



LINCOLN PARK PLANNING COMMISSION

March 10, 2021 at 7 p.m.

REMOTE MEETING VIA ZOOM

Call: 1 646 558 8656

Web: www.zoom.us

Meeting ID: 734 663 2622

Participant ID is #

AGENDA

- I. **Call to Order**
- II. **Roll Call**
- III. **Approval of Previous Minutes**
- IV. **Approval of Agenda**
- V. **Old Business**
 - A. *Zoning Text Amendment: Flat Work Replacement Criteria*
 - B. *Public Hearing: Flat Work Replacement Criteria*
- VI. **New Business**
 - A. *Conceptual Review: 3727 Dix – Car Wash*
 - B. *Site Plan Review: 3464 & 3468 Fort – Food Preparation & Retail*
- VII. **Policy Review and Discussion**
 - A. *Zoning Text Amendment: Online Retail*
- VIII. **Education and Training**
 - A. *Select April Training Date (Site Plan Review Part II)*
- IX. **Reports from Department and Other Boards and Commissions**
- X. **Public Comments**
- XI. **Comments from Planning Commissioners**
- XII. **Adjournment**

The City of Lincoln Park will provide necessary reasonable auxiliary aides and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park MI 48146; 313-386-1800 ext. 1296

**CITY OF LINCOLN PARK
COUNTY OF WAYNE, STATE OF MICHIGAN
PLANNING COMMISSION MEETING OF FEBRUARY 10, 2021**

A Planning Commission meeting of February 10, 2021, via Zoom for Lincoln Park, Michigan was called to order at 7:00 p.m. by Mr. Kissel, Commencing with the Pledge of Allegiance.

PRESENT: Palmer, Kissel, Horvath, Persinger, LoDuca, Duprey

ABSENT: Briones

EXCUSED: Graczyk

ALSO PRESENT: Leah DuMouchel, Elizabeth Gunden, John Meyers, Maureen Tobin

APPROVAL OF MINUTES

Moved by: Duprey to approve the minutes as submitted

Supported by: Horvath

MOTION CARRIED unanimously

APPROVAL OF AGENDA

Moved by: Duprey to approve the agenda as submitted

Supported by: Persinger

MOTION CARRIED unanimously

OLD BUSINESS

(A) 2020 Planning Commission Annual Report

The Planning Commission shall make an annual written report to the City Council concerning its operations and the status of the planning activities, including recommendations regarding actions by the City Council related to planning and development. The City Manager shall prepare the Capital Improvements Program Plan.

Moved by: Duprey to forward to City Council

Supported by: Persinger

MOTION CARRIED unanimously

NEW BUSINESS

(A) ELECTION OF OFFICERS

Nomination to have Commissioner Kissell as the Chairman of the Planning Commission, support by Persinger, nomination accepted by Kissel.

Nomination to have Commissioner Palmer as the Vice Chairman of the Planning Commission, nomination accepted by Palmer.

Nomination to have Mike Horvath serve as Secretary of the Planning Commission, nomination accepted by Horvath.

Nominations and acceptance are as follows:

Kissell- Chairman

Palmer- Vice Chairman

Horvath - Secretary

(B) ZONING TEXT AMENDMENT: FLAT WORK REPLACEMENT CRITERIA

The request is to amend the Provision relating to all districts - Ordinance (Chapter 1494). The purpose and intent of this amendment is to create replacement criteria for all concrete flat work, including sidewalks, service walks, patios, driveway approaches, driveways and garage flooring. This amendment is intended to provide clarity for all flat work replacement criteria in alignment with the Department of Public Services replacement criteria adopted in 2005 for public sidewalks and in 2017 for the public sidewalk replacement program. This will support the Building Department's ongoing exterior inspections of Rentals, Resales, Vacancy and Certificate of Occupancy registrations.

The following concrete Flat Work Replacement Criteria may include but not limited to: public sidewalks; service walks; driveway approaches; driveways; garage slabs; steps; porch caps; and patios.

- 1) Trip hazards exceeding three quarters (3/4) of one inch .
- 2) Cross slopes exceeding one (1) inch per foot from the inside edge toward the outside edge (the outside edge being the edge of the sidewalk nearest the street line).
- 3) Individual slabs that are broken into more than three pieces .
- 4) Significant surface deterioration from spalling or pitting over 33% of an individual slab .
- 5) Holes in excess of three quarters (3/4) of one inch in depth or width.
- 6) If any section of the sidewalk is tilted from the outside edge toward the inside edge (the outside edge being the edge of the sidewalk nearest the street line).
- 7) Any section or sections where water ponding is evident.
- 8) Milling or grinding will not be permitted if at any point the trip hazard exceeds three quarters (3/4) of one inch.
- 9) No surface patch work will be permitted.

POLICY REVIEW AND DISCUSSION

None

EDUCATION AND TRAINING

A. Michigan Association of Planning Regional Workshops For Officials

<https://www.planningmi.org/regional-workshops>

i. Planning & Zoning Essentials – March 3 & 4 from 6-8 PM, or March 23 & 24 from 1-3 PM. \$75 for members, \$100 for nonmembers.

ii. Managing Risk – March 9 from 6-8:30 PM. \$65 for members, \$95 for nonmembers.

iii. Site Plan Review – March 10 & 11 from 1-3 PM. \$85 for members, \$105 for nonmembers

REPORTS FROM DEPARTMENTS AND OTHER BOARDS AND COMMISSIONS

\$150,000.00 requested in CDBG Funds for the building department to be allocated for Dangerous Buildings.

PUBLIC COMMENTS

Commendations to the Planning Commission for their good work. Maureen Tobin is the building department liaison for the boards.

COMMENTS FROM PLANNING COMMISSIONERS

Palmer wanted to commend Park Tire for being the number 1 tire shop in the United States and wanted to provide them special recognition from the City.

ADJOURNMENT

Moved by: Persinger to adjourn

Supported by: Duprey

MOTION CARRIED unanimously

Meeting adjourned at 7:49 p.m.

MICHAEL HORVATH, Secretary

City of
Lincoln Park
Crossroads of Downriver

Date:

Honorable Mayor and Council Members
City of Lincoln Park
Lincoln Park, Michigan

Subject:

To amend a municipal code of the city of Lincoln Park Chapter 1294, Provision Relating to All Districts. To adopt the addition of .43 Concrete Flat work replacement evaluation criteria.

Purpose:

The request is to amend the Provision relating to all districts - Ordinance (Chapter 1494). The purpose and intent of this amendment is to create replacement criteria for all concrete flat work, including sidewalks, service walks, patios, driveway approaches, driveways and garage flooring. This amendment is intended to provide clarity for all flat work replacement criteria in alignment with the Department of Public Services replacement criteria adopted in 2005 for public sidewalks and in 2017 for the public sidewalk replacement program. This will support the Building Department's ongoing exterior inspections of Rentals, Resales, Vacancy and Certificate of Occupancy registrations.

Proposed Zoning Code Text Amendment

Chapter 1294 Provisions for all related districts

1294.43 Flat Work Replacement Criteria

The following concrete Flat Work Replacement Criteria may include but not limited to: public sidewalks; service walks; driveway approaches; driveways; garage slabs; steps; porch caps; and patios.

- 1) Trip hazards exceeding three quarters (3/4) of one inch.
- 2) Cross slopes exceeding one (1) inch per foot from the inside edge toward the outside edge (the outside edge being the edge of the sidewalk nearest the street line).
- 3) Individual slabs that are broken into more than three pieces.
- 4) Significant surface deterioration from spalling or pitting over 33% of an individual slab.
- 5) Holes in excess of three quarters (3/4) of one inch in depth or width.
- 6) If any section of the sidewalk is tilted from the outside edge toward the inside edge (the outside edge being the edge of the sidewalk nearest the street line).
- 7) Any section or sections where water ponding is evident.
- 8) Milling or grinding will not be permitted if at any point the trip hazard exceeds three quarters (3/4) of one inch.
- 9) No surface patch work will be permitted.

City of
Lincoln Park
Crossroads of Downriver

Budget Impact:

There will be no impact to the budget.

Recommendation:

It is recommended that the Mayor and City Council adopt the proposed Resolution as requested.

Respectfully Submitted,



John Meyers
City of Lincoln Park
Building Official

**PROPOSED RESOLUTION
LINCOLN PARK CITY COUNCIL**

DATE:

MOVED: Breeding, Duprey, Higgins, Ross, Salcido, Tobin, Mayor Karnes
SUPPORTED: Breeding, Duprey, Higgins, Ross, Salcido, Tobin, Mayor Karnes

BE IT RESOLVED, THAT AN ORDINANCE TO AMEND THE MUNICIPAL CODE OF THE CITY OF LINCOLN PARK, CHAPTER 1294 – PROVISIONS RELATING TO ALL DISTRICTS, BY ADDING SECTION .43 “FLAT WORK REPLACEMENT CRITERIA”

THE CITY OF LINCOLN PARK ORDAINS:

That Part Twelve of the Codified Ordinance for the City of Lincoln Park Title Six, Chapter 1294 Entitled Provisions Relating to All Districts be and is hereby amended by adding Section .43 entitled Flat Work Replacement Criteria as follows:

The following concrete Flat Work Replacement Criteria may include but not limited to: public sidewalks; service walks; driveway approaches; driveways; garage slabs; steps; porch caps; and patios.

- 1) Trip hazards exceeding three quarters (3/4) of one inch.
- 2) Cross slopes exceeding one (1) inch per foot from the inside edge toward the outside edge (the outside edge being the edge of the sidewalk nearest the street line).
- 3) Individual slabs that are broken into more than three pieces.
- 4) Significant surface deterioration from spalling or pitting over 33% of an individual slab.
- 5) Holes in excess of three quarters (3/4) of one inch in depth or width.
- 6) If any section of the sidewalk is tilted from the outside edge toward the inside edge (the outside edge being the edge of the sidewalk nearest the street line).
- 7) Any section or sections where water ponding is evident.
- 8) Milling or grinding will not be permitted if at any point the trip hazard exceeds three quarters (3/4) of one inch.
- 9) No surface patch work will be permitted.

YES: Breeding, Duprey, Higgins, Ross, Salcido, Tobin, Mayor Karnes
NO: Breeding, Duprey, Higgins, Ross, Salcido, Tobin, Mayor Karnes
ABSTAINED: Breeding, Duprey, Higgins, Ross, Salcido, Tobin, Mayor Karnes

3727 Dix – Car Wash

Site Plan Review

Applicant	Clearwave Management, LLC
Project	Car Wash
Address	3727 Dix Hwy. Lincoln Park, MI 48146
Date	March 10, 2021
Request	Conceptual Site Plan Review
Recommendation	None - Advisory Only

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial View

The proposed project is an automatic automobile wash facility (carwash). The property is a 0.91-acre lot that is currently vacant.

Site Conditions

The site is located on the corner of Dix Highway and Emmons Boulevard. There is an existing 6-ft. concrete sidewalk along both Dix Hwy. and Emmons Blvd., and the rear (east) side of the property abuts an unpaved alley. The site currently has four access points – three along Dix Hwy. and one along Emmons Blvd. The proposed project will result in only two access points – one along Emmons Blvd. and one along

Dix Highway, to be a shared access point with the neighboring Sonic establishment.

Master Plan

Future Land Use Classification

The future land use classification for the site is General Commercial. The proposed use of a carwash is consistent with the designation.

Intent, Desirable Uses, and Elements

The General Commercial land use is intended to provide retail goods and services on a city-wide scale as well as a regional scale that draw customers from within and outside the City. This is an appropriate location for automobile-oriented uses that are not appropriate in pedestrian-oriented City areas such as the downtown, including as restaurants with car service, gas stations with or without convenience stores, minor auto repair shops, and car washes that comply with special design standards.

Land Use and Zoning

Zoning

The site is zoned Municipal Business District (MBD). The proposed use of an Automobile Wash Establishment is permitted after special approval under section 1278.03.

Proposed and Existing Uses

Site	Vacant – Municipal Business District (MBD)
North	ROW, then Commercial – Municipal Business District (MBD)
East	Public alley, then Residential – Single-Family Residential District (SFRD)
South	Commercial (Sonic) – Municipal Business District (MBD)
West	ROW then Commercial (Meijer) – Regional Business District (RBD)

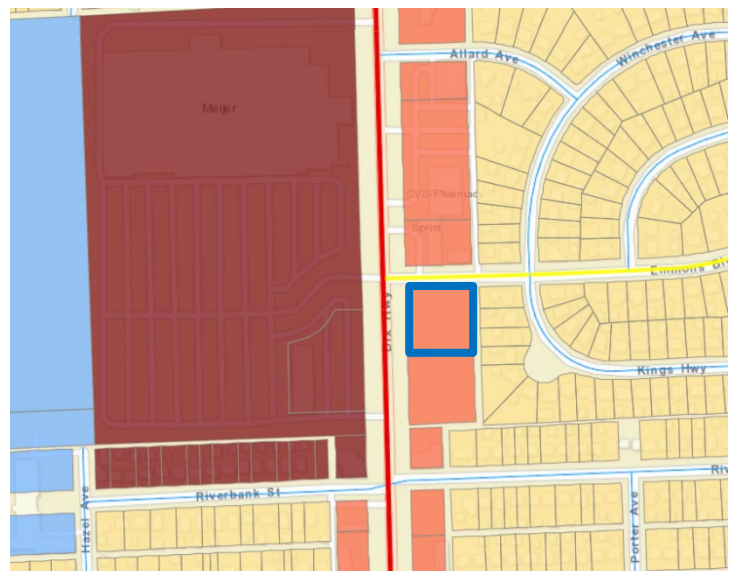


Figure 2: Zoning Map

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
C1.0	Preliminary Concept Plan	02/12/2021	
SK-100	Floor Plan and Elevations	02/12/2021	
–	ALTA Survey	10/16/2020	

Items to be addressed

- The plans submitted for Site Plan Review must be signed and sealed by a Michigan Professional Engineer.*

Dimensional Standards

The dimensional requirements of the Municipal Business District (MBD) district are described in the chart below. (§1294.32, except where noted)



	Required	Provided	Compliance
Lot Width (§1294.14)	Min. 40 ft	220 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls 2 ½' < height < 8'	No shrubbery/low retaining wall proposed at this time; 25' clear visibility triangle shown on plan	N/A
Lot Area (§1294.14)	Min. 4,000 sq ft	39,600 sf (0.91 acres)	Met
Lot Coverage	Max. 50%	Approximately 12% (4,560/39,600)	Met
Height	Two story; 25 ft	One story; 21' 11"	Met
Setback – Front (§1296.02B)	>20 ft from street lot line	Dix Highway: 89 ft. Emmons Blvd: 40 ft.	Met
Setback – Sides (§1294.32)	0	45 ft. to south side property line	Met
Setback – Rear	0 adjoining public alley	58 ft. to rear property line	Met

Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> • Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' 	<p>Met</p>
<ul style="list-style-type: none"> • Architectural variety • Similar materials and entrances to buildings within 500'  <p>1 block north on Dix Hwy. – single-story, square, flat roofs, auto-oriented.</p>  <p>1 block south on Dix Hwy. – single-story, square, flat roofs, auto-oriented, drive-thru.</p>	<p>Met</p>

Required	Compliance
<ul style="list-style-type: none"> Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) <u>North Elevation: 0% brick</u> <ul style="list-style-type: none"> Perforated Metal Paneling: ~486 sf Metal Doors: ~202 sf Glass (exempt): ~58 sf Total Area: ~746 sf <u>South Elevation: 27% brick (202/753)</u> <ul style="list-style-type: none"> Brick (glazed): ~202 sf Perforated Metal Paneling: ~401 sf Metal Doors: ~150 sf Total Area: ~753 sf <u>East Elevation: 1% brick (35/2,864)</u> <ul style="list-style-type: none"> Brick (glazed): ~35 sf Perforated Metal Paneling: ~2,821 sf Metal Door: ~8 sf Glass (exempt): ~96 sf Total Area: ~2,960 sf <u>West Elevation (front): 14% brick (383/2,678)</u> <ul style="list-style-type: none"> Brick (glazed): ~383 sf Perforated Metal Paneling: ~2,295 sf Glass (exempt): ~285 sf Total Area: ~2,963 sf <p>25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block)</p> Natural colors (bright for decorative features only) <i>The facades feature natural colors with dark grey and white.</i> 	<p>NOT MET</p> <p>Met</p>
<ul style="list-style-type: none"> Façade: <100' uninterrupted If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches <i>Façade is approximately 135' in length. Forms are angular and rectangular, and the perforated metal paneling and glazed brick combination provide contrasting course of material.</i> All sides similar <i>All sides consist of the same materials and colors.</i> 	<p>Met</p> <p>Met</p> <p>Met</p>
<ul style="list-style-type: none"> Windows: vertical, recessed, visually obvious sills Spaces between windows = columns, mullions, or material found elsewhere on the façade Front facades > 25% windows <i>Front elevation (west): ~10% transparency (285/2,963)</i> Size, shape, orientation, spacing to match buildings within 500' 	<p>Met</p> <p>Met</p> <p>NOT MET</p> <p>Met</p>

Required	Compliance
<ul style="list-style-type: none"> Main entrances: doors larger Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) <i>Proposed awnings, distinctive door pulls</i> 	<p style="text-align: center;">Met</p>
<ul style="list-style-type: none"> Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 <i>Flat roof proposed.</i> Rooflines >100' = roof forms, parapets, cornice lines Roof-top mechanical equipment screened by roof form. <i>No roof-top mechanical equipment shown</i> 	<p style="text-align: center;">INQUIRY</p> <p style="text-align: center;">NOT MET</p> <p style="text-align: center;">INQUIRY</p>

Items to be addressed

- Applicant shall revise façade materials to comply with façade material and transparency percentage requirements.
- Applicant shall show roof-top mechanical equipment screening, if applicable.

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The site is served by a 6-ft. public sidewalk on two sides of the building (Dix Highway to the west and Emmons Boulevard to the north) which provides pedestrian circulation separated from the vehicular circulation. There is a proposed paved internal sidewalk that runs along the west, south, and part of the east sides of the building (4 ft. wide); however, this sidewalk is internal only and does not connect to the sidewalks along the roadways. There are no bicycle lanes on the ROW or bicycle parking facilities proposed. Any broken, cracked, or unsafe sidewalks in the Dix Highway and Emmons Boulevard rights-of-way must be repaired.

Items to be addressed

- Applicant shall ensure that concrete sidewalks are brought up to City standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Automobile wash establishment (automatic)	Two (2), plus one (1) for each employee and manager, plus a minimum of sixteen (16) for cars waiting to be washed for each conveyor system, plus one (1) upon exiting each conveyor system, plus two (2) for post-wash detailing. <i>2 + 4 (employees) + 1 (conveyor system) + 2 (post-wash detailing) = 9 spaces</i> <i>16 stacking spaces</i>	23 spaces Stacking spaces not shown	Met INQUIRY

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Ingress provided from Emmons Blvd. and egress provided on Dix Hwy. at shared egress point with property to the south.	Met. Staff has raised concerns that the ingress on Emmons, although it meets the technical standard, may cause interference with the driveway on the south side of Emmons and at the light. Applicant comment requested.
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Parking facilities and circulation drives will be asphalt and concrete.	Met

	Required	Proposed	Compliance
	Concrete curbs and gutters	Concrete curbs and gutters are indicated along all parking area, circulation aisles, landscaping areas, and sidewalks; however, no details are provided.	Partially Met
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	A wall is shown on the east side of the property adjacent to the residential neighborhood; however, no details provided.	INQUIRY
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	Residential properties are located on the opposite side of public alley to the east of the property. More details are needed to determine if the alley boundaries meet the requirements with the proposed wall and landscaping.	INQUIRY
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	Proposed ingress only on Emmons Blvd; backing in ROW is not required.	Met
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	Proposed 12 parking spaces abut the public sidewalk along Dix Hwy. Curb and/or post details needed to determine compliance.	INQUIRY

Items to be addressed

- Applicant shall show the required 16 stacking spaces with dimensions on the plan.
- Staff has raised concerns that the ingress on Emmons, although it meets the technical standard, may cause interference with the driveway on the south side of Emmons and at the light. Applicant comment requested.
- Applicant shall provide curb and gutter details per the City's standards.
- Applicant shall provide material, height, and construction details of the proposed screening wall.
- Applicant shall provide curb and/or post details for parking spaces abutting the public sidewalk along Dix Highway.

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 to 25	1	1	Met

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
5,001 to 20,000	0	Proposed loading area in internal access aisle north of the building, to occur during off hours.	Met

Items to be addressed

None

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Road, Fort Street, Dix Avenue, and Outer Drive.

Required	Provided	Compliance
<ul style="list-style-type: none"> Single two-way driveway or pair of one-way driveways. 	<ul style="list-style-type: none"> One single-way driveway (shared) on Dix Hwy. 	Met
<ul style="list-style-type: none"> Two-way: 25' < throat width < 30' (face to face of curb). One-way paired: each 20' measured perpendicularly. May be separated by 10' median; sidewalks shall be continued or maintained. 	<ul style="list-style-type: none"> Throat width of driveway on Dix is 20' (from north edge of driveway to south property line). Sidewalks continue. 	Met
<ul style="list-style-type: none"> 25' radii; 30' radii where daily truck traffic expected. 	<ul style="list-style-type: none"> Radii not provided. 	INQUIRY

Required	Provided	Compliance
<ul style="list-style-type: none"> Corner lots: one access point per street with >100' frontage. If frontage >300' and documented need (ITE), may allow additional access with design restrictions. If frontage >600', max of 3 drives may be allowed; one with design restrictions. 	<ul style="list-style-type: none"> One access per street. 220' frontage on Dix Hwy.; 180' frontage on Emmons Blvd. 	<p>Met</p> <p>N/A</p>
<ul style="list-style-type: none"> Shared access: driveways along property lines, connecting parking lots, on-site frontage roads, rear service drives. Encouraged and may be required for sites within 1/4 mile of major intersections; having dual frontage; with <300' frontage; with sight distance problems; along congested or accident-prone roadway segments. Connection to adjacent facilities may be required; site accommodation may be required for future connection to undeveloped adjacent property. Letters of agreement or access easements required. 	<ul style="list-style-type: none"> Shared egress access point on Dix Hwy; however, more details are needed to evaluate how the shared access point will function. N/A Shared access agreement not provided. 	<p>INQUIRY</p> <p>N/A</p> <p>INQUIRY</p>
<ul style="list-style-type: none"> Triangular unobstructed view areas: from corner of two ROWs, 25' along each; from corner of ROW and driveway, 10' along driveway and 5' along ROW. Grass / groundcover only in 3' strip abutting driveway and ROW. Trees permitted if trimmed between 30" and 6' from ground level 	<p>Triangular unobstructed view area provided on northwest corner. No landscaping details provided.</p>	<p>Partially Met</p>
<ul style="list-style-type: none"> May require drive to be located on the far side of the property from congested intersections. >150' from signalized intersection or 4-way stop, or right-turn-only at 75' from intersection. >100' otherwise >200' from centerline of I-75 access ramps 	<p>Proposed egress drive on Dix is located ~120' from intersection.</p>	<p>N/A</p>
<ul style="list-style-type: none"> Same side of street: Driveway spacing determined by speed limits in §1290.10. <i>Minimum 185 ft. for 40 mph</i> Across the street: Driveways directly aligned or >150' offset (excludes right-turn-only). Directional driveways, divided driveways, and deceleration tapers and/or by-pass lanes may be required by the Planning Commission where they will reduce congestion and accident potential. 	<ul style="list-style-type: none"> Speed limit on Dix Hwy. is 40 mph. Distance to next driveway is ~100' to the south which is an ingress only access point for Sonic. Access point on Dix Hwy. is offset ~115' from driveway to the south across Dix Hwy. The existing egress point does not have any directional restrictions. 	<p>NOT MET</p> <p>NOT MET</p> <p>N/A</p>

Items to be addressed

- Applicant shall provide drive radii on plan.

- Applicant shall provide the shared access agreement for the egress drive.
- Applicant shall provide a landscaping plan that supports the identified triangular unobstructed view area.
- Applicant shall provide details and comment on the shared access point and how it will function.
- Applicant shall evaluate alternate circulation patterns that would meet driveway alignment standards.

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via either Dix Highway or Emmons Boulevard. The Police Department has indicated that it has no concerns with the proposal.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	Proposed 10' greenbelt along Emmons Blvd. Proposed 10' greenbelt along Dix Hwy. that includes crushed stone and grass area.	Met
	1 tree and 4 shrubs per 40' of street frontage 220' (Dix Hwy.) + 180' (Emmons Blvd.) = 400' = 10 trees and 40 shrubs required.	Not provided; no landscaping plan provided.	INQUIRY

	Required	Proposed	Compliance
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	Not provided; no landscaping plan provided.	INQUIRY
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>(39,600 sf * 0.1) = 3,960 sf landscaping</i>	Not provided; no landscaping plan provided.	INQUIRY
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas		
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>3,960 sf = 10 trees and 16 shrubs</i>		
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces <i>23 parking spaces = 2 trees</i>	Not provided; no landscaping plan provided.	INQUIRY
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Dumpster with enclosure proposed; no details provided.	INQUIRY
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive), and/or solid 6' masonry wall ornamental on both sides	Proposed wall adjacent to residential properties; no details provided.	INQUIRY

Items to be addressed

- Applicant shall provide a landscaping plan that meets the street, interior, and parking lot landscaping requirements of the Ordinance.
- Applicant shall provide dumpster enclosure details.
- Applicant shall provide screening wall details.

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site will be served by the existing public sanitary sewer in the adjacent alleyway and by the existing public watermain on the east side of Dix Highway. Engineering comments state that the alley will need to be sawcut, removed, and replaced as directed by the engineer. The size and slopes of the proposed sewer and the size of the proposed water service will need to be determined by the engineer and shown on the detailed engineering plans.

Items to be addressed

- Applicant shall obtain a Wayne County permit for the proposed water service tying into the water main on Dix Highway.*
- The alley will need to be sawcut, removed, and replaced as directed by the engineer.*
- The size and slopes of the proposed sewer with need to be determined by the engineer and shown on the detailed engineering plans.*
- The size of the proposed water service will need to be determined by the engineer and shown on the detailed engineering plans.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County. The project narrative indicates that there will be catch basins to collect onsite runoff, which will then be directed to an underground storm chamber system. The applicant also proposes a water quality device to pretreat runoff discharged into the public storm sewer system. Engineering comments state that the applicant must develop a site grading plan to be approved by the Engineering Department.

Items to be addressed

- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

The project narrative describes the proposed site lighting as “full cut-off and downward facing to minimize light from bleeding onto neighboring sites.” The applicant anticipates the proposed site lighting to

consisted of pole-mounted lights with additional accent lighting on the building and has indicated that a site photometrics plan will be provided.

Items to be addressed

- Applicant shall provide a photometric plan and manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

No ground- or roof-mounted mechanical equipment is shown.

Items to be addressed

- Applicant shall provide the location and screening for any ground- or roof-mounted mechanical equipment, if applicable.*

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

Car washes have the potential to generate some quantity of hazardous materials or waste. Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal.

Items to be addressed

- Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal of hazardous materials and waste.

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

	Required	Proposed	Compliance
Setback	Building >20' from street lot line	Dix Highway: 89 ft. Emmons Blvd: 40 ft.	Met
Stacking Spaces	<ul style="list-style-type: none"> Number: 16 per wash line, plus 1 upon exit Size: 10 ft. wide x 24 ft. long Do not include use of any public space, street, alley, or sidewalk 	No stacking spaces or dimensions shown on plan.	INQUIRY

Items to be addressed

- Applicant shall show the required 16 stacking spaces with dimensions on the plan.

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Dix Highway is under the jurisdiction of Wayne County. All work within the right-of-way shall be approved by the Wayne County Road Commission.

Items to be addressed

- Work in the Dix Highway right of way requires a permit from the Wayne County Road Commission.
- Applicant to secure all appropriate agency reviews as needed.

VARIANCES

No variances are anticipated from this proposal.

Items to be addressed

None

RECOMMENDATIONS

Findings

The information submitted with this proposal is substantially in compliance with §1296.01, Site Plan Review.

Conditions and Waivers

- The plans submitted for Site Plan Review must be signed and sealed by a Michigan Professional Engineer.*
- Applicant shall revise façade materials to comply with façade material and transparency percentage requirements.*
- Applicant shall ensure that concrete sidewalks are brought up to City standards.*
- Applicant shall show the required 16 stacking spaces with dimensions on the plan.*
- Staff has raised concerns that the ingress on Emmons, although it meets the technical standard, may cause interference with the driveway on the south side of Emmons and at the light. Applicant comment requested.*
- Applicant shall provide curb and gutter details per the City's standards.*
- Applicant shall provide material, height, and construction details of the proposed screening wall.*
- Applicant shall provide curb and/or post details for parking spaces abutting the public sidewalk along Dix Highway.*
- Applicant shall provide drive radii on plan.*
- Applicant shall provide the shared access agreement for the egress drive.*
- Applicant shall provide a landscaping plan that supports the identified triangular unobstructed view area.*
- Applicant shall provide details and comment on the shared access point and how it will function.*
- Applicant shall evaluate alternate circulation patterns that would meet driveway alignment standards.*
- Applicant shall provide a landscaping plan that meets the street, interior, and parking lot landscaping requirements of the Ordinance.*
- Applicant shall provide dumpster enclosure details.*
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.*
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.*
- Applicant shall obtain a Wayne County permit for the proposed water service tying into the water main on Dix Highway.*
- The alley will need to be sawcut, removed, and replaced as directed by the engineer.*
- The size and slopes of the proposed sewer with need to be determined by the engineer and shown on the detailed engineering plans.*
- The size of the proposed water service will need to be determined by the engineer and shown on the detailed engineering plans.*

- *Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*
- *Applicant shall provide a photometric plan and manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*
- *Applicant shall provide the location and screening for any ground- or roof-mounted mechanical equipment, if applicable.*
- *Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*
- *Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal of hazardous materials and waste.*
- *Work in the Dix Highway right of way requires a permit from the Wayne County Road Commission.*
- *Applicant to secure all appropriate agency reviews as needed.*

Recommendations

None – advisory only.

Case No. _____

Date Submitted _____

City of Lincoln Park

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan Review by the Planning Commission must be submitted to the City in *substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: Clearwave Management LLC

Mailing Address: 27145 Eureka Rd, Taylor, MI 48180

Email: alex@clearwavecarwash.com

Telephone: 847-971-5577 Fax: _____

Property Owner(s) Name (if different from Applicant): TCF National Bank

Mailing Address: 1405 Xenium Lane North, Mail Stop PCC-00-PD Plymouth, MN 55441

Telephone: 763-913-7413 Fax: _____

Applicant(s) Explanation of Legal Interest in Property:
Under formal legal contract to purchase property.

Location of Property: Street Address: 3727 Dix Hwy, Lincoln Park, MI 48146

Nearest Cross Streets: Emmons Blvd & Dix Hwy

Sidwell Number (Parcel ID#): 45-017-08-0428-301

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

The North 10.00 feet of the West 28.00 feet of Lot 428 of "Homestead Villa Sub No. 2" of part of Private Claim 113.
City of Lincoln Park, Wayne County, Michigan, as recorded in Liber 71, Page 95, W.C.R.

Property Size (Square Ft): 39,640 (Acres): 0.91

Existing Zoning (please check):

- | | |
|--|--|
| <input type="checkbox"/> SFRD Single Family Residential District | <input type="checkbox"/> RBD Regional Business District |
| <input type="checkbox"/> MFRD Multiple Family Residential District | <input type="checkbox"/> CBD Central Business District |
| <input type="checkbox"/> MHRD Mobile Home Park District | <input type="checkbox"/> GID General Industrial District |
| <input type="checkbox"/> NBD Neighborhood Business District | <input type="checkbox"/> LID Light Industrial District |
| <input type="checkbox"/> MBD Municipal Business District | <input type="checkbox"/> CSD Community Service District |
| <input type="checkbox"/> PUD Planned Unit Development District | |

City of Lincoln Park
 Application for Site Plan Review
 Page 2 of 4

Present Use of Property: Vacant Land

Proposed Use of Property: Ultra High-End, High-Efficiency Express Car Wash

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1	5,000sf	4
Industrial			
Other			

Professionals Who Prepared Plans:

A. Name: _____

Mailing Address: _____

Email Address: _____

Telephone: _____ Fax: _____ Primary Design Responsibility: _____

B. Name: _____

Mailing Address: _____ Address: _____

_____ Email

Address: _____

Telephone: _____ Fax: _____ Primary Design Responsibility: _____

C. Name: _____

Mailing Address: _____

Email Address: _____

Telephone: _____ Fax: _____ Primary Design Responsibility: _____

ATTACH THE FOLLOWING:

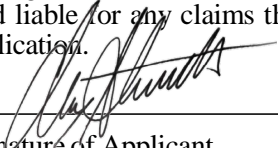
1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. **A brief written description** of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:
 - Wayne County Road Commission Wayne County Drain Commission
 - Wayne County Health Division Michigan Department of Natural Resources
 - Michigan Department of Transportation Michigan Department of Environmental Quality

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

APPLICANT 'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

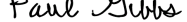


 Signature of Applicant 2/11/2021

 Date

 Signature of Applicant Date

 February 11, 2021

DocuSigned by:


 Signature of Property Owner Authorizing this Application Date

TO BE COMPLETED BY THE CITY

Case No. _____

Date Submitted: _____

Fee Paid: _____

By: _____

Date of Public Hearing: _____

PLANNING COMMISSION ACTION

Approved: _____ Denied: _____ Date of Action: _____

Case No. _____

Date Submitted _____

**City of Lincoln Park
APPLICATION FOR SPECIAL USE APPROVAL**

NOTICE TO APPLICANT: Applications for Special Use review by the Planning Commission must be submitted to the City *in substantially complete form* at least thirty (30) days prior to the Planning Commission’s meeting at which the proposal will be considered. The application must be accompanied by six (6) individual folded copies of the site plan, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

Special Uses shall comply with the standards in Section 1262.08 of the Zoning Ordinance. Accordingly, a public hearing shall be held by the Planning Commission before a decision is made on any Special Use request. Furthermore, a site plan shall be required, which shall be prepared in accordance with Section 1294.01 of the Ordinance.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned do hereby respectfully request Special Use Review and provide the following information to assist in the review:

Applicant: Clearwave Management LLC

Mailing Address: 27145 Eureka Rd, Taylor, MI 48180

Email Address: alex@clearwavecarwash.com

Telephone: 847-971-5577 Fax: _____

Property Owner(s) (if different from Applicant): TCF National Bank

Mailing Address: 1405 Xenium Lane North, Mail Stop PCC-00-PD Plymouth, MN 55441

Telephone: 763-913-7413 Fax: _____

Applicant’s Legal Interest in Property: Under contract to purchase

Location of Property: Street Address: 3727 Dix Hwy, Lincoln Park, MI 48146

Nearest Cross Streets: Emmons Blvd & Dix Hwy

Sidwell Number: 45-017-08-0428-301

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., “acreage parcel”), provide metes and bounds description. Attach separate sheets if necessary.
The North 10.00 feet of the West 28.00 feet of Lot 428 of "Homestead Villa Sub No. 2" of part of Private Claim 113.

City of Lincoln Park, Wayne County, Michigan, as recorded in Liber 71, Page 95, W.C.R.

Property Size (Square Ft): 39,640 (Acres): 0.91

Present Use of Property: Vacant Land

Proposed Use of Property: Ultra High-End and Efficient Express Car Wash

City of Lincoln Park
 Special Use Application
 Page 2 of 2

Existing Zoning (please check):

- | | |
|---|-----------------------------------|
| G SFRD Single Family Residential District | G RBD Regional Business District |
| G MFRD Multiple Family Residential District | G CBD Central Business District |
| G MHRD Mobile Home Park District | G GID General Industrial District |
| G NBD Neighborhood Business District | G LID Light Industrial District |
| G MBD Municipal Business District | G CSD Community Service District |
| G PUD Planned Unit Development District | |

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1	5,000	4
Industrial			
Other			

ATTACH THE FOLLOWING:

1. Six (6) individually folded copies of the site plan, sealed by a registered architect, engineer, landscape architect or community planner.
2. Proof of property ownership.
3. A brief written description of the proposed use.

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this application.

 Signature of Applicant 2/11/2021
 Date

DocuSigned by:
 Signature of Applicant Date
 Paul Tibbs February 11, 2021

65236EAA4BFC483...
 Signature of Property Owner Authorizing this Application Date

To be completed by City:

Date Submitted: _____ Fee Paid: _____
 Received By: _____ Date of Public Hearing: _____

PLANNING COMMISSION ACTION (RECOMMENDATION)

To Approve: _____ To Deny: _____ Date of Action: _____
 Reasons for Action Taken: _____

CITY COUNCIL ACTION

Approved: _____ Denied: _____ Date of Action: _____
 Reasons for Action Taken: _____

PROJECT DESCRIPTION FOR A
PROPOSED COMMERCIAL DEVELOPMENT

CLEAR WAVE CAR WASH

Applicant:

Clear Wave Car Wash
Attn: Alex Sturwold, President
12121 S Pulaski
Alsip, IL 60803
P: 847.971.5577

DCC Construction
Attn: Jason Orchard, COO
9100 Lapeer Road, Suite A
Davison, MI 48423
P: 810.658.4322

Objective:

The proposed project is a 4,560 square foot commercial car wash building with associated parking and circulation aisles. The project will be serviced by reconstructed drives from Emmons Boulevard and Dix Highway along with public sanitary sewer and public water. The project will be developed as a Special Use in conformance with the City of Lincoln Park ordinances for MBD Municipal Business Districts.

Parcel Information:

Property Address: 3727 Dix Highway
Permanent Parcel Number: 45-017-08-0428-301

Zoning & Unit Size:

The parcel is in the MBD Municipal Business Districts which permits this use as a Special Use. The total acreage is approximately 0.909 acres.

The setbacks for MBD zoning and this property are:

- Front: 40% of commercial businesses in the block; 60% of commercial businesses in adjacent block
- Side: 0 feet (when abutting a R.O.W. or interior side lot line)
- Rear: 0 feet (when abutting an alley)

Neighborhood:

The parcel is currently vacant, and the proposed use is commercial. The adjacent parcels are as follows:

- North: Zoned MBC – Park Plaza strip mall.
- East: Alleyway; then zoned Single Family Residential.
- South: Zoned MBC – Sonic Drive-In.
- West: Zoned Regional Business – Meijer / Pro-Tech strip mall.

Access & Parking:

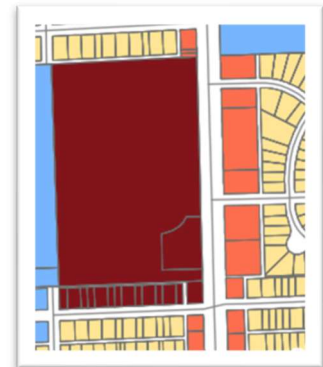
Access to the site is provided from public rights-of-way via reconstructed commercial drives:

- Ingress: from Emmons Boulevard (to city's commercial standards; location to remain essentially the same)
- Egress: to Dix Highway through a shared use agreement (to commercial drive that will meet MDOT standards).

Two existing commercial drives onto Dix Highway will be closed.

On-site parking will be provided in conformance with city ordinances.

On-site vehicle stacking is provided to sufficiently accommodate anticipated customers.



An on-site loading/unloading space will be provided in the internal access aisle north of the proposed building. All deliveries are anticipated to occur off hours.

An on-site trash enclosure is proposed in the southeast corner of the site. The location is adjacent to the neighboring commercial facility's enclosure and it will be screened in accordance with the city's ordinances. A 6-inch reinforced concrete pad will extend a minimum of 15-feet beyond the enclosure's doors to accommodate the heavier loads anticipated from trash removal equipment.

Trash removal is anticipated to occur off hours with the removal equipment presumably entering through the egress drive on Dix Highway, approaching the enclosure 'head-on', and then backing up into the site, prior to leaving the site in a forward-facing direction back onto Dix Highway.

A 'clear-vision' zone (triangular in shape with legs of 25-feet along the frontage of both rights-of-way) will be maintained (with the exception of the existing pylon sign that currently exists in an easement at the northwest corner of the site).

Lighting:

Site lighting is to be full cut-off and downward facing to minimize light from bleeding onto neighboring sites. Proposed site lighting is anticipated to consist of pole-mounted lights (max height of 25 feet).

Additional 'accent lighting' may be featured on the building to provide a clean, modern feeling / façade.

A site photometrics plan will be provided.

Utilities:

The site will be served by the existing public sanitary sewer in the adjacent alleyway.

The site will be served by the existing public watermain on the east side of Dix Highway. (It is anticipated that this facility will be a 'fresh-water' car wash with provisioning for potential future conversion to a 'recycled-water' facility.)

Private utilities (electrical, communication, gas services, etc.) will also be proposed within the project.

Stormwater Management:

The proposed storm water management system will be in accordance with the County standards. The current site is predominantly impervious.

It is anticipated that onsite run-off will be collected in catch basins and directed to an underground storm chamber system designed to contain run-off to 'pre-development' conditions. A water quality device is also anticipated to pretreat run-off discharged into the public storm sewer system in Emmons / Dix.

Landscaping:

Site landscaping will be provided in accordance with the city's ordinances.






Signage:

The existing pylon sign will be retrofitted to meet the proposed project's needs.

Environmental Concerns:

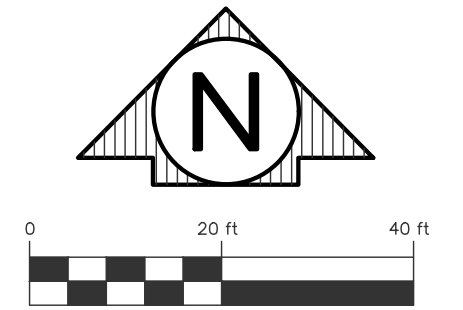
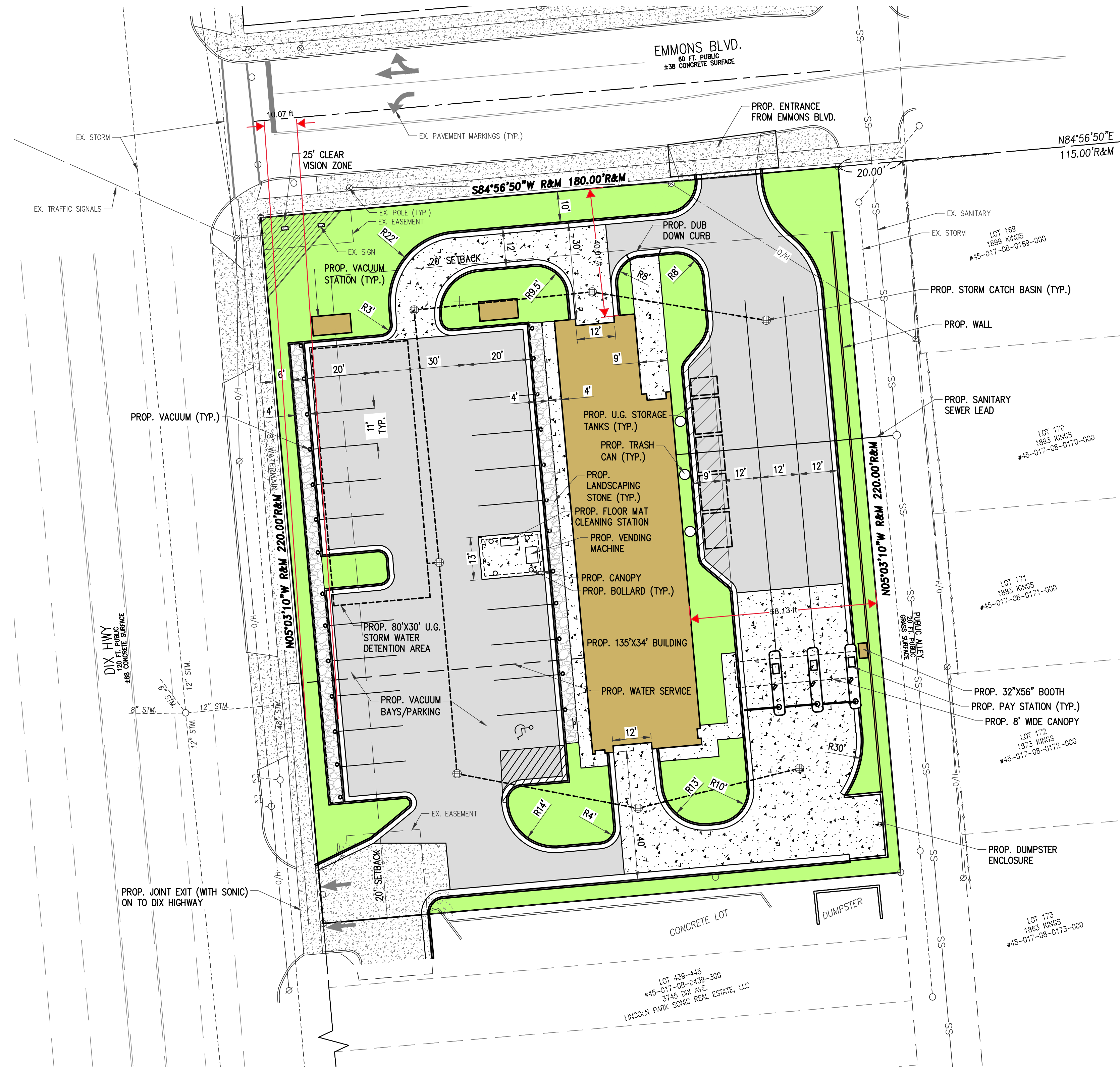
No regulated wetlands are known to exist on the site.
No 100-year floodplain is known to exist on the site.
No other environmental concerns are known at this time.

LEGEND

-  PROPOSED ASPHALT
-  PROPOSED CONCRETE
-  PROPOSED GREEN SPACE
-  PROPOSED BUILDING/STRUCTURE
-  PROPOSED LANDSCAPING STONE

SITE PLAN NOTES:

1. APPLICANT
CLEAR WAVE CAR WASH
ATTN: ALEX STURWOLD, PRESIDENT
12121 S PULASKI
ALSIP IL 60803
P: 847.971.5577
2. PARCEL
3727 DIX HIGHWAY
45-017-08-0428-301
AREA: 0.909 ACRES (39,600 SFT)
3. EXISTING LAND USE
ZONED - MBD (MUNICIPAL BUSINESS DISTRICT)
USE - VACANT LAND
4. PROPOSED LAND USE
ZONING - MBD (MUNICIPAL BUSINESS DISTRICT)
USE - CAR WASH FACILITY
5. ZONING REQUIREMENTS
LOT AREA (MINIMUM) X,XXX SFT
LOT WIDTH (MINIMUM) XX FT
LOT COVERAGE (MAXIMUM) NA
SETBACKS:
FRONT DETERMINED BY 40% OF COMMERCIAL BUSINESS IN THE BLOCK; OR 60% OF COMMERCIAL BUSINESS IN ADJACENT BLOCKS
SIDE 0 FT (WHEN ABUTTING A R.O.W OR INT. SIDE LOT LINES)
REAR 0 FT (WHEN ABUTTING ALLEY)
BUILDING HEIGHT (MAXIMUM) 25 FT
PARKING
REQUIRED SPACES XX
PROPOSED SPACES XX
DIMENSIONS
WIDTH X FT
LENGTH XX FT
AISLE WIDTH XX FT
6. SITE ACCESS
A COMMERCIAL DRIVE ENTRANCE FROM EMMONS AVENUE WILL MEET LOCAL STANDARDS.
A COMMERCIAL DRIVE EXIT ONTO DIX HIGHWAY WILL MEET STANDARDS.
DRIVE PERMITS WILL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
7. UTILITIES
PROPOSED PROJECT WILL BE SERVED BY PUBLIC SEWER AND WATER.
PRIVATE UTILITIES (GAS, ELECTRIC, PHONE) SHALL BE UNDERGROUND.
8. STORMWATER MANAGEMENT
STORMWATER RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND DETAINED IN ACCORDANCE WITH THE COUNTY STORMWATER ORDINANCE.
THE PROJECT IS NOT WITHIN A 100-YEAR FLOODPLAIN.
THE PROJECT IS NOT AFFECTED BY REGULATED WETLANDS.
9. SITE LIGHTING
ALL PROPOSED SITE LIGHTING WILL BE IN ACCORDANCE WITH LOCAL ORDINANCES.
FIXTURES WILL BE SHE-BOX WITH FULL CUT-OFF. LIGHT POLES WILL NOT EXCEED 25 FT IN HEIGHT.
10. SIGNS
A SEPARATE SIGN PERMIT WILL BE SUBMITTED WITH THE BUILDING PERMIT REQUEST.
11. DUMPSTER ENCLOSURE
THE PROPOSED DUMPSTER ENCLOSURE WILL BE SCREENED WITH MATERIALS SIMILAR TO THE PROPOSED BUILDING AND IN ACCORDANCE WITH LOCAL ORDINANCES.



PRELIMINARY CONCEPT PLAN

NOTE:
THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING SANITARY SEWER, STORM AND WATERMAIN PRIOR TO CONSTRUCTION

PLAN SUBMITTALS AND CHANGES

DATE	DESCRIPTION
2/12/2021	PRELIMINARY CONCEPT PLAN

PLAN DATE: FEBRUARY, 2021

PROJECT MGR: KAB

REVIEWER:

SCALE: 1" = 20'

ROWE PROFESSIONAL SERVICES COMPANY



O: (616) 272-7125
F: (800) 974-1704
www.rowepsc.com

4345 44th Street SE, Suite A
Kentwood, MI 49512

PREPARED FOR
DCC CONSTRUCTION
PROPOSED CAR WASH

CONCEPT PLAN

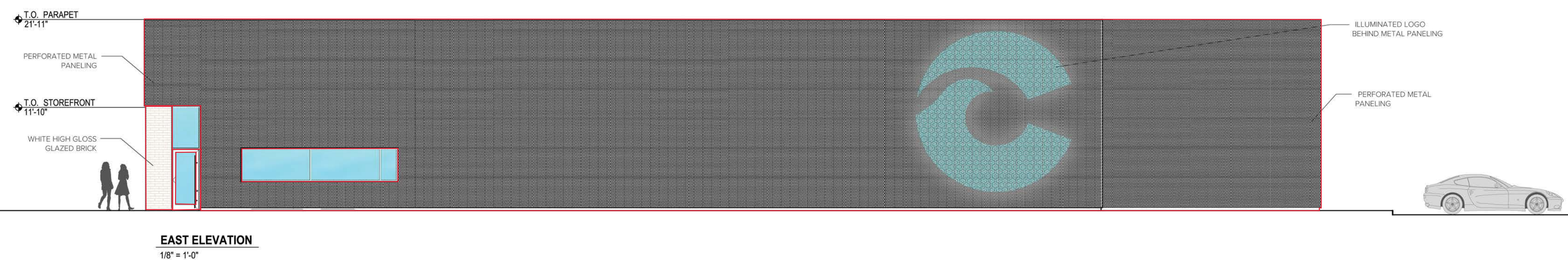
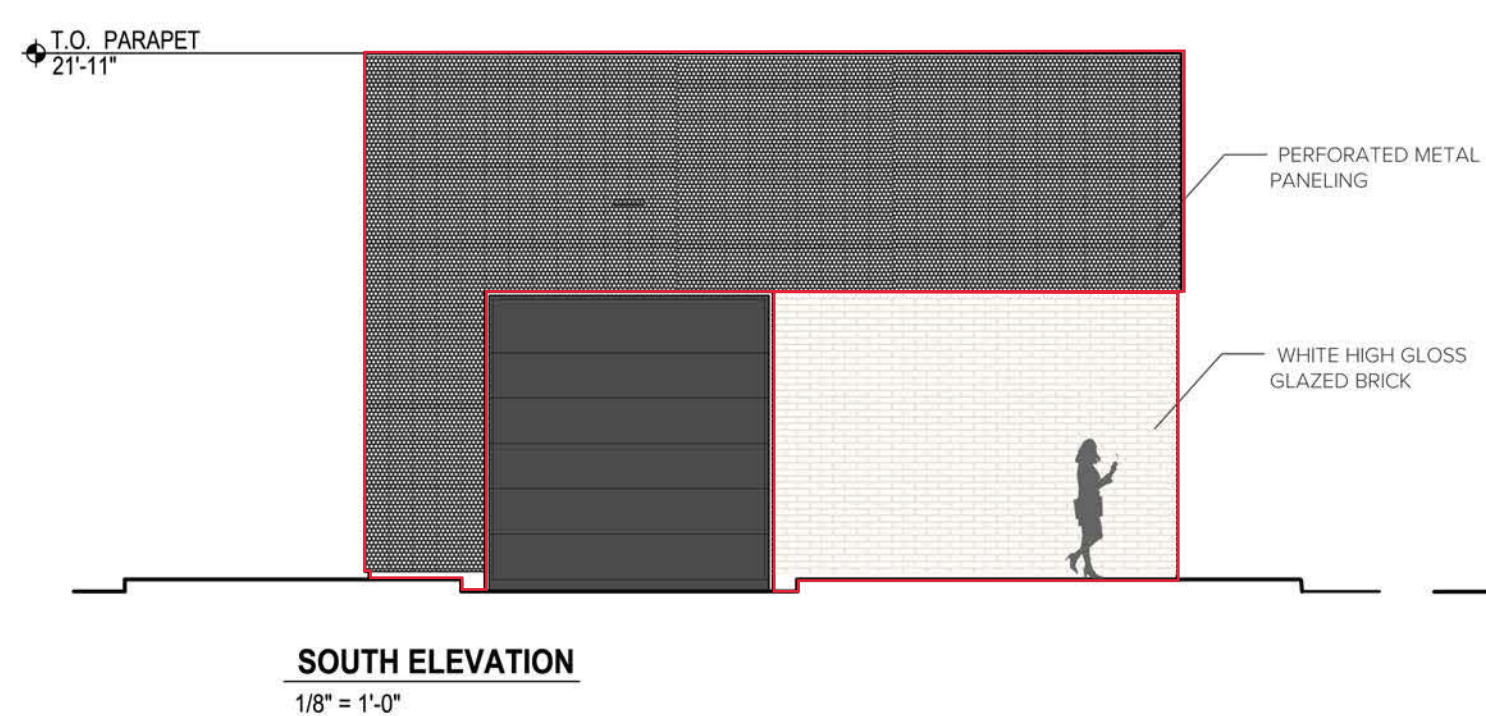
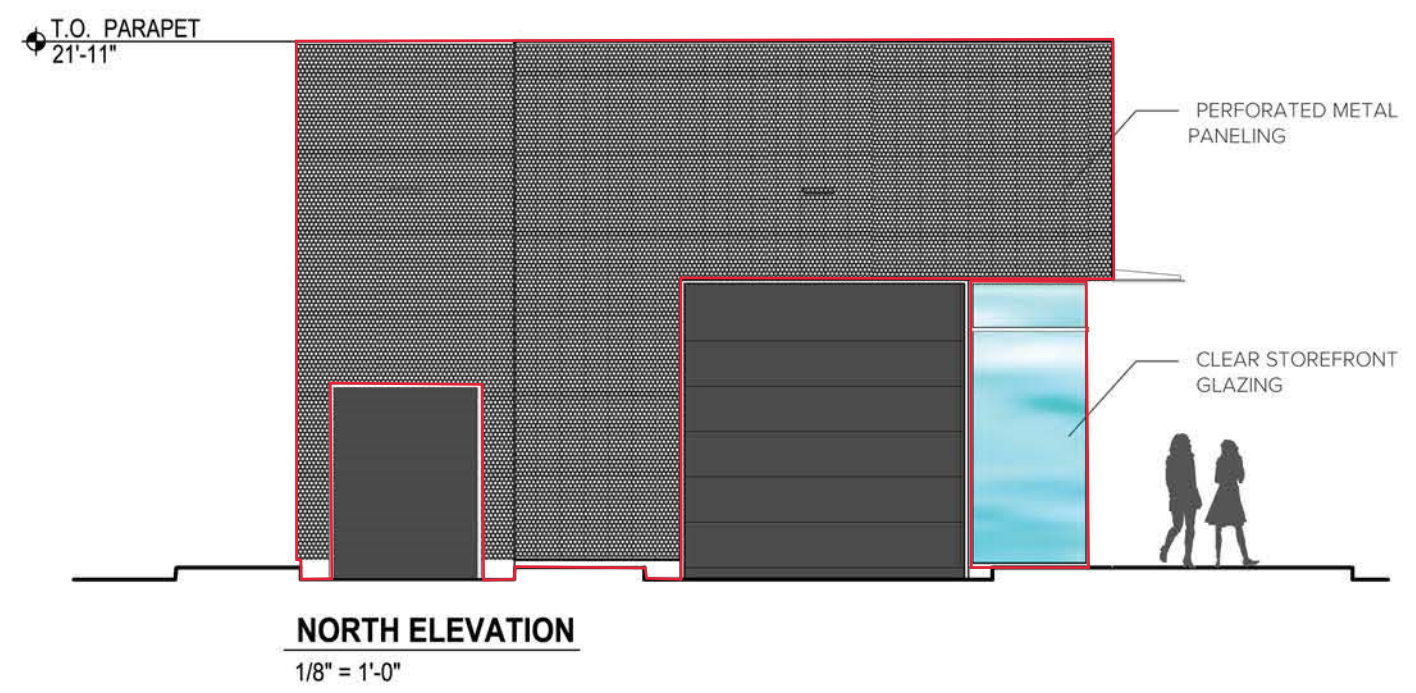


REV:

SHT# **C1.0**
JOB No:

R:\Projects\2102021\811-2102021-SITE_UPDATE.dwg PLOTTED: 2/12/2021 11:07 AM

THIS DRAWING IS THE PROPERTY OF INFORM STUDIO - UNAUTHORIZED USE OF ANY KIND, INCLUDING USE ON OTHER PROJECTS, IS PROHIBITED.



DATE 02/12/2021

DRAWN

CHECKED

CONSULTANT

CONCEPTUAL SITE REVIEW

PROJECT
CLEARWAVE
CLEARWAVE - LINCOLN PARK
3727 DIX HWY.
LINCOLN PARK, MI 48146

NOT FOR CONSTRUCTION

SHEET TITLE
FLOOR PLAN AND ELEVATIONS

PROJECT NO. 2755.00

SK-100

248.449.3564
www.informstudio.com
235 E MAIN STREET
NORTHVILLE, MI 48967

INFORM

LEGAL DESCRIPTION

LAND IN THE CITY OF LINCOLN PARK, WAYNE COUNTY, MI, DESCRIBED AS FOLLOWS:
LOTS 428 THROUGH 438, INCLUSIVE OF "HOMESTEAD VILLA SUBDIVISION NO. 2",
ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 72 OF PLATS, PAGES 38 AND
39, WAYNE COUNTY RECORDS.

SCHEDULE "B" ITEMS

- BUILDING AND USE RESTRICTIONS AND OTHER TERMS COVENANTS AND
CONDITIONS, BUT DELETING ANY COVENANT, CONDITION OR
RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION
BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS
OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS
OR RESTRICTIONS VIOLATE 42 USC 3604 (C), DISCLOSED BY
INSTRUMENT RECORDED IN L.10680, P.57 AND L.11136, P.103. APPLIES
& EFFECTS, NOTHING TO PLOT.
INTEREST OF LINCOLN PARK PLAZA ASSOCIATES LIMITED PARTNERSHIP,
A MICHIGAN LIMITED PARTNERSHIP, TO THE NORTH 10 FEET OF THE
WEST 28 FEET OF LOT 428 FOR THE RIGHT TO RETAIN AND MAINTAIN
PYLON SIGN THEREOF SET FORTH IN NOTICE OF CLAIM RECORDED IN
L.38686, P.1369. APPLIES & EFFECTS, PLOTTED AS SHOWN.
THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED
"RESTRICTIVE COVENANT AGREEMENT" RECORDED MAY 17, 2007 AS
L.46318, P.1135 OF OFFICIAL RECORDS. APPLIES & EFFECTS, NOTHING
TO PLOT.
THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE
DOCUMENT ENTITLED "DRIVEWAY EASEMENT AGREEMENT" RECORDED
MAY 17, 2007 AS L.46318, P.1149 OF OFFICIAL RECORDS. APPLIES &
EFFECTS, PLOTTED AS SHOWN.
RIGHTS OF TENANTS UNDER UNRECORDED LEASES. APPLIES &
EFFECTS, NOTHING TO PLOT.
ANY CLAIM THAT THE TITLE IS SUBJECT TO A TRUST OR LIEN
CREATED UNDER THE PERISHABLE AGRICULTURAL COMMODITIES ACT,
1930 (7 U.S.C. §§499A, ET SEQ.) OR THE PACKERS AND STOCKYARDS
ACT (7 U.S.C. §§181 ET SEQ.) OR UNDER SIMILAR STATE LAWS.
APPLIES & EFFECTS, NOTHING TO PLOT.
ANY LIEN OR RIGHT TO A LIEN IN FOR LABOR, SERVICES OR
MATERIALS PROVIDED IN CONNECTION WITH THE CONSTRUCTION OF THE
IMPROVEMENTS REFERRED TO IN THE NOTICE OF COMMENCEMENT FILED
JULY 20, 2018, RECORDED IN L.54517, P.1203. APPLIES & EFFECTS,
NOTHING TO PLOT.

ZONING DATA

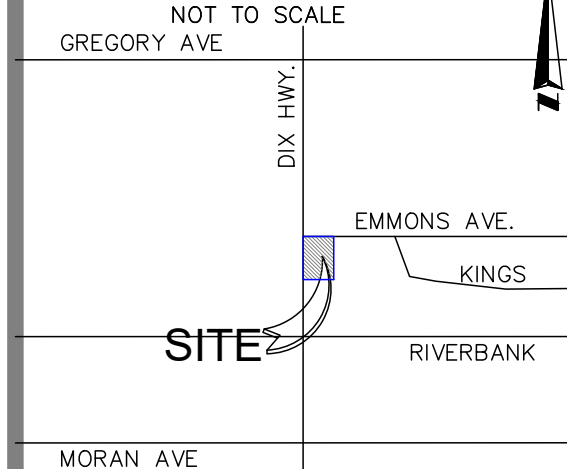
Table with columns: ZONING ITEM, REQUIRED, OBSERVED, PARKING REQUIREMENTS. Rows include: PERMITTED USE, MINIMUM LOT AREA (SQ.FT.), MAX OPEN SPACE, MAX BUILDING HEIGHT, BUILDING SETBACKS, FRONT, SIDE, REAR, NOTES: MUNICIPAL BUSINESS DISTRICT.

FOOTNOTES:
(c) Where an existing front setback line has been established by existing
commercial buildings occupying forty percent (40%) or more of the frontage
within the same block, or by commercial buildings occupying sixty percent
(60%) or more of the frontage with adjacent blocks, such established
setback shall apply.
(p) In any Commercial District, except for the Regional Business District
(RBD), side yards are not required along interior side lot lines directly
abutting a public right-of-way, or along interior side lot lines.
(s) No rear yard setback is required where property abuts a public alley.

BEARING BASIS

BEARINGS SHOWN HEREON ARE BASED ON WEST LINE OF LOTS 428 & 438 PER
PLAT

VICINITY MAP



LAND AREA

39,600 S.F.
OR 0.909 AC.

PARKING STALLS

PARCEL
VACANT LOT

STATEMENT OF ENCROACHMENTS

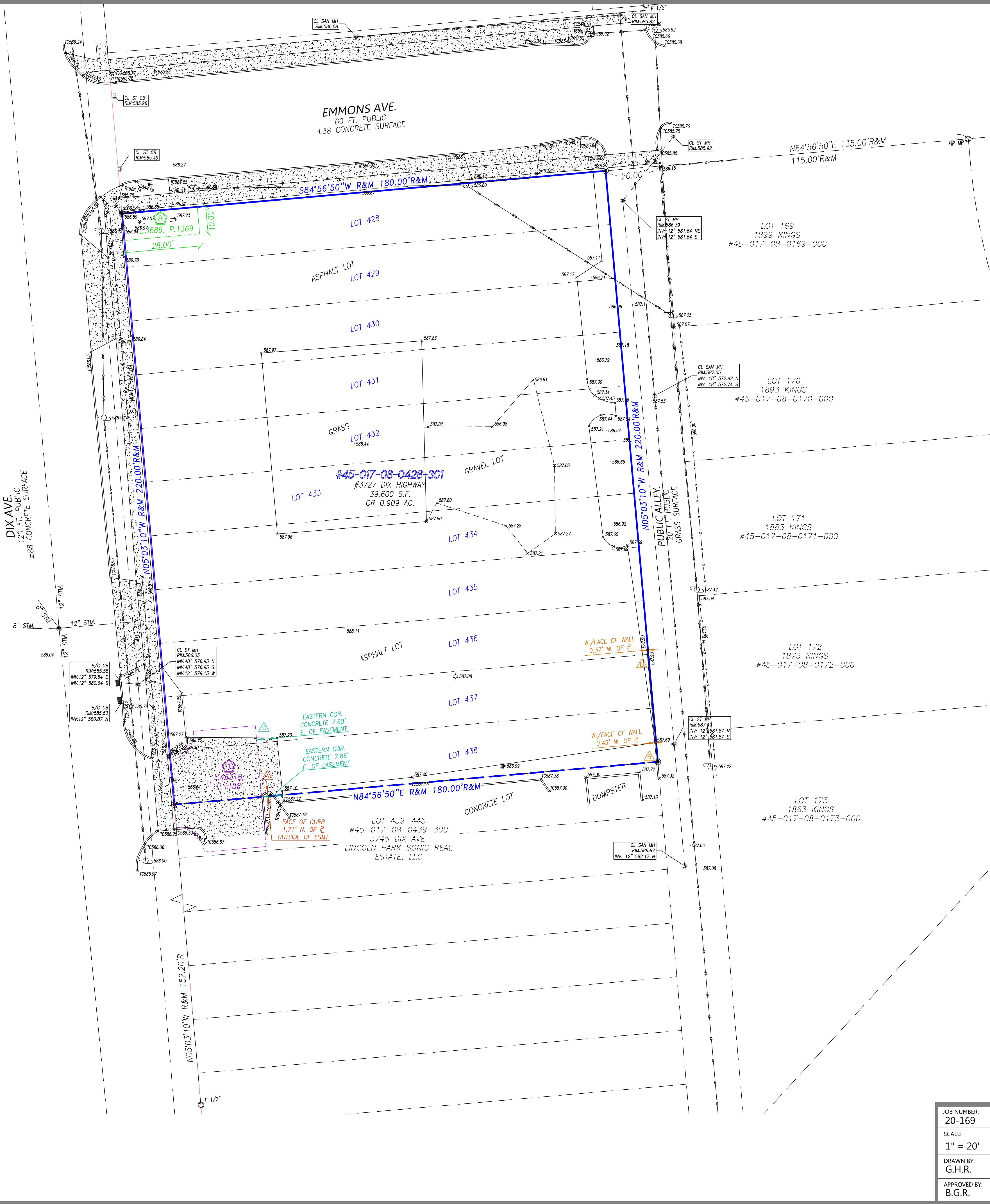
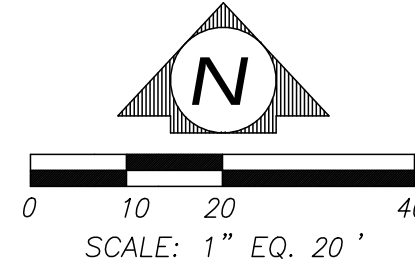
- ADJOINING CURB ISLAND EXTENDS OVER PROPERTY LINE AS NOTED
SCREEN WALL OVER PROPERTY LINE AS NOTED
CONCRETE ENTRANCE AS NOTED OUTSIDE OF EASEMENT

FLOOD NOTE

FLOOD NOTE: BASED ON MAPS PREPARED BY THE FEDERAL EMERGENCY
MANAGEMENT AGENCY (FEMA) AVAILABLE ONLINE AT WWW.FEMA.GOV, AND BY
GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" ON FLOOD
INSURANCE RATE MAP NUMBER 26163C0402E, COMMUNITY NUMBER 260234, WHICH
BEARS AN EFFECTIVE DATE OF 2/2/2012 AND IS NOT IN A SPECIAL FLOOD
HAZARD AREA. BY REVIEWING FLOOD MAPS PROVIDED BY THE NATIONAL FLOOD
INSURANCE PROGRAM WE HAVE LEARNED THIS COMMUNITY DOES PARTICIPATE IN
THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE
AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THE ACCURACY OF
THE MAPS AND/OR TO APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY
MANAGEMENT AGENCY.

LEGEND

- FOUND IRON - FCI (FOUND CAPPED IRON), FI (FOUND IRON), FIP (FOUND IRON PIPE)
RECORDED DISTANCE
MEASURED DISTANCE
EXISTING WATERMAIN
EXISTING OVERHEAD WIRES
EXISTING WIRE FENCE
EXISTING VINYL FENCE
EXISTING STORM SEWER
EXISTING UTILITY PED
EXISTING LIGHT POLE
EXISTING STREET SIGN
EXISTING UTILITY POLE
EXISTING GATE VALVE
GUY WIRE
EXISTING CLEAN OUT
HYAC = HEATING VENTILATION, A/C
SQ. FT., S.F. = SQUARE FEET
MONITORING WELL
PARKING COUNT
EXISTING HYDRANT
EXISTING WELL
EXISTING SANITARY STRUCTURE
EXISTING STORM STRUCTURE
EXISTING STORM CATCH BASIN
EXISTING MANHOLE (UNKNOWN)
EXISTING CONCRETE
EXISTING ASPHALT
EXISTING BUILDING
EXISTING GAS METER
EXISTING ELEC. METER



TITLE COMMITMENT INFORMATION

THE PROPERTY HEREON DESCRIBED IS THE SAME AS THE PERTINENT PROPERTY AS
DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.:
NCS-1037911-MPLS, WITH AN EFFECTIVE DATE OF AUGUST 14, 2020 AT 8:00 A.M.

GENERAL NOTES

- 1. NO UNDERGROUND UTILITIES ARE SHOWN ON THIS SURVEY, ONLY ABOVE GROUND VISIBLE
EVIDENCE OF UTILITIES ARE SHOWN.
2. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED
ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS,
PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS ARE BASED
SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION
IS SPECIFICALLY REFERENCED HEREON.
3. THIS SURVEY MEETS OR EXCEEDS THE SURVEY STANDARDS/STANDARDS OF CARE AS SET
FORTH IN SECTION 3 OF THE 2016 ALTA/NSPS SURVEY REQUIREMENTS.
4. THE SUBJECT PROPERTY HAS ACCESS TO DIX AVE. AND EMMONS AVE., A PUBLIC STREET
OR HIGHWAY AND ADJOINS A 20 FT. WIDE PUBLIC ALLEY.
5. THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.
6. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR
BUILDING ADDITIONS WITHIN RECENT MONTHS.
7. THE PARCELS CONTAINED IN THE LEGAL DESCRIPTION ARE CONTIGUOUS WITHOUT ANY
GAPS, GORES OR OVERLAPS.
8. NO BUILDING ARE LOCATED ON THE PROPERTY.
9. NO APPARENT CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR
PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION, NO OBSERVABLE
EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
10. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A
MICHIGAN SEAL OF A LICENSED SURVEYOR AND MAPPER, ADDITIONS AND DELETIONS TO
SURVEY MAPS, SKETCHES, OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES
IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
11. NO ATTEMPT WAS MADE TO DETERMINE WETLANDS OR OTHER ENVIRONMENTAL ISSUES,
UNLESS OTHERWISE NOTED.

ALTA/ACSM LAND TITLE SURVEY

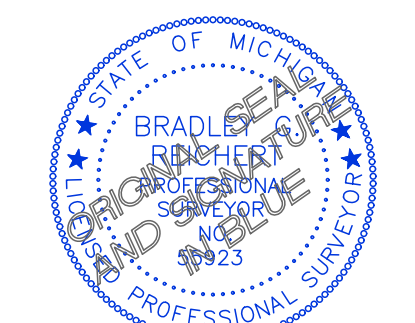
PROJECT NAME
CLEAR WAVE MANAGEMENT, LLC
3727 DIX AVE.
WAYNE COUNTY LINCOLN PARK, MI

SURVEYOR'S CERTIFICATE

TO: CLEAR WAVE MANAGEMENT, LLC AN ILLINOIS LIMITED LIABILITY
CORPORATION, TO BE DETERMINED ENTITY, AND TCF NATIONAL
BANK, A NATIONAL BANKING ASSOCIATION, AND FIRST AMERICAN
TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON
WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016
MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND
TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND
NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 6B, 7A, 7B1, 7C, 8, 9,
11, 13, 14, 16, 17, 18, 19, 20 AND 21 OF TABLE A THEREOF. THE
FIELDWORK WAS COMPLETED ON SEPTEMBER 10, 2020.

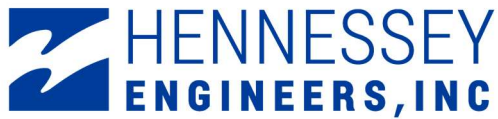
DATE OF PLAT OR MAP: DECEMBER 2, 2020



REGISTERED SURVEYOR: BRADLEY G. REICHERT
PROFESSIONAL LAND SURVEYOR NO. 55923
STATE OF MICHIGAN

JOB NUMBER: 20-169
SCALE: 1" = 20'
DRAWN BY: G.H.R.
APPROVED BY: B.G.R.

REICHERT SURVEYING INC. logo and contact information: 140 Flumerfelt Lane, Rochester, MI 48306, P 248.651.0592, F 248.656.7099, Email: Mat@ReichertSurveying.com



Ms. Leah DuMouchel, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI, 48103-4978

**Re: Proposed Car Wash
3727 Dix Hwy.
City of Lincoln Park, MI
Hennessey Project 72138**

Dear Ms. DuMouchel:

Hennessey Engineers, Inc., completed our first Planning Commission review of the Preliminary Plan based on the plan submittal date February 12, 2021 and received via email from your office.

The proposed development is for a commercial car wash site. The square footage, parking requirements and other details were not called out on the site plan.

Listed below are some comments that will need to be addressed during the detailed engineering submittal and prior to start of any construction which should not affect the Preliminary Plan approval:

GENERAL

1. Dix Hwy is under the jurisdiction of Wayne County. A Wayne County approval and permit will be required for any work within the Dix Hwy right of way.
2. The storm sewer system is under the jurisdiction of Wayne County and a permit will be required.
3. A site grading plan will need to be developed and approved by our office.
4. The plans are showing the sanitary sewer lead tying into the sanitary sewer in the public alley east of the site. The alley will need to be sawcut, removed, and replaced as directed by the engineer. The size and slopes of the proposed sewer will need to be determined by the engineer and shown on the detailed engineering plans.
5. The plans are showing the water service tying into the water main in Dix Hwy. A Wayne County permit will be required. The alley will need to be sawcut, removed, and replaced as directed by the engineer. The size of the proposed water service will need to be determined by the engineer and shown on the detailed engineering plans.
6. A Soil Erosion and Sedimentation permit must be obtained from Wayne County.
7. The plans must be signed and sealed by a Michigan Professional Engineer. **The plans should be signed and sealed for the Planning Commission submittal.**

The comments listed above will be required to be addressed in the detailed engineering review. From an engineering feasibility our office does have any objections with the approval of the Preliminary Site Plan submittal. Therefore, from the engineering feasibility review it would be our recommendation for the “**approval**” of the Preliminary Site Plan. This is not a detailed engineering review or approval. Once the Planning Commission approves the Site Plan the engineer shall submit 3 sets of signed and sealed plans and a cost estimate to our office for detailed engineering review. An escrow account will need to be established for the detailed engineering review and construction inspection, test and management. Prior to any start of construction the plans must approved by our office.

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC



James D. Hollandsworth, P.E., P.S.
Lincoln Park Project Manager

JDH/bd

cc: John Kozuh, DPW Director, City of Lincoln Park
John J. Hennessey, Hennessey Engineers, Inc.

B.3

R:\Municipalities\70000's Lincoln Park\72000's\72082 White Castle DE # 15 2115 Fort St\Review Letter\White Castle DE#15 2119 Fort St,
1st Planning Commission Review 10-17-2016.docx

Elizabeth Gunden

From: Ray Watters <RWatters@citylp.com>
Sent: Thursday, February 25, 2021 9:33 AM
To: Elizabeth Gunden
Subject: Re: Site Plan Review Request: 3727 Dix - Car Wash

The police department has no issues with the car wash proceeding at 3727 Dix.

Chief R.Watters

From: Elizabeth Gunden <egunden@bria2.com>
Sent: Thursday, February 25, 2021 8:53 AM
To: Fire Chief <FChief@citylp.com>; Irenda Lockhart <ILockhart@citylp.com>; Robert Wright <RWright@citylp.com>; Ray Watters <RWatters@citylp.com>; Krystina Erdos <KErdos@citylp.com>; John Kozuh <JKozuh@citylp.com>; jdhollandsworth@engineers.com <jdhollandsworth@engineers.com>
Cc: Idumouchel@bria2.com <Idumouchel@bria2.com>
Subject: Site Plan Review Request: 3727 Dix - Car Wash

Good morning, all –

This is just a friendly reminder to please submit comments on the attached plans for the proposed car wash at 3727 Dix as soon as possible. Again, the current plans are for conceptual review only at this point – the applicant will be coming back with a final site plan following conceptual review. Thank you!

Liz Gunden
Project Planner

Beckett&Raeder, Inc.

Making Great Places for over 50 Years

535 West William St Suite 101
Ann Arbor, MI 48103
734.663.2622
Direct Line: 734.239.6615

3464 & 3468 Fort – Food Prep & Retail

Site Plan Review

Applicant	Ramon Gomez, represented by Thomas Roberts Architect, LLC
Project	Food Prep & Retail (Detroit Salsa Company)
Address	3464 & 3468 Fort Street, Lincoln Park, MI 48146
Date	March 10, 2021
Request	Site Plan Review
Recommendation	Approval with Conditions

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial of

The building has two sides, 3464 and 3468, with an internal connecting door. The applicant proposes to use the 3464 side of the building for salsa preparation with a small retail area up front. Most of the product made in the prep kitchen will be delivered to stores and markets in the area; however, the retail area onsite will allow for walk-ins and customers picking up orders. The 3468 side is to be used for future salsa preparation expansion.

Site conditions

The 0.06-acre parcel is located on Fort Street between Gregory and Liberty Avenues. There is a small parking area at the rear of the building with room for three parking spaces accessed via the alley. There is also on-street parking along Fort Street. There is a parking lot immediately adjacent to the north of building that is associated with the business to the north. There is a residential neighborhood to the west of the building and alley separated with a wooden fence.

Master Plan Future Land Use Classification

The Future Land Use classification for this parcel is General Commercial.

Intent; Desirable Uses and Elements

General Commercial properties are intended to serve the whole community and are located along major thoroughfares. The proposed use fits within the General Commercial land use designation.

Land Use and Zoning

Zoning

The parcel is zoned Neighborhood Business District. The proposed use falls under the categories of “food services” and “retail,” both of which are principally permitted uses in the Neighborhood Business District.

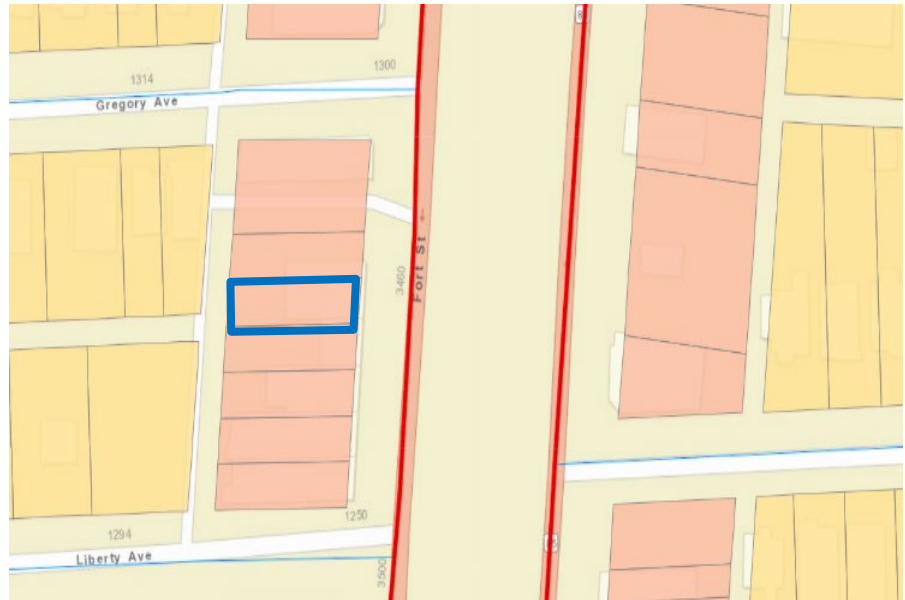


Figure 2: Zoning Map

Proposed and Existing Uses

Site	Vacant; Neighborhood Business District (NBD)
North	Commercial; Neighborhood Business District (NBD)
East	ROW & Commercial; Neighborhood Business District (NBD)
South	Commercial; Neighborhood Business District (NBD)
West	ROW (alley) & Residential; Single-Family Residential District (SFRD)

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
–	Title Sheet: Detroit Salsa Company	02/12/2021	
A100	Site Plan – Proposed	02/12/2021	
A101	First Floor Plan – Proposed	02/12/2021	
A201	Elevations – Proposed	02/12/2021	

Dimensional Standards

The dimensional requirements of the Neighborhood Business District (NBD) are described in the chart below. (§1294.32, except where noted.)

	Required	Provided	Compliance
Lot Width	Min. 40	~34'	NOT MET
Street Frontage (§1294.09)	Shrubbery and low retaining walls height < 2 ½'; tree branch height > 8'	No proposed shrubbery or low retaining walls	N/A
Lot Area	Min. 4,000 sq ft	~3,175 sq ft	NOT MET
Lot Coverage	Max. 50%	(1,990/3,175) ~63%	NOT MET
Height	2-Story Building; 25 ft	1 story North (side): 15' 8" South (side): 15' 8" East (front): 14' 2" West (rear): 15' 8"	Met
Setback – Front	0	0	Met
Setback – Sides	0	0	Met
Setback – Rear	0	0	Met



The existing lot dimensions do not meet the requirements for lot width, lot area, and lot coverage in the district.

Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' 	Met
<ul style="list-style-type: none"> Architectural variety Similar materials and entrances to buildings within 500'. <i>Primarily brick/block, single-story, with flat roofs.</i>  <p>1 block North on Fort Street – single-story, square, brick, flat roof</p>  <p>1 block South on Fort Street – single-story, square, brick, flat roof</p>	Met
<ul style="list-style-type: none"> Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW). <u>South Elevation (side): 97% masonry block (384 sf / 397 sf)</u> <ul style="list-style-type: none"> Masonry Block (painted): ~384 sf Metal Coping: ~10 sf EIFS: ~3 sf Adjacent Building (N/A): ~385 sf Total Area: ~782 sf <u>North Elevation (side): 90% masonry block (717 sf / 794 sf)</u> <ul style="list-style-type: none"> Masonry Block (painted): ~717 sf Metal Coping: ~10 sf EIFS: ~26 sf Sign (painted wall): ~41 sf Total Area: ~794 sf <u>East Elevation (front): 0% masonry block</u> <ul style="list-style-type: none"> Metal (coping & doors): ~35 sf EIFS: ~289 sf Glass: ~101 sf Sign (wall): ~53 sf Total Area: ~478 sf <u>West Elevation (rear): 87% masonry block (349 sf / 400 sf)</u> <ul style="list-style-type: none"> Masonry Block (painted): ~349 sf Metal (coping & doors): ~51 sf Glass (exempt): ~31 sf Total Area: ~431 sf 	NOT MET

Required	Compliance
25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block). • Natural colors (bright for decorative features only) <i>Existing building is painted light blue with grey trim and accents.</i>	Met
• Façade: <100' uninterrupted <i>Building is ~34 ft. wide</i> • If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches • All sides similar <i>All sides are painted the same color.</i>	Met
• Windows: vertical, recessed, visually obvious sills. <i>No windows on side elevations.</i> • Spaces between windows = columns, mullions, or material found elsewhere on the façade • Front facades > 25% windows <i>21% transparency [101 sf (windows + doors) / 478 sf]</i> • Size, shape, orientation, spacing to match buildings within 500'	Met Met NOT MET Met
• Main entrances: doors larger • Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) <i>Larger front door with distinctive door pull, grey accent colors compliment light blue building</i>	Met
• Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 • Rooflines >100' = roof forms, parapets, cornice lines <i>N/A</i> • Roof-top mechanical equipment screened by roof form. <i>No roof-top mechanical equipment proposed.</i>	Met

The existing building does not meet the standards for transparency or building materials. As the proposal does not include changes to the building façade, the City has historically permitted existing façade conditions to remain.

Items to be addressed

None

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The site is served by a 6’ public sidewalk along Fort Street and a 3’ sidewalk along the north side of the building adjacent to the neighboring property line, which provides pedestrian circulation separated from the vehicular circulation. There are no bicycle lanes on the ROW or bicycle parking facilities proposed.

Items to be addressed

- Applicant shall ensure that concrete sidewalks are brought up to the City’s standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

The Lincoln Park Code of Ordinance §1290.02 Number of Spaces requirements do not clearly indicate a parking formula for the proposed use of a food services establishment with associated retail. Therefore, the most applicable standards are those for a “restaurant,” which provides food preparation along with a customer-facing area under the Business and Commercial category.

Use	Required	Proposed	Compliance
Restaurant	<p>One (1) for each one-hundred (100) square feet of gross floor area intended for use by customers and patrons of the establishment, plus one (1) for every two (2) employees based upon the anticipated maximum employment shift.</p> <p><i>Area intended for customers: 486 sf (486/100 = 4.86 spaces)</i></p> <p><i>Maximum employees: 5 (5/2 = 2.5 spaces)</i></p> <p><i>TOTAL: 4.86 + 2.5 = 7.36 = 7 spaces</i></p>	3	NOT MET

The proposed number of the parking spaces does not comply with the parking requirements for the proposed use, and the small size of the site prevents the applicant from providing the required 7 parking spaces. However, there is public on-street parking available along Fort Street. Due to the nature of the proposed business, parking needs for customers are short-term in that customers will only be in the establishment a short time in order to pick up the product. Given the extremely limited ability of the site to accommodate parking, it is the Planning Commission’s responsibility to determine whether the proposed

parking plan offers adequate provision for the intended use while preserving the public health, safety, and welfare.

§1290.01 (q) Waiver or Modification of Standards for Special Situations. The Planning Commission may reduce or waive the number of off-street parking and/or loading spaces required for a specific use, provided they determine that no good purpose would be served by providing the required number of such spaces. In making such a determination to reduce or waive the requirements for off-street parking and/or loading spaces of this chapter, the following may be considered:

- (1) Extent that existing off-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use.
- (2) Extent that existing on-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use without negatively impacting traffic safety or adjacent uses.
- (3) Existing and proposed building placement.
- (4) Location and proximity of municipal parking lots and/or public alleys.
- (5) Agreements for parking and/or loading spaces with adjacent or nearby property owners.

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Parking lot ingress / egress is via the public alley to the west.	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition, and graded and drained appropriately	Existing asphalt surface is in poor condition and needs to be resurfaced. Applicant has indicated that resurfacing shall occur.	Met
	Concrete curbs and gutters	Existing curb locations noted on site plan. No change to existing curbs proposed.	Met
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	There is an alley between the parking area and residential property. There is an existing wooden fence between the alley and residential area.	Met
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	There is an existing wooden fence between the alley and residential area. There is no space on the site for the required masonry wall and landscaping.	Met
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	The alley provides ample room for backing and maneuvering.	Met

	Required	Proposed	Compliance
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	Parking facilities do not abut a public sidewalk.	Met

Engineering comments state that the resurfaced parking lot must meet the City’s requirements and that the cross section and pavement type should be indicated on the plans and submitted to the Engineering Department for approval.

Items to be addressed

- The applicant shall request a Planning Commission waiver for the proposed parking plan of 3 spaces plus on-street parking along Fort Street.*
- The existing asphalt parking area shall be resurfaced and brought up to the City’s standards.*
- The cross section and pavement type for the parking lot shall be indicated on the plans and submitted to the Engineering Department for approval.*

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1-25	1	1	Met

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
0 to 2,000	None	None	Met

The total gross floor area of the building is 1,990 sq. ft.; therefore, no loading space is required.

Items to be addressed

None

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Road, Fort Street, Dix Avenue, and Outer Drive.

There is no vehicular access to this site from any of these routes (vehicular access is via the public alley behind the building and on-street parking on Fort Street), so the standards of this section do not apply.

Items to be addressed

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicle access will be via Fort St. or the alley west of the site. The Lincoln Park Police Department has reviewed this plan and indicates no outstanding issues.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one

another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	There is a small, 167 sf existing grass area between the sidewalk and Fort St. The remainder of the sidewalk directly abuts the street with no space for landscaping.	N/A
	1 tree and 4 shrubs per 40' of street frontage		
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge		
Interior Landscaping	10% of total lot area landscaped, including groundcover	Not provided; lot is entirely covered by building, sidewalk, and parking	N/A
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas		
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping		
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces	Not provided; lot is entirely covered by building, sidewalk, and parking.	N/A
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Existing waste receptacle to remain; no screening wall proposed.	NOT MET
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive) or a solid 6' masonry wall ornamental on both sides	There is an existing wooden fence between the alley and the adjacent residential uses; the size of the property and the existing building does not fit the required screening buffer	N/A

Items to be addressed

- Applicant shall request a Planning Commission waiver from the landscaping and abutting residential screening requirements as the site is too small to accommodate such requirements.
- Applicant shall show waste receptacle screening meeting ordinance requirements, including installation detail.

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- *Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to review soil erosion practices as needed.*

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer, and the existing utilities and lead for the commercial site are being reused. No new water line or sanitary sewer systems are proposed for the site. For sanitary sewer service, Engineering comments state that the applicant will need to verify that the existing sanitary service is adequate to handle the required flows for the building use. If being reused, it is important that the applicant realize that this existing sanitary service is incredibly old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. For water service, Engineering comments state that the applicant must verify the water service type and size and that the existing service is adequate to handle the required flows. If it is undersized for the proposed use of the building or if it is a lead-type service, it must be replaced. As with the sanitary sewer, it is important that the applicant realized that the existing water service is incredibly old and may have reached its life expectancy.

Items to be addressed

- *Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- *It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County. No new stormwater management system is proposed to the site.

Items to be addressed

- *Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

1276.06, Required Conditions (NEIGHBORHOOD BUSINESS DISTRICT)	Proposed	Compliance
All lighting in connection with permitted business uses shall be so arranged as to reflect away from adjoining residence buildings or residentially zoned property, and shall be no greater than ten (10) foot candles at any point upon the lot, and no greater than one (1) foot candle along any lot line.	Proposed new lighting fixture location shown at rear of the building, but no details provided. Note on plan indicates that lighting specifications will be provided during Building Department review.	INQUIRY

Items to be addressed

- Applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

No mechanical equipment is proposed.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during site Plan Review is for illustrative purposes only.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

There is no indication of hazardous substances and polluting materials to be used or stored on-site at the facility.

Items to be addressed

None

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

No additional standards are required for this approval.

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- Applicant to secure all appropriate agency reviews as needed.*
- Pavement replacement may require review by Wayne County Drain Commissioner.*

VARIANCES

No variances are anticipated in conjunction with this development.

Items to be addressed

None

RECOMMENDATIONS

Findings

The proposal is substantially in compliance with §1296.01, Site Plan Review.

Waivers

- The applicant shall request a Planning Commission waiver for the proposed parking plan of 3 spaces plus on-street parking along Fort Street.
- Applicant shall request a Planning Commission waiver from the landscaping and abutting residential screening requirements as the site is too small to accommodate the requirements.

Conditions

Conditions to be addressed before approval is issued

- Applicant shall show waste receptacle screening meeting ordinance requirements, including installation detail.
- Applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

Conditions of approval

- Applicant shall ensure that concrete sidewalks are brought up to the City's standards.
- The existing asphalt parking area shall be resurfaced and brought up to the City's standards.
- The cross section and pavement type for the parking lot shall be indicated on the plans and submitted to the Engineering Department for approval.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to review soil erosion practices as needed.
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.
- It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead.
- Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Applicant to secure all appropriate agency reviews as needed.
- Pavement replacement may require review by Wayne County Drain Commissioner.

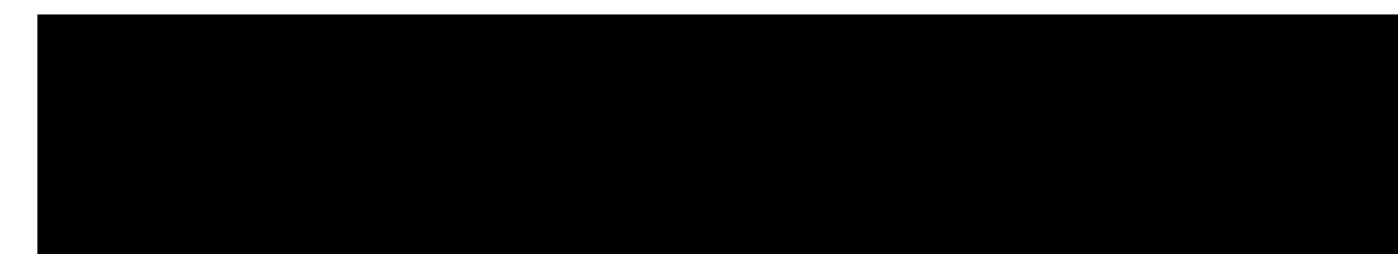
Proposed Motion

I move that the City of Lincoln Park **conditionally approve** the site plan numbered PPC 21-001, proposing a food preparation and retail establishment at 3464 & 3468 Fort Street and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon:

- the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above under "Conditions to be addressed before final approval" and subject to administrative review and approval; and
- satisfactory completion of each of the items noted above under "Conditions of Approval."

Detroit Salsa Company

Commercial Build-Out

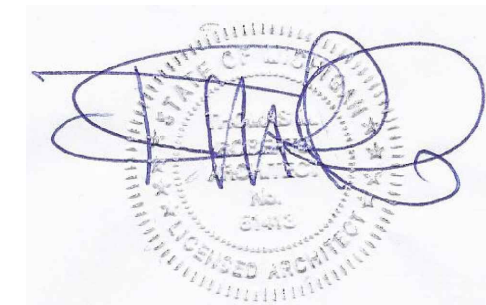


Owner

Ray Gomez
3464 Fort St
Lincoln Park, MI 48146
734.556.2684 (t)

Architect

THOMAS ROBERTS ARCHITECTS, LLC
2927 4th Street
Wyandotte, Michigan 48192
734.530.1201 (t)



Drawing Index

ARCHITECTURAL	
	Cover Sheet
A100	Site Plan
A101	First Floor Plan
A201	Exterior Elevations

Proposed Land Use

Detroit Salsa Company

Detroit Salsa Company is a local, family owned chip and salsa company. In our current location, we will be preparing and packaging salsa for the several stores in the Detroit area that sell our products. We will also offer a retail space that sells our chips and salsa as well as locally made products.

Zoning Information

ZONING INFORMATION Sec. 1294.32

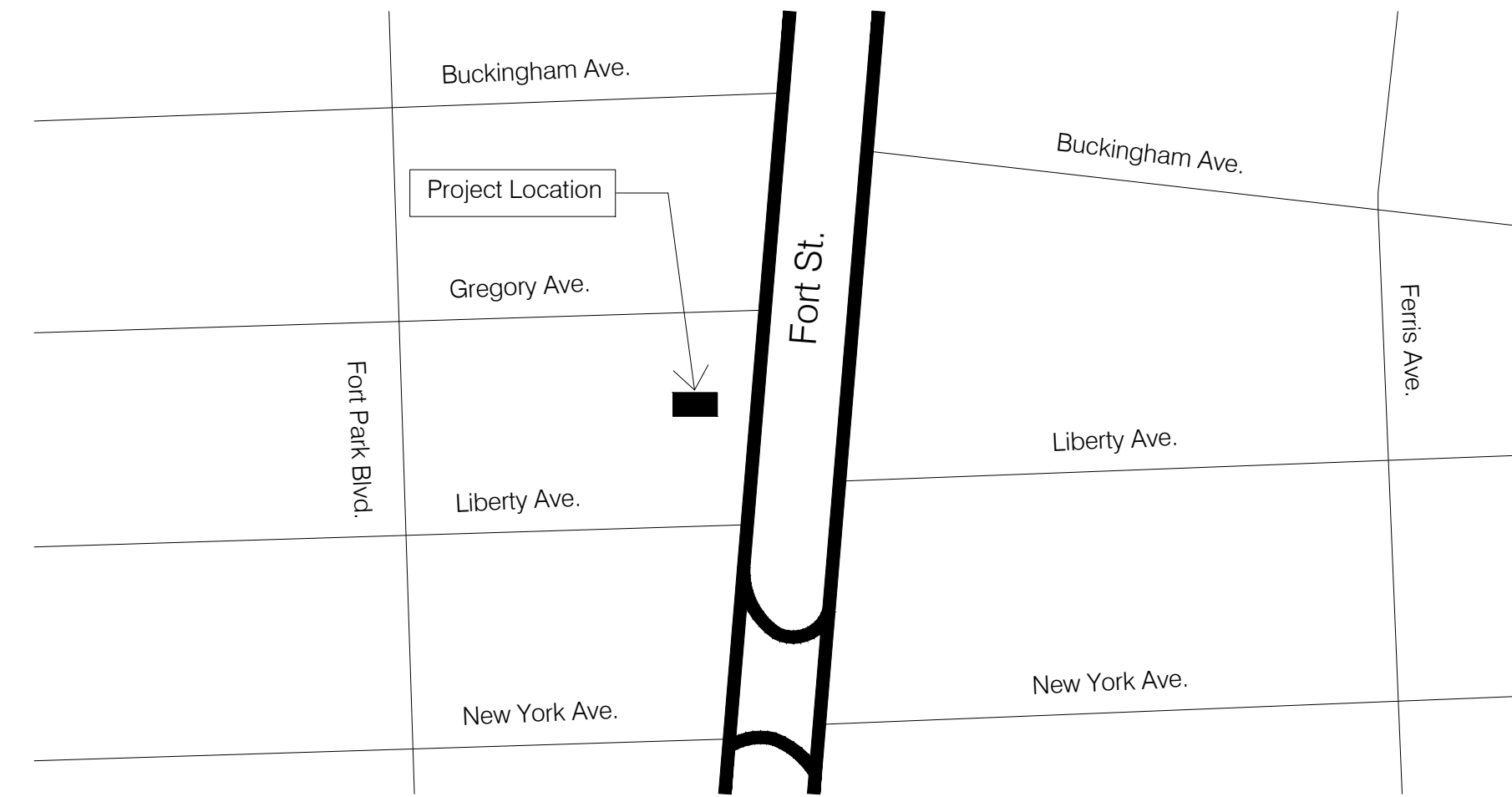
- ZONING CATAGORY:** Neighborhood Business(NBD)
The intent of the District is also to encourage the concentration of neighborhood business areas that harmonize with the character of surrounding uses to the mutual advantage of both consumers and merchants and thereby to promote the best use of land at certain strategic locations and to avoid the continuance of encouraging marginal, strip, business development along major thoroughfares.
- FRONT SETBACK:** 0'-0"
Where an existing front setback line has been established by existing commercial buildings occupying forty percent (40%) or more of the frontage within the same block, or by commercial buildings occupying sixty percent (60%) or more of the frontage with adjacent blocks, such established setback shall apply.
- REAR SETBACKS :** None
No rear yard setback is required where property abuts a public alley.
- SIDE SETBACKS :** Not Required
In any Commercial District, except for the Regional Business District (RBD), side yards are not required along interior side lot lines directly abutting a public right-of-way, or along interior side lot lines.

PARKING CALCULATIONS Sec. 1290.01

- PARKING CALC:** Retail (1,990 / 250) = 8 SPACES
1290.01 I. Parking. The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.
- TOTAL REQUIRED:** 8 SPACES
- TOTAL PROVIDED:** 3 SPACES (2 STANDARD / 1 ADA)
- CITY APPROVAL/VARIANCE REQUIRED:**
The site size doesn't allow for 8 parking spaces. However there is ample public parking available located along Fort Street in the form of parallel parking. It is common for customers of the businesses along Fort Street use this public parking. Detroit Salsa doesn't require long term parking for its customers because its product is a pick-up type business, therefore parking along Fort Street will be the likely preference by their customers.

OFF-STREET LOADING Sec. 1290.09

- LOADING:** On the same premises with every building or structure, or part thereof, erected and occupied for uses involving the receipt or distribution of vehicles, materials or merchandise, there shall be provided and maintained on the lot adequate space for standing, loading and unloading services in order to avoid undue interference with the public use of the streets and alleys.
- TOTAL REQUIRED:** Gross Floor Area (sq.ft.) Commercial 0-2,000 None
- TOTAL PROVIDED:** Gross Floor Area (sq.ft.) Commercial 1,990 None



Location Map

LANDSCAPING STANDARDS Sec. 1296.03

- LANDSCAPING:** Deemed 'not applicable' for this project by the City during the 'Pre-Site Plan Approval' meeting. Existing site is too small to accommodate landscaping.

WASTE RECEPTACLE SCREENING

- WASTE RECEPTACLE SCREENING:** Waste receptacles shall be located and screened with a decorative masonry wall of at least six (6) feet in height with a solid or impervious gate. Where receptacles are taller than six (6) feet, the required screening wall shall be the minimum height required to completely screen the receptacle. The required screening wall shall be of the same material at those required for other screening walls on the site and/or the facade of the principal building. Ground-mounted mechanical equipment shall be screened with plant materials or a wall, when deemed necessary by the Planning Commission.
- TOTAL REQUIRED:** Waste Receptacle Screening 1
- TOTAL PROVIDED:** Waste Receptacle Screening 0

- CITY APPROVAL/VARIANCE REQUIRED:**
The Owner is seeking City approval to not provide a dumpster enclosure for this project. There are several reasons for this request. (1) A dumpster enclosure size needed to house the dumpster would block access to a parking space. (2) The adjacent properties do not have dumpster enclosures, therefore it is felt that not providing a dumpster would not compromise the current aesthetics of the area. (3) The cost of a masonry dumpster enclosure would cause financial stress on the company current phase of growth.

ILLUMINATION Sec. 1294.31

- ILLUMINATION:** Exterior lighting shall be so installed that the surface of the source of light shall not be visible from the nearest residential district boundary and it shall be so arranged to reflect light away from any residential use. In no case shall more than one (1) foot-candle power of light cross a lot line five (5) feet above the ground. Exterior spot lighting or other illumination shall be so installed as to eliminate any nuisance to adjoining Business and Industrial Districts or the creation of a traffic hazard on public highways.
- TOTAL PROVIDED:** Illumination Screening
A new light fixture will be installed on the rear of the building to illuminate the parking lot. This new fixture will meet the required shielding and foot candles as required adjacent to a residential zoning. This new fixture selection will be included on the drawings that will be submitted to the building department for permit review.

Sign Code

SIGN CODE

- WALL SIGNS:** Neighborhood Business(NBD)
Maximum Area: 3 sq ft lineal foot of building frontage up to district maximum. NBD - 100 Parking lot sign if permitted: 50% of area of first sign.
Height: The top of a wall sign may not be higher than the lowest of: (1) The maximum heights specified for the district in which the sign is located, (2) The top of the sills at the first level on windows above the first story, (3) The height of the building facing the street on which the sign is located.
Additional Dimensions: The maximum vertical dimension of any wall sign may not exceed 1/3 of the building height. The maximum horizontal dimension of any wall sign may not exceed 3/4 of the width of the building. A wall sign may not extend above the roofline of the building to which it is attached, or beyond the ends of the wall to which the sign is attached.
Number Permitted: 1 wall sign per parcel per street, up to a maximum of 2. 1 additional wall sign is permitted where a public entrance faces a parking area intended to serve the permit address ("parking lot sign").
Setbacks: N/A
Materials & Construction: Wall signs over 40 sf must be constructed of metal or other approved noncombustible material except for nailing rails.
Electronic Display Permitted: No
Permit Required: Yes
- TOTAL PROVIDED:** (1) Wall Sign
New wall sign mounted on exterior face of building. Maximum area to be 100 sq ft per Lincoln Park sign code.
- TOTAL PROVIDED:** (1) Parking Lot Wall Sign
New parking lot wall sign painted on existing exterior block of building. Maximum area to be 50% of area of first sign per Lincoln Park sign code.

SCREENING Sec. 1294.28

- SCREENING:** Deemed 'not applicable' for this project by the City during the 'Pre-Site Plan Approval' meeting. Existing site is too small to accommodate screening wall or landscaping. The adjacent residential lot currently has an existing privacy fence along the alley.

3464 Fort St, Lincoln Park, MI 48146

Site Plan Contents: Items N/A

DESCRIPTIVE AND IDENTIFICATION DATA

- O. Notation of any variances which have or must be secured.

SITE DATA

- O. Topography on the site and within 100 feet of the site at two foot contour intervals, referenced to a U.S.G.S. benchmark.
A: No new topography proposed.
- F. Acceleration, deceleration, and passing lanes, where required.
A: No proposed or existing acceleration, deceleration, and passing lanes.
- H. Typical cross-section of proposed roads and driveways.
A: No proposed road and driveways.
- I. Location of existing drainage courses, floodplains, lakes and streams, with elevations.
A: No proposed or existing drainage courses, floodplains, lakes or streams located on site.
- J. Location and dimensions of wetland areas. If deemed necessary because of site or soil conditions or because of the scope of the project, a detailed hydrology study may be required.
A: No proposed or existing wetland areas located on site.
- N. Transformer pad location and method of screening, if applicable.
A: No proposed or existing transformer or transformer pad located on site.
- Q. The location of lawns and landscaped areas, including required landscaped greenbelts.
A: No required or proposed lawns, landscaped areas, or greenbelts.
- R. Landscape plan, including location, size, type and quantity of proposed shrubs, trees and other live plant material.
A: No new landscaping required or proposed on site.
- S. Location, sizes, and types of existing trees five inches or greater in diameter, measured at one foot off the ground, before and after proposed development.
A: No existing trees located on site.
- T. Cross-section of proposed berms.
A: No required or proposed berms located on site.
- W. Loading/unloading area.
A: No required or proposed loading/unloading zone located on site.
- X. The location of any outdoor storage of materials and the manner by which it will be screened.
A: No proposed or existing outdoor storage locations located on site.

BUILDING & STRUCTURE DETAILS

- F. Proposed fences and walls, including typical cross-section and height above the ground on both sides.
A: No proposed fences or walls located on site.

UTILITIES, DRAINAGE, & RELATED ISSUES

- C. Indication of site grading and drainage patterns.
A: No proposed alterations of site grading or drainage patterns.
- D. The following information shall be submitted as part of an application for permission to commence any type of development within a flood hazard area.
A: Items 1-4 do not apply.No proposed development within a flood hazard area located on site.
- E. Additional information which may be reasonably necessary to determine compliance with the provisions of this Zoning Code.
A: No additional information is necessary to determine compliance with the provisions of the Lincoln Park zoning code.
- F. Soil erosion and sedimentation control measures.
A: No disruption to the site that requires soil erosion or sedimentation control measures.
- H. Listing of types and quantities of hazardous substances and polluting materials which will be used or stored on-site at the facility in quantities greater than twenty-five gallons per month.
A: No hazardous substances or polluting materials will be used or stored on site.
- I. Areas to be used for the storage, use, loading/unloading, recycling, or disposal of hazardous substances and polluting materials, including interior and exterior area.
A: No hazardous substances or polluting materials will be used or stored on site.
- J. Underground storage tanks locations.
A: No proposed or existing underground storage tanks located on site.
- K. Delineation of areas on the site which are known or suspected to be contaminated, together with a report on the status of site cleanup.
A: No areas known or suspected to be contaminated. No site cleanup required.

RESIDENTIAL DEVELOPMENT INFO.

No residential development is proposed. No information regarding residential development is needed.

MOBILE HOME PARK INFO.

No mobile home park development is proposed. No information regarding mobile home park development is needed.

ADDITIONAL INFO. (CONDOMINIUMS)

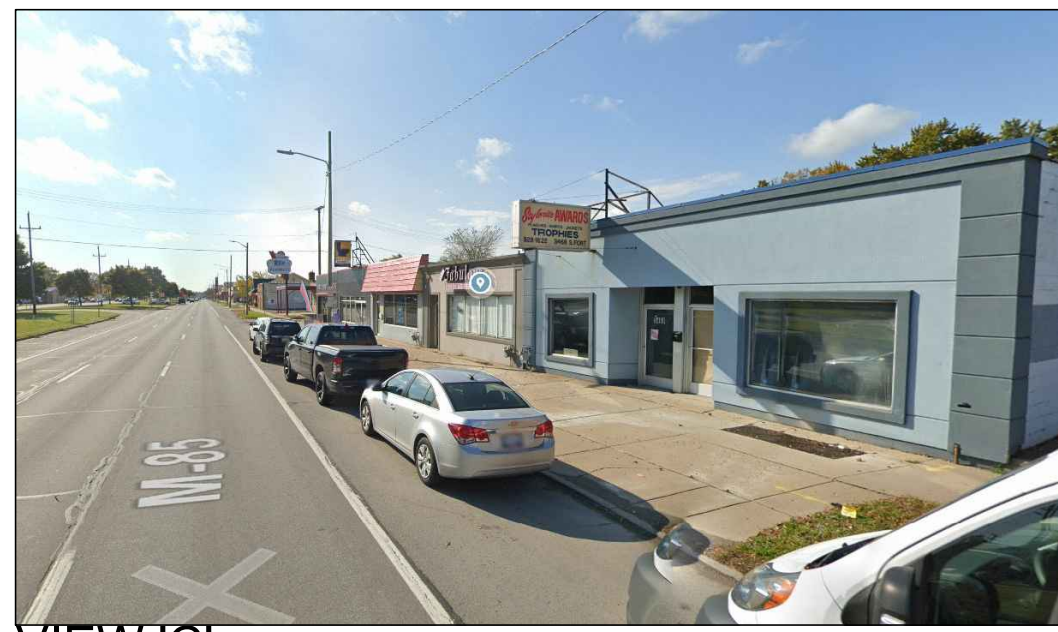
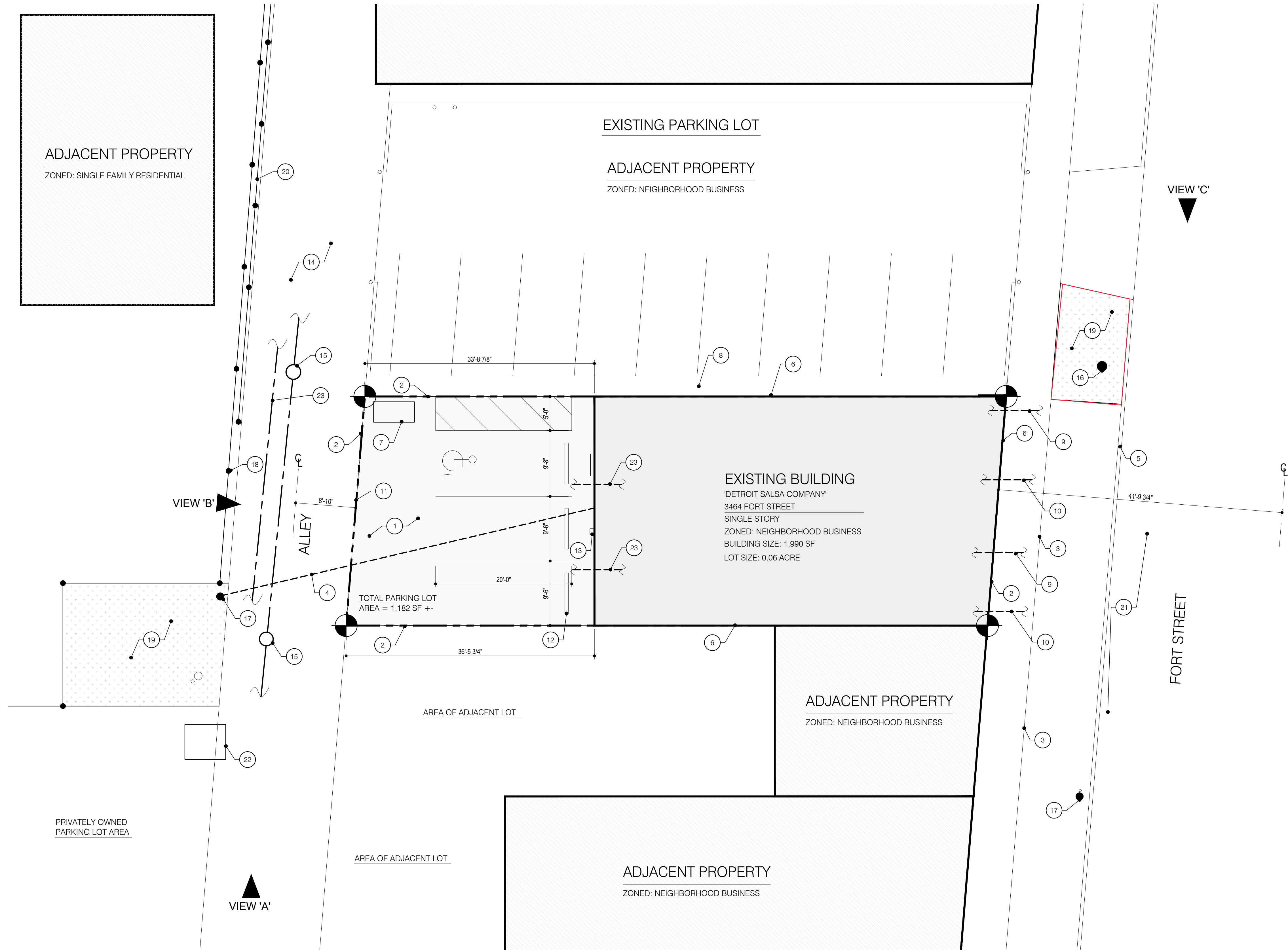
No condominium development is proposed. No information regarding condominium development is needed.

February 12, 2021
Site Plan Review

20030

SITE KEYNOTES

- 1 EXISTING PARKING LOT AREA TO BE RE-PAVED W/ ASPHALT PAVING AS NEEDED TO MEET ZONING ORDINANCE STANDARD. PARKING SPACES TO BE NEWLY STRIPED AS SHOWN. PARKING LOT IS TO BE SLOPED WEST TOWARD ALLEY.
- 2 EXISTING PROPERTY LINE.
- 3 EXISTING CITY SIDEWALK.
- 4 EXISTING UTILITY: ELECTRICAL SERVICE (ABOVE)
- 5 EXISTING CURB.
- 6 EXISTING SETBACK LINE PER ZONING.
- 7 EXISTING LOCATION OF EXISTING DUMPSTER TO REMAIN.
- 8 EXISTING CONCRETE WALK.
- 9 EXISTING UTILITY: GAS LINE.
- 10 EXISTING UTILITY: WATER LINE.
- 11 EDGE OF NEW PAVING TO MATCH ELEVATION OF EXISTING ALLEY SURFACE.
- 12 NEW PARKING BLOCKS (TYP).
- 13 PROPOSED LOCATION OF NEW WALL MOUNTED LIGHT FIXTURE. FIXTURE SELECTION TO BE INCLUDED ON DRAWINGS SUBMITTED FOR PERMIT. LIGHT WILL MEET ZONING REQUIREMENTS (SHIELDING AND FOOT CANDLES)
- 14 EXISTING ALLEY ALSO SERVES AS DESIGNATED FIRE LANE.
- 15 EXISTING UTILITY: STORM DRAIN
- 16 EXISTING FIRE HYDRANT.
- 17 EXISTING SITE UTILITY POLE.
- 18 EXISTING WOODEN FENCE.
- 19 EXISTING LANDSCAPED AREA (GRASS).
- 20 EXISTING STEEL TRAFFIC BARRIER.
- 21 EXISTING PUBLIC PARKING ALONG FORT STREET (PARALLEL PARKING SPACES)
- 22 ADJACENT PROPERTY DUMPSTER
- 23 EXISTING UTILITY: SANITARY LINE



VIEW 'C'
EXISTING VIEW PROVIDED FOR REFERENCE/CONTEXT. PUBLIC PARKING ALONG FORT STREET.



VIEW 'B'
EXISTING VIEW PROVIDED FOR REFERENCE/CONTEXT. REAR LOT TO BE PAVED.



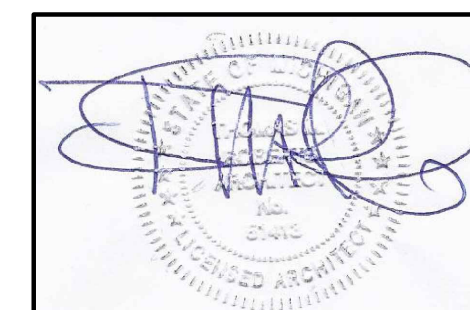
VIEW 'A'
EXISTING VIEW PROVIDED FOR REFERENCE/CONTEXT. EXISTING DUMPSTERS.

Site Plan - Proposed
Scale: 1/8" = 1'-0"

THOMAS
ROBERTS
ARCHITECT, LLC
2927 4th Street
Wyandotte, MI 48192
(t) 734.250.4032

02/01/2021
02/12/2021

Pre-Site Plan Review
Site Plan Approval Submittal



Detroit Salsa Company
Commercial Build-Out
3464 Fort St,
Lincoln Park, MI 48146

TR
principal in charge
WD
project manager
WD
project architect
EL
drawn

date
20030
job number

A100

sheet number

ISSUANCES

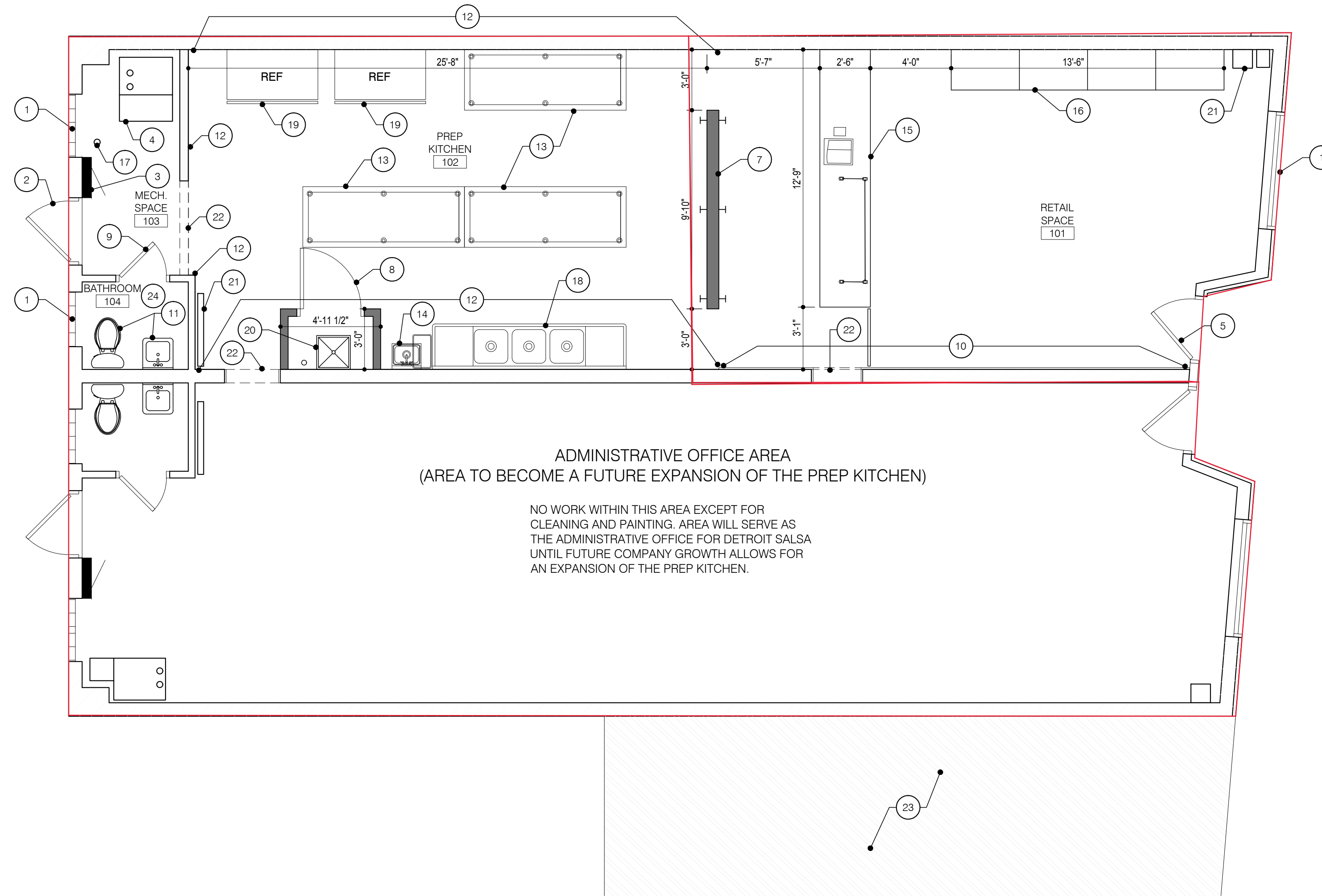
REVISIONS

Seal

print date: 02.11.2021

FLOOR PLAN KEYNOTES

- ① EXISTING WINDOW TO REMAIN.
- ② EXISTING HOLLOW METAL DOOR AND FRAME TO REMAIN.
- ③ EXISTING ELECTRICAL PANEL.
- ④ EXISTING HVAC TO REMAIN.
- ⑤ EXISTING ALUM. STOREFRONT TO REMAIN.
- ⑥ NOT USED.
- ⑦ NEW 6'-0" HIGH MOVABLE PARTITION BY OWNER. WASHABLE WALL SURFACE ONE SIDE & DECORATIVE WOOD SURFACE ON OTHER.
- ⑧ NEW DOOR AND FRAME.
- ⑨ EXISTING DOOR AND FRAME.
- ⑩ EXISTING DECORATIVE WOOD SURFACE.
- ⑪ EXISTING SINK AND TOILET TO REMAIN.
- ⑫ EXISTING WASHABLE WALL FINISH.
- ⑬ LOCATION OF FURNITURE FINAL LAYOUT TO BE DETERMINED BY OWNER AT LATER DATE.
- ⑭ NEW HAND WASH SINK.
- ⑮ NEW MILLWORK AND 'FRONT COUNTER' W/ REFRIGERATED STORAGE AND DISPLAY CASE.
- ⑯ NEW MILLWORK FOR RETAIL STORAGE & DISPLAY.
- ⑰ EXISTING FLOOR DRAIN.
- ⑱ NEW THREE COMPARTMENT SINK.
- ⑲ NEW REFRIGERATOR.
- ⑳ NEW SLOP SINK.
- ㉑ EXISTING UTILITY TO REMIAN.
- ㉒ EXISTING WALL OPENING.
- ㉓ EXISTING BUILDING ADJACENT TO DETROIT SALSA CO. BUILDING.
- ㉔ COSMETIC UPGRADES AND FINISHES IN BATHROOMS PER OWNER.



1
A101 First Floor Plan - Proposed
Scale: 1/4" = 1'-0"

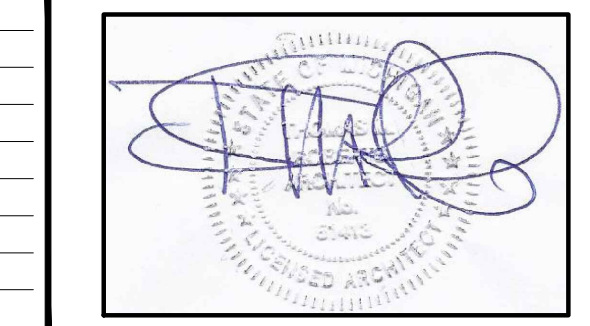
THOMAS
ROBERTS
ARCHITECT, LLC
2927 4th Street
Wyandotte, MI 48192
(t)734.250.4032

02/01/2021
02/12/2021

Pre-Site Plan Review
Site Plan Approval Submittal

ISSUANCES

REVISIONS



Seal

Detroit Salsa Company
Commercial Build-Out
3464 Fort St,
Lincoln Park, MI 48146

print date: 02.11.2021

TR
principal in charge
WD
project manager
WD
project architect
EL
drawn

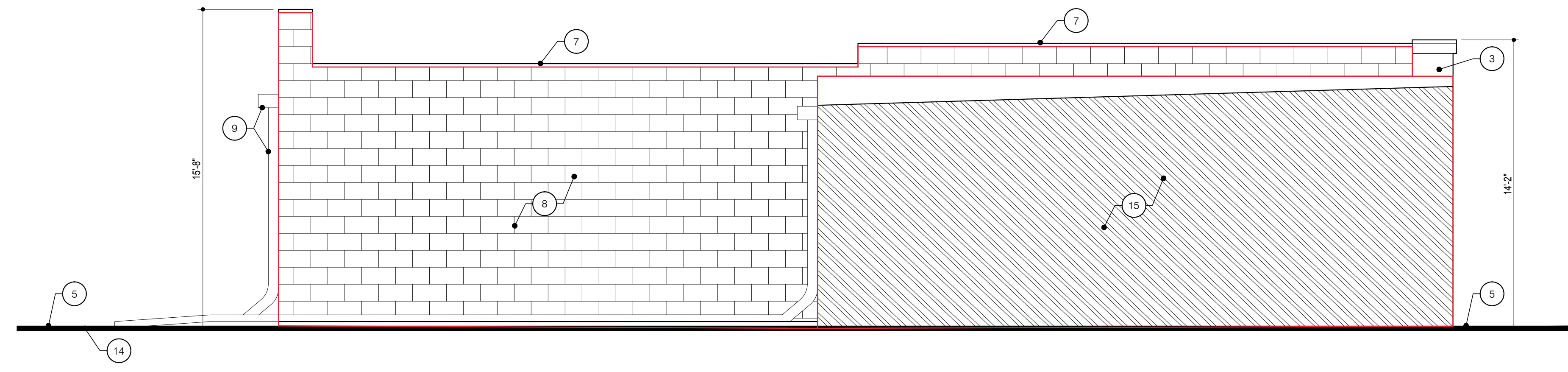
date
20030
job number

A101

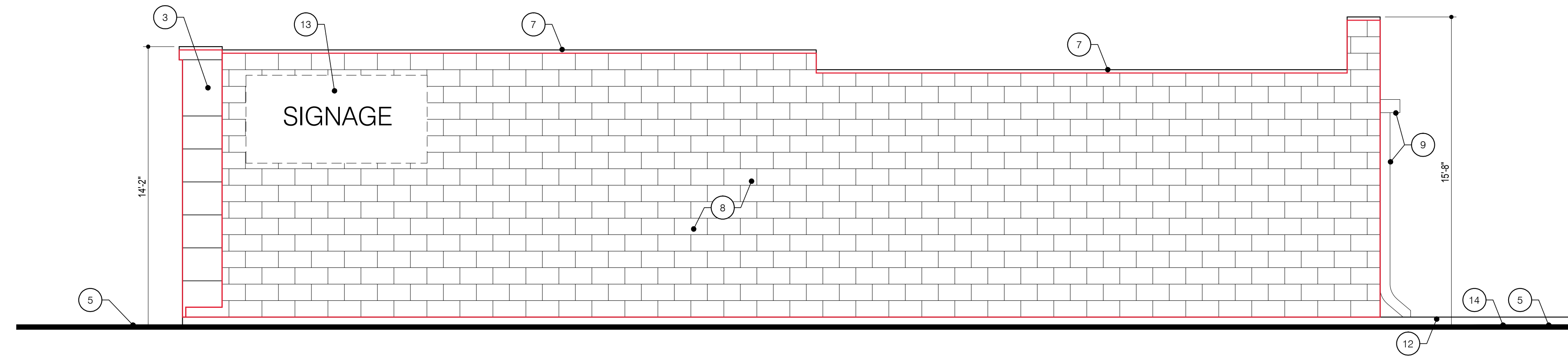
sheet number

ELEVATION KEYNOTES

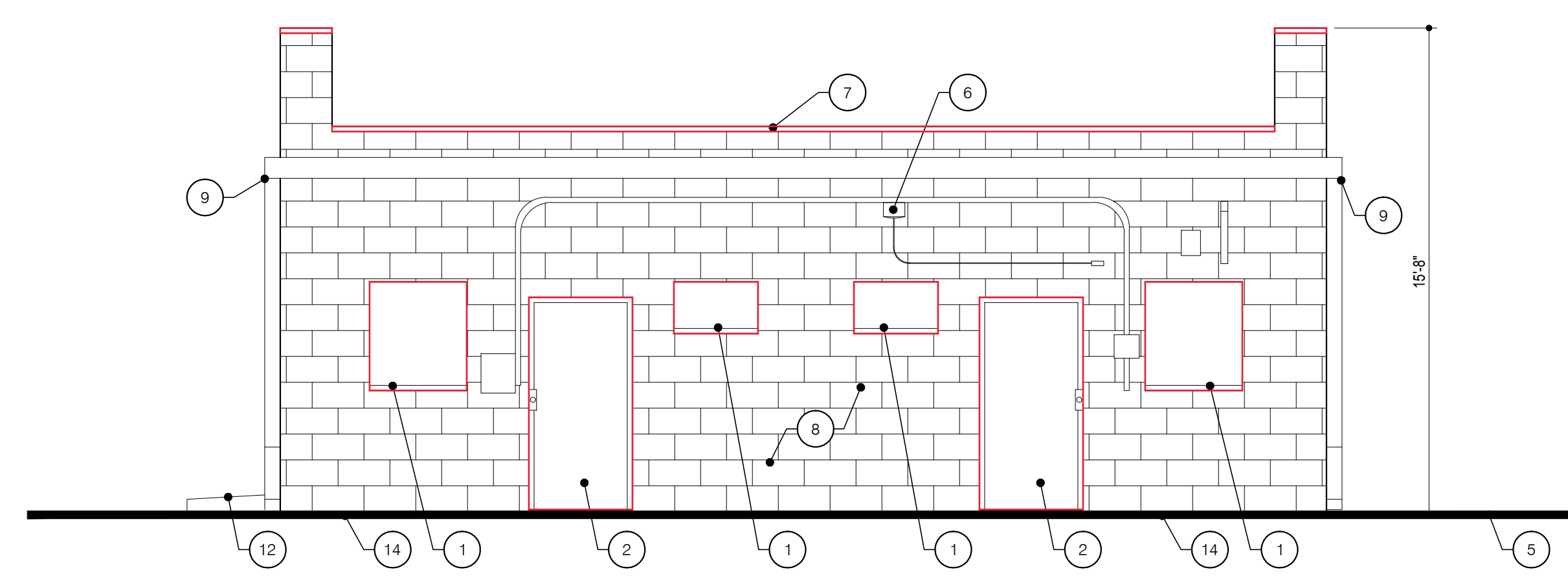
- ① EXISTING WINDOW TO REMAIN.
- ② EXISTING HOLLOW METAL DOOR & FRAME TO REMAIN.
- ③ EXISTING EIFS TO REMAIN.
- ④ EXISTING UTILITY METER.
- ⑤ EXISTING GRADE LINE.
- ⑥ EXISTING EXTERIOR LIGHT FIXTURE TO REMAIN.
- ⑦ EXISTING PRE-FIN METAL COPING/CAP FLASHING TO REMAIN.
- ⑧ EXISTING PAINTED BLOCK WALL TO REMAIN.
- ⑨ EXISTING PRE-FIN. METAL GUTTER AND DOWNSPOUTS TO REMAIN.
- ⑩ EXISTING ALUM. STOREFRONT TO REMAIN.
- ⑪ NEW WALL SIGN MOUNTED ON EXTERIOR FACE OF BUILDING. MAXIMUM AREA TO BE 100 SF PER LINCOLN PARK SIGN CODE.
- ⑫ NEW 3'-0" CONCRETE SIDEWALK ADJACENT TO BUILDING.
- ⑬ NEW PARKING LOT WALL SIGN PAINTED ON EXISTING EXTERIOR BLOCK OF BUILDING. MAXIMUM AREA TO BE 50% OF AREA OF FIRST SIGN PER LINCOLN PARK SIGN CODE.
- ⑭ EXISTING PARKING LOT AREA TO BE RE-PAVED W/ ASPHALT PAVING AS NEEDED TO MEET ZONING ORDINANCE STANDARD. PARKING SPACES TO BE NEWLY STRIPED AS SHOWN. PARKING LOT IS TO BE SLOPED WEST TOWARD ALLEY.
- ⑮ EXISTING BUILDING ADJACENT TO DETROIT SALSA CO. BUILDING.



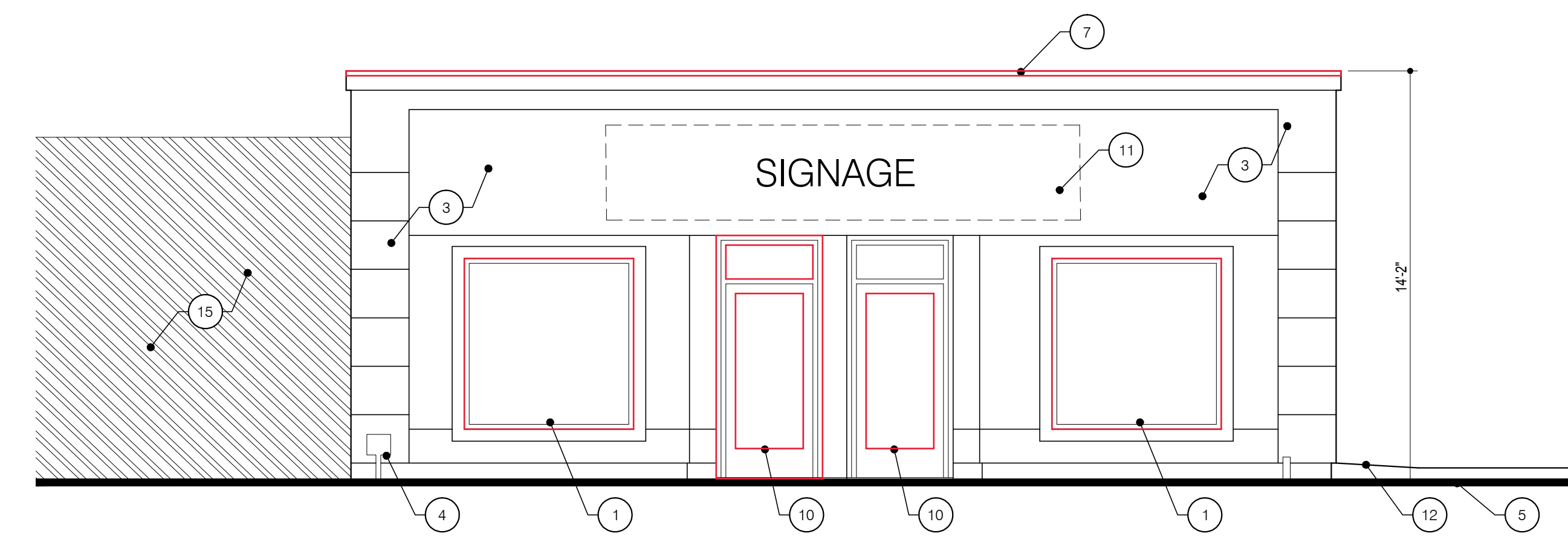
4 South Elevation - Proposed
A201 Scale: 1/4" = 1'-0"



3 North Elevation - Proposed
A201 Scale: 1/4" = 1'-0"



2 West Elevation - Proposed
A201 Scale: 1/4" = 1'-0"



1 East Elevation - Proposed
A201 Scale: 1/4" = 1'-0"

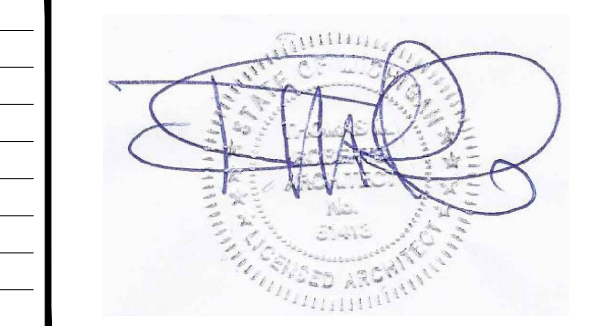
THOMAS
ROBERTS
ARCHITECT, LLC
2927 4th Street
Wyandotte, MI 48192
(t) 734.250.4032

02/01/2021
02/12/2021

Pre-Site Plan Review
Site Plan Approval Submittal

ISSUANCES

REVISIONS



Seal

Detroit Salsa Company
Commercial Build-Out
3464 Fort St,
Lincoln Park, MI 48146

print date: 02.11.2021

TR
principal in charge
WD
project manager
WD
project architect
EL
drawn

date
20030
job number

A201

sheet number

Date: 2-12-2021

Re: 3464 Fort Street - LP Site Plan Review Application - Business Description.

Applicant: Thomas Roberts Architect, LLC

Property Owner: Ramon Gomez

Note: This document is to accompany the Lincoln Park Site Plan Review Application

Business Description - Detroit Salsa

Detroit Salsa Company is a local, family owned chip and salsa company. In this 3464 Fort Street location, they will prepare and package salsa. The salsa is delivered to several stores/markets within the Detroit area where the product is sold. They also will offer a retail area within the 3464 building for sale of their chips and salsa to walk-in customers.

Hours of operation: 1:00PM to 6:00PM (3 days a week)

Staff: Largest shift will have 5 employees.

Case No. _____

Date Submitted _____

City of Lincoln Park

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan Review by the Planning Commission must be submitted to the City in *substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: Thomas Roberts Architect , LLC (Wayne Dutton, Project Manager)

Mailing Address: 2927 4th Street, Wyandotte MI 48192

Email: Wayne@thomasrobertsarchitect.com

Telephone: 734-250-4148 Fax: none

Property Owner(s) Name (if different from Applicant): Ramon Gomez

Mailing Address: 2042 22nd Street, Wyandotte MI 48192

Telephone: (734) 556-2684 Fax: None

Applicant(s) Explanation of Legal Interest in Property:

Applicant is the project Architect. (hired by the property Owner)

Location of Property: Street Address: 3464 & 3468 Fort Street, Lincoln Park MI 48146

Nearest Cross Streets: Gregory and Liberty

Sidwell Number (Parcel ID#): 45-016-01-0371-002

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

LOT 372 and South 7.17 feet of LOT 371, "Assessor's Fort Superhighway Subdivision No. 11", according to the plat thereof as recorded in Liber 63 of Plats, Page 61, Wayne County Records.

Property Size (Square Ft): 3000 SF (Acres): .06 Acre

Existing Zoning (please check):

- SFRD Single Family Residential District
- MFRD Multiple Family Residential District
- MHRD Mobile Home Park District
- NBD Neighborhood Business District
- MBD Municipal Business District
- PUD Planned Unit Development District

- RBD Regional Business District
- CBD Central Business District
- GID General Industrial District
- LID Light Industrial District
- CSD Community Service District

Present Use of Property: _____

Currently vacant. The previous use was a retail use (a trophy shop)

Proposed Use of Property: _____

Will be used by property Owner's own business. The business is called Detroit Salsa. They make and sell salsa. They will make the salsa in a prep kitchen. Most of their product is delivered to stores and markets, but pick-up/carry out will be available for walk in customers

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1 (see plan)	1990	5
Industrial			
Other			

Professionals Who Prepared Plans:

A. Name: Same as Applicant above.

Mailing Address: _____

Email Address: _____

Telephone: _____ Fax: _____ Primary Design Responsibility: _____

B. Name: _____

Mailing _____ Address: _____

_____ Email

Address: _____

Telephone: _____ Fax: _____ Primary Design Responsibility: _____

C. Name: _____

Mailing Address: _____

Email Address: _____

Telephone: _____ Fax: _____ Primary Design Responsibility: _____

ATTACH THE FOLLOWING:

1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. **A brief written description** of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:

- | | |
|---|--|
| G Wayne County Road Commission | G Wayne County Drain Commission |
| G Wayne County Health Division | G Michigan Department of Natural Resources |
| G Michigan Department of Transportation | G Michigan Department of Environmental Quality |

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

 _____	2-12-2021 _____
Signature of Applicant	Date

_____ Signature of Applicant	_____ Date
---------------------------------	---------------

 _____	2-12-2021 _____
Signature of Property Owner Authorizing this Application	Date

TO BE COMPLETED BY THE CITY

Case No. _____

Date Submitted: _____

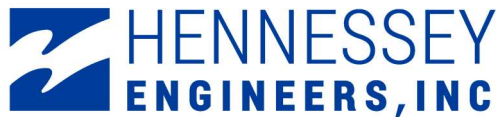
Fee Paid: _____

By: _____

Date of Public Hearing: _____

PLANNING COMMISSION ACTION

Approved: _____ Denied: _____ Date of Action: _____



February 25, 2021

Ms. Leah DuMouchel, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI, 48103-4978

**Re: Food Preparation & Retail
3464 Fort Street
City of Lincoln Park, MI
Hennessey Project 72140**

Dear Ms. DuMouchel:

Hennessey Engineers, Inc. completed our first review of the plans for the Planning Commission submittal dated February 25, 2021 and received via email from you.

The project consists of an existing duplex commercial building to be converted into retail and future food preparation area.

Listed below are some comments which are recommended to be addressed in the Preliminary Plan approval but would not be grounds for a reason for denial from an engineering feasibility standpoint:

GENERAL

1. Based on the plans the existing water and sanitary sewer service leads for each unit are going to be reused.
2. If the existing sanitary sewer service is going to be reused the developer will need to need the architect to verify that the existing sanitary service is adequate to handle the required flows for the building, use. If it is being reused, it is important that the developer realize this existing sanitary service is incredibly old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead.
3. The site plan does not show any new water service connections. If the existing water services is being reused, it is important that the developer realize this existing water service is incredibly old and may have reached its life expectancy. If the existing service is a lead type service, it will be required to be removed and replaced. The developer must verify with their engineer or architect and city the water service type and size. The developer will need to have the engineer/architect verify that the existing service is adequate to handle the required flows. If it is undersized for the proposed use of the building or if it is a lead type service, it must be replaced. The developer's engineer or architect shall determine the water service lead capacity.

4. The site plan shows some parking in the rear of the building. The plans indicate the parking lot is going to be resurfaced. The new parking lot must meet the City's requirements. The cross-section and pavement type should be indicated on the plans and submitted to our office for approval.

From an engineering feasibility, our office does not have any issues with the approval of the Preliminary Site Plan submittal. Therefore, from the engineering feasibility review it would be our recommendation for the **"approval"** of the Preliminary Site Plan. Once the developer receives Planning Commission approval two sets of plans should be submitted to our office for review and approval of the parking lot improvements.

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC



James D. Hollandsworth, P.E., P.S.
Lincoln Park Project Manager

JDH/bd

cc: John Kozuh, DPW Director, City of Lincoln Park
John Meyers, Building Official, City of Lincoln Park
Laura Passalacqua (D'Onofrio), Clerk, City of Lincoln Park
Monserrat Contreras, Permit Clerk, City of Lincoln Park
B.3

R:\Municipalities\70000's Lincoln Park\72000's\72140 3464 Fort St. Food Preparation & Retail\3464 Fort St 1st PC Review February 25, 2021.docx

Elizabeth Gunden

From: Ray Watters <RWatters@citylp.com>
Sent: Thursday, February 18, 2021 1:04 PM
To: Elizabeth Gunden
Subject: Re: Site Plan Review Request: 3464 Fort - Food Preparation & Retail

The police department has no issues with The Detroit Salsa Company moving forward.

Chief R.Watters

From: Elizabeth Gunden <egunden@bria2.com>
Sent: Thursday, February 18, 2021 10:48 AM
To: Fire Chief <FChief@citylp.com>; Irenda Lockhart <ILockhart@citylp.com>; Robert Wright <RWright@citylp.com>; Ray Watters <RWatters@citylp.com>; Krystina Erdos <KErdos@citylp.com>; John Kozuh <JKozuh@citylp.com>; jdhollandsworth@hengineers.com <jdhollandsworth@hengineers.com>
Cc: Idumouchel@bria2.com <Idumouchel@bria2.com>
Subject: Site Plan Review Request: 3464 Fort - Food Preparation & Retail

Good morning!

Please find attached a set of plans for a proposed food preparation and retail site for the Detroit Salsa Company at 3464 Fort Street. Comments are appreciated by reply to this email by next Wednesday, February 24th. Thank you!

Liz Gunden
Project Planner

Beckett&Raeder, Inc.

Making Great Places for over 50 Years

535 West William St Suite 101
Ann Arbor, MI 48103
734.663.2622
Direct Line: 734.239.6615

City of Lincoln Park Planning and Development

Zoning Text Amendment Policy Discussion: Online Retail

March 10, 2021

THE PROBLEM

The City of Lincoln Park is increasingly getting requests for “online retail” uses, typically referring to the use of an existing commercial building for the storage of products to be sold online, often with accompanying office space. “Online retail” is non-customer-facing, which is inherently different than retail in traditional customer-facing commercial districts. The Zoning Ordinance does not currently have a definition for an “online retail” use; however, due to the changing retail realities of increased online shopping, exacerbated by the Covid-19 pandemic, it has become apparent that this use should be considered for incorporation into the Zoning Ordinance. Below are some possible solutions for incorporating online-retail-type uses, accompanied by discussion questions, as well as preliminary recommendations for how to incorporate the use into the Zoning Ordinance.

POSSIBLE SOLUTIONS

1. Establish a definition of “online retail” and add it as a permitted use to select zoning districts.

The current definition of a Retail Store specifies that the sale of goods is customer-facing: “Any building or structure in which goods, wares, or merchandise are sold to the consumer for direct consumption and not for resale.” Below are two possible definitions for an “online retail” use and an “online retail establishment” that could be added to the list of permitted uses in certain zoning districts:

- *Online Retail: Retail or wholesale sales where the transaction originates on and is completed on the Internet via an individual website or a third-party marketplace. These transactions may include taking orders, closing sales, making purchases, providing customer service, processing and packaging orders, and other similar activities that serve the business’s overall purpose.*
- *Online Retail Establishment: A building that may contain goods which are warehoused, distributed, and/or retailed at the same location. Products may be purchased in-person onsite or online via the Internet. (Could also be called “online retail and warehouse establishment”)*

Analysis

Pros	Cons
Bring the City’s Zoning Ordinance more up to date for today’s retail realities.	Depending on what district(s) the use is permitted, it could result in a proliferation of online retail sales / non-customer-facing establishments on the commercial corridors, which would functionally be warehousing sites.
Allow business owners more flexibility and opportunity for success to have greater online retail prospects.	
Potentially concentrate customer-facing businesses, depending on where online retail is permitted.	

Discussion Questions

- Where should the City allow these non-customer-facing, online-retail-type uses:
 - Limit the scale and restrict the use to the Neighborhood Business District (NBD) – many NBD parcels have limited parking, which may serve the “non-customer-facing aspect” of the online retail use; however, the intent of the district would need to be reconsidered.
 - Concentrate customer-facing retail in the Central Business District (CBD), and allow online retail uses in all commercial zones.
- How much of a business should be devoted to “retail” to be considered customer-facing?
- At what scale should “online retail” be limited to? Should it be limited to small businesses or should larger operations be permitted?
- What concerns does the Planning Commission have for permitting such a use?
- If you live near a commercial area, how would you personally feel about living near an online retail establishment?

2. Establish standards for “online-retail” uses to mitigate potential negative impacts.

The American Planning Association (APA) recommends integrating light industrial uses like warehousing for e-commerce-related activities into existing commercial districts to adapt to the reality of increased online sales in place of in-person retail.¹ Permitting light-industrial-type uses in physical retail store sites accommodates their needs of distribution for online sales on the same site; however, it would be important to have standards that would mitigate possible negative externalities of such uses. Possible limitations could include:²

- No external air emissions.
- All activity must take place within an enclosed building.
- Limit the size of building and/or require that a certain percentage of the building be devoted to in-person retail.
- Limit the size of the delivery trucks.
- Establish curbside management programs and other loading and delivery systems to reduce the impacts of e-commerce on the current road network and the ability to receive and send packages.

Analysis

Pros	Cons
Mitigates negative impacts to neighboring properties.	Increases enforcement needs for the City.
Allows greater flexibility and business opportunities.	More standards for an applicant to meet may make a proposal less viable.

¹ American Planning Association. “Planning for a Resilient Retail Landscape.” PAS Report. 2020. https://planning-org-uploaded-media.s3.amazonaws.com/publication/download_pdf/PAS-MEMO-2020-01-02.pdf

² Portwood, Paige. “Assessing the Flexibility of Commercial Land Use in Eugene, Oregon: Planning for E-Commerce.” 2018. https://scholarsbank.uoregon.edu/xmlui/bitstream/handle/1794/25086/PPortwood_ExitProj_Final.pdf?sequence=1&isAllowed=y

Discussion Questions

- What are the most important standards to consider for online retail uses in commercial zones?

3. Establish a new zoning district or overlay zoning district.

The Development Team has started drafting language for a “Makerspace” overlay district, which the Planning Commission previewed in August 2020. Online retail-type uses could be incorporated in the proposed new overlay district as these two concepts are interrelated. There are three relatively new needs emerging in the community, which consist of:

1. A place to make things that will be sold online;
2. A place to store things that will be sold online; and
3. A place to make and store things that will be sold online.

Eugene, Oregon has a zoning district that describes this exact scenario:

- *E-2 Zoning District:* The Mixed Employment Zone invites physical retailers to simultaneously thrive in an e-commerce society because it allows a storefront, which is limited in size by the code, while also allowing industrial space which can be utilized for delivery and shipping operations for businesses, particularly for traded sectors.³

Analysis

Pros	Cons
Preserve existing and select commercial areas for customer-facing retail.	Commercial corridors may become more industrial in nature.
Online retail and makerspace-type uses would be concentrated and permitted in designated areas.	May result in a proliferation of warehouses.
Allow more flexibility and business opportunities for aspiring “makers” and business owners.	More drastic change in terms of a zoning text amendment.
Facilitates all three emerging needs in the community (listed above).	

Discussion Questions

- Does the Planning Commission have a preference between an overlay or a new zoning district?
- Where would this new overlay / zoning district be located?
- What concerns does the Planning Commission have for creating a “Makerspace” district or overlay?

³ Portwood, Paige. “Assessing the Flexibility of Commercial Land Use in Eugene, Oregon: Planning for E-Commerce.” 2018. https://scholarsbank.uoregon.edu/xmlui/bitstream/handle/1794/25086/PPortwood_ExitProj_Final.pdf?sequence=1&isAllowed=y

RECOMMENDATIONS

The existing retail landscape is changing rapidly, with people increasingly shopping online. Vacant commercial buildings and storefronts are becoming an ever-expanding reality throughout the country, and it is no different in the City of Lincoln Park. There are currently no provisions in the City's Zoning Ordinance for online retail, and it has become clear to development staff that this is an emerging need in the community.

Preliminary Development Team discussions have indicated a preference for establishing a definition for "online retail" and permitting the use in select zoning districts. Discussions resulted in an indicated preference for concentrating customer-facing businesses in the Central Business District and permitting online-retail-type uses that are non-customer-facing in the other commercial districts, subject to yet-to-be-determined standards. The "Makerspace" district is still evolving and perhaps make more sense to incorporate at a later date. The Development Team recommended bringing this concept to the Planning Commission, discussing the possible solutions, and then proceeding forward with Commission input.

Monthly Planning Report

Serving & Planning Communities throughout Michigan

March 2021

Top Story

MEDC Launches Redevelopment Ready Communities (RRC) 2.0

"The updated structure and corresponding best practices are the result of significant input from communities and partners including surveys and feedback groups organized in partnership with the Michigan Municipal Executives."

The updated RRC program now includes two pathways that communities can pursue: certification and essentials. RRC planners experience on the ground clarified that communities need broader support than just one program can offer. After February 1 2021, communities can seek out the "essentials" designation that contains fewer requirements (and correspondingly fewer benefits), but still meets MEDC's standards for being redevelopment-ready. Having options allows communities to select a program that is more tailored to their needs such as capacity to plan and implement, specific goals, and unique local factors. The detailed differences between the two programs are laid out in the Updated [RRC 2.0 Handbook](#). The goal is to transition nearly all 300 communities to the 2.0 best practices by June 1 2021 (with some exceptions).

Michigan Economic Development Corporation. More information: <https://www.miplace.org/programs/redevelopment-ready-communities/rrc-2.0/>

News

Governor's Budget Includes Additional Money for Municipalities

"Following last month's Consensus Revenue Estimating Conference that revealed a rosier than expected state revenue picture, the state finds itself in a position where it has additional, one-time revenues from the prior budget year available to expend."

Governor Whitmer's recommended budget includes a 2% increase to statutory revenue sharing, which amounts to an additional \$5.2 million for cities, villages, and townships. This statutory increase is coupled with an estimated increase of 1.8% (\$15.4 million) in per capita Constitutional revenue sharing payments. Appropriations subcommittees in both the House and the Senate will begin their review of the Governor's recommendations. Initial deliberation on the budget is expected to continue through the legislative spring break at the end of March, until concluding prior to the summer recess. More detail about the fiscal year 2022 executive budget can be found [here](#).

Michigan Municipal League. More information: <http://blogs.mml.org/wp/inside208/category/revenue-sharing-2/?nomobile>

Legal and Legislative

Sandstone Creek Solar, LLC (Plaintiff) v. Township of Benton (Defendant)

"Benton Township's interim zoning ordinance drastically restricts what farmers and families can do on their own private land." -- Lindsay Smith, a spokeswoman for Geronimo Energy

When the plaintiff purchased 850 acres of farmland for a solar farm, Benton Township relied on Eaton County's Land Development Code (LDC), which did not address solar farms. In anticipation of the plaintiff's application, the County began to update its ordinances, to facilitate the impending request. Benton Township's Board of Trustees disapproved and resolved that the proposal was inconsistent with the master plan. With the County planning to move forward anyway, Benton Township established an interim zoning ordinance and moratorium on zoning permits. The plaintiff filed a referendum challenging the interim zoning ordinance.

Verdict and Commentary

Of the five counts put forward by the plaintiff, the jury trial court dismissed three of them: (count 1) interim zoning was invalid, (count 4) a violation of FOIA, and (count 5) refusal to accept the referendum was unlawful. On appeal Counts 2 and 3 were remanded regarding an improper moratorium and that interim zoning was exclusionary.

This case speaks to the power of aligning local plans with higher levels of government, intergovernmental cooperation, private property rights, and the power of master planning for future land uses.

State of Michigan Court of Appeals. More information: <http://www.michbar.org/file/opinions/appeals/2021/020421/74809.pdf>. This summary has been edited for length.

Lansing State Journal. Quotation. <https://www.wind-watch.org/news/2020/02/12/eaton-county-judge-dismisses-solar-companys-lawsuit-says-township-can-enact-ordinances/>

Training and Education

MAP and CEDAM Educational Opportunities

MAP Master Planning Process

Information on the requirements, components, and stakeholder involvement you'll need to organize when drafting or amending a master plan.

Tuesday, March 30 and Wednesday March 31, from 6-8 PM; Members: \$75; Nonmembers: \$100

Michigan Association of Planning. More information: <https://www.planningmi.org/regional-workshops>

Community Economic Development Association of Michigan (CEDAM)

The Michigan Small Town & Rural Development Conference has gone virtual in 2021. It begins Tuesday afternoon

with Keynote Speaker Whitney Kimball Coe, the Director of National Programs at the Center for Rural Strategies. The day will continue breakout sessions, the annual Pitch Competition, as well as a special networking event. The conference continues on Wednesday with additional breakout sessions and the announcement of the winner of the pitch competition.

The conference is geared toward those working in and on behalf of small or rural communities in Michigan and is hosted by the Rural Partners of Michigan.

Tuesday April 13 1:00 pm - Wednesday April 14 12:30 pm

Base fee: \$265

CEDAM. More information: <https://members-cedam.wildapricot.org/widget/event-4128315?CalendarViewType=1&SelectedDate=4/12/2021>