS.
- REINFORCEMENT SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH THE A.C.I. 'DETAILING MANUAL NO. SP-66', LATEST EDITION. SUBMIT STEEL REINFORCEMENT SHOP DRAWINGS, INCLUDING DETAILS OF FABRICATION, BENDING, AND PLACEMENT, PREPARED ACCORDING TO ACI 315, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
- REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS, STIRRUPS, OR CHAIRS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR BARS.
- REINFORCING BARS SHALL HAVE THE FOLLOWING MINIMUM CONCRETE COVER:
 

CAST AGAINST EARTH:	3"
EXPOSED TO EARTH OR WEATHER (#5 OR SMALLER):	1 1/2"
EXPOSED TO EARTH OR WEATHER (#6 OR LARGER):	2"
CONCRETE NOT EXPOSED TO WEATHER:	3/4"
- LEVELING GROUT SHALL BE NON-SHRINK, NON-METALLIC TYPE, FACTORY PREMIXED GROUT IN ACCORDANCE WITH ASTM C109, WITH FC OF NOT LESS THAN 5000 PSI.
- ANCHOR RODS SHALL BE ASTM F1554, GRADE 36 (GALVANIZED).
- PROVIDE SAW-CUT CONTROL JOINTS IN THE CONCRETE SLAB AS SHOWN ON THE DRAWINGS. IF NOT SPECIFIED ON THE DRAWINGS, PROVIDE 1/8" WIDE x 1" DEEP SAW-CUT CONTROL JOINTS WITH THE FOLLOWING PROVISIONS: JOINTS SHALL BE LOCATED AT SLAB DISCONTINUITY AND SHALL BE EQUALLY SPACED IN BOTH DIRECTIONS WITH A MINIMUM SPACING OF 10'-0" AND A MAXIMUM JOINT SPACING OF 12'-0".
- SLAB FINISHES: COMPLY WITH ACI 302.1R FOR SCREEDING, RE-STRAIGHTENING, AND FINISHING OPERATIONS FOR CONCRETE SURFACES. DO NOT WET CONCRETE SURFACES. PROVIDE THE FOLLOWING FINISHES:
  - SMOOTH-FORMED FINISH FOR CONCRETE EXPOSED TO VIEW, COATED, OR COVERED BY WATERPROOFING OR OTHER DIRECT-APPLIED MATERIAL; ROUGH-FORMED FINISH ELSEWHERE.

**STEEL NOTES:**

- STRUCTURAL STEEL WORK SHALL BE IN ACCORDANCE WITH THE A.I.S.C. 'SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS' AND THE 'CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES' EXCEPT SECTION 4.2 OF THE CODE WHICH SHALL NOT BE APPLICABLE TO THIS PROJECT.
  - STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING:
    - CHANNELS, ANGLES, PLATES AND MISCELLANEOUS CONNECTION MATERIAL: ASTM A-36 WITH A MINIMUM YIELD STRENGTH OF 36,000 PSI, UNO.
    - STEEL TUBING: ASTM A500, GRADE B, WITH A MINIMUM YIELD STRENGTH OF 46,000 PSI.
  - NUTS SHALL CONFORM TO ASTM A563 HEAVY HEX CARBON STEEL.
  - WASHERS SHALL CONFORM TO ASTM F436 HARDENED CARBON STEEL.
  - BOLTS, NUTS, & WASHERS SHALL BE FURNISHED WITH ZINC COATING IN ACCORDANCE WITH ASTM A153.
  - WELDING SHALL BE IN ACCORDANCE WITH THE STRUCTURAL WELDING CODE ANSI/AWS D1.1, AMERICAN WELDING SOCIETY, LATEST EDITION. USE E70XX ELECTRODES.
  - STEEL EXPOSED TO THE EXTERIOR SHALL BE HOT DIPPED GALVANIZED ACCORDING TO ASTM A123.
  - DO NOT PAINT STEEL WHERE ENCASED WITH CONCRETE, OR AT FIELD WELD AREAS.
  - NONMETALLIC SHRINKAGE-RESISTANT GROUT: PRE-MIXED, NONCORROSIVE, NONSTAINING PRODUCT CONTAINING SELECTED SILICA SANDS, PORTLAND CEMENT, SHRINKAGE COMPENSATING AGENTS, PLASTICIZING AND WATER REDUCING AGENTS, COMPLYING WITH CE-CRD C621.
  - THE STRUCTURAL STEEL FABRICATOR, AND/OR GENERAL CONTRACTOR, SHALL VERIFY EXISTING DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCY FOUND SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PREPARATION OF SHOP DRAWINGS. DRAWINGS SHALL INCLUDE FIELD MEASUREMENTS AND CONDITIONS.
- SPECIAL INSPECTIONS:**
- SPECIAL INSPECTIONS ARE TO BE PROVIDED IN ACCORDANCE WITH SECTION 1704. SPECIAL INSPECTIONS SHALL BE IN ADDITION TO THE INSPECTIONS CONDUCTED BY THE DEPARTMENT OF BUILDING SAFETY AND SHALL NOT BE CONSTRUCTED TO RELIEVE THE OWNER OR HIS AUTHORIZED AGENT FROM REQUESTING THE PERIODIC AND CALLED INSPECTIONS REQUIRED BY THE BUILDING CODE. SPECIAL INSPECTION SHALL BE PAID BY THE OWNER.
- REQUIRED SPECIAL INSPECTIONS:**
- IN ADDITION TO THE REGULAR INSPECTIONS, THE FOLLOWING ITEMS WILL ALSO REQUIRE SPECIAL INSPECTION IN ACCORDANCE WITH THE BUILDING CODE.
- SOILS COMPLIANCE PRIOR TO FOUNDATION INSPECTION (COMPACTING FILL, SPECIAL GRADING)
  - STRUCTURAL CONCRETE OVER 2,500 PSI
  - MASONRY
- SPECIAL INSPECTOR SHALL MEET THE QUALIFICATIONS AS STATED IN THE BUILDING CODE AND SHALL PERFORM THE DUTIES AND RESPONSIBILITIES AS OUTLINED IN THE BUILDING CODE. THE SPECIAL INSPECTOR SHALL PROVIDE INSPECTION REPORTS TO THE CODE OFFICIAL, ENGINEER AND OWNER.

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11/12/20

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CONTRACT DATE:  
BUILDING TYPE: END40M  
PLAN VERSION:  
BRAND DESIGNER: DAN DICKSON  
SITE NUMBER: 313354  
STORE NUMBER: 2018088.64

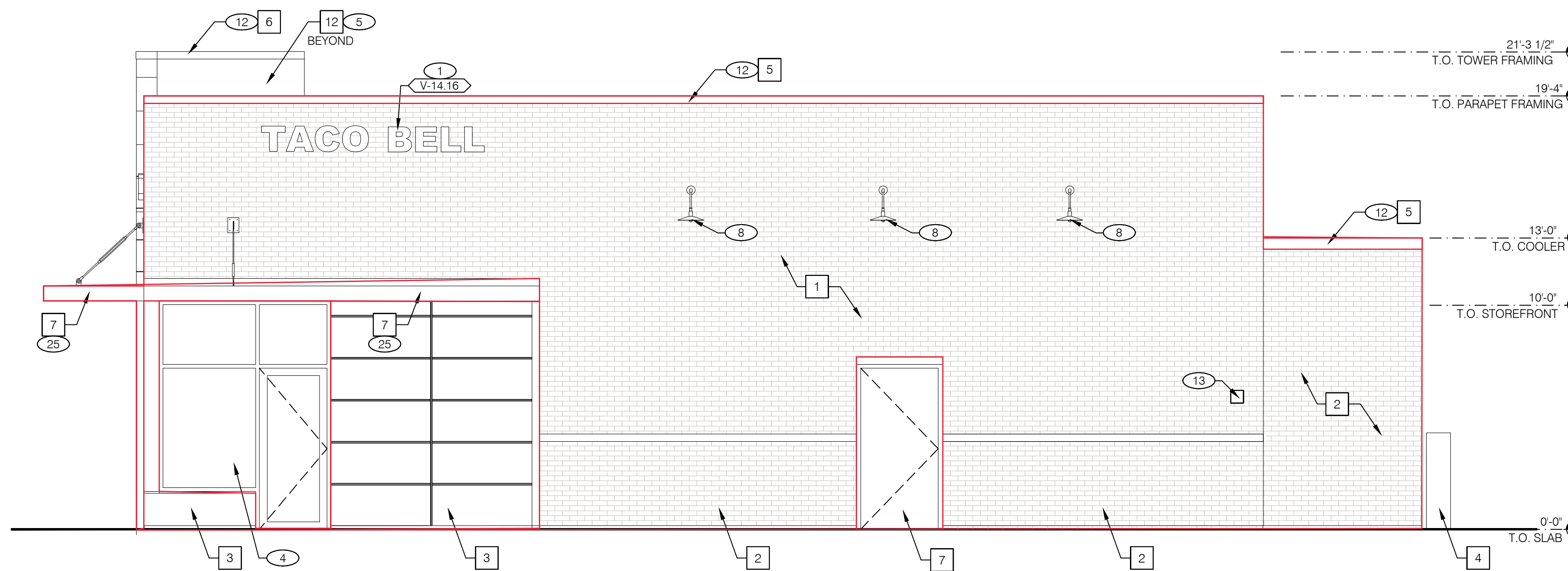
**TACO BELL**  
1519 Southfield Rd  
Lincoln Park, MI 48146



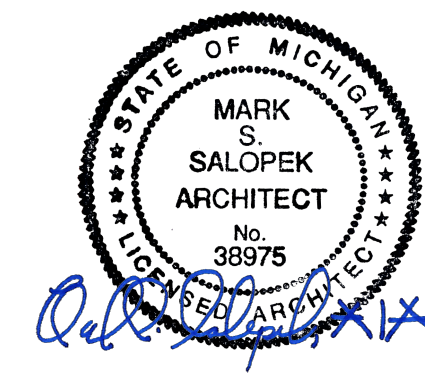
**TRASH ENCLOSURE DETAILS**

**G2.0**





**RIGHT SIDE ELEVATION** 1/4"=1'-0" **A**



11/24/20

MISCELLANEOUS  
A. SEE SHT A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS):  
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.  
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY.

"CRITICAL" DIMENSIONS:  
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

QTY	ITEM DESCRIPTION	ELEC
1	4' 2" x 4'-7" LARGE SWINGING BELL, PURPLE LOGO - FACE LIT	X
2	16" LARGE CHANNEL LETTERS, WHITE	X
1	DRIVE-THRU CANOPY - 4'-0"D x 12'-2"W x 6'H	X

NOTE: SIGNAGE UNDER SEPARATE PERMIT

**NOT USED** N.T.S. **I**

**NOT USED** N.T.S. **G**

**GENERAL NOTES** **F**

**NOT USED** **E**

**SIGN SCHEDULE** N.T.S. **C**

EXTERIOR FINISH SCHEDULE					CONTACT INFORMATION
SYMBOL	AREA	MANUFACTURER	MATERIAL SPEC	COLOR	
1	BRICK	INTERSTATE	70% PEWTER, 30% PLATINUM RANDOM MIX		NICHIIA: MATT STEPHENSON, 770-789-8228, MSTEPHENSON@NICHIIA.COM JAMES HARDIE: LEVI STAUFFER, 562-243-8974, LEVI.STAUFFER@JAMESHARDIE.COM MARK LEHMAN, 972-551-6100, MLEHMAN@OBE.COM  EVERBRITE: NICK BAILEY, 414-529-7842, NIBAILEY@EVERBRITE.COM CUMMINGS: ANN BAKER, 615-872-0068, ANN.BAKER@CUMMINGSSIGN.COM AGI: ALAN HILL, 800-877-7868 EXT 2131, AHILL@AGISIGN.NET / TACOBELL@AGI.NET  DURO-LAST: LEE COBB, 800.434.3876
2	BRICK	INTERSTATE	MIDNIGHT BLACK		
3	EXTERIOR FIBER CEMENT PANELS	JAMES HARDIE	REVEAL PANEL SYSTEM	PAINT SW7076 CYBERSPACE	
4	ELECTRICAL AND GAS SERVICE	-	-	PAINT SW7043 WORLDLY GRAY	
5	EXTERIOR METAL TRIM - PARAPET CAP	DUROLAST	PRIMED FOR PAINT	PAINT SW7045 INTELLECTUAL GRAY	
6	EXTERIOR METAL TRIM - TOWER PARAPET CAP	DUROLAST	PRIMED FOR PAINT	PAINT SW7076 CYBERSPACE	
7	EXTERIOR HOLLOW METAL DOOR / CANOPIES	-	-	PAINT SW7076 CYBERSPACE	
8	DOWNSPOUT	-	-	PAINT SW7043 WORLDLY GRAY	
9	TOWER LIGHT PURPLE	-	-	PANTONE #2577C	
10	TOWER DARK PURPLE	-	-	PANTONE #2603C	
11	TOWER DARK WHITE	-	-	PURE WHITE	
12	PARAPET BACK ROOFING	DUROLAST	SINGLE-PLY ROOF MEMBRANE	TAN	

**EXTERIOR FINISH SCHEDULE** **H**

- 1 BUILDING SIGN, BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 SPANDREL GLAZING.
- 4 STOREFRONT, TYPICAL.
- 5 SINGLE MEMBRANE ROOFING.
- 6 SWITCH GEAR. PAINT TO MATCH WALL.
- 7 NOT USED.
- 8 LIGHT SCONCE.
- 9 ASSUME DT LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 10 NOT USED.
- 11 NOT USED.
- 12 PARAPET COPING. IF DURO-LAST EDGE TRIM IS USED. USE THE DURO-LAST PRE-FINISHED EDGE TRIM. SEE DETAIL 2/A6.0.
- 13 CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.
- 14 DRIVE-THRU CANOPY BY OTHERS.
- 15 GAS SERVICE.
- 16 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- 17 SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL.
- 18 CONCRETE CURB.
- 19 NOT USED.
- 20 NOT USED.
- 21 OVERFLOW SCUPPER
- 22 STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
- 23 NOT USED.
- 24 CENTER REVEAL ON VERTICAL WINDOW MULLION.
- 25 CANOPY BY SIGN VENDOR.

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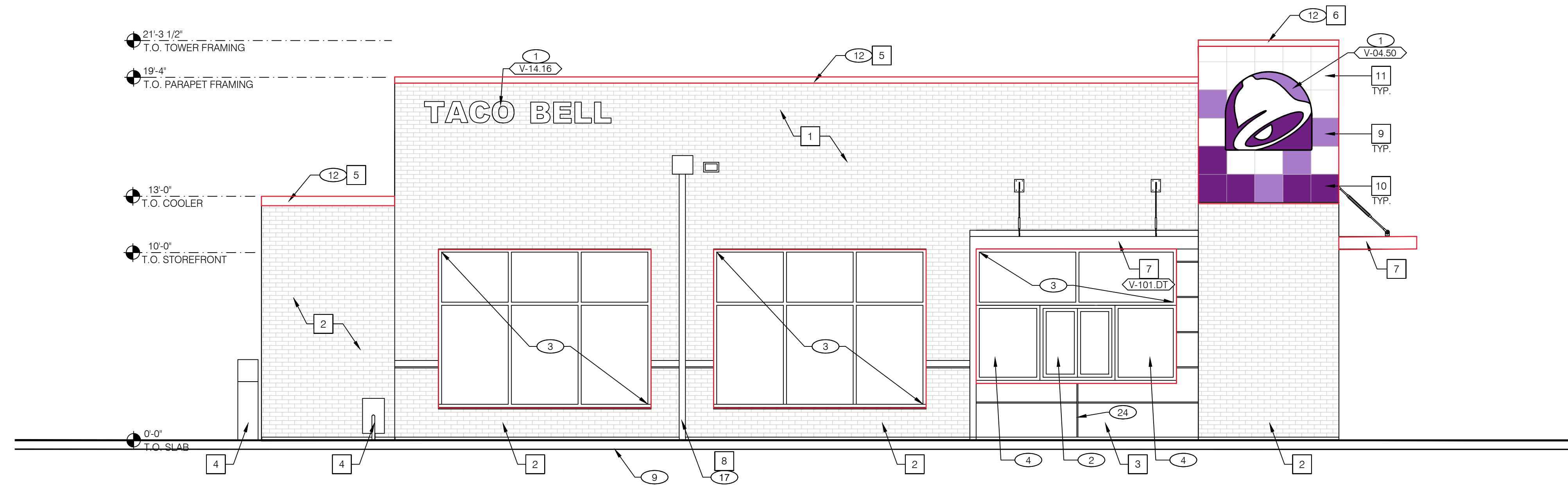
**KEY NOTES** **D**

CONTRACT DATE:  
BUILDING TYPE: EXP. LITE MED40  
PLAN VERSION: NOV. 2018  
SITE NUMBER:  
STORE NUMBER: 2019188.07

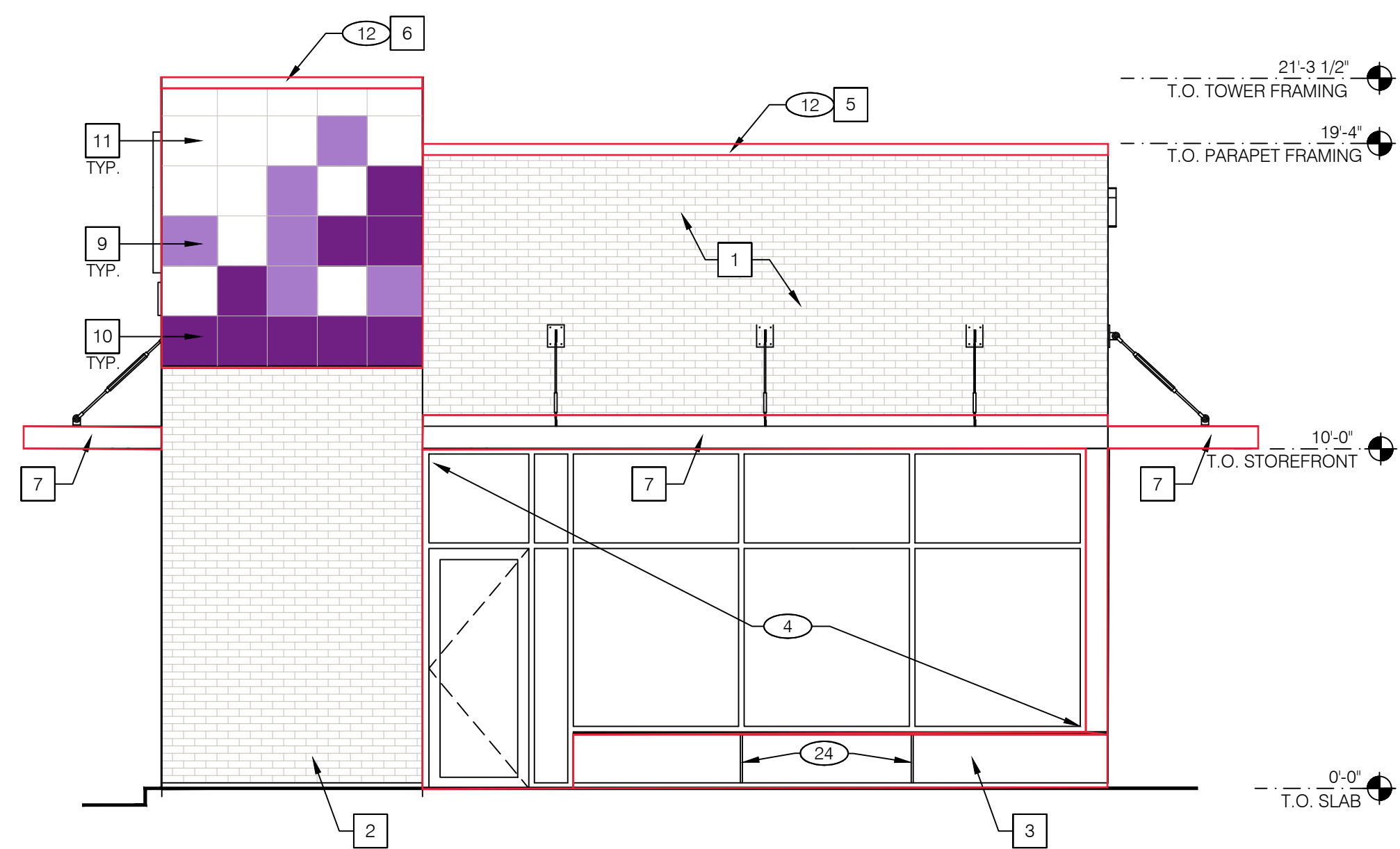
**TACO BELL**  
MAPLECREST PARKWAY  
BRIMFIELD, OH



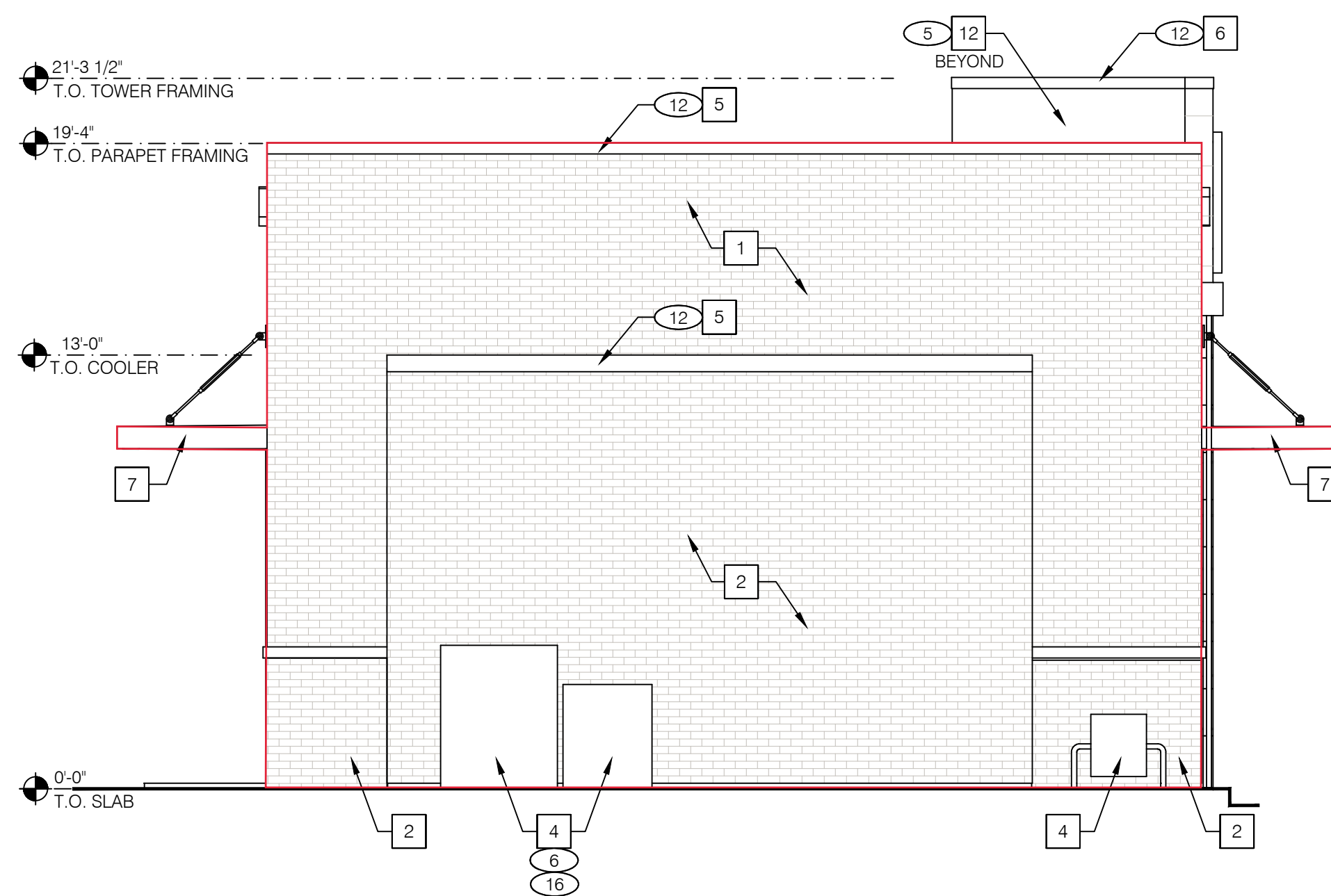
**EXTERIOR ELEVATIONS**  
**A4.0**



**LEFT SIDE ELEVATION** 1/4" = 1'-0" **A**



**FRONT ELEVATION** 1/4" = 1'-0" **C**



**REAR ELEVATION** 1/4" = 1'-0" **B**

- △
- △
- △
- △
- △
- △
- △
- △
- △
- △

CONTRACT DATE: 11.12.20  
BUILDING TYPE: XS6  
PLAN VERSION:  
SITE NUMBER: 313798 / 451121  
STORE NUMBER: 2019088.10

**TACO BELL**  
1519 SOUTHFIELD RD.  
LINCOLN PARK, MI 48146



**EXTERIOR ELEVATIONS**

**A4.1**

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**PROJECT INFORMATION**

Site #: 313798 # Production Lines: 3  
 Entity #: 451121 # Seating: 6 Seats  
 Store #: - Dry Storage: 59 Cooler/Freezer: 26/10  
 Address: 1519 SOUTHFIELD RD. # Kiosks: 5  
 City, State: LINCOLN PARK, MI 3-Stream Trash: No

**TACO BELL USE**

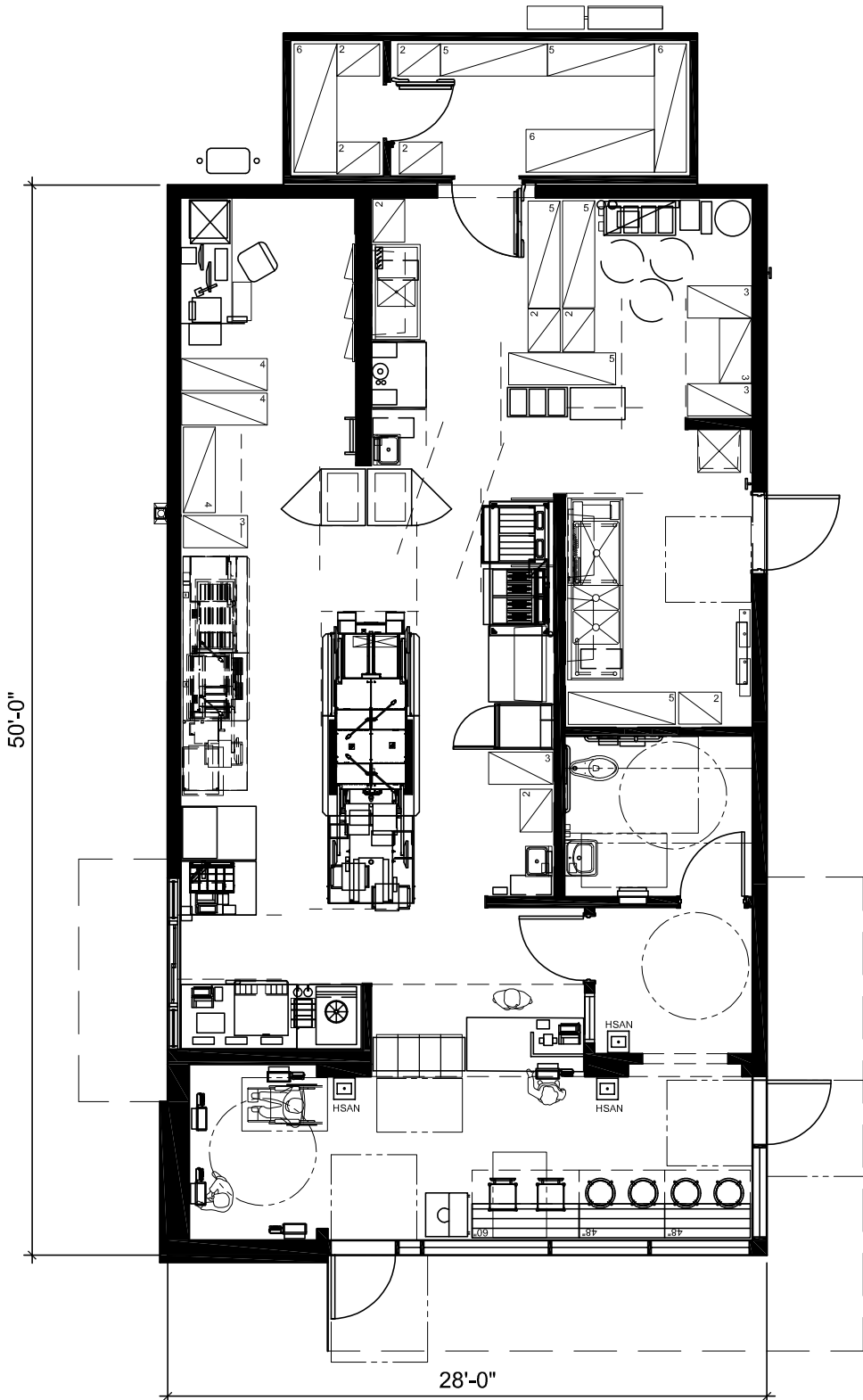
	Signature	Date	Approved
BD:	_____	_____	<input type="checkbox"/>
REM:	_____	_____	<input type="checkbox"/>
CM:	_____	_____	<input type="checkbox"/>
ORL:	_____	_____	<input type="checkbox"/>

Special Considerations:  
 XS6, BRICK, RAISED PARAPETS

REM Comments:

CM Comments:

ORL Comments:



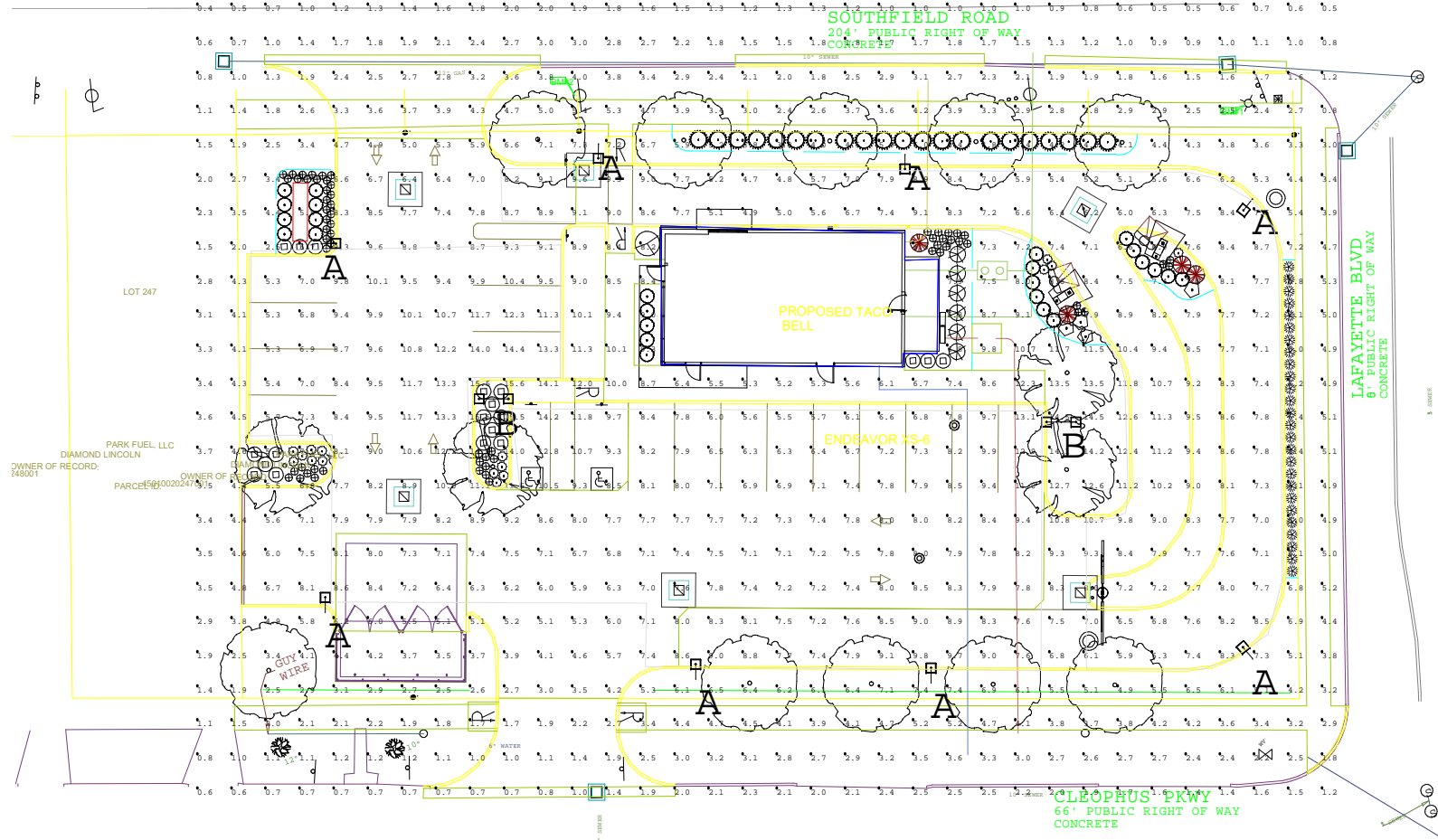
Please contact Thomas Balacki or Michael Mucha if you would like a quote or to place an order



Thomas - 860-520-2373

Thomas.Balacki@capitollight.com

Michael - 860-520-2366

Michael.Mucha@capitollight.com



Luminaire Schedule			
Symbol	Qty	Label	Description
	8	A	MRM-LED-24L-SIL-FT-40-70CRI MOUNTED AT 25'
	2	B	MRM-LED-24L-SIL-FT-40-70CRI MOUNTED AT 25'

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
-	N.A.	N.A.	N.A.	N.A.	N.A.
DRIVE THRU SURFACE	7.68	11.3	4.7	1.63	2.40
PARKING LOT SURFACE	8.41	14.4	5.3	1.59	2.72

Based on the information provided, all dimensions and luminaire locations show represent recommended positions or positions provided by third party. The engineer and/or architect have the sole responsibility to determine applicability of the layout to existing or future field conditions.

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with IES approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

## Elizabeth Gunden

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**From:** Robert Wright <RWright@citylp.com>  
**Sent:** Monday, November 30, 2020 1:01 PM  
**To:** Fire Chief  
**Cc:** Leah DuMouchel; Elizabeth Gunden  
**Subject:** Re: 1519 Southfield - Taco Bell

Hi all,

The site plan looks good so far. I need to get a hard copy for the actual building but we normally send the plans out to FSCI for third party review. I did receive an email regarding a fire lane and a fire lane is not required for this property.

Am I able to send these out to FSCI for building review? There is a cost for review.

Thank you

Bob Wright  
Lieutenant/Fire Inspector  
Lincoln Park Fire Department  
Office (313) 381-1100  
Station (313) 381-1975  
Fax (313) 381-1831  
rwright@citylp.com

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**From:** Fire Chief <FChief@citylp.com>  
**Sent:** Tuesday, November 24, 2020 9:08 AM  
**To:** Robert Wright <RWright@citylp.com>; Scott Lewis <SLewis@citylp.com>  
**Subject:** FW: 1519 Southfield - Taco Bell

Bob, Scott,

Can you take a look at this and one of you respond back to Mr. Yanda? I'm not familiar with what he is talking about and he seems to think he spoke with me last year.

Thank you,



Steve Martin  
Fire Chief  
Lincoln Park Fire Department  
[fchief@citylp.com](mailto:fchief@citylp.com)  
Office: (313) 381-1100 Ext 3  
Cell: (313) 215-0451  
Fax: (313) 381-1831

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**From:** Yanda, Matt <myanda@gpdgroup.com>  
**Sent:** Tuesday, November 24, 2020 8:55 AM  
**To:** Fire Chief <FChief@citylp.com>  
**Subject:** 1519 Southfield - Taco Bell

Good morning Steve,

I'm wrapping up the Planning Comments for the Taco Bell project located at 1519 Southfield Rd – Lincoln Park, MI. The remaining comment that needs to be addressed is in regards to the designated fire lane. I could not find anything in the code that gave the specifics on the requirements for a designated fire lane, but I believe we discussed over a year ago, that a designated fire lane would not be required for this project. Let me know if this is correct or if this is an item that will need to be waived at the Planning Commission meeting. Just want to be sure I address the comment appropriately in my response letter.

Please let me know if you have any questions for me.

Thanks,  
**Matt Yanda**  
Project Coordinator

**GPD GROUP**  
ARCHITECTS • ENGINEERS • PLANNERS  
**T:** 330.572.2484 / **M:** 330.819.1670 / **F:** 330.572.2101  
520 South Main Street, Suite 2531, Akron, OH 44311  
[gpdgroup.com](http://gpdgroup.com)

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## Elizabeth Gunden

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**From:** Ray Watters <RWatters@citylp.com>  
**Sent:** Wednesday, December 2, 2020 1:11 PM  
**To:** Elizabeth Gunden  
**Subject:** Re: Site Plan Review Request: 1519 Southfield

My only concern would be the access for a emergency vehicle into the drive thru area. We get a lot of people who pass out behind the wheel while waiting for food and need assistance. If the lane is too narrow we cant get access to those people.

Chief R.Watters

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**From:** Elizabeth Gunden <egunden@bria2.com>  
**Sent:** Wednesday, November 25, 2020 4:18 PM  
**To:** Fire Chief <FChief@citylp.com>; Irenda Lockhart <ILockhart@citylp.com>; Robert Wright <RWright@citylp.com>; Ray Watters <RWatters@citylp.com>; Krystina Erdos <KErdos@citylp.com>; John Kozuh <JKozuh@citylp.com>; jdhollandsworth@hengineers.com <jdhollandsworth@hengineers.com>  
**Cc:** Idumouchel@bria2.com <Idumouchel@bria2.com>  
**Subject:** Site Plan Review Request: 1519 Southfield

Hello all –

This is just a friendly reminder to please submit comments on the attached plans for a proposed Taco Bell at 1519 Southfield as soon as possible. Thank you, and I hope you all have a wonderful holiday!

Liz

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**From:** Elizabeth Gunden  
**Sent:** Wednesday, November 18, 2020 8:42 AM  
**To:** firechief@citylp.com; ilockhart@citylp.com; rwright@citylp.com; rwatters@citylp.com; kerdos@citylp.com; jkozuh@citylp.com; jdhollandsworth@hengineers.com  
**Cc:** Leah DuMouchel <ldumouchel@bria2.com>  
**Subject:** Site Plan Review Request: 1519 Southfield

Good morning,  
Please find attached a set of plans for a proposed Taco Bell at 1519 Southfield. Comments are appreciated by reply to this email by next Tuesday, November 24th. Thank you!

Liz Gunden  
Project Planner

**Beckett&Raeder, Inc.**

*Making Great Places for over 50 Years*

535 West William St Suite 101  
Ann Arbor, MI 48103  
734.663.2622  
Direct Line: 734.239.6615

City of Lincoln Park Planning and Development

## 2020 Annual Report: City of Lincoln Park Planning Commission

December 9, 2020

The following report is based on the requirements in §1220.08 of the Lincoln Park Zoning Ordinance.

### SUMMARY OF ACTIVITIES

*The Planning Commission shall make an annual written report to the City Council concerning its operations and the status of the planning activities, including recommendations regarding actions by the City Council related to planning and development. The City Manager shall prepare the Capital Improvements Program Plan.*

#### Administration

Officer Elections. The following officers were elected in January 2020: Kevin Kissel, Chair; Joseph Palmer, Vice Chair; Mike Horvath, Secretary.

Member Appointment to Zoning Board of Appeals. Commissioner Horvath was appointed to serve on the Zoning Board of Appeals. It is important for the Planning Commission to have representation on this board in order to inform the ZBA proceedings with the PC's intent, and to report back to the PC on issues of appeal which should be addressed through regulatory adjustments.

Training. The City's regular Planning Consultant (Beckett & Raeder, Inc.) provided two training sessions in 2020: 1) A 3-hour training session on site plan review for members of the Planning Commission; and 2) a 3-hour training session on for the Zoning Board of Appeals, and Planning Commission members were welcome to attend. Both sessions were Michigan Association of Planning (MAP) training modules and were conducted remotely via Zoom.

Annual Review of the Development Review Process. In compliance with the Redevelopment Ready Communities program with which the City of Lincoln Park is engaged, the Commission set aside time at its December meeting to consider its development review process. [Discussion summary to be inserted.]

#### Development Review

Site Plan Review. The following site plans were approved in the City in 2020.

- 4032 Fort – Carryout Restaurant
- 3476 Fort – Massage Therapy
- 804 Southfield – Fuel Station Expansion and Retail
- 970 Fort – Auto Sales and Service
- 1519 Southfield – Taco Bell [confirm after meeting]
- 3387 Fort – Plumbing Contractor [confirm after special meeting]

Special Land Use. The following Special Land Uses were approved in the City in 2020.

- 804 Southfield – Fuel Station Expansion and Retail
- 970 Fort – Auto Sales and Service
- 3387 Fort – Plumbing Contractor [confirm after special meeting]

Rezoning. There was one rezoning in the City of Lincoln Park in 2020, at 1805 J. A. Papalas. This property had been rezoned from General Industrial District (GID) to Municipal Business District (MBD) in 2019 in anticipation of a proposed mixed-use development. Development plans changed, and the applicant wished to include a medical marijuana growing, processing, and provisioning facility to the mix of uses, thus resulting in a need to revert to the original GID zoning designation. The rezoning application was originally tabled due to the City's marijuana licensing regulations not being in place at the time of the rezoning consideration. Once timing was appropriate, the rezoning request was amended to include only one of the original parcels. The Planning Commission motion to recommend the rezoning to Lincoln Park City Council failed, but Council voted to approve the rezoning based on applicant testimony and the parcels' history of GID zoning.

## Zoning Amendments

Package Delivery Lockers. The City had been approached to permit the addition of package delivery lockers to certain commercial properties within the City. The zoning text amendment included the addition of a definition for a "package delivery locker" as well as the addition of design and installation standards for such lockers.

Screening Wall Alternatives. As a result of the solid masonry wall requirement consistently prohibiting development proposals, the City amended this requirement to add more flexibility and to provide more clarity. The zoning text amendment updated §1294.28 to include screening wall alternatives, such as an "Eco-Wall," as well as to allow an applicant to choose between the wall and the landscape buffer instead of requiring both.

Waste Management. The Zoning Ordinance did not have specific requirements for waste management, and it became apparent that the City should have clear requirements for waste management so that developers know what is expected and so that the City has the legal justification for any requirements. The zoning text amendment added a requirement for a "waste management plan" as part of the site plan review requirements as well as design, placement, and ownership standards for trash receptacles and dumpsters.

Site Plan Review. There has historically been much confusion regarding the site plan review requirements in the Zoning Ordinance. This zoning text amendment reorganized and simplified the site plan review chapter (§1296.01) to be more concise and to more clearly define roles and responsibilities of both the City and the applicants, making the City's development review process more transparent.

Lot Division. It came to development staff's attention that there was an inconsistency between §1224.06, Division of Lots, and §1294.32, Schedule of Area Regulations. The zoning text amendment eliminated these inconsistencies.

Signage Conflicts in the Zoning Ordinance. As a result of the newly adopted Sign Code in April 2020, there were several discrepancies and inconsistencies in the Zoning Ordinance. This zoning text amendment addressed these discrepancies in seven sections of the Zoning Ordinance and eliminated any conflict between the two ordinances.

Standards for Marijuana Businesses. In November 2019, voters in the City of Lincoln Park passed a referendum opting into permitting marijuana businesses in the City. The City Council adopted a police

power ordinance governing the process and requirements for acquiring such a license, and the Zoning Ordinance is the tool for which to implement any standards. The zoning text amendment addressed four sections of the Zoning Ordinance and included definitions, the types of marijuana business permitted after Special Land Use approval in the General Industrial District, site design standards for such establishments, and parking requirements.

### Policy Review and Study

Zoning Text Amendments. Prior to the consideration of any proposed zoning text amendment, the Planning Commission held a policy review and discussion, providing insight and feedback on all proposals. In 2020, the Planning Commission held policy review and discussions on the following zoning text amendments that were subsequently adopted by City Council: Screening Wall Alternatives, Waste Management, Site Plan Review, Lot Division, Signage Conflicts in the Zoning Ordinance, and Standards for Marijuana Businesses.

Redevelopment Opportunities Package. The City has been working on creating a Redevelopment Opportunities Package to market City-owned properties that are prime for redevelopment. This process is still in the beginning stages, but the Planning Commission held a policy review and discussion on the subject to become informed on the project.

Sign Revision Rollout. Beckett & Raeder, Inc. created a handout to distribute to the business community and relevant departments summarizing the updated sign ordinance that the City adopted in April 2020. The Planning Commission held a policy review and discussion to become informed on the status of the newly adopted Sign Code.

Auto Service and Makerspace Overlay. There are limited industrial properties in the City, and the purpose of the Makerspace Overlay is to permit the “missing middle” section of manufacturing so that smaller-scale operations may occupy buildings outside of industrial areas without posing a nuisance to adjacent land uses. This is a novel idea and still taking form; however, the Planning Commission held a policy review and discussion about the Makerspace Overlay idea, possible definitions, and possible provisions.

### Implementation of the Master Plan

The City adopted its updated Master Plan in November 2019. The new Master Plan has a robust action plan, and the City has made progress on implementing the following action items:

- *Remove parking minimums downtown and replace with accommodation based on evidence of demand* – businesses downtown are exempt from minimum parking requirements.
- *Maintain sidewalks so that they are safe and clean for all users* – all site plan reviews require that City sidewalks be brought up to City standards.
- *Host regular food truck events downtown* – the City is currently working on a food truck ordinance.
- *Adjust the zoning ordinance to permit ultralight-impact manufacturing in commercial zones (“maker spaces”)* – the Planning Commission has had a policy discussion on this topic.

### Regional Correspondence



No requests were received.

## REPORT ON OPERATION OF THE ZONING ORDINANCE

*In accordance with Section 308 of Michigan Public Act 110 of 2006, as amended, the Planning Commission shall prepare an annual report to the City Council on the administration and enforcement of the Zoning Ordinance including recommendations as to the enactment of amendments or supplements to the Ordinance.*

Following the completion of the Master Plan effort at the end of 2019, the Planning Commission has been quite proactive in addressing several zoning issues. The Planning Commission reviewed and made affirmative recommendations to City Council on seven zoning text amendments in 2020. Additionally, specific zoning issues that have been identified through the course of the Planning Commission's development review procedures this year include:

*Automotive Service Stations, Repair Centers, and Public Garages.* These uses have been problematic at times in the City, leading to attempted regulatory solutions which have had varying degrees of success. Currently, a standalone ordinance section establishes development criteria for these uses, but its application has been inconsistent. A mandatory 5,000-foot setback between similar uses, likely intended to dilute the quantity of such uses, has been difficult to administer and has not produced the intended result. The Future Land Use plan that accompanies the Master Plan identifies an overlay district permitting auto-related uses in an area of the City with the greatest concentration of such uses.

*Automotive Service and Makerspace Overlay.* There are limited industrial properties in the City, and the purpose of the Makerspace Overlay is to permit the "missing middle" section of manufacturing so that smaller-scale operations may occupy buildings outside of industrial areas without posing a nuisance to adjacent land uses. This is a novel idea and still taking form, but the Planning Commission held an initial policy discussion on the topic. It is possible that the Makerspace Overlay could be combined with the Automotive Service Overlay district identified in the Future Land Use plan.

*Vehicle Sales.* The City routinely receives requests for vehicle sales establishments. The Zoning Ordinance specifies standards for Automotive Service Stations, Repair Centers, and Public Garages; however, these standards do not include vehicle sales establishments. Because there are so many requests for such establishments in the City, it is important to have enforceable development standards to help govern the appearance and condition of these sites.

It has been recognized throughout the City's development review team, including City Management, Economic/Downtown Development Director, Building Official, and Planning Consultant that the extent of changes required to make the Zoning Ordinance support the City's desired vision is such that a full rewrite of the ordinance is warranted.

City of Lincoln Park Lincoln Park Planning and Development

## 2021 Planning Commission Meeting Dates and Deadlines

Meeting Date		Submission Deadline
Wednesday, January 13	<i>to consider items submitted before</i>	Friday, December 11
Wednesday, February 10	<i>to consider items submitted before</i>	Friday, January 15
Wednesday, March 10	<i>to consider items submitted before</i>	Friday, February 12
Wednesday, April 14	<i>to consider items submitted before</i>	Friday, March 12
Wednesday, May 12	<i>to consider items submitted before</i>	Friday, April 16
Wednesday, June 10	<i>to consider items submitted before</i>	Friday, May 14
Wednesday, July 14	<i>to consider items submitted before</i>	Friday, June 11
Wednesday, August 11	<i>to consider items submitted before</i>	Friday, July 16
Wednesday, September 8	<i>to consider items submitted before</i>	Friday, August 13
Wednesday, October 13	<i>to consider items submitted before</i>	Friday, September 10
Wednesday, November 10	<i>to consider items submitted before</i>	Friday, October 15
Wednesday, December 8	<i>to consider items submitted before</i>	Friday, November 12

## Monthly Planning Report

Serving & Planning Communities throughout Michigan

December 2020

Top  
Story

### Michigan Upholds Nestle permit to withdraw 576K of groundwater daily

*"The state concluded the petitioners, Michigan Citizens for Water Conservation and the Grand Traverse Band of Ottawa and Chippewa Indians, should have made their claims in a circuit court."*

Michigan environmental regulators will not reconsider their decision to let Nestlé Waters North America increase groundwater withdrawals to support the company's Ice Mountain bottling operation in Stanwood, state officials announced Friday.

Instead, the Michigan Department of Environment, Great Lakes and Energy has dismissed a complaint challenging the 2018 permit that allows the company to increase its withdrawals from the Osceola County well by 60 percent.

The permit, granted under then-Gov. Rick Snyder, allows Nestlé to withdraw up to 400 gallons per minute—576,000 gallons daily—to supply its Evert water bottling operation in exchange for a \$200 annual fee.

*Bridge Magazine.* More information: <https://www.bridgemi.com/michigan-environment-watch/michigan-upholds-nestle-permit-withdraw-576k-gallons-groundwater-daily>

Legal and  
Legislative

### Logan v. City of Southgate

*"...the record reveals that the sidewalk presented a typical hazard that is commonly confronted."*

The court held that the trial court did not err by granting defendant-city's motion for summary disposition of plaintiff's claim under the open and obvious doctrine. She sued defendant for injuries she sustained when she tripped and fell on uneven pavement. Defendant claimed it was entitled to summary disposition because the uneven sidewalk was open and obvious and no special aspects existed. Plaintiff responded that the open and obvious doctrine was not an applicable defense to defendant's statutory duty to maintain the sidewalk. On appeal, the court rejected plaintiff's argument that the trial court erred by granting defendant's motion for summary disposition because the sidewalk was unreasonably dangerous. Affirmed.

*MI Court of Appeals unpublished opinion.* More information: [www.michbar.org/file/opinions/appeals/2020/102920/74135.pdf](http://www.michbar.org/file/opinions/appeals/2020/102920/74135.pdf)

## News

### After booming first year, recreational cannabis shows no signs of slowing down

*"As people look for a way to take the edge off 2020, recreational cannabis sales are closing in on half a billion dollars."*

While COVID-19 has put many folks out of business, one industry is booming: cannabis. It's been nearly one year since Michigan dispensaries were allowed to start selling marijuana for recreational purposes. And for many Michiganders, it came just in time. ...

Dustin Walsh, senior reporter at Crains Detroit Business, has been reporting on the industry's impressive growth. He said that while many industries are looking at substantial losses during the pandemic, cannabis sales have increased every month since last December. Walsh said this was possible, in part, because the government categorized the marijuana industry as an essential industry all the way back in March.

*Michigan Public Radio.* More information: <https://www.michiganradio.org/post/after-booming-first-year-recreational-cannabis-market-shows-no-signs-slowing-down>

## Training and Education

### Michigan Winter Cities Planning and Development

The Michigan Association of Planning (MAP) and the Michigan Economic Development Corporation (MEDC) have collaborated to deliver a package of workshops, tools, and resources to help your community thrive in the cold winter months. From physically adapting public outdoor spaces and programming winter friendly events, to reinforcing messages that change minds and behaviors about being outside in the cold, The Michigan Winter Cities Package delivers. Thursday, January 14, 2021 2:00 PM - 3:30 PM EST. MAP Member price: \$20; Nonmember price: \$30.

*Michigan Association of Planning and Michigan Economic Development Corporation.* More information: [https://www.planningmi.org/index.php?option=com\\_events&task=icalrepeat.detail&evid=214&Itemid=115&year=2021&month=01&day=14&title=michigan-winter-cities-planning-and-development&uid=ce34f4a63f2c66ccd2d62b70796f84a6](https://www.planningmi.org/index.php?option=com_events&task=icalrepeat.detail&evid=214&Itemid=115&year=2021&month=01&day=14&title=michigan-winter-cities-planning-and-development&uid=ce34f4a63f2c66ccd2d62b70796f84a6)

## Grant Opportunity

### Michigan Clean Water Plan

The MI Clean Water plan will align \$500 million in federal dollars, state bonding authority, and existing/prospective state revenues into a comprehensive water infrastructure package that will support communities in every corner of Michigan in creating jobs, protecting public health, and improving environmental quality.

#### Drinking Water Quality - \$207 million

- Disadvantaged Community Lead Service Line Replacement Program - \$102 million
- Drinking Water Asset Management Grants - \$37.5 million

- Drinking Water Infrastructure Grants - \$35 million
- Consolidation and Contamination Risk Reduction Grants - \$25 million
- Affordability and Planning Grants - \$7.5 million

#### Wastewater Protection - \$293 million

- Clean Water Infrastructure Grants - \$235 million
- Substantial Public Health Risk Reduction Grants - \$20 million
- Failing Septic System Elimination Program - \$35 million
- Stormwater, Asset Management, and Wastewater (SAW) Grants - \$3 million

*Michigan Department of Energy, Great Lakes, and the Environment.* More information: [https://www.michigan.gov/egle/0,9429,7-135-3307\\_3515\\_103222---,00.html](https://www.michigan.gov/egle/0,9429,7-135-3307_3515_103222---,00.html)