



LINCOLN PARK PLANNING COMMISSION
SPECIAL MEETING
December 17, 2020 at 6 p.m.

REMOTE MEETING VIA ZOOM

Call: 1 646 558 8656

Web: www.zoom.us

Meeting ID 827 4179 0259

Participant ID is #

AGENDA

- I. Call to Order**
- II. Roll Call**
- III. Approval of Previous Minutes**
- IV. Approval of Agenda**
- V. Old Business**
 - A. Site Plan Review: 3387 Fort Street – Plumbing Contractor
 - B. Public Hearing: 3387 Fort Street – Plumbing Contractor
 - C. Special Land Use: 3387 Fort Street – Plumbing Contractor
- VI. New Business**
- VII. Policy Review and Discussion**
- VIII. Education and Training**
- IX. Reports from Department and Other Boards and Commissions**
- X. Public Comments**
- XI. Comments from Planning Commissioners**
- XII. Adjournment**

The City of Lincoln Park will provide necessary reasonable auxiliary aides and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park MI 48146; 313-386-1800 ext. 1296

3387 Fort – Plumbing Contractor

Site Plan Review

Applicant	Tracey Yarbrough
Project	Plumbing Contractor
Address	3387 Fort Street, Lincoln Park, MI 48146
Date	December 17, 2020
Request	Site Plan Review
Recommendation	Approval with Conditions

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial of Site

The applicant proposes to lease the building as office space for a plumbing services company. No retail parts are sold onsite.

Site conditions

The site is part of an approximately half-acre parcel is located on Fort Street between Pagel and Buckingham Avenues. There is a small parking lot adjacent to Buckingham Avenue serviced by a curb cut for ingress and egress; there is no access from Fort Street. This site abuts a residential zone, separated by an alley. The property owners also own the vacant residential parcel directly behind it (with frontage on Buckingham) and have used it informally for parking. The backside of the building has four garage doors that open up to the public alley.

Master Plan Future Land Use Classification

The Future Land Use classification for this parcel is General Commercial.

Intent; Desirable Uses and Elements

General commercial properties are intended to serve the whole community and are located along major thoroughfares.

Land Use and Zoning

Zoning

The parcel is zoned Neighborhood Business District. The proposed use falls under the category of a “service establishment of an office, showroom or workshop nature,” which is permitted after special approval in this zone. The informal parking area behind the parcel is zoned Single Family Residential District (SFRD).

Proposed and Existing Uses

Site	Commercial; Neighborhood Business District (NBD)
North	Residential; Single-Family (SFRD) & Commercial; Neighborhood Business District (NBD)
East	Residential; Single-Family (SFRD)
South	Residential; Single-Family (SFRD) & Commercial; Neighborhood Business District (NBD)
West	ROW; Commercial; Neighborhood Business District (NBD)



Figure 2: Zoning Map

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
A-1	Existing 1-Sty Brick/Block Building Site (Site Plan)	09/14/2020	11/09/2020
A-2	Existing 1-Sty Brick/Block Building Site (Floor Plan)	09/14/2020	11/09/2020
ELEV	Exterior Elevations	11/09/2020	--
S-1	Site Plan	11/18/2020	--

Dimensional Standards

The dimensional requirements of the Neighborhood Business District (NBD) are described in the chart below. (§1294.32, except where noted.)

	Required	Provided	Compliance
Lot Width	Min. 40	~225	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls height < 2 ½'; tree branch height > 8'	Proposed shrubbery along Fort St is 24" tall	Met
Lot Area	Min. 4,000 sq ft	~21,046 sq ft	Met
Lot Coverage	Max. 50%	44%	Met
Height	2-Story Building; 25 ft	1 story West (front): 18' 1" South (side): 18' 6" East (rear): 16' 3"	Met
Setback – Front	0	0	Met
Setback – Sides	0	From Buckingham = ~50' From Pagel = ~100'	Met
Setback – Rear	0	0	Met

Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' 	Met

Required	Compliance
<ul style="list-style-type: none"> • Façade: <100' uninterrupted <i>Building is ~54 ft. wide</i> • If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches • All sides similar <i>All sides are either painted brick or masonry block.</i> 	Met
<ul style="list-style-type: none"> • Windows: vertical, recessed, visually obvious sills. <i>No windows on East Elevation.</i> • Spaces between windows = columns, mullions, or material found elsewhere on the façade • Front facades > 25% windows <i>12% transparency [118 sf (windows + door) / 984 sf]</i> • Size, shape, orientation, spacing to match buildings within 500' 	Met Met NOT MET Met
<ul style="list-style-type: none"> • Main entrances: doors larger • Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) <i>Larger front door with distinctive door pull, awning on front and side of building, blue and yellow accent color stripe around front and side of building</i> 	Met
<ul style="list-style-type: none"> • Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 • Rooflines >100' = roof forms, parapets, cornice lines <i>N/A</i> • Roof-top mechanical equipment screened by roof form. <i>No roof-top mechanical equipment proposed.</i> 	Met

The existing building does not meet the standards for transparency or building materials. As the proposal does not include changes to the building façade, the City has historically permitted existing façade conditions to remain.

Items to be addressed

None

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The site is served by a 6' public sidewalk along Fort Street and 5' sidewalks along Buckingham and Pagel Avenues, which provides pedestrian circulation separated from the vehicular circulation. However, there is no internal sidewalk to connect pedestrians to the building. There are no bicycle lanes on the ROW or bicycle parking facilities proposed.

Items to be addressed

- Applicant shall ensure that concrete sidewalks are brought up to the City's standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

The Lincoln Park Code of Ordinance §1290.02 Number of Spaces requirements clearly indicate the parking formula for a service establishment use under the Business and Commercial category.

Use	Required	Proposed	Compliance
Service Establishment	Two (2) for every one-thousand (1,000) square feet of gross leaseable floor area. <i>Gross leasable floor area: 2,251.5 sq. ft. 2,251.5 / 1,000 = 2.2515 2.2515 x 2 = 4.5 spaces</i>	5	Met

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Parking lot ingress / egress is on Buckingham St.	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition, and graded and drained appropriately	Existing asphalt surface is in poor condition and needs to be resurfaced.	NOT MET
	Concrete curbs and gutters	Concrete curb locations noted on site plan. No change to existing curbs proposed.	Met
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	The parking area does not adjoin residential property.	N/A
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	The parking area is not located on the opposite side of residential property.	N/A
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	There is ample room in the parking area for backing and maneuvering.	Met
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	Bumper blocks provided along parking spaces abutting Fort St public sidewalk.	Met

Items to be addressed

- The existing asphalt parking area shall be resurfaced and brought up to the City's standards.*

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1-25	1	1	Met

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
0 to 2,000	None	None	Met

The definition of Gross Floor Area states: “Areas of basements, utility rooms, breezeways, unfinished attics, porches (enclosed or unenclosed) or attached garages are not included,” so the 4-car garage area is not included. Therefore, no loading space is required.

Items to be addressed

None

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Road, Fort Street, Dix Avenue, and Outer Drive.

There is no vehicular access to this site from any of these routes (vehicular access is off of Buckingham Street), so the standards of this section do not apply.

Items to be addressed

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicle access will be via Buckingham St. or the alley east of the site. The Lincoln Park Police Department has reviewed this plan and indicates no outstanding issues.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	11' 10" grass area between sidewalk and Fort St. Sidewalk on Buckingham St directly abuts street with no space for landscaping. 2 proposed trees and 6 proposed shrubs along Fort Street frontage. Proposed shrubs provide obscuring hedge needed for Fort Street.	Met
	1 tree and 4 shrubs per 40' of street frontage <i>~60' street frontage = 2 trees and 6 shrubs required</i>		
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge		
Interior Landscaping	10% of total lot area landscaped, including groundcover	Not provided; lot is entirely covered by building, sidewalk, and parking	N/A
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas		
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping		
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces <10	Not provided; lot is entirely covered by building, sidewalk, and parking.	N/A
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	New waste receptacle is not proposed. Applicant proposes to share an existing dumpster with a neighboring tenant.	Met

	Required	Proposed	Compliance
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive) or a solid 6' masonry wall ornamental on both sides	The parcel behind the building that now serves as an informal parking area will be used for landscaped screening. There is proposed new grass cover and 13 coniferous trees (6' tall, 8' oc) that will create an adequate landscaping screen between with property and the adjacent residential uses.	Met

Items to be addressed

- Applicant shall provide a performance guarantee in accordance with section 1262.10, Performance Guarantees, which shall be deposited at the time of the issuance of the permit. The performance guarantee shall total \$12,300, the total amount of the itemized estimates provided by the applicant, which shall ensure installation of the required landscaping.*

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to review soil erosion practices as needed.*

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer, and the existing utilities and lead for the commercial site are being reused. No new water line or sanitary sewer systems are proposed for the site. Per the City Engineer’s review, it is important that the applicant realize that the existing utilities are old and may have reached their life expectancy. It is strongly recommended that the applicant videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the service lead needs to be replaced, the City Engineer will need to inspect the installation of the new service.

Items to be addressed

- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*

- *Applicant shall videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County. No new stormwater management system is proposed to the site.

Items to be addressed

- *Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

There are two existing lights on the front façade of the building located on the roof line, and there is one existing light on the rear façade of the building located above the garage doors. The applicant has indicated that there will be no change to the existing lighting. The existing lights on the front façade of the building appear to be shielded and directed away from Fort Street. The existing light on the rear façade of the building appears to be pointed downward; however it does not appear to be shielded.

1276.06, Required Conditions (NEIGHBORHOOD BUSINESS DISTRICT)	Compliance
All lighting in connection with permitted business uses shall be so arranged as to reflect away from adjoining residence buildings or residentially zoned property, and shall be no greater than ten (10) foot candles at any point upon the lot, and no greater than one (1) foot candle along any lot line.	INQUIRY

Items to be addressed

- *Applicant shall ensure that lighting is arranged to reflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

No mechanical equipment is proposed.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during site Plan Review is for illustrative purposes only.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

There is no indication of hazardous substances and polluting materials to be used or stored on-site at the facility.

Items to be addressed

None

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

No additional standards are required for this approval.

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department

of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- Applicant to secure all appropriate agency reviews as needed.
- The Lincoln Park Fire Department requests that the door in the upper balcony storage area swing in the direction of egress toward the stairs.
- Pavement replacement may require review by Wayne County Drain Commissioner.

VARIANCES

No variances are anticipated in conjunction with this development.

Items to be addressed

None

RECOMMENDATIONS

Findings

The proposal is substantially in compliance with §1296.01, Site Plan Review.

Conditions

Conditions to be addressed before approval is issued

- Applicant shall ensure that concrete sidewalks are brought up to the City's standards.
- The existing asphalt parking area shall be brought up to the City's standards.
- Applicant shall ensure that lighting is arranged to reflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

Conditions of approval

- Applicant shall provide a performance guarantee in accordance with section 1262.10, Performance Guarantees, which shall be deposited at the time of the issuance of the permit. The performance guarantee shall total \$12,300, the total amount of the itemized estimates provided by the applicant, which shall ensure installation of the required landscaping and parking lot improvements.
- Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process; appropriate permits shall be secured from the Wayne County Drain Commissioner as needed.
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.

- Applicant shall videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to review soil erosion practices as needed.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Applicant to secure all appropriate agency reviews as needed.
- The Lincoln Park Fire Department requests that the door swings in the upper balcony storage area swing in the direction of egress toward the stairs.
- Pavement replacement may require review by Wayne County Drain Commissioner.

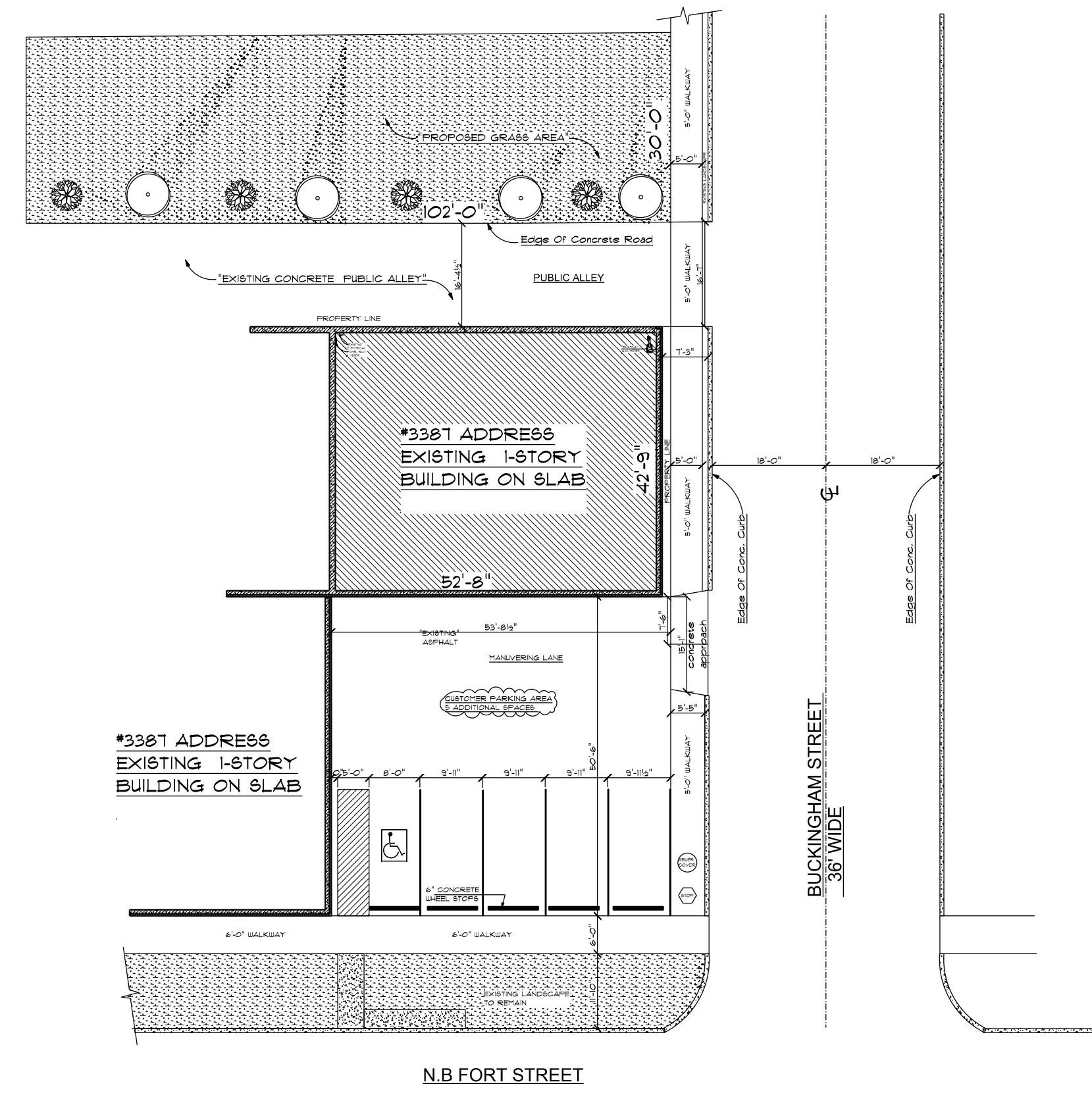
Proposed Motion

I move that the City of Lincoln Park **conditionally approve** the site plan numbered PPC 20-008, proposing a plumbing contractor establishment at 3387 Fort Street and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon:

- the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above under "Conditions to be addressed before final approval" and subject to administrative review and approval; and
- satisfactory completion of each of the items noted above under "Conditions of Approval."



VICINITY MAP
SCALE: 1/8" = 1'-0"



SITE PLAN
SCALE: 1" = 20'-0"



EXISTING 1-STY BRICK/BLOCK BUILDING SITE FOR: ALWAYS AVAILABLE PLUMBING & SEWER 3387 FORT STREET LINCOLN PARK, MI 48146	
JOHN T. HOLOWICKI - ARCHITECT 1-248-219-9386 31693 W. EIGHT MILE RD. LIVONIA, MI 48152	
SCALE: 1/4" = 1'-0"	DRAWN BY: B.C.
DATE: NOVEMBER 09, 2020	REVISED
DRAWING NUMBER 1 OF 2	

EXISTING SITE PLAN
LOCATION MAP

EXISTING 1-STY BRICK/BLOCK BUILDING SITE
FOR: ALWAYS AVAILABLE PLUMBING & SEWER
3387 FORT STREET LINCOLN PARK, MI 48146

DATE
NOVEMBER
09, 2020

SCALE
AS NOTED

DRAWING#
1155

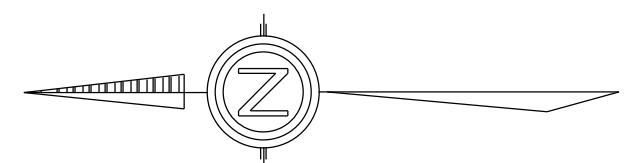
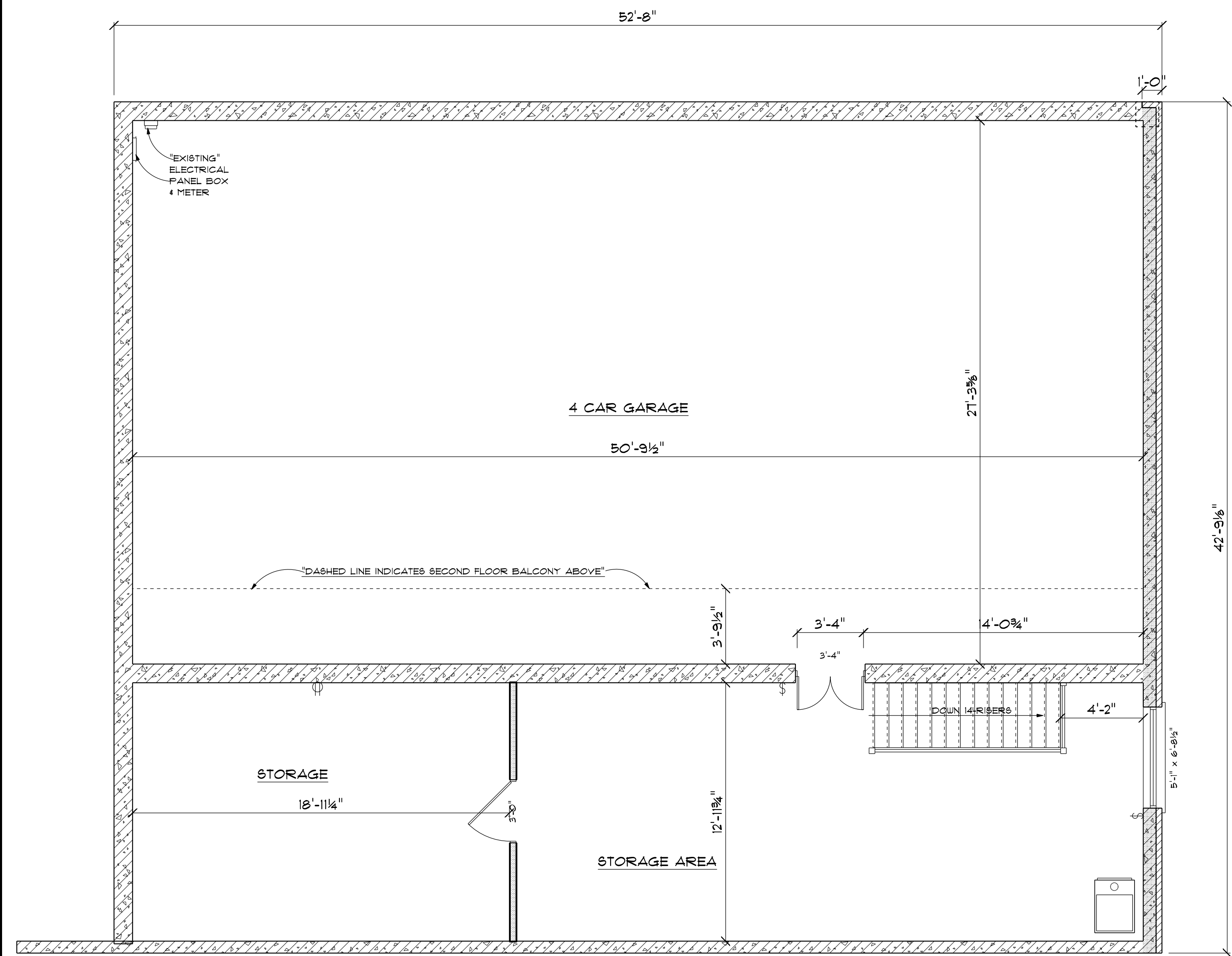
SHEET NO.
A-1

EXISTING 1-STY BRICKBLOCK BUILDING SITE
 FOR: ALWAYS AVAILABLE PLUMBING & SEWER
 3387 FORT STREET LINCOLN PARK, MI 48146

JOHN T. HOLOWICKI - ARCHITECT 1-248-219-9386
 31693 W. EIGHT MILE RD. LIVONIA, MI 48152

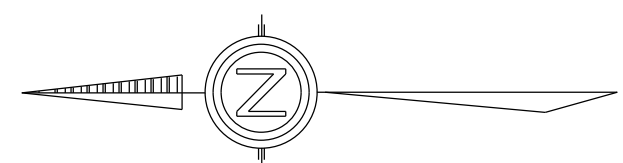
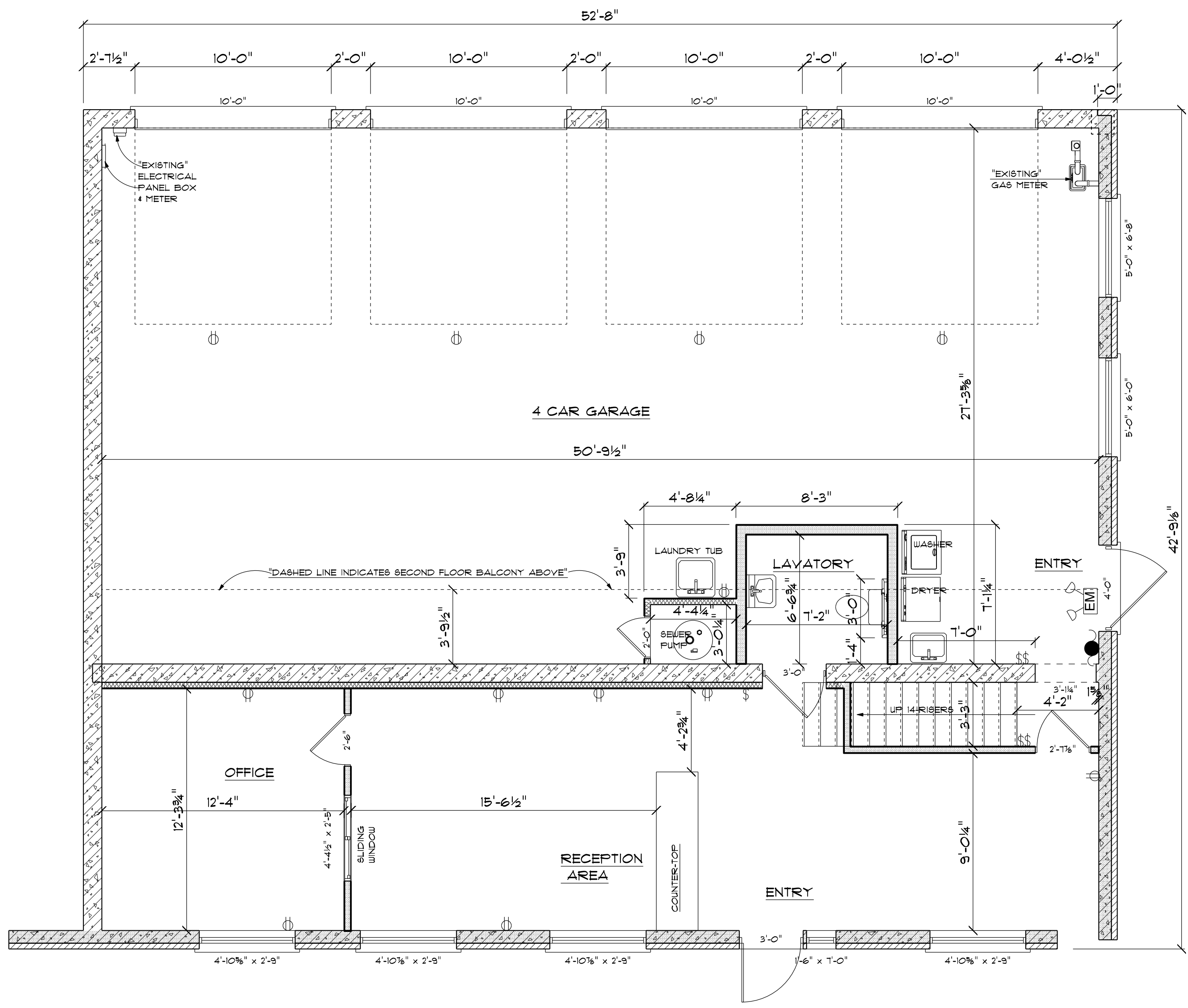
SCALE: 1/4" = 1'-0"
 DATE: NOVEMBER 09, 2020
 DRAWN BY: B.C.
 REVISED

DRAWING NUMBER
 2 OF 2



BUILDING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING BUILDING FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING SITE PLAN
 LOCATION MAP

EXISTING 1-STY BRICKBLOCK BUILDING SITE
 FOR: ALWAYS AVAILABLE PLUMBING & SEWER
 3387 FORT STREET LINCOLN PARK, MI 48146

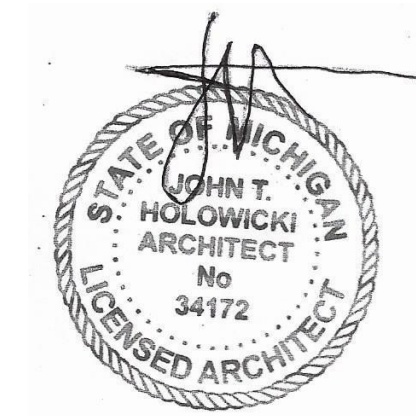
DATE
 NOVEMBER
 09, 2020

SCALE
 AS NOTED

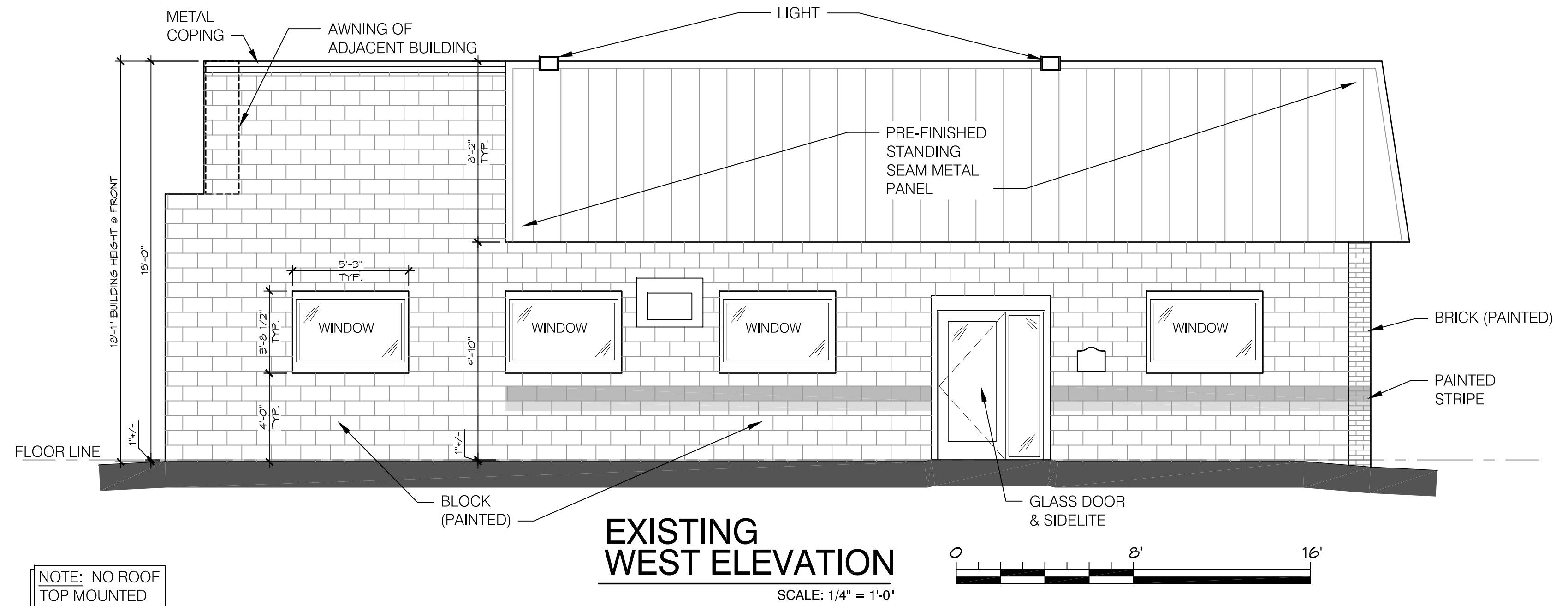
DRAWING#
 1155

SHEET NO.

A-2

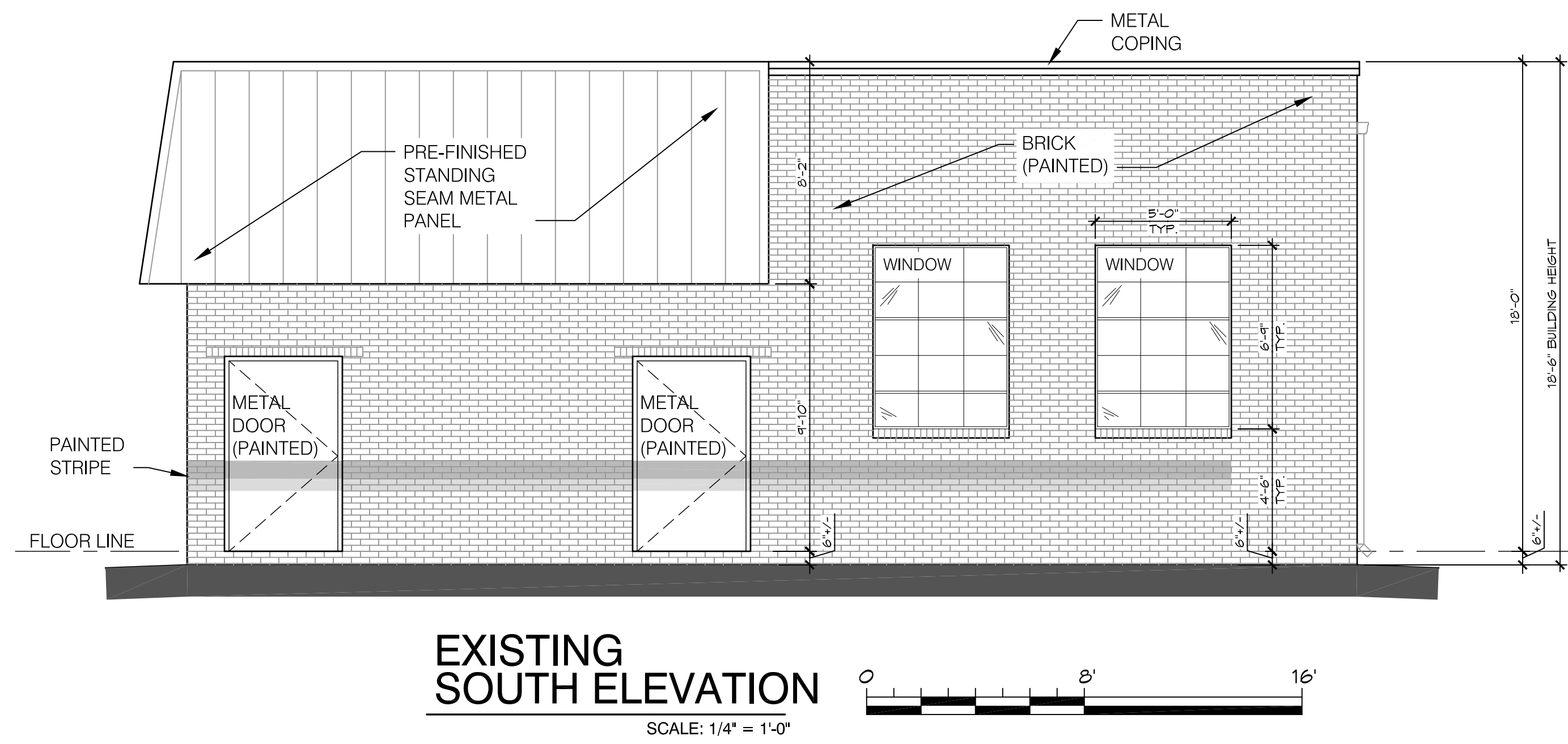


MATERIAL	SQ FT	PERCENTAGE
METAL PANEL	328	33%
BLOCK	527	54%
BRICK	10	1%
GLAZING	118	12%
TOTAL	983	

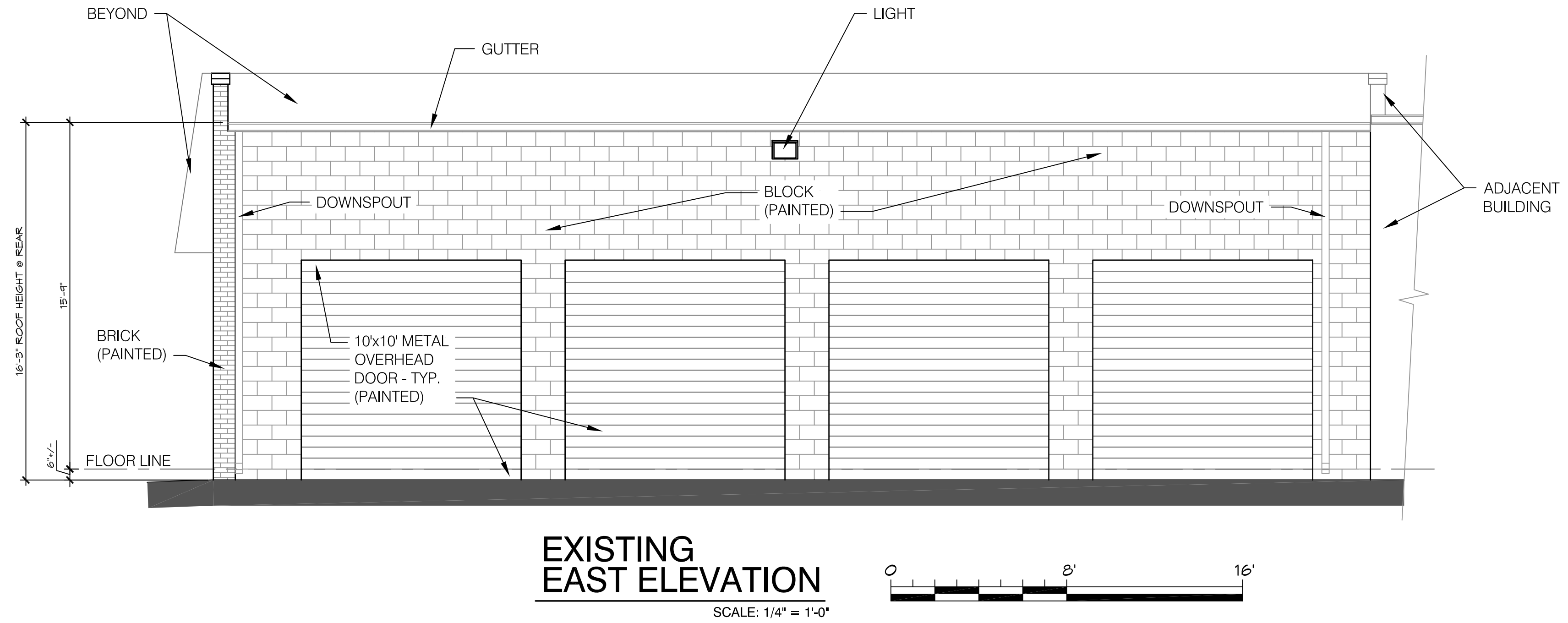


NOTE: NO ROOF TOP MOUNTED EQUIPMENT

MATERIAL	SQ FT	PERCENTAGE
METAL PANEL	184	23%
BRICK	488	61%
METAL DOOR	62	8%
GLAZING	71	9%
TOTAL	805	



MATERIAL	SQ FT	PERCENTAGE
BLOCK	440	51%
BRICK	17	2%
METAL DOOR	400	47%
TOTAL	983	



SIEGAL/TUOMAALA ASSOCIATES ARCHITECTS & PLANNERS INC.

29200 northwestern hwy suite 160 southfield, mi 48034

p • 248 • 352 • 0099
f • 248 • 352 • 0088
www.sta-architects.com

project name:
3387 Fort St.

project location:
3387 Fort St.
Lincoln Park, MI
48146

date/revision:
November 9, 2020

sheet title:
Exterior Elevations

project number:
2530

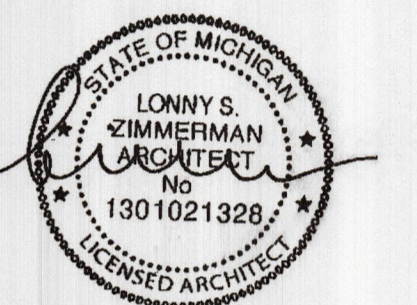
sheet number:
ELEV



SIEGAL/TUOMAALA ASSOCIATES ARCHITECTS & PLANNERS INC.

29200 northwestern hwy suite 160 southfield, mi 48034

p • 248 • 352 • 0099 f • 248 • 352 • 0088 www.sta-architects.com



project name: 3387 Fort St.

project location: 3387 Fort St. Lincoln Park, MI 48146

date/revision: November 18, 2020

sheet title: Site Plan

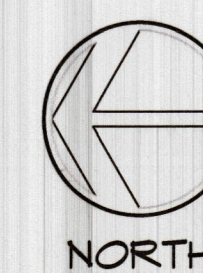
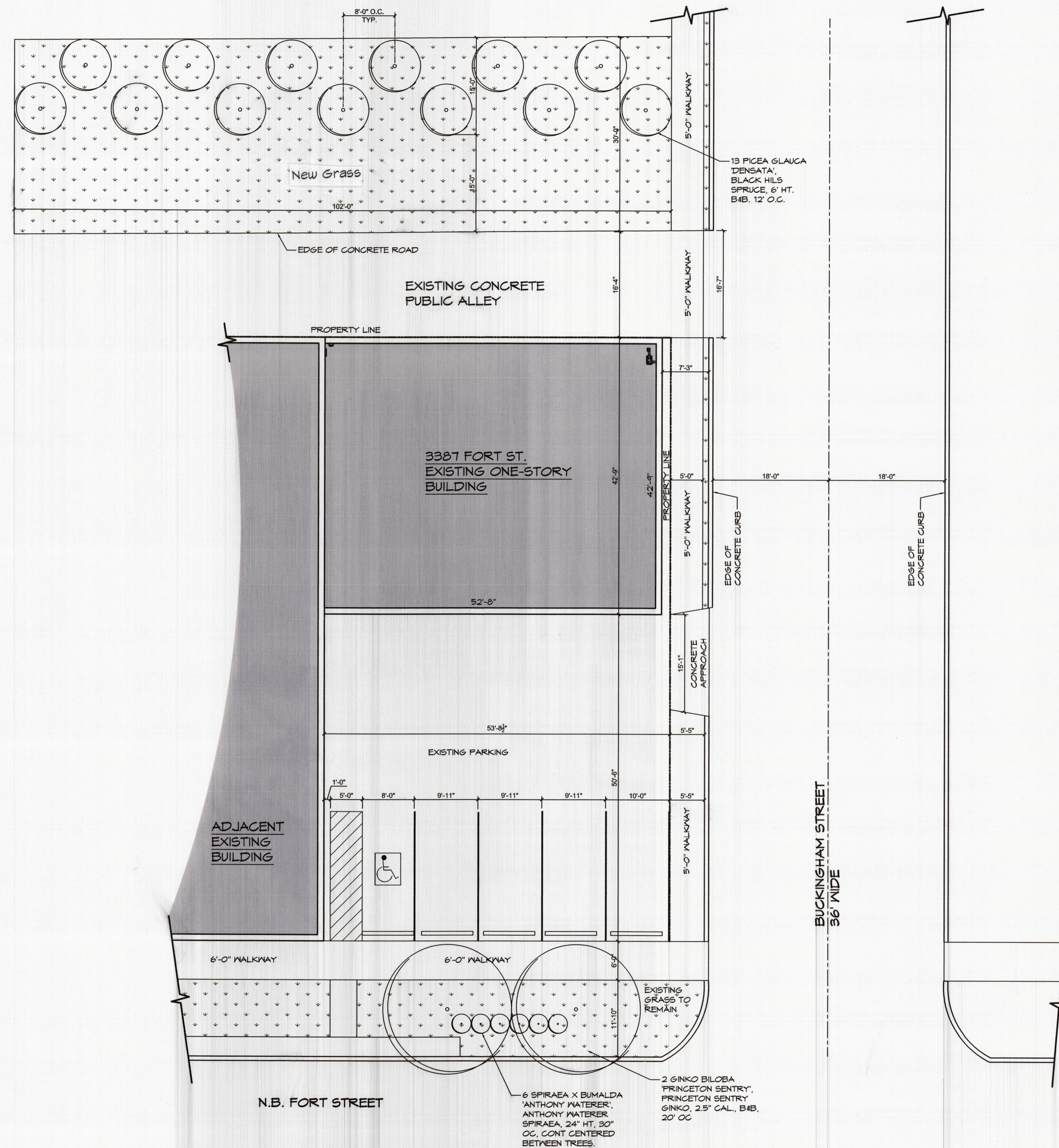
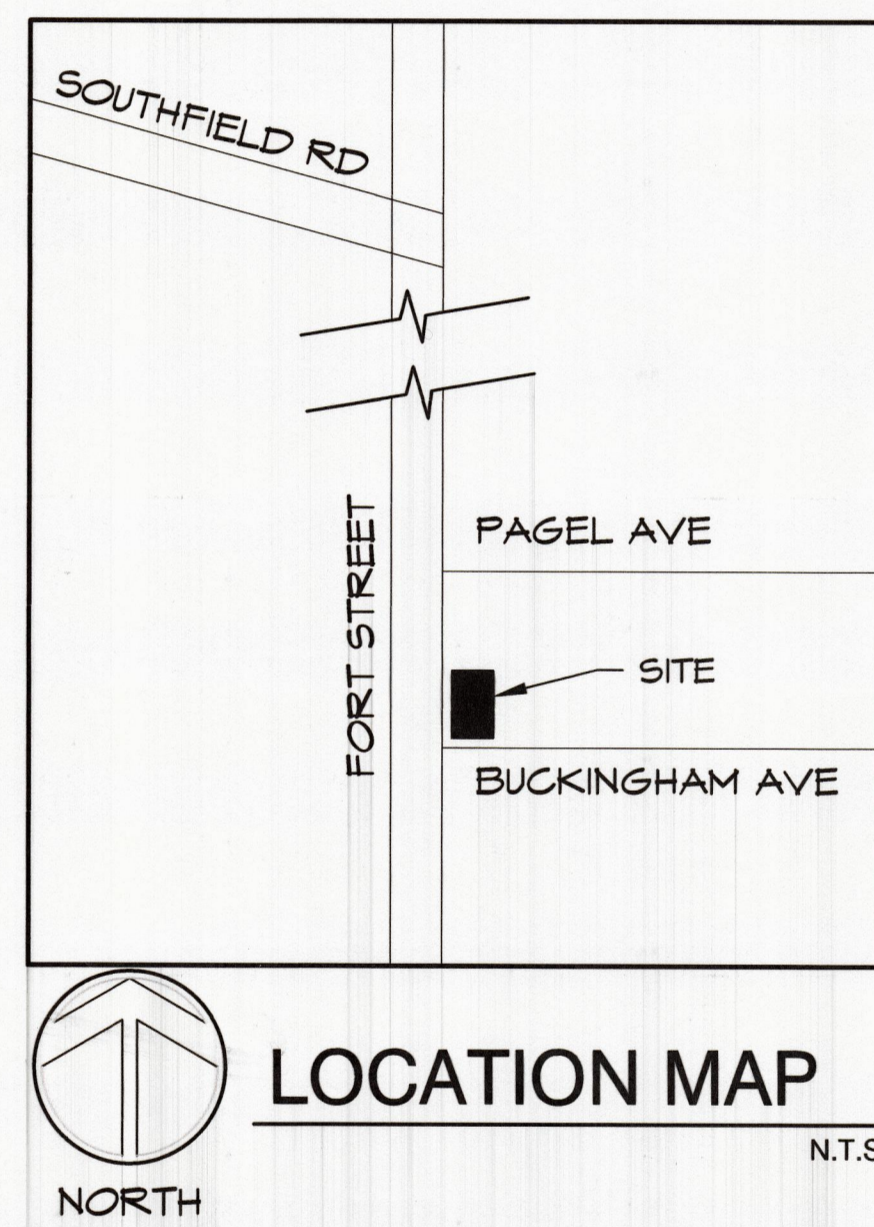
project number:

2530

sheet number:

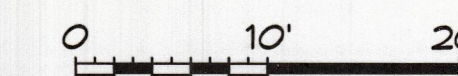
S-1

copyright 2020



SITE PLAN

SCALE: 1" = 10'-0"



December 7, 2020

Misty Sirch
ABC Warehouse
One W. Silverdome Industrial Park
Pontiac, MI 48343

2021 Parking Lot Maintenance Package

Dear Misty,

We have completed our evaluation for the proposed project.

This proposal presents the results of our observations and analysis, and our recommendations for the project construction methods as well as pertinent construction considerations.

All are in accordance with our meeting conducted on site.

If you should have any questions or comments please contact me at your earliest convenience.

Otherwise I will follow up with you on a later date.

We look forward to working with you.

Respectfully Submitted,

Colton Oedy

Colton Oedy
Hutch Paving, Inc.
The Professional Paving People™
Mobile: 989*980*4201

Client Information:

Misty Sirch
 ABC Warehouse
 One W. Silverdome Industrial Park
 Pontiac, MI 48343

Date: 12/7/2020 3:14 PM
Phone: 248.335.4222
Fax: 248.335.2568
Mobile:
Email: msirch@abcwarehouse.com
Bid No: 21210

Project Information:

2021 Parking Lot Maintenance Package

SAFETY

1. Maintain sufficient safety barricading during construction

ASPHALT SKIN PATCHING PACKAGE – UP TO 2 Tons

1. Power clean surface to receive asphalt Patching removing all debris off site.
2. Furnish and install SS-1h emulsion (tack coat) as required to all edges.
3. Install 2.00" #1100 20AA MDOT SPEC Wearing course asphalt and compact.
4. Remove all debris associated with our work

OUR PRICE IS..... \$ 1,000.00

ASPHALT CRACK / JOINT REPAIR & FILL (#1 PREVENTATIVE MAINTENANCE ITEM) 500 LF

1. Mechanically Rout Clean existing cracks with Hot Air Crack Jet Heat Lance to remove weeds and dirt to promote adhesion.
2. Install silica sand backer in deep holes if necessary, to fill large voids prior to hot rubber installation minimizing sinking.
3. Fill prepared joint / crack with MDOT SPEC HOT rubber that will meet or exceed ASTM NEW specification DD6690.
4. Cracks can be ready for vehicle or foot traffic usually within one hours our less depending on weather conditions.

OUR PRICE IS..... \$ 500.00

ASPHALT SEAL COATING STRIPING / APPROXIMATELY 2,450 SF

1. Power Clean and prep all areas to be seal coated.
2. Neutralize oil spots and gas stains with Neutralizer to help prevent "bleed through" of stain and assure adhesion.
3. Apply (2) coats of Coal Tar Industrial Sealer with Latex Modifier to all areas.
4. Sealcoat will have 4 - 5 pounds minimum of sand per gallon for prolonged life and stability & traction.
5. Re-stripe asphalt parking lot per existing layout with MDOT spec traffic paint that meets and exceed MDOT specification.
6. Remove all debris resulting from our operation.

OUR PRICE IS..... \$ 500.00

PAYMENT TERM: 25% down and the balance net 15 days from the date of the Invoice(s) with no retention held. A 1.5% monthly service charge will be applied for balances due beyond the 15 days.

PERMITS: Permits secured by HPI will be reimbursed cost plus 20% acquisition fee or a \$400.00 min charge.

INCLUDES: ONE YEAR LIMITED WRITTEN WARRANTY

EXCLUDES: Permits, Inspections, Undercutting of unsuitable sub base, restoration of Striping, restoration of landscaping, repair to hidden structures, such as but not limited to irrigation lines, electrical lines, or anything not marked by the miss dig system

By signing below, ABC Warehouse \ agent agrees to the payment terms detailed and Terms and Conditions set forth below on all pages of this contract.

X

Print Name / Title / Date

X

ABC Warehouse \ Agent Authorized Agent Signature

STANDARD TERMS & CONDITIONS

WARRANTY COVERAGE: Work quoted in our proposals is covered by our standard warranty against defects in materials and workmanship for a period of 12 months (unless specified otherwise) subject to the terms and conditions contained herein. Due to the volatility of the crude oil market and the potential for geopolitical issues, prices quoted are valid for 30 days from issue date of the proposal, unless specified otherwise.

STANDARD TERMS: This contract shall be subject to the following general conditions and standard terms of the contract printed below. Hutch Paving, Inc., will be referred to as contractor or HPI. The owner, architect, client or customer to whom this proposal/contract is addressed and authorized by will be referred to as "Customer".

A finance charge of 1-1/2% per month will be added to all past due accounts; an annum of 18%.

Payment is due in full upon completion or upon invoicing of completed work.

NO ORAL AGREEMENTS: It is expressly understood that all terms, agreements, and conditions relating to this contract are only those expressed in writing herein, and that there are no oral representations, undertakings, terms, agreements or conditions of any kind.

CHANGES: No changes or alterations in the specifications shall be allowed except in writing and at prices agreed upon at the time the changes are authorized.

EXTRA WORK: Any additional work requested beyond the specifications on the reverse side will be outlined in writing on a separate proposal form. Extra work performed on a time & material basis shall be signed for at the time the work is performed. The lack of a representative of the Customer does not relieve the Customer from payment obligation for the work billed.

ESTIMATED OR APPROXIMATE QUANTITIES: Quantities and areas in this proposal are approximate, arrived at for estimating purposes only. In addition, it is understood that payment is to be made on actual quantities of work completed and actual areas covered unless otherwise indicated.

PROPERTY LINES: The Customer shall establish and designate property lines, and shall be obligated to pay for work performed as ordered in the event the property lines established and designated by Customer trespass on other property. Also, the Customer shall be responsible for any damages caused hereby to the owner of any property encroached on by work specified in this proposal.

DELAYS/TIME OF COMPLETION: HPI shall complete this work within a reasonable time, but shall not be held responsible for delays beyond the control of the contractor.

SUB GRADES: No material shall be placed on a wet, unstable or frozen subgrade. A suitable subgrade is a condition precedent to the requirement of performance of this contract.

MINIMUM GRADE: HPI reserves the right to refuse to construct a pavement unless minimum grades of 1% are possible for surface drainage. If construction is performed with less than a minimum grade of 1%, it is understood that waterponding may occur and that there is no warranty attached to the work as to satisfactory surface drainage. Depressions over 3/4" can be filled.

WATER DRAINAGE: HPI will make water drain as best as possible. However, we make no guarantees against drainage of new or old pavement of any type when resurfacing and not replacing the project in its entirety.

PERMITS: Customers of the work shall obtain and pay for any and all permits, inspections or assessments if they are required, unless otherwise noted.

ZONING REQUIREMENTS & REGULATIONS: HPI assumes no responsibility for determining whether Customer has the legal right or authority to perform the work as specified. Notwithstanding that such work might be deemed to violate any ordinance, zoning regulation, or other law, the Customer shall, nevertheless, be obligated to pay for the work performed as ordered.

REPRODUCTION OF CRACKS: When resurfacing existing pavement of any type, HPI is not responsible for the reproduction of cracks ("reflective cracking") which may occur when resurfacing existing asphalt.

STOCKPILING MATERIALS: HPI shall be permitted to stockpile materials necessary to perform its work on the Customer's property or adjacent to the site of the work at no cost.

HIDDEN OBJECTS: HPI assumes no responsibility for removing hidden objects encountered during the performance of their work, nor the cost associated with same.

THICKNESS OF ASPHALT PAVEMENT: All descriptions of pavement in this proposal refer to average thickness. Variations in subgrade and technical limitations may result in variations from the average. HPI warrants that sufficient material will be used on the project as to result in the average thickness specified.

SOIL CONDITIONS: HPI assumes no responsibility for any unusual soil conditions encountered that are not specifically referred to in this proposal. Also, HPI assumes no responsibility for the excavation, removal or disposal of any contaminated soils encountered during any excavation for the Customer. The Customer will pay any extra cost for such conditions incurred by HPI.

TREE ROOTS: Contractor shall not be responsible for any damage to trees occasioned by the removal of tree or tree roots in preparing the site.

UNDERGROUND STRUCTURES: It is the Customer's responsibility to advise contractor of the existence and location of all underground structures such as sewers, water lines, gas lines, etc., which might be encountered by HPI in the performance of its work. HPI shall be deemed to have notice of the existence of only those structures specifically referred to in this proposal and of the location thereof as indicated in this proposal. If a condition develops in the performance of HPI's work where the identity or location of the underground structures varies from those specified herein, any extra cost incurred thereby in moving, protecting or covering same, or otherwise, shall be borne by the Customer.

COLD WEATHER CONDITIONS: Effective October 1st, jobs are subject to winter conditions (50 degrees or below). Roller marks and asphalt marks may be visible due to cold weather temperatures.

STREET PRINT® The sample card replicates as closely as possible the Street Bond Surface System. Natural pigments are used in the colorants, and as a result some color variation may occur. It is recommended that these colors be applied in an inconspicuous area of asphalt to verify color choice.

STAMPED CONCRETE: Color samples shown represent the color of the finished product as closely as possible when sealed with two coats of hard bright sealer. Variations occur due to differences in cement aggregate, water/cement ratio, weather, finishing and application methods.

NOTICE OF COMMENCEMENT: Notice of Commencement is requested per Sec. 570.1108a (1)(9)(10)(11) of the Michigan Construction Lien Act 497 of 1980, on any signed contract.

STANDARD TERMS OF CONTRACT: Customer shall not withhold payment to HPI in the event of any dispute arising out of this contract. In the event of a dispute, Customer will deposit any unpaid balance due on this contract with a mutually agreed upon bank, which will act as an Escrow Agent until the dispute is resolved.

Any dispute arising out of this contract that cannot be resolved between the Customer and HPI shall be submitted to an arbitrator who shall be a registered engineer or architect selected by both parties. In the event the parties cannot agree upon such an arbitrator, the American Institute of Architects shall select the arbitrator and the arbitration proceedings shall be governed by their rules.

The decision of the arbitrator shall be binding upon the parties and enforceable in a Circuit Court for the State of Michigan. The arbitrator shall be empowered to direct the Escrow Agent to disburse the funds held in escrow to the proper party and to direct such other relief as he determines necessary.

The cost of the arbitration shall be borne equally by both parties.

In the event of an anticipatory breach of this contract by Customer, HPI shall be entitled to liquidated damages equal to 25% of the total contract amount.

The Customer shall pay HPI all costs, including actual attorney's fees, incurred by contractor in enforcing this contract, including collection of any payment due herein.

I have read all pages and agreed to these general conditions. The general conditions and prices and specifications associated with this contract are hereby accepted. Hutch Paving Inc. is authorized to perform this work.

X

Client \ Agent Please Initial Here

Silver Touch Landscaping, LLC

PO Box 1525
Taylor, MI 48180
(734)777-2298

Estimate

ADDRESS

Mickey Shore - Lincoln Park
3377 Fort st
Lincoln Park, MI 48146

ESTIMATE # 1139

DATE 12/07/2020

DATE	ACTIVITY	QTY	RATE	AMOUNT
	Landscaping The following to be completed at the location 3377 Fort St, Lincoln Park, MI 48146 according to provided city specs.	1	2,100.00	2,100.00
	Behind building in gravel area : -Remove gravel - Deliver / Install / grade new top soil - Plant new grass seed			
	Landscaping Behind building - plant 15 - 6' Picea G Desata Black Hills Spruce and mulch each tree	1	5,800.00	5,800.00
	Landscaping In front of building- plant the following: -- 2 - Ginkgo B Princeton Sentry Princeton Sentry Ginkgo (2 1/2" calliper) -- 6 spirea J Anthony Waterer Anthony Waterer Spirea mulch each plant / tree	1	2,400.00	2,400.00
TOTAL				\$10,300.00

Accepted By

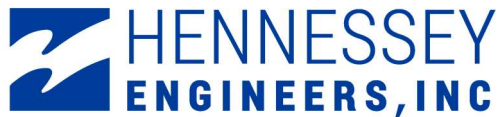
Accepted Date

City of Lincoln Park Planning and Development
Performance Guarantees

§1262.10 of the Lincoln Park Zoning Code

- (a) Where in this Zoning Code there is delegated to Council, the Zoning Board of Appeals, or the Planning Commission the function of establishing certain physical site improvements including, but not limited, streets, access points, driveways, curbs, landscaping, fencing, walls, screening, lighting, drainage facilities, sidewalks, parking areas, utilities, and similar items, as a contingency to granting a zoning amendment, site plan approval, special approval, or variance, Council, the Board, or the Commission may, to ensure strict compliance with any regulation contained or required as a condition of the issuance of a permit, require the permittee to furnish a performance guarantee in the form of a cash deposit, certified check, irrevocable bank letter of credit or surety bond, to be deposited with the City Clerk, in an amount determined by Council, the Board, or the Commission, to be reasonably necessary to ensure compliance under this Zoning Code and to assure the installation of those features or components of the approved activity or construction which are considered necessary to protect the health, safety, and welfare of the public.
- (b) The applicant shall submit an itemized estimate of the cost of the required improvements, the amount of which shall be 100% of the cost of installing the required improvements, plus the cost of necessary engineering and a reasonable amount for contingencies. Council, the Board, or the Commission shall review this estimate before fixing the amount of the performance guarantee. However, in fixing the amount of such performance guarantee, Council, the Board or the Commission shall take into account the size and scope of the proposed improvement project, the current prevailing cost of rehabilitating the premises upon default of the operator, estimated expenses to compel the operator to comply by court decree and such other factors and conditions as might be relevant in determining the sum reasonable in light of all facts and circumstances surrounding each application.
- (c) The performance guarantee shall be deposited at the time of the issuance of the permit authorizing the activity or project. The City may not require the deposit of the performance guarantee before the date on which the City is prepared to issue the permit. The City shall establish procedures under which a rebate of any cash deposit in reasonable proportion to the ratio of work completed on the required improvements, will be made as work progresses. This section shall not be applicable to improvements for which a performance guarantee has been deposited pursuant to Act 288 of the Public Acts of 1967, as amended (MCLA 560.101 et seq.).

(Res. 98-529A. Passed 12-21-98; Res. 08-362A. Passed 11-17-08, Eff. 12-3-08.)



October 2, 2020

Ms. Leah DuMouchel, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI, 48103-4978

**Re: Building Renovation
3387 Fort Street
City of Lincoln Park, MI
Hennessey Project 72135**

Dear Ms. DuMouchel:

Hennessey Engineers, Inc. completed our first review of the plans for the Planning Commission submittal dated September 14, 2020 and received via email from your office.

The project consists of renovations to a commercial building and the south parking lot.

Listed below are some comments which are recommended to be addressed in the Preliminary Plan approval but would not be grounds for a reason for denial from an engineering feasibility standpoint:

GENERAL

1. Based on the site plan submitted, the existing utilities and lead for the commercial site are being reused. It is important that the developer realize these existing utilities are old and may have reached their life expectancy. It is our strong recommendation for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the service lead needs to be replaced the installation of the new service will need to be inspected by our office.
2. The developer should verify with the City the existing water service type and size. If the water service is a lead service it will have to be placed. The developer's engineer or architect shall determine the water service lead type and capacity.
3. Overall, the parking lot is in fair to poor condition. There is deteriorated asphalt and alligator cracking in the parking lot area. The parking lot should be resurfaced and brought up to the City's Standards.
4. There is a parking lot north of the building that appears to be a parking lot for this building. Overall, this parking lot is in fair to poor condition. There is deteriorated asphalt and alligator cracking in the parking lot area. The parking lot should be resurfaced and brought up to the City's Standards.

From an engineering feasibility, our office does not have any issues with the approval of the Preliminary Site Plan submittal. Therefore, from the engineering feasibility review it would be our recommendation for the “**approval**” of the Preliminary Site Plan.

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC



James D. Hollandsworth, P.E., P.S.
Lincoln Park Project Manager

JDH/bd

cc: John Kozuh, DPW Director, City of Lincoln Park
John Meyers, Building Official, City of Lincoln Park
Laura Gray, Permit Clerk, City of Lincoln Park
Monserrat Contreras, Permit Clerk, City of Lincoln Park

B.3

R:\Municipalities\70000's Lincoln Park\72000's\72135 3387 Fort St\3387 Fort St. 1st PC Review October 2, 2020.docx

Elizabeth Gunden

From: Robert Wright <RWright@citylp.com>
Sent: Wednesday, October 7, 2020 10:46 AM
To: Elizabeth Gunden
Subject: Re: Site Plan Review Request: 3387 Fort Street

Hi Elizabeth,

The overall plan looks good. We do want the door swings in the upper balcony storage area to swing in the direction of egress toward the stairs.

Sorry for the delay in response.

Bob Wright
Lieutenant/Fire Inspector
Lincoln Park Fire Department
Office (313) 381-1100
Station (313) 381-1975
Fax (313) 381-1831
rwright@citylp.com

From: Elizabeth Gunden <egunden@bria2.com>
Sent: Thursday, September 24, 2020 7:59 AM
To: Fire Chief <FChief@citylp.com>; Irenda Lockhart <ILockhart@citylp.com>; Robert Wright <RWright@citylp.com>; Ray Watters <RWatters@citylp.com>; Krystina Erdos <KErdos@citylp.com>; John Kozuh <JKozuh@citylp.com>; jdhollandsworth@hengineers.com <jdhollandsworth@hengineers.com>
Cc: Idumouchel@bria2.com <Idumouchel@bria2.com>
Subject: Site Plan Review Request: 3387 Fort Street

Good morning –

Please find attached a set of plans for a proposed plumbing contractor establishment at 3387 Fort Street. The current plans are for conceptual review only at this point – the applicant will be coming back with a final site plan following conceptual review. Your comments submitted by reply to this email address by Wednesday, September 30th are greatly appreciated.

Thank you!

Liz Gunden
Project Planner

Beckett&Raeder, Inc.

Making Great Places for over 50 Years

535 West William St Suite 101
Ann Arbor, MI 48103
734.663.2622
Direct Line: 734.239.6615

Elizabeth Gunden

From: Ray Watters <RWatters@citylp.com>
Sent: Wednesday, November 18, 2020 1:42 PM
To: Elizabeth Gunden
Subject: Re: Site Plan Review Request: 3387 Fort Street

The police department does not have any issues with the plumbing establishment moving forward.

Chief R.Watters

From: Elizabeth Gunden <egunden@bria2.com>
Sent: Wednesday, November 18, 2020 8:47 AM
To: Fire Chief <FChief@citylp.com>; Irenda Lockhart <ILockhart@citylp.com>; Robert Wright <RWright@citylp.com>; Ray Watters <RWatters@citylp.com>; Krystina Erdos <KErdos@citylp.com>; John Kozuh <JKozuh@citylp.com>; jdhollandsworth@engineers.com <jdhollandsworth@engineers.com>
Cc: Idumouchel@bria2.com <Idumouchel@bria2.com>
Subject: Site Plan Review Request: 3387 Fort Street

Good morning,
Please find attached a set of plans for a proposed plumbing contractor establishment at 3387 Fort Street. Comments are appreciated by reply to this email by next Tuesday, November 24th. Thank you!

Liz Gunden
Project Planner

Beckett&Raeder, Inc.

Making Great Places for over 50 Years

535 West William St Suite 101
Ann Arbor, MI 48103
734.663.2622
Direct Line: 734.239.6615

3387 Fort – Plumbing Contractor
Special Land Use Review

Applicant	Tracey Yarbrough
Project	Plumbing Contractor
Address	3387 Fort Street, Lincoln Park, MI 48146
Date	December 17, 2020
Request	Special Land Use Approval
Recommendation	Approval

REQUEST

The proposed Special Land Use approval would allow for a plumbing contractor establishment at 3387 Fort Street. The applicant proposes to lease the building as office space for a plumbing services company, and no retail parts will be sold onsite. The site is part of an approximately half-acre parcel is located on Fort Street between Pagel and Buckingham Avenues. There is a small parking lot adjacent to Buckingham Avenue serviced by a curb cut for ingress and egress; there is no access from Fort Street. This site abuts a residential zone, separated by an alley. The backside of the building has four garage doors that open to the public alley. The proposed use of a plumbing contractor establishment is permitted within the Neighborhood Business District (NBD) after Special Land Use approval under §1276.03 of Lincoln Park Zoning Code.

The property is legally described as:

KC1754 LOT 1754 ALSO S 1/2 ADJ VAC AL- LEY EMMONS ORCHARD SUB NO. 2 PC 48 L41 P88 WCR

CRITERIA FOR REVIEW

The following conditions are all required to be met before a Special Land Use approval may be granted:

- 1) The special use will promote the use of land in a socially and economically desirable manner for persons who will use the proposed land use or activity, for landowners and residents who are adjacent thereto and for the City as a whole;

This condition is MET.

- 2) The special use is compatible and in accordance with the goals, objectives and policies of the City's Comprehensive Development Plan;

The Future Land Use classification for the site is General Commercial.

The General Commercial land use is intended to provide retail goods and services on a city-wide scale as well as a regional scale that draw customers from within and outside the City. This land use is appropriate location for automobile-oriented uses such as restaurants, gas stations with or without convenience stores, minor auto repair shops, and car washes that comply with special design standards that are not appropriate in other City areas such as the downtown.

This condition is MET.

- 3) The special use is necessary for the public convenience at that location;

This condition is MET.

- 4) The special use is compatible with adjacent uses of land, and can be constructed, operated and maintained so as to continue to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed;

This is an existing building that has sat vacant for some time. The property is located along a commercial corridor, and adjacent residential properties behind the building will be adequately screened with landscaping.

This condition is MET.

- 5) The special use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected;

The proposed use improves the landscaping and screening for the site.

This condition is MET.

- 6) The special use can be adequately served by public services and facilities without diminishing or adversely affecting public services and facilities to existing land uses in the area;

This condition is MET.

- 7) The special use will not cause injury to the value of other property in the neighborhood in which it is to be located;

This condition is MET.

- 8) The special use will protect the natural environment, help conserve natural resources and energy, and will not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance;

This condition is MET.

- 9) The special use is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of

the zoning district in which it is to be located, and meets applicable site design standards for use in Section 1296.02; and

There are no additional standards required for this approval.

This condition is MET.

- 10) The special use is related to the valid exercise of the City's police power and purposes which are affected by the proposed use or activity.

This condition is MET.

PROPOSED MOTION

I move that the Lincoln Park Planning Commission grant Special Land Use **Approval** for a Plumbing Contractor Establishment at 3387 Fort, as requested in PPC 20-008, based on an affirmative finding of compliance with the criteria set forth in Section 1262.08 of the Lincoln Park Zoning Code.