



LINCOLN PARK PLANNING COMMISSION

May 12, 2021 at 7 p.m.

REMOTE MEETING VIA ZOOM

Call: 1 646 558 8656

Web: www.zoom.us

Meeting ID: 734 663 2622

Participant ID is #

AGENDA

- I. **Call to Order**
- II. **Roll Call**
- III. **Approval of Previous Minutes**
- IV. **Approval of Agenda**
- V. **Old Business**
 - A. *Public Hearing: 881 Southfield – Auto Repair & Sales*
 - B. *Site Plan Review: 881 Southfield – Auto Repair & Sales*
 - C. *Special Land Use: 881 Southfield – Auto Repair & Sales*
- VI. **New Business**
 - A. *Site Plan Review: 787 Southfield – Center for Veterans*
 - B. *Conceptual Review: 1005 John A. Papalas – Marijuana Establishment*
- VII. **Policy Review and Discussion**
- VIII. **Education and Training** (*see May planning report*)
- IX. **Reports from Department and Other Boards and Commissions**
- X. **Public Comments**
- XI. **Comments from Planning Commissioners**
- XII. **Adjournment**

The City of Lincoln Park will provide necessary reasonable auxiliary aides and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park MI 48146; 313-386-1800 ext. 1296

**CITY OF LINCOLN PARK
COUNTY OF WAYNE, STATE OF MICHIGAN
PLANNING COMMISSION MEETING OF APRIL 14, 2021**

A Planning Commission meeting of April 14, 2021, via Zoom for Lincoln Park, Michigan was called to order at 7:00 p.m. by Mr. Kissel, Commencing with the Pledge of Allegiance.

PRESENT: Palmer, Kissel, Horvath, Persinger, Duprey

ABSENT: Briones

EXCUSED: Graczyk, LoDuca

ALSO PRESENT: Elizabeth Gunden, John Meyers, Maureen Tobin, Ken Beck, Charlie Yors, DCC, Alex Sturwold, Andy Nevel, Gerry Schsemechoen, Matt Chafaro, Jack Berdan, Beau Tomlinson, Gina Vantine, Jose Lonis Martinez, Jason Orchard, Jonathon Seguia, Matt Motz, Lillian Ross

APPROVAL OF MINUTES

Moved by: Persinger to approve the minutes as submitted

Supported by: Duprey

MOTION CARRIED unanimously

APPROVAL OF AGENDA

Moved by: Persinger to approve the agenda as submitted

Supported by: Duprey

MOTION CARRIED unanimously

OLD BUSINESS

(A) Site Plan Review: 3727 Dix Car Wash

The applicant proposed to build an automatic automobile wash facility (car wash). The property is a 0.91-acre lot that is currently vacant. The site is located on the corner of Dix Highway and Emmons Boulevard. There is an existing 6-ft. concrete sidewalk along both Dix Hwy. and Emmons Blvd., and the rear (east) side of the property abuts an unpaved alley. The site currently has four access points – three along Dix Hwy. and one along Emmons Blvd. The proposed project will result in only two access points – one along Emmons Blvd. and one along Dix Highway, to be a shared access point with the neighboring Sonic establishment.

Propose that the city of Lincoln Park Planning Commission approve the site plan numbered PPC21-0007, PROPSOING A CAR WASH AT 3727 Dix Highway and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on finding that the proposal substantially complies with the requirements of Subsection 1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

Discussion

Moved by: Persinger

Supported by: Horvath

Yes: Palmer, Kissel, Horvath, Persinger

No:

Abstain: Duprey

MOTION CARRIED

(B) Public Hearing: 3727 Dix – Car Wash

Public Hearing opened at 7:34 p.m.

Seeing no public comment and hearing no public comment.

Public Hearing closed at 7:35 p.m.

(C) Special Land Use: 3727 Dix – Car Wash

Public Hearing opened at 7:36 p.m.

The proposed Special Land Use approval would permit an automatic automobile wash facility (car wash) on a currently vacant lot. The site is located on the corner of Dix Highway and Emmons Boulevard. The proposed use of an automatic automobile wash facility is permitted within the Municipal Business District (MBD) after Special Land Use approval under §1278.03 of the Lincoln Park Zoning Code, and subject to §1296.02. All 10 Special Land Use Conditions for City Standards have been met.

The proposal is that the Lincoln Park Planning Commission grant Special Land Use Approval for a car wash facility at 3727 Dix Highway, as requested in PPC 21-007, based on an affirmative finding of compliance with the criteria set forth in Section 1262.08 of the Lincoln Park Zoning Code.

Moved by: Persinger

Supported by: Duprey

MOTION CARRIED unanimously

Public Hearing closed at 7: 37 p.m.

NEW BUSINESS

(A) Site Plan Review : 2911 Fort – Beauty Salon

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

The approximately 0.25-acre site is located on Fort Street between Champaign Road and Progress Avenue. The site does not have access directly from Fort Street; instead, access is via the alley immediately adjacent to the east, which connects Champaign Road and Progress Avenue. The project site is part of a larger parcel, which includes the existing business to the south and a shared parking lot.

Proposed that the City of Lincoln Park Planning Commission approves the site plan numbered PPC 20-005, proposing a beauty salon at 2911 Fort Street and consisting of the pages and revision dates found

under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

Discussion.

Moved by: Horvath

Supported by: Duprey

MOTION CARRIED unanimously

POLICY REVIEW AND DISCUSSION

A. ZONING TEXT AMENDMENT – ONLINE RETAIL

The City of Lincoln Park is increasingly getting requests for “online retail” uses, typically referring to the use of an existing commercial building for the storage of products to be sold online, often with accompanying office space. “Online retail” is non-customer-facing, which is inherently different than retail in traditional customer-facing commercial districts. The Zoning Ordinance does not currently have a definition for an “online retail” use; however, due to the changing retail realities of increased online shopping, exacerbated by the Covid-19 pandemic, it has become apparent that this use should be considered for incorporation into the Zoning Ordinance. Below are some possible solutions for incorporating online-retail-type uses, accompanied by discussion questions, as well as preliminary recommendations for how to incorporate the use into the Zoning Ordinance.

The current definition of a Retail Store specifies that the sale of goods is customer-facing: “Any building or structure in which goods, wares, or merchandise are sold to the consumer for direct consumption and not for resale.” Below are two possible definitions for an “online retail” use and an “online retail establishment” that could be added to the list of permitted uses in certain zoning districts:

Online Retail: Retail or wholesale sales where the transaction originates on and is completed on the Internet via an individual website or a third-party marketplace. These transactions may include taking orders, closing sales, making purchases, providing customer service, processing and packaging orders, and other similar activities that serve the business’s overall purpose.

Online Retail Establishment: A building that may contain goods which are warehoused, distributed, and/or retailed at the same location. Products may be purchased in-person onsite or online via the Internet. (Could also be called “online retail and warehouse establishment”).

The “Makerspace” district is still evolving and perhaps make more sense to incorporate at a later date. The Development Team recommended bringing this concept to the Planning Commission, discussing the possible solutions, and then proceeding forward with Commission input.

Discussion.

Tabled for further discussion on the next agenda.

EDUCATION AND TRAINING

A. Select April Training Date (Site Plan Review Part II)

- i. Site Plan Review – April 29, 2021 from 5-8 PM.*

REPORTS FROM DEPARTMENTS AND OTHER BOARDS AND COMMISSIONS

PUBLIC COMMENTS

Lillian Ross brought up that the Heritage Museum is doing 100-year anniversary centennial brick contribution where you can place an order, and they'll be mounted at the museum. She also brought up a question asking whether a flat roof or a pitched roof is acceptable and why.

COMMENTS FROM PLANNING COMMISSIONERS

Planning Commissioner Persinger was asking what is going in at the Old Cee Em Bar and was told a Mexican restaurant.

ADJOURNMENT

Moved by: Persinger to adjourn

Supported by: Duprey

MOTION CARRIED unanimously

Meeting adjourned at 8:31 p.m.

MICHAEL HORVATH, Secretary

881 Southfield – Auto Sales

Site Plan Review

Applicant	Roger Canzano
Project	Auto Sales
Address	881 Southfield Rd. Lincoln Park, MI 48146
Date	May 12, 2021
Request	Site Plan Review

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description

The proposed project adds the use of Auto Sales to an existing Auto Repair Facility. The property is 9,520 sq. ft., which consists of a 5,203 sq. ft. existing one-story building and 4,317 sq. ft. of open space. The proposed Auto Sales occupies the east side of the building, approximately 2,708 sq. ft. The Auto Repair Facility occupies the west section of the building, approximately 2,495 sq. ft.



Figure 1: Aerial View

The existing Automotive Repair Station does not meet the standards of 1294.14, which governs Automotive Service Stations, Repair Centers, and Public Garages. This review treats the existing business as legally nonconforming, and it evaluates only the proposed addition of the Sales use. It explicitly does not grant Special Land Use approval to the existing Automotive Repair use.

Site Conditions

The site is located between Southfield Rd to the north and Wilson Ave to the west. The site is served by a 5 ft. concrete sidewalk along Wilson Ave; however, the sidewalk

discontinues alongside the property at Southfield Rd and starts to appear again on the far east side of the property. The rear side of the property is adjoining a public alley. An outdoor auto display area is proposed

in front of the building, consisting of four auto display spaces, and there are six proposed customer parking spaces on the east side of building.

Master Plan

Future Land Use Classification

The future land use classification for the site is General Commercial. The proposed use of Auto Sales and Auto Repair Facility is consistent with the designation.

Intent; Desirable Uses and Elements

The General Commercial land use is intended to provide retail goods and services on a city-wide scale as well as a regional scale that draw customers from within and outside the City. This land use is appropriate location for automobile-oriented uses such as restaurants, gas stations with or without convenience stores, minor auto repair shops, and car washes that comply with special design standards that are not appropriate in other City areas such as the downtown.

Land Use and Zoning

Zoning

The site is zoned Municipal Business District (MBD). The proposed uses of Auto Sales and Auto Repair Facility are permitted after special approval under section 1278.03, listed below.



Figure 2: Zoning Map

§1278.03 Uses Permitted After Special Approval

(d) Automotive repair stations, provided any outdoor storage of vehicles is screened in accordance with the standards of Section 1294.28, Screening.

(k) New or used mobile home, excavation equipment, machinery or farm implement sales; new or used motor vehicle or recreational vehicle sales or rentals, including boats, snowmobiles, travel trailers, campers, motor homes, tents and accessory equipment, wherein motor vehicles or recreational vehicles are stored or displayed outside of completely enclosed buildings.

Proposed and Existing Uses

Site	Commercial; Municipal Business District (MBD)
North	R.O.W then Commercial; Municipal Business District (MBD)
East	Commercial; Municipal Business District (MBD)
South	Public Alley then Multiple Family Residential District (MFRD)
West	R.O.W then Commercial;Municipal Business District

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
01	Site Plan	6/15/2020	4/10/2021
02	Ex. Floor Plan	6/15/2020	4/10/2021
03	Ex. Plumbing Plan	6/15/2020	-
04	Ex. Electrical Plan	6/15/2020	-
05	Ex. Heating Plan	6/15/2020	-
06	Elevations	-	4/10/2021

Engineering comments state that the plans (Sheet 01, Site Plan) are difficult to understand and that it is difficult to determine what is being proposed and what is to remain. There should be a separate plan showing the existing conditions and one showing what is proposed.

Items to be addressed

- The plans must be signed by the Professional Engineer.*
- The applicant shall provide a two separate sheets for the site plan – one for existing conditions and one for proposed changes.*

Dimensional Standards

The dimensional requirements of the Municipal Business District (MBD) district are described in the chart below. (§1294.32, except where noted)

	Required	Provided	Compliance
Lot Width (§1294.14)	Min. 40 ft.	140 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls 2 ½' < height < 8'	Proposed tree at northwest corner of the lot. Proposed height of branches is 5' 6"	Met
Lot Area (§1294.14)	Min. 4,000 sq. ft.	9,520 sq. ft.	Met
Lot Coverage	Max. 50%	Approximately 55%	NOT MET
Height	Two story; 25 ft.	One story; 14 ft.	Met
Setback – Front (§1294.14)	0	49 ft of the building frontage is located on the property line, and 61 ft is located 26 ft from the property line.	Met
Setback – Sides (§1294.14) (§1294.32)	0 ft along Wilson Ave; 0 ft interior property line	42 ft. of the building is located 2 ft. from property line adjoining Willson Ave and 26' is located 61 ft. away; Provided 29 ft. adjoining MBD property	Met
Setback – Rear (§1294.14)	0 adjoining public alley	89 ft. of the building is located on the rear property line.	Met

The proposal exceeds the permitted lot coverage, but it does not increase it.

The existing Automotive Repair Station does not meet the standards of 1294.14, which governs Automotive Service Stations, Repair Centers, and Public Garages. This review treats the existing business as legally nonconforming, and it evaluates only the proposed addition of the Sales use. It explicitly does not grant Special Land Use approval to the existing Automotive Repair use.



Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> • Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' 	Met
<ul style="list-style-type: none"> • Architectural variety 	Met

Required	Compliance
<ul style="list-style-type: none"> Similar materials and entrances to buildings within 500'  <p>Figure 03: The site, Southfield Rd and Wilson Ave corner</p>  <p>Figure 04: Southfield Rd looking East</p>	
<ul style="list-style-type: none"> Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) <u>Front (facing Southfield): 58% (878 sf / 1525 sf)</u> Beveled wood siding over CMU wall: 878 sf Shingled roof: 467 sf Windows (exempt): 86 sf Metal doors: 180 sf Total: 1,611 sf <u>Rear (facing alley): 87% masonry (1,338 sf / 1,543 sf)</u> CMU wall: 1,338 sf Parapet: 159 sf Metal doors: 46 sf Total: 1,543 sf <u>Right (facing Wilson): 81% masonry (785 sf / 965 sf)</u> CMU wall: 785 sf Shingled roof: 3 sf Window (exempt): 15 sf Metal doors: 177 sf Total: 980 sf <u>Left (facing east): 99% masonry (927 sf / 931 sf)</u> CMU wall: 927 sf Shingled roof: 4 sf Total: 931 sf 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block) Natural colors (bright for decorative features only). <i>Front and West facades are painted in dark grey color; East and Rear facades are painted tan.</i> 	<p>NOT MET</p>
<ul style="list-style-type: none"> Façade: <100' uninterrupted If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches 	<p>Met</p>

Required	Compliance
<ul style="list-style-type: none"> All sides similar 	
<ul style="list-style-type: none"> Windows: vertical, recessed, visually obvious sills Spaces between windows = columns, mullions, or material found elsewhere on façade Front facades > 25% windows <i>Southfield Rd: ~5% transparency (86 sf / 1,611 sf); Wilson Ave: ~1.5% (15 sf / 980 sf)</i> Size, shape, orientation, spacing to match buildings within 500' 	NOT MET
<ul style="list-style-type: none"> Main entrances: doors larger Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) 	Met
<ul style="list-style-type: none"> Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 Rooflines >100' = roof forms, parapets, cornice lines Roof-top mechanical equipment screened by roof form. <i>No indication of mechanical equipment located on the roof</i> 	Met

The building materials and transparency (windows) do not meet the standards but may be preserved so long as the nonconformity is not increased. The plan notes that “all elevations will remain the same except the 10 x 10 steel rollup door on front elevation will be closed off,” but does not indicate the material or manner that will be used to do so. As the proposal does not include changes to the building façade, the City has historically permitted existing façade conditions to remain.

Items to be addressed

- *Sheet 06 to indicate method and materials used to close off steel rollup door. Existing and proposed elevations shall be shown for all facades which will be changed.*

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The site is served by a 5-ft concrete sidewalk at Wilson Ave followed by an 8-ft asphalt Blvd with few to no curbs. Also, the sidewalk discontinues at the property line at Southfield Rd, and it reappears at the far east

side of the property. This existing condition presents a dominant vehicular circulation without consideration for safe pedestrian circulation, see Figure 05 below. The applicant proposes a 6.5 ft concrete sidewalk along Southfield Rd that connects the Wilson Ave sidewalk with the sidewalk on Southfield Rd to provide a safe pedestrian circulation.

Engineering comments state that sidewalk details and cross section must be provided at the time of the detailed engineering review. Additionally, Engineering comments state that there are currently cars parked in the proposed sidewalk area, and there must not be any parking allowed from the proposed sidewalk to the road. The applicant also proposes to remove the asphalt between the sidewalk

and Southfield Rd along entire property frontage and replace with sod; these are addressed under Landscaping, below. There are no bicycle facilities along the ROW or bicycle parking facilities proposed.



Figure 5: Existing sidewalk and lack thereof; existing cars parked in proposed sidewalk area.

Items to be addressed

- Applicant shall ensure that existing and new concrete sidewalks are brought up to City standards.
- Applicant shall provide details and cross sections of the proposed sidewalk at the time of the detailed engineering review.
- Applicant shall ensure that no cars will be parked from the proposed sidewalk to the road.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Automobile and truck sales, with or without automotive service and/or repair facilities	One (1) for every four hundred (400) square feet of gross floor area of the sales room, plus one (1) for each employee on duty based upon maximum employment shift, plus spaces required for any automotive service and/or repair facilities. <i>Showroom (32' X 66' 4"):</i> 2,123 /400 = 6 <i>Employee:</i> 2 employees = 2	6	NOT MET

Automotive service stations	One (1) for each employee, plus one (1) for the owner and/or manager, plus two (2) for each service bay. <i>Employee: included above</i> <i>Manager/Owner = 1</i> <i>Service bay: 2X2 = 4</i>		
<i>Total</i>	<i>13 Parking Spaces</i>		

§1290.01 (q) Waiver or Modification of Standards for Special Situations.

The Planning Commission may reduce or waive the number of off-street parking and/or loading spaces required for a specific use, provided they determine that no good purpose would be served by providing the required number of such spaces. In making such a determination to reduce or waive the requirements for off-street parking and/or loading spaces of this chapter, the following may be considered:

- (1) Extent that existing off-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use.
- (2) Extent that existing on-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use without negatively impacting traffic safety or adjacent uses.
- (3) Existing and proposed building placement.
- (4) Location and proximity of municipal parking lots and/or public alleys.
- (5) Agreements for parking and/or loading spaces with adjacent or nearby property owners.

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Proposed ingress only on Wilson and egress only from west Southfield access point. Ingress and egress provided from east Southfield access point.	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Outdoor parking area and auto display area is covered with asphalt and/or concrete, though is in poor condition and needs to be brought up to City standards.	NOT MET
	Concrete curbs and gutters	Concrete curbs and gutters are indicated between the sidewalks and Southfield Rd and Wilson Ave Only. No curb lines are shown between the sidewalk and display area.	Partially Met
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	Proposed 6-ft solid masonry wall to replace 8-ft chain link fence at the rear of the property.	Met

	Required	Proposed	Compliance
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	The auto display area is adjoining Southfield Rd and Wilson Ave. The parking area is adjoining the public alley with access from Southfield Rd. There is a proposed 6-ft solid masonry wall that will screen the rear parking area.	Met
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	Auto display area configuration plus ingress only from Wilson Ave. and Egress only to Southfield Rd. prevent the use of the street and sidewalk for backing or maneuvering.	Met
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	N/A	NOT MET

The site plan proposes a total of 6 spaces for the site along with four on-street parking spaces along Wilson Ave. and one on-street parking space along Southfield Rd. Both uses combined require 13 spaces, and the Planning Commission has the power to waive this requirement based on evidence of lower demand. Applicant comment, preferably with supporting data, is requested regarding how the proposed parking configuration will serve new and old customers’ parking needs.

Engineering comments state that the existing asphalt in the proposed display area is in poor condition and needs to be brought up to City standards. The proposed customer parking area was fenced off at the time of the Engineer’s site visit; however, if the pavement is in poor condition, it will also need to be replaced and brought up to City standards.



Figure 6: Existing concrete and asphalt conditions.

Items to be addressed

- Applicant shall comment on how the proposed parking configuration will serve new and old customers’ parking needs, preferably supported by data related to usage history and sales projections.
- A parking waiver is requested from the Planning Commission to reduce the number of required parking spaces from 13 to 6. Factors for consideration are the size constraints of the site and the availability of on-street parking.
- Applicant shall replace the existing asphalt and bring all parking areas up to City standards.
- Applicant shall provide pavement details and cross-sections at the time of the detailed engineering review.
- Applicant shall remove note on Sheet 01, Site Plan indicating that there will be auto display spaces inside the building.

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 to 25	1	0	NOT MET

Items to be addressed

- Applicant shall provide the one required barrier-free parking space.

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
5,001 to 20,000	0	Proposed loading area in alley.	Met

Items to be addressed

None

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Road, Fort Street, Dix Avenue, and Outer Drive.

Required	Provided	Compliance
<ul style="list-style-type: none"> Single two-way driveway or pair of one-way driveways Two-way: 25' < throat width < 30' (face to face of curb). One-way paired: each 20' measured perpendicularly. May be separated by 10' median; sidewalks shall be continued or maintained 25' radii; 30' radii where daily truck traffic expected Corner lots: one access point per street with >100' frontage If frontage >300' and documented need (ITE), may allow additional access with design restrictions If frontage >600', max of 3 drives may be allowed; one with design restrictions 	<ul style="list-style-type: none"> One single-way and one two-way driveway on Southfield Rd. Two-way: proposed to increase from 14' to 28'; One-way: existing width is 32'; Sidewalk proposed to be continued/maintained 10 ft radii Two access points from Southfield Rd. and one from Wilson Ave. Not Applicable Not Applicable 	<p>NOT MET</p> <p>Partially Met</p> <p>NOT MET NOT MET</p> <p>N/A</p> <p>N/A</p>
<ul style="list-style-type: none"> Shared access: driveways along property lines, connecting parking lots, on-site frontage roads, rear service drives. Encouraged and may be required for sites within 1/4 mile of major intersections; having dual frontage; with <300' frontage; with sight distance problems; along congested or accident-prone roadway segments Connection to adjacent facilities may be required; site accommodation may be required for future connection to undeveloped adjacent property Letters of agreement or access easements required 	Not Applicable	N/A
<ul style="list-style-type: none"> Triangular unobstructed view areas: from corner of two ROWs, 25' along each; from corner of ROW and driveway, 10' along driveway and 5' along ROW Grass / groundcover only in 3' strip abutting driveway and ROW Trees permitted if trimmed between 30" and 6' from ground level 	Proposed tree at northwest corner of the lot. Proposed height of branches is 5' 6"	Met
<ul style="list-style-type: none"> May require drive to be located on the far side of the property from congested intersections >150' from signalized intersection or 4-way stop, or right-turn-only at 75' from intersection >100' otherwise >200' from centerline of I-75 access ramps 	Not Applicable	N/A
<ul style="list-style-type: none"> Same side of street: Driveway spacing determined by speed limits in §1290.10. <i>Speed limit is 35 mph = 150' driveway spacing</i> 	<ul style="list-style-type: none"> Driveway spacing on Southfield Rd is ~26 ft. 	NOT MET

Required	Provided	Compliance
<ul style="list-style-type: none"> Across the street: Driveways directly aligned or >150' offset (excludes right-turn-only) Directional driveways, divided driveways, and deceleration tapers and/or by-pass lanes may be required by the Planning Commission where they will reduce congestion and accident potential 	<ul style="list-style-type: none"> Not Applicable Not Applicable 	<p>N/A</p> <p>N/A</p>

The driveways as proposed do not meet the standards for width, radius, or number. The driveways are existing, however, and there is work proposed on the eastern Southfield driveway which will bring it into compliance. Because the project is redeveloping an existing site, the Planning Commission has the authority to apply the standards to the maximum extent possible if it determines that compliance with all the standards of this section is unreasonable. Engineering comments note “concerns for the work being proposed in the Southfield Road right of way. ... The engineer will need to make sure what is being proposed in the Southfield right of way will be acceptable with Wayne County.”

(4) For expansion and/or redevelopment of existing sites where the Planning Commission determines that compliance with all the standards of this section is unreasonable, the standards shall be applied to the maximum extent possible. In such situations, suitable alternatives which substantially achieve the purpose of this section may be accepted by the Planning Commission, provided that the applicant demonstrates that all of the following apply:

- A. The size of the parcel is insufficient to meet the dimensional standards.
- B. The spacing of existing, adjacent driveways or environmental constraints prohibit adherence to the access standards at a reasonable cost.
- C. The use will generate less than five hundred (500) total vehicle trips per day or less than seventy-five (75) total vehicle trips in the peak hour of travel on the adjacent street, based on rates developed by the Institute of Transportation Engineers (ITE).
- D. There is no other reasonable means of access.

Items to be addressed

- Due to specific configuration concerns related to this site, site plan comments are requested from the Wayne County Road Commission to inform this approval decision.*

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via Southfield Rd. or Wilson Ave. The Lincoln Park Police Department has reviewed this plan and indicates no outstanding issues.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	Proposed 9.5-ft. greenbelt between Southfield Rd. and sidewalk, and proposed 8-ft. greenbelt between Wilson Ave. and sidewalk.	Met with waiver
	1 tree and 4 shrubs per 40' of street frontage <i>Southfield Rd:</i> 140 ft. (Southfield Rd.) + 68 ft. (Wilson Ave.) = 208 ft. street frontage = 5 trees and 21 shrubs 30% redevelopment standard = 1.5 trees and 6 shrubs	2 proposed trees on Southfield. No shrubs provided.	Partially Met
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	Not applicable	N/A
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>(9,520 sf * 0.1) = 952 sf landscaping</i> 30% redevelopment standard = 268 sf	997 sf landscaping proposed in proposed spaces between street ROW and sidewalks.	Met
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Proposed trees grouped along sidewalk.	Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>952 sf = 3 trees and 4 shrubs</i> 30% redevelopment standard = 268 sf = 0 trees and 1 shrub	1 of 2 proposed trees on Wilson count toward interior landscaping requirements. No shrubs provided.	Partially Met

	Required	Proposed	Compliance
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces <i>6 spaces (parking area) + 4 (auto display area) = 10 spaces = 1 tree</i>	1 of 2 proposed trees on Wilson count toward parking lot landscaping requirements.	Met
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Not provided; applicant proposes indoor rollout dumpster, but details not provided.	INQUIRY
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive); solid 6' masonry wall ornamental on both sides	Proposed 6-ft solid masonry wall to replace 8-ft chain link fence at the rear of the property.	Met

The applicant only needs to meet 30% of the landscaping requirements for the redevelopment of an existing site. The four proposed trees meet the 30% redevelopment standard; however there does not appear to be sufficient space to add the required shrubs as well.

Items to be addressed

- A waiver is requested from the Planning Commission for relief from the 10-ft. required greenbelt width (9.5 ft. and 8 ft.) and shrub landscaping requirements for street and interior landscaping. The required number of street trees have been provided (4) and the site size and existing site features prevent the provision of the 7 required shrubs as well.*
- Applicant shall provide details on the proposed indoor rollout dumpster.*
- Applicant shall remove the note on Sheet 01, Site Plan indicating that the chain link fence in the front will be trimmed as this fence will be removed entirely.*

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.*

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site. Engineering comments state that if the existing sanitary sewer is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. If the existing water service is being reused, it is important that the developer realize this existing water service is also old and may have reached its life expectancy. If the existing service is a lead-type service or undersized, it will be required to be removed and replaced. The design professional must verify the existing water service type, size, and lead capacity and should verify that the existing service is adequate to handle the required flows.

Items to be addressed

- The applicant shall verify that the existing sanitary service is adequate to handle the required flows for the building's use.*
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*
- Applicant shall verify the existing water service type, size, and lead capacity and shall verify that the existing service is adequate to handle the required flows.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County. No new stormwater management system is proposed on the site.

Items to be addressed

- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

The site is served by an existing light pole located on the corner of Southfield Rd and Wilson Ave. The Site Plan, sheet 01 and Elevations, sheet 06 indicate two outdoor light fixtures with shields, one on the left side elevation facing the auto display area and one on the left side elevation facing the Wilson Ave. The existing lighting appears to be shielded and downward facing.

Items to be addressed

None

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

No mechanical equipment is visible from the right-of-way.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during site plan review is for illustrative purposes only.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

The proposed use is expected to generate some quantity of hazardous materials or waste. Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal.

Items to be addressed

- Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal of hazardous materials and waste.*

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

As noted above, this review addresses the additional use and treats the existing auto repair use as legally nonconforming. There are no specific standards for Auto Sales.

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Southfield Road is under the jurisdiction of Wayne County. All work within the right-of-way shall be approved by the Wayne County Road Commission. Engineering comments indicate concerns for the work being proposed in the Southfield Road right-of-way. From an engineering feasibility standpoint, the plans are incomplete and lack enough detail, and there currently is not enough information to determine if the proposed changes within the Southfield Road right-of-way will be acceptable with Wayne County.

Items to be addressed

- Work in the Southfield Road right of way requires a permit from the Wayne County Road Commission. Engineering comments have raised concerns about the acceptability of the proposed work to WCRC. Based on the specific configuration of the site and proposal, WCRC comments are requested to be submitted to the Planning Commission.*
- Applicant shall provide plans of sufficient detail to determine feasibility from an engineering standpoint.*
- Applicant to secure all appropriate agency reviews as needed.*

VARIANCES

No variances are anticipated from this proposal.

Items to be addressed

None

RECOMMENDATIONS

Findings

The most pressing item of consideration before the Planning Commission is the proposed parking arrangement and whether what is proposed will be sufficient. The applicant has gone through several iterations of the site plan, and has come up with what appears to be the best possible solution given the size and layout constraints of the existing site. However, even in the best possible case, less than half of the required parking spaces have been provided. The applicant is requested to provide comment, preferably supported by usage data, which offer sufficient justification for the Planning Commission to grant such a substantial waiver. Additionally, Engineering comments indicate concerns for the work being proposed in the Southfield Road right-of-way. From an engineering feasibility standpoint, the plans are incomplete and lack enough detail, and there currently is not enough information to determine if the proposed changes within the Southfield Road right-of-way will be acceptable with Wayne County. The City Engineer recommends tabling this approval until sufficient information is provided. The City Planner further recommends that once these acceptable drawings have been produced, that preliminary comments from the Wayne County Road Commission be submitted to the Planning Commission for consideration before an approval decision is made.

Conditions and Waivers

Waivers

- *A parking waiver is requested from the Planning Commission to reduce the number of required parking spaces from 13 to 6. Factors for consideration are the size constraints of the site and the availability of on-street parking.*
- *A waiver is requested from the Planning Commission for relief from the 10-ft. required greenbelt width (9.5 ft. and 8 ft.) and shrub landscaping requirements for street and interior landscaping. The required number of street trees have been provided (4) and the site size and existing site features prevent the provision of the 7 required shrubs as well.*

Conditions to be Addressed Before Approval Letter is Issued

- *The plans must be signed by the Professional Engineer.*
- *The applicant shall provide a two separate sheets for the site plan – one for existing conditions and one for proposed changes.*
- *Sheet 06 to indicate method and materials used to close off steel rollup door. Existing and proposed elevations shall be shown for all facades which will be changed.*
- *Applicant shall comment on how the proposed parking configuration will serve new and old customers' parking needs, preferably supported by data related to usage history and sales projections.*
- *Applicant shall remove note on Sheet 01, Site Plan indicating that there will be auto display spaces inside the building.*

- Applicant shall provide the one required barrier-free parking space.
- Applicant shall provide details on the proposed indoor rollout dumpster.
- Work in the Southfield Road right of way requires a permit from the Wayne County Road Commission. Engineering comments have raised concerns about the acceptability of the proposed work to WCRC. Based on the specific configuration of the site and proposal, WCRC comments are requested to be submitted to the Planning Commission.
- Applicant shall provide plans of sufficient detail to determine feasibility from an engineering standpoint. Applicant shall remove the note on Sheet 01, Site Plan indicating that the chain link fence in the front will be trimmed as this fence will be removed entirely.

Conditions of Approval

- Applicant shall ensure that existing and new concrete sidewalks are brought up to City standards.
- Applicant shall provide details and cross sections of the proposed sidewalk at the time of the detailed engineering review.
- Applicant shall ensure that no cars will be parked from the proposed sidewalk to the road.
- Applicant shall replace the existing asphalt and bring all parking areas up to City standards.
- Applicant shall provide pavement details and cross-sections at the time of the detailed engineering review.
- The applicant shall verify that the existing sanitary service is adequate to handle the required flows for the building's use.
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.
- Applicant shall verify the existing water service type, size, and lead capacity and shall verify that the existing service is adequate to handle the required flows.
- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal of hazardous materials and waste.
- Work in the Southfield Road right of way requires a permit from the Wayne County Road Commission.
- Applicant to secure all appropriate agency reviews as needed.

Proposed Motion

I move that the City of Lincoln Park Planning Commission **table** the Site Plan Review request for auto sales at 881 Southfield Road, as requested in PI 20-003, until additional details are provided.

881 Southfield – Auto Sales Special Land Use Review

Applicant	Roger Canzano
Project	Auto Sales
Address	881 Southfield Rd. Lincoln Park, MI 48146
Date	May 12, 2021
Request	Special Land Use Approval

REQUEST

The applicant proposes to obtain Special Land Use approval to add an auto sales use to an existing auto repair facility. The property is 9,520 sq ft, which consists of a 5,203 sq ft existing one-story building and 4,317 sq ft of open space. The proposed auto sales occupies the east side of the building, approximately 2,708 sq ft. The auto repair facility occupies the west section of the building, approximately 2,495 sq ft. The proposed use of an automotive repair facility and used motor vehicle sales is permitted within the Municipal Business District (MBD) after Special Land Use Approval under section 1278.03 of the Lincoln Park Zoning Code, and subject to section 1294.14.

The property is legally described as:

FE125A2—129A W ½ LOT 125. ALSO LOTS 126 TO 129 INCL EXC NLY 54 FT THEREOF EMPIRE POINT SUB PC 85 L33 P44 WCR

CRITERIA FOR REVIEW

The following conditions are all required to be met before a Special Land Use approval may be granted:

- 1) The special use will promote the use of land in a socially and economically desirable manner for persons who will use the proposed land use or activity, for landowners and residents who are adjacent thereto and for the City as a whole;

This condition is MET.

- 2) The special use is compatible and in accordance with the goals, objectives and policies of the City's Comprehensive Development Plan;

The Future Land Use classification for the site is General Commercial.

The General Commercial land use is intended to provide retail goods and services on a city-wide scale as well as a regional scale that draw customers from within and outside the City. This land use is appropriate location for automobile-oriented uses such as restaurants, gas stations with or without convenience stores, minor auto repair shops, and car washes that comply with special design standards that are not appropriate in other City areas such as the downtown.

This condition is MET

- 3) The special use is necessary for the public convenience at that location;

This condition is MET.

- 4) The special use is compatible with adjacent uses of land, and can be constructed, operated and maintained so as to continue to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed;

The proposal will improve landscaping and screening on the site, protecting residential properties on the other side of the alley; and it is compatible with adjacent commercial uses.

This condition is MET.

- 5) The special use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected;

The proposal will improve landscaping, screening, and access on the site.

This condition is MET.

- 6) The special use can be adequately served by public services and facilities without diminishing or adversely affecting public services and facilities to existing land uses in the area;

This condition is MET.

- 7) The special use will not cause injury to the value of other property in the neighborhood in which it is to be located;

This condition is MET.

- 8) The special use will protect the natural environment, help conserve natural resources and energy, and will not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance;

The proposal does nothing to protect the natural environment; however, it does provide landscaping on the site where there was previously none.

This condition is PARTIALLY MET.

- 9) The special use is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located, and meets applicable site design standards for use in Section 1296.02; and

There are no specific standards for auto sales.

This condition is MET.

- 10) The special use is related to the valid exercise of the City's police power and purposes which are affected by the proposed use or activity.

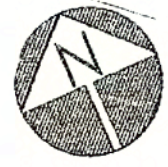
This condition is MET.

PROPOSED MOTION

I move that the City of Lincoln Park Planning Commission **table** the Special Land Use for auto sales at 881 Southfield Road, as requested in PI 20-003, until the required details for Site Plan Review are provided.

CITY MOTOR WORKS
881 SOUTHFIELD RD
LINCOLN PARK, MI
48146

SHEET TITLE
PROJECT NAME
 ADD USED CAR SALES TO
 EXISTING AUTO REPAIR
SITE PLAN



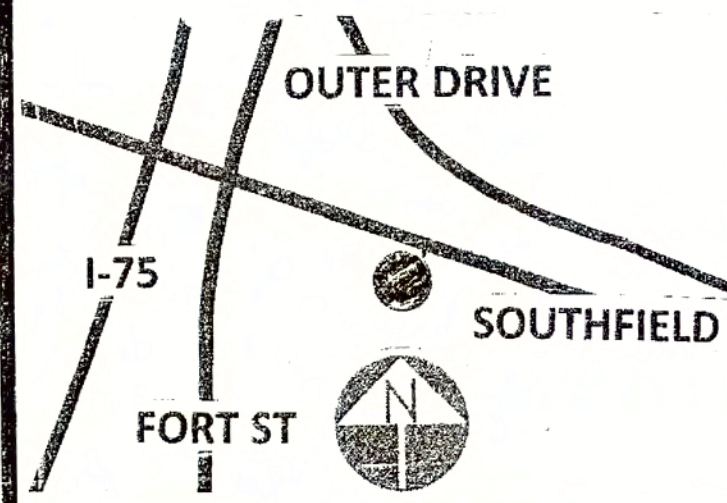
SCALE 1" = 10 FT

CURRENT OWNER
 HEBRON HOLDINGS, LLC
 881 SOUTHFIELD RD
 LINCOLN PARK, MI 48146

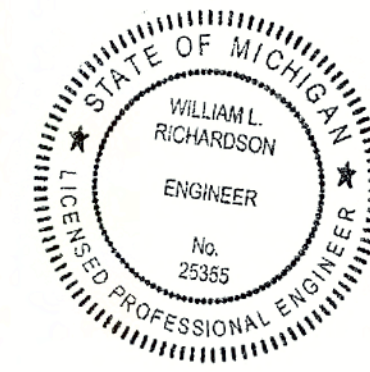
PARCEL ID

45008050125003

LOCATION MAP



LEGAL DESCRIPTION
 FE125A2--129A W 1/2 LOT 125
 ALSO LOTS 126 TO 129 INCL EXC
 NLY 54 FT THEREOF EMPIRE POINT
 SUB PC 85 L33 P44 WCR
 ACRES= 0.24859



APPLICABLE CODES

2015 MICHIGAN PLUMBING CODE
 ANSI 117.1-2003 ACCESSIBILITY
 2015 MICHIGAN ENERGY CODE
 ASHREA 90.1-2007
 2012 INTERNATIONAL FIRE CODE
 2015 MICHIGAN BUILDING CODE
 2015 MICHIGAN MECHANICAL CODE
 2017 NATIONAL ELECTRIC CODE

SITE INFORMATION

*** SITE SIZE 9,520 SQ FT
 *** BUILDING SIZE 5203 SQ FT
 *** CURRENT ZONING MUNICIPAL BUSINESS DISTRICT
 *** CURRENT USE AUTO REPAIR
 *** PROPOSED USE USED AUTO SALES
 *** USE GROUP BUSINESS GROUP B
 *** CONSTRUCTION TYPE III B
 ** CUSTOMER PARKING REQUIRED 650 SQ FT
 ** CUSTOMER PARKING PROVIDED 2,625 SQ FT AREA (WELL LIT)

NOTE:
 THERE WILL BE NO INDOOR PARKING
 OF DISPLAY VEHICLES

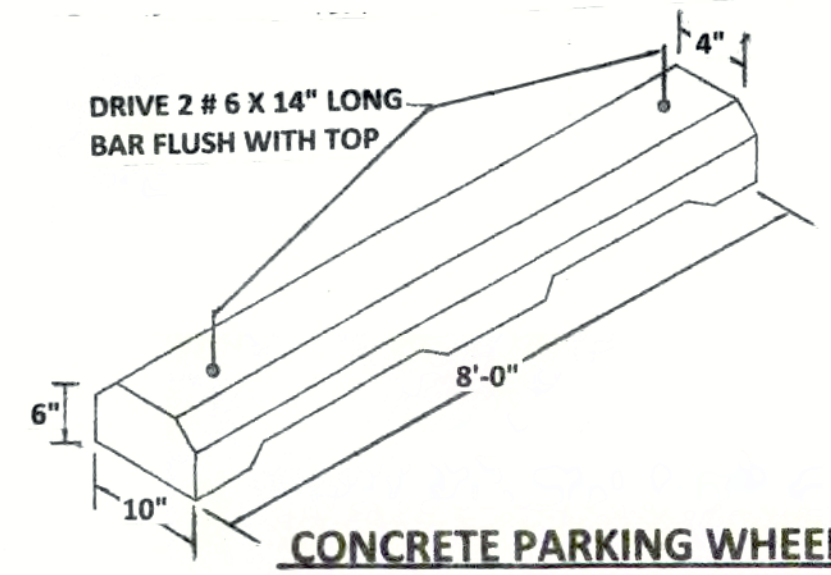
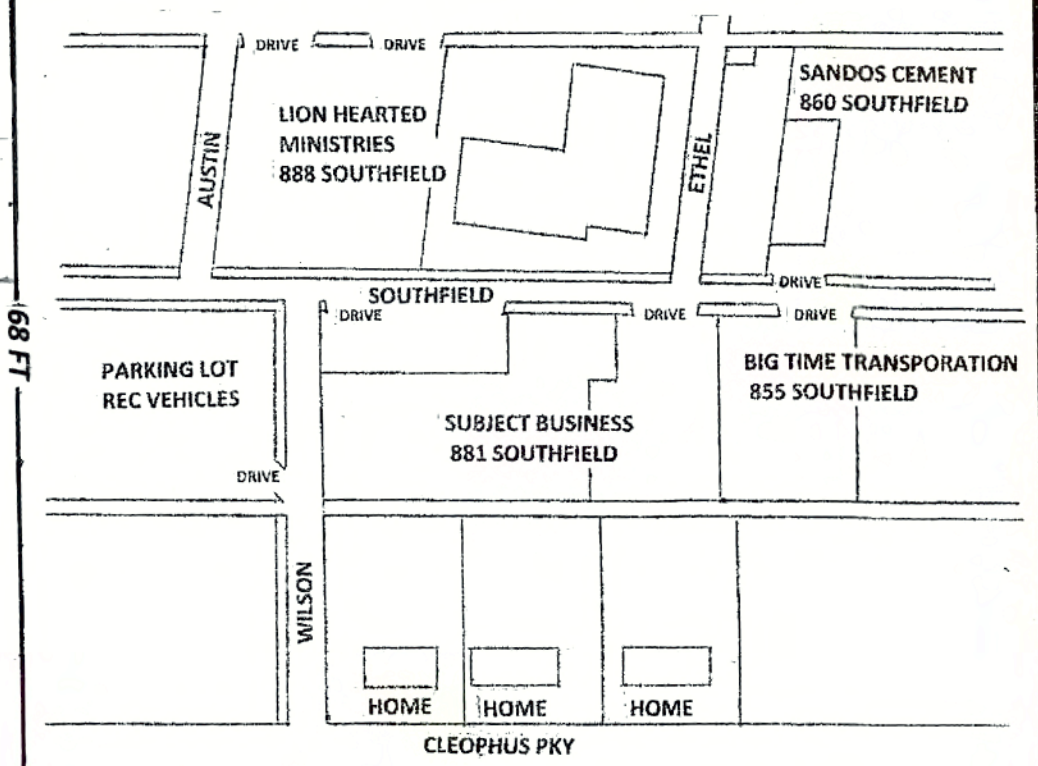
DATE OF SUBMITTAL 06/15/2020
 DATE OF 1ST REVISION 01/04/2021
 DATE OF 2ND REVISION 02/24/2021
 DATE OF 3RD REVISION 04/10/2021

PROJECT APPLICANT
YASER MAHMOUD FOR:
CITY MOTORWORKS, INC
 313-949-1372

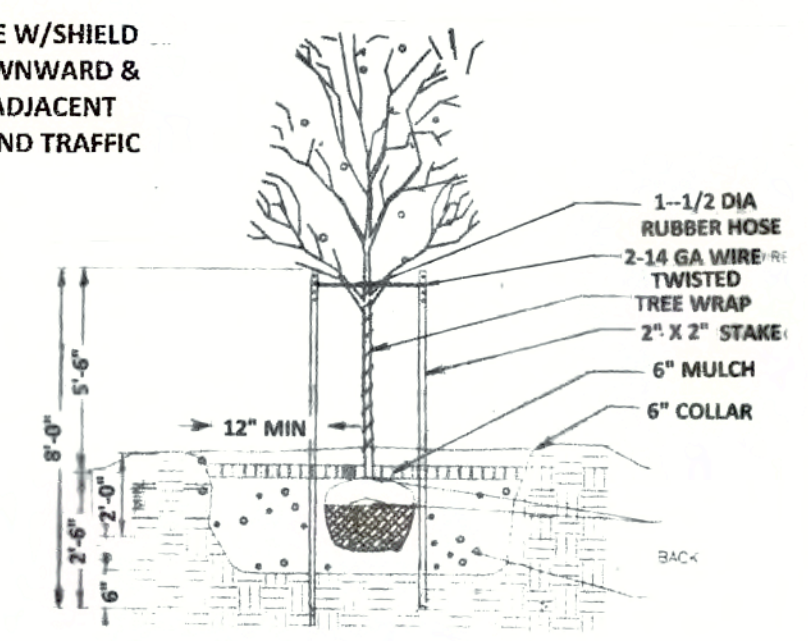
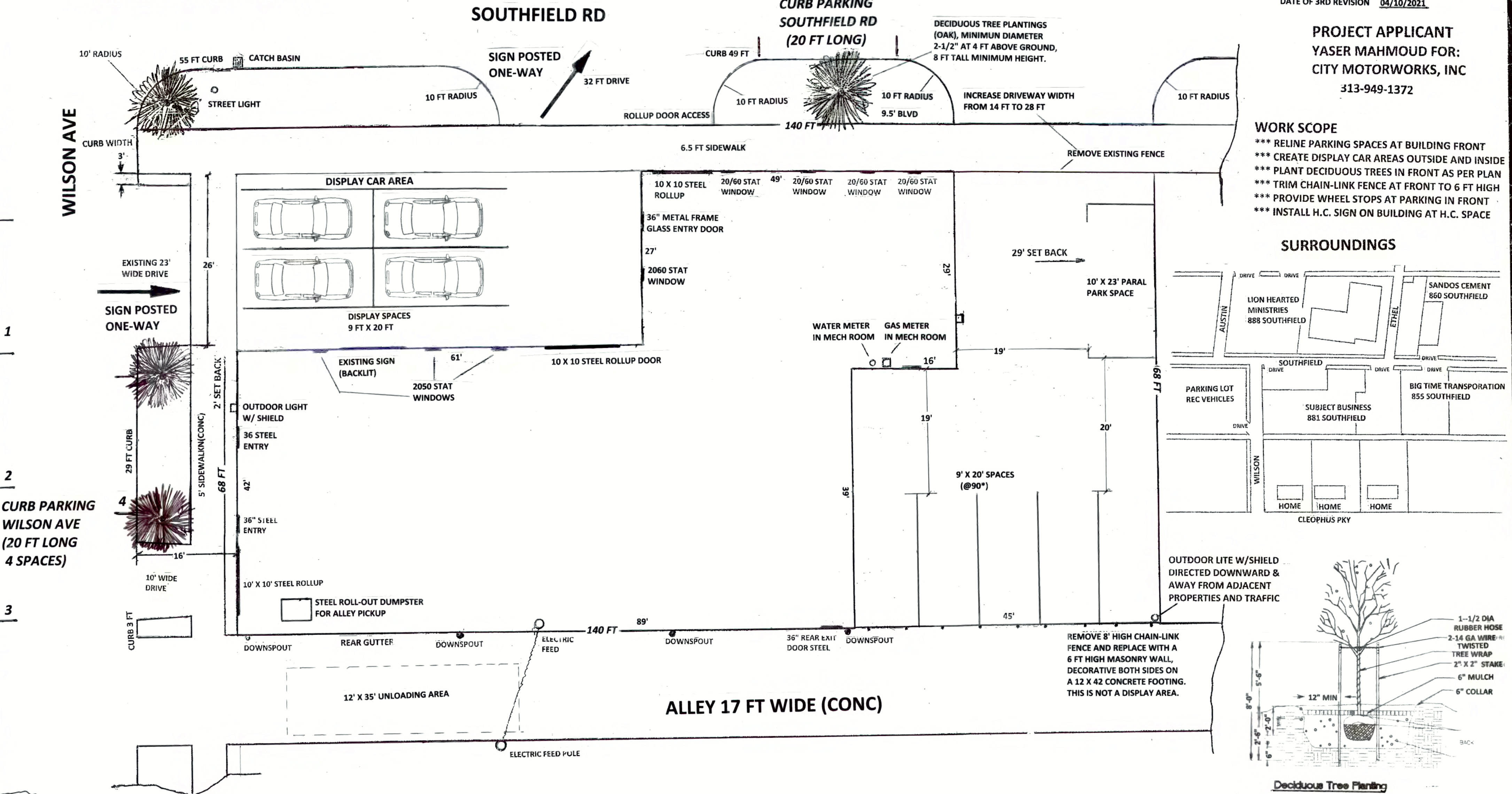
WORK SCOPE

- *** RELINE PARKING SPACES AT BUILDING FRONT
- *** CREATE DISPLAY CAR AREAS OUTSIDE AND INSIDE
- *** PLANT DECIDUOUS TREES IN FRONT AS PER PLAN
- *** TRIM CHAIN-LINK FENCE AT FRONT TO 6 FT HIGH
- *** PROVIDE WHEEL STOPS AT PARKING IN FRONT
- *** INSTALL H.C. SIGN ON BUILDING AT H.C. SPACE

SURROUNDINGS



CONCRETE PARKING WHEEL STOP



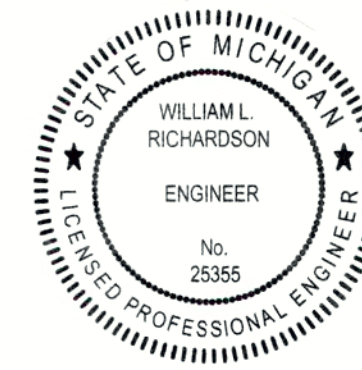
Deciduous Tree Planting

CITY MOTOR WORKS
881 SOUTHFIELD RD
LINCOLN PARK, MI
48146

SHEET TITLE

EX FLOOR PLAN

SCALE 1" = 6 FT



APPLICABLE CODES

2015 MICHIGAN PLUMBING CODE
 ANSI 117.1-2003 ACCESSIBILITY
 2015 MICHIGAN ENERGY CODE
 ASHREA 90.1-2007
 2012 INTERNATIONAL FIRE CODE
 2015 MICHIGAN BUILDING CODE
 2015 MICHIGAN MECHANICAL CODE
 2017 NATIONAL ELECTRIC CODE

DATE OF SUBMITTAL 06/15/2020
 DATE OF 1ST REVISION _____
 DATE OF 2ND REVISION _____

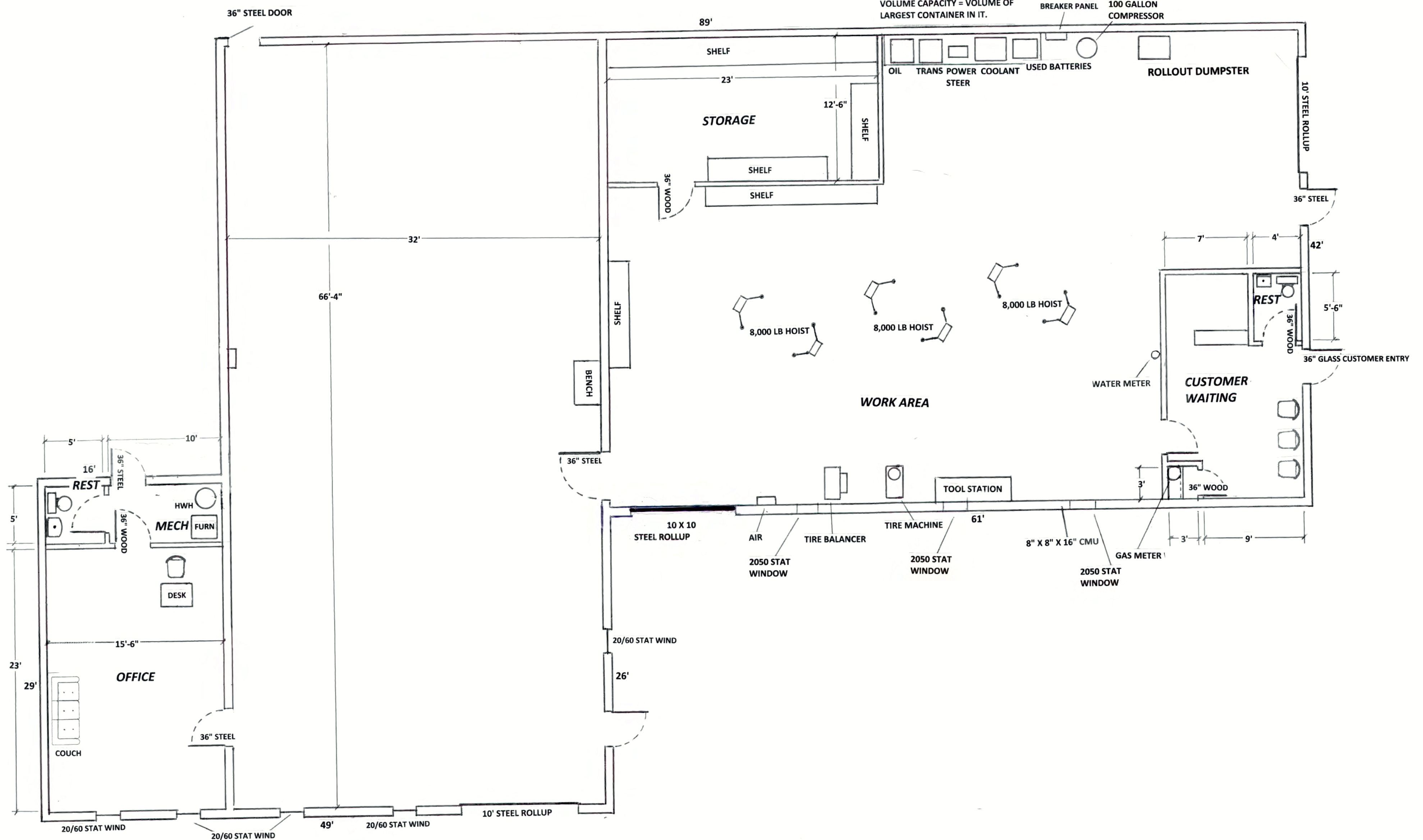
ROOM FINISH SCHEDULE

ROOM	FLOOR	WALLS	CEILING
RESTROOM 1	CERAMIC	PAINT/DRYWALL	2' X 4' CEIL TILE
MECH ROOM	CERAMIC	PAINT/DRYWALL	2' X 4' CEIL TILE
OFFICE	CERAMIC	PAINT/DRYWALL	2' X 4' CEIL TILE
STORAGE	CONCRETE	PAINT/BLOCK	PAINT DRYWALL
WORK AREA	CONCRETE	PAINT/BLOCK	OPEN TO ROOF
RESTROOM 2	CERAMIC	PAINT/DRYWALL	PAINT/DRYWALL
CUSTOMER WAIT	CERAMIC	PAINT/DRYWALL	2' X 4' CEIL TILE

OCCUPANCY LOAD

OFFICE	345/100	=	3
SHOWROOM	2,174/300	=	7
STORAGE	312/200	=	1
WORK AREA	1,922/300	=	6
CUST SALES	185/25	=	7
TOTAL			= 24

NOTE:
 USED FLUIDS STORAGE CONTAINERS TO BE LABELED "USED" AND AS TO THEIR CONTENTS. CONTAINERS TO BE PLACED IN A SECONDARY FLUID CONTAINMENT CONTAINER WITH VOLUME CAPACITY = VOLUME OF LARGEST CONTAINER IN IT.



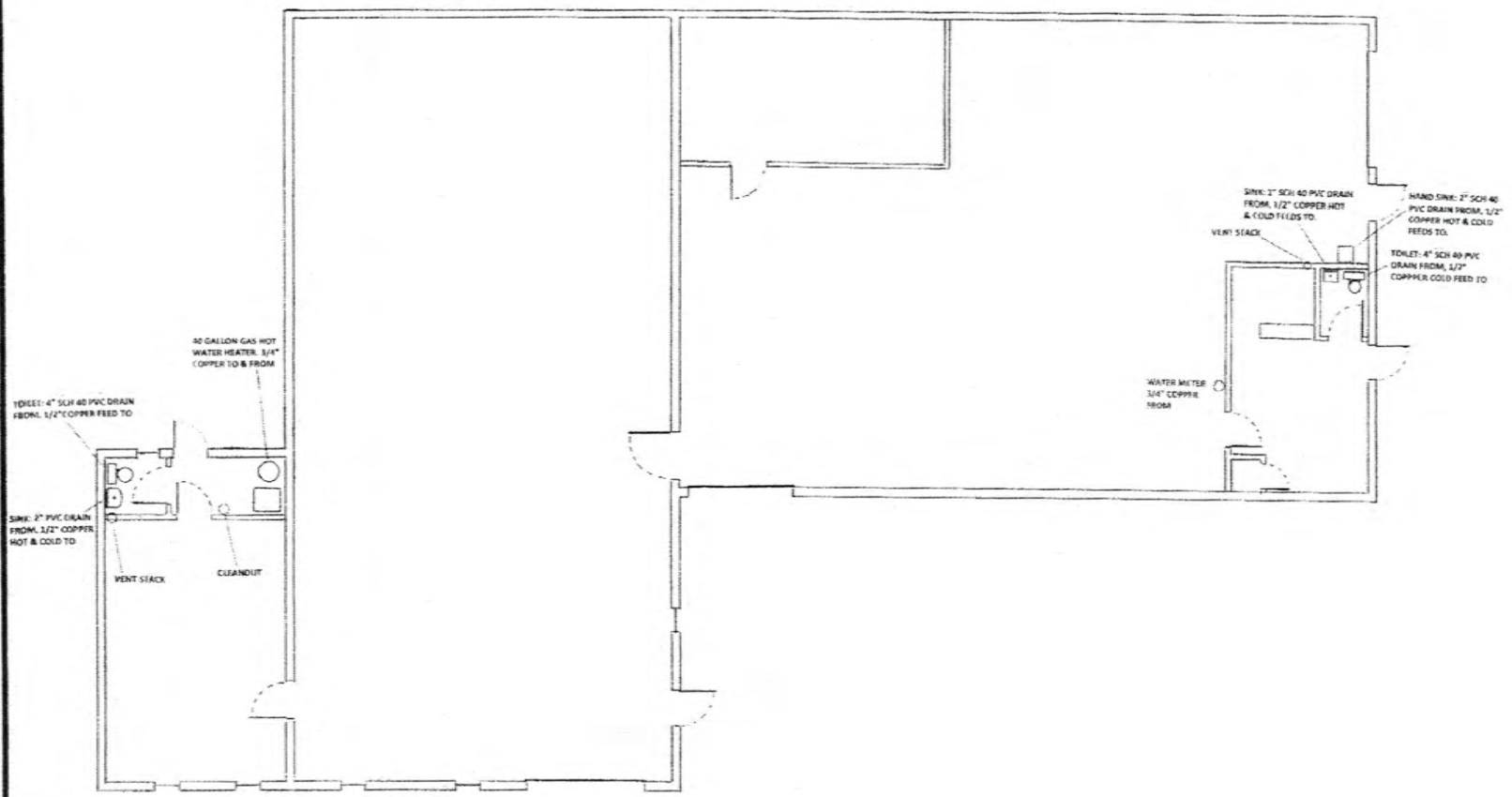
CITY MOTOR WORKS
881 SOUTHFIELD RD
LINCOLN PARK, MI
48146

SHEET TITLE
EX PLUMBING PLAN

SCALE 1" = 6 FT



APPLICABLE CODES
2015 MICHIGAN PLUMBING CODE
ANSI A117.1-2003 ACCESSIBILITY
2015 MICHIGAN EMERGENCY CODE
ASPPFA 90.1-2007
2012 INTERNATIONAL FIRE CODE
2015 MICHIGAN BUILDING CODE
2015 MICHIGAN MECHANICAL CODE
2017 NATIONAL ELECTRIC CODE



CITY MOTOR WORKS
 881 SOUTHFIELD RD
 LINCOLN PARK, MI
 48146

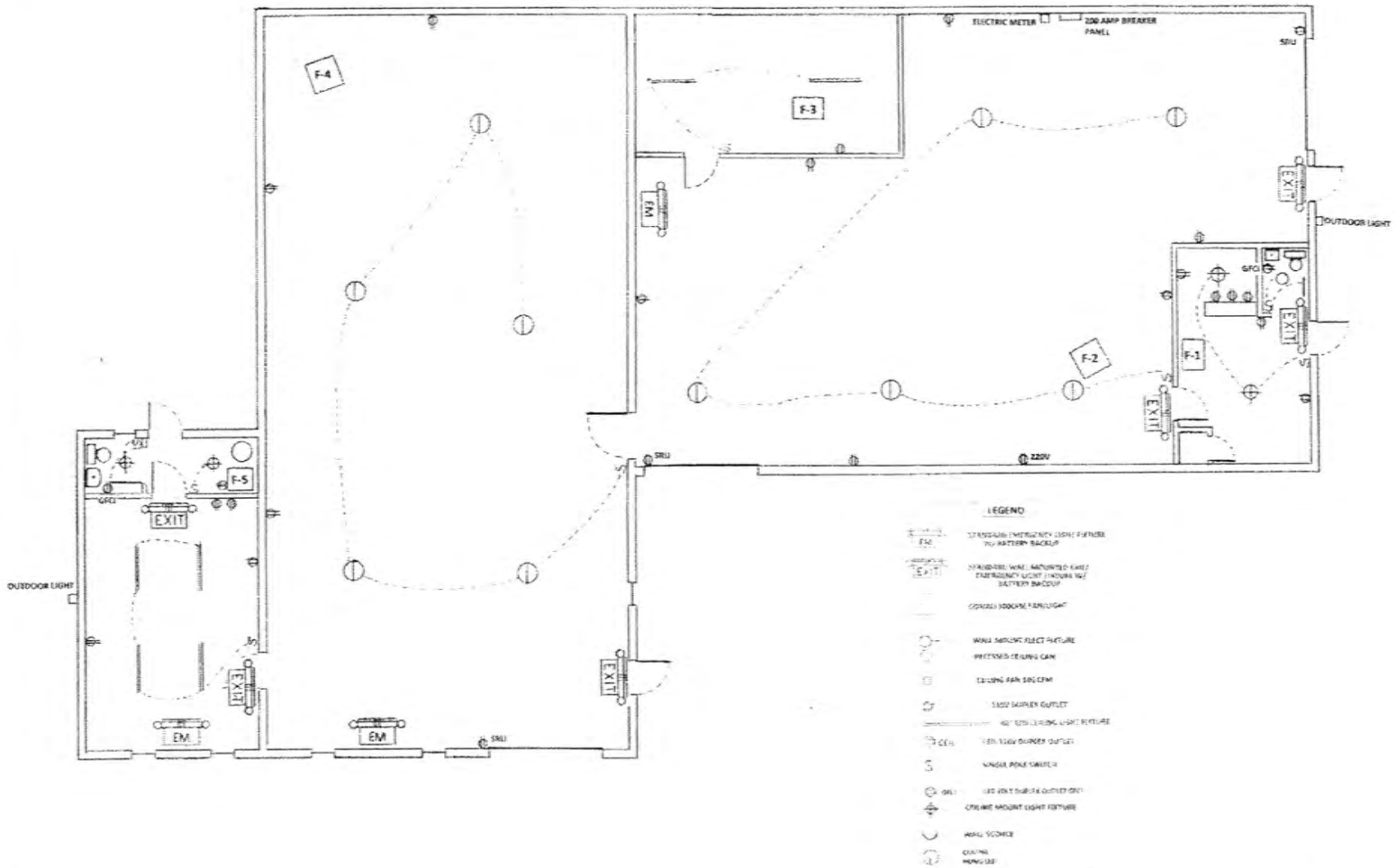
SHEET TITLE
 EX ELECTRICAL PLAN

SCALE 1" = 6 FT



APPLICABLE CODES

2005 MICHIGAN PLUMBING CODE
 ANSI 117.2 2003 ACCESSIBILITY
 2015 MICHIGAN ENERGY CODE
 ASHRAE 90.1-2007
 2013 INTERNATIONAL FIRE CODE
 2015 MICHIGAN BUILDING CODE
 2015 MICHIGAN MECHANICAL CODE
 2017 NATIONAL ELECTRIC CODE



CITY MOTOR WORKS
881 SOUTHFIELD RD
LINCOLN PARK, MI
48146

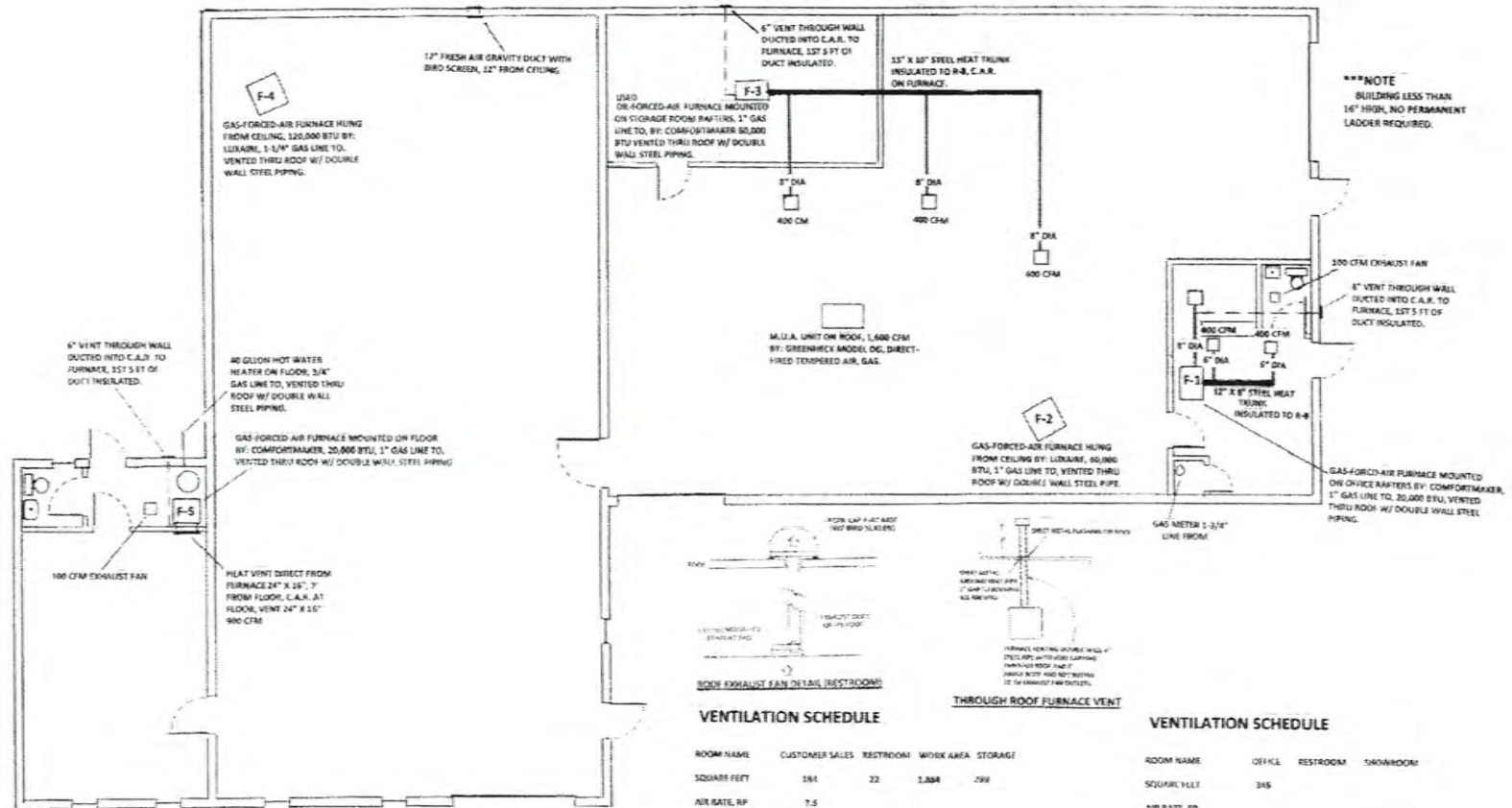
SHEET TITLE
EX HEATING PLAN

SCALE 1" = 6 FT



APPLICABLE CODES

- 2015 MICHIGAN PLUMBING CODE
- ANSI 117.1 EGGS ACCESSIBILITY
- 2015 MICHIGAN ENERGY CODE
- ASHRAE 90.1-2007
- 2012 INTERNATIONAL FIRE CODE
- 2015 MICHIGAN BUILDING CODE
- 2015 MICHIGAN MECHANICAL CODE
- 2017 NATIONAL ELECTRIC CODE



***NOTE
 BUILDING LESS THAN
 16' HIGH, NO PERMANENT
 LADDER REQUIRED.



VENTILATION SCHEDULE

ROOM NAME	CUSTOMER SALES	RESTROOM	WORK AREA	STORAGE
SQUARE FEET	181	22	1,884	299
AIR RATE, RP (CFM/PERSON)	7.5			
OUTDOOR AIR RATE RA (CFM/SQ FT)	0.17		0.75CFM/5F	0.12
RP X # PEOPLE + RA X SQ FT (CFM)	134		1,413	35
CORRECTED CFM (X1,000 FT2)	168		1,766	43
OCCUPANT DENSITY (X1,000 FT2)	35			
EXHAUST AIR				
-CFM		75		
-R FIK		1		
-CFM		100		
SYSTEM	F-1	F-5	F-2,F-3	
TOTAL CFM F-1 = 168			TOTAL CFM F-2,F-3 = 1,809	

VENTILATION SCHEDULE

ROOM NAME	OFFICE	RESTROOM	SHOWROOM
SQUARE FEET	345		
AIR RATE, RP (CFM/PERSON)	5		
OUTDOOR AIR RATE RA (CFM/SQ FT)	0.6		PROVIDE 12" GRAVITY VENT
RP X # PEOPLE + RA X SQ FT (CFM)	45		
CORRECTED CFM (X1,000 FT2)	57		
OCCUPANT DENSITY (X1,000 FT2)	5		
EXHAUST AIR			
-CFM		75	
-R FIK		1	
-CFM		100	
SYSTEM	F-5	F-5	
TOTAL CFM F-5 = 57			

FURNACE SCHEDULE

TAG	TOTAL INPUT BTU/H	CFM	E.S.P. (IN)	WEIGHT (LBS)	FAN DATA (R.P. 1/2PH)	MOTOR DATA (R.P. 1/2PH)	DRIVE TYPE	MANUFACTURER	REMARKS
F-1	20,000	800	0.5	178	1	120/1	DIRECT	COMFORTMAKER	1,2,3,4
F-2	60,000	1,200	0.5	199	4	120/1	DIRECT	LEISURE	1,2,3,4
F-3	60,000	1,200	0.5	225	1	120/1	DIRECT	COMFORTMAKER	1,2,3,4
F-4	120,000	1,600	0.5	216	8	120/1	DIRECT	LEISURE	1,2,3,4
F-5	35,000	900	0.5	186	1	120/1	DIRECT	COMFORTMAKER	1,2,3,4

EXHAUST FAN SCHEDULE

TAG	CFM	STATIC PRESS (IN WC)	FAN DATA (R.P. 1/2PH)	MOTOR DATA (R.P. 1/2PH)	WEIGHT (LBS)	MANUFACTURER	REMARKS		
EF-1	100	0.4	CEMTR 1,100	155	1	60	90	BY OWNER	1,3
EF-2	100	0.4	CEMTR 1,100	155	1	60	90	BY OWNER	1,3

CITY MOTOR WORKS
 881 SOUTHFIELD RD
 LINCOLN PARK, MI
 48146

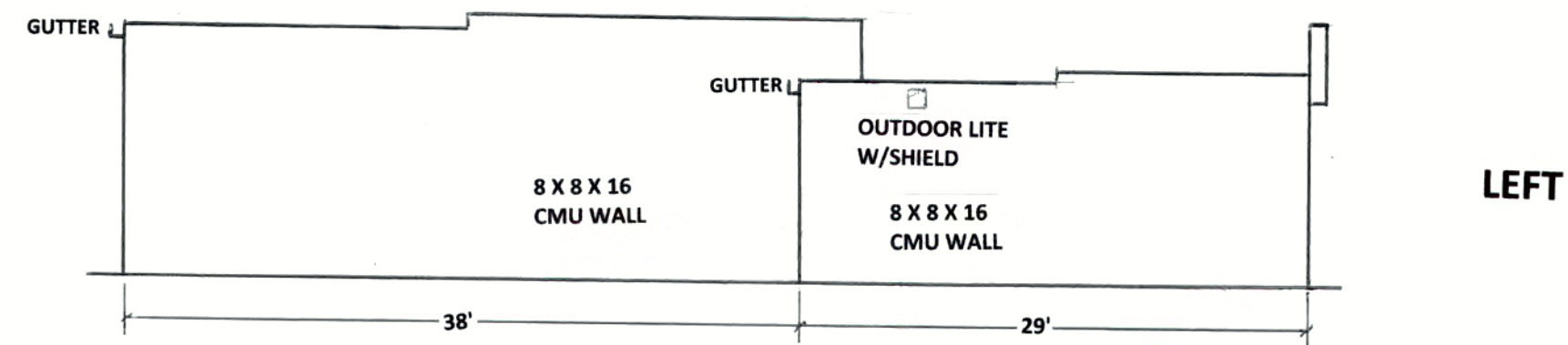
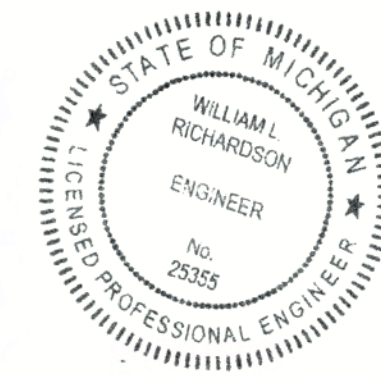
SHEET TITLE

ELEVATIONS

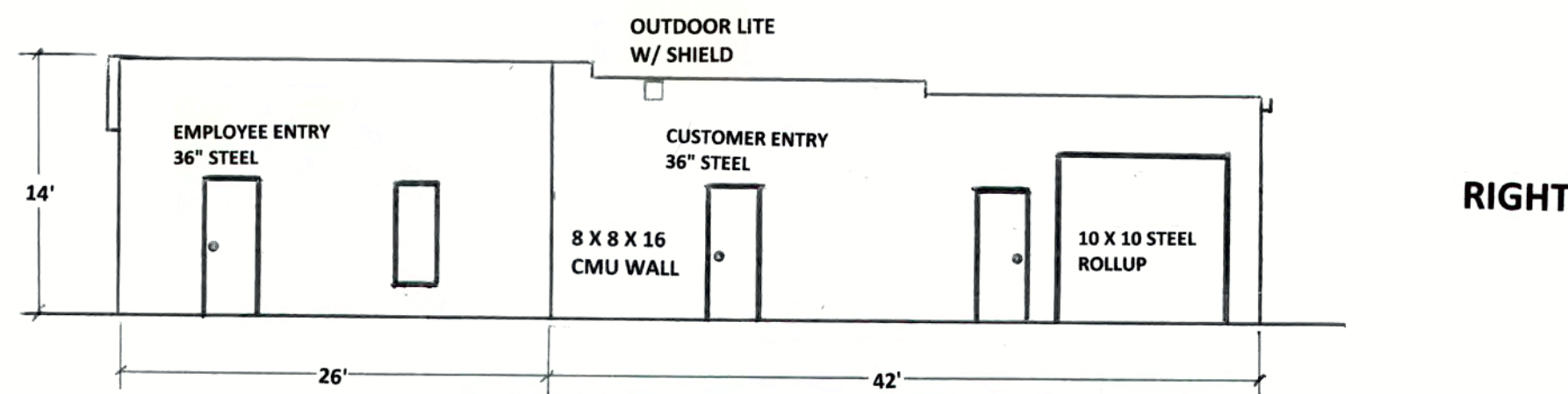
SCALE 1" = 10 FT

APPLICABLE CODES

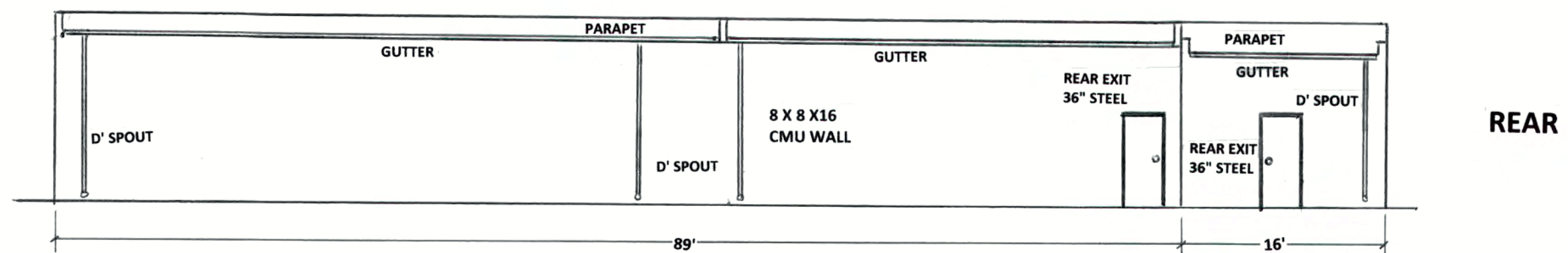
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 ANSI 117.1-2003 ACCESSIBILITY
 2015 MICHIGAN ENERGY CODE
 ASHREA 90.1-2007
 2012 INTERNATIONAL FIRE CODE
 2015 MICHIGAN BUILDING CODE
 2015 MICHIGAN MECHANICAL CODE
 2017 NATIONAL ELECTRIC CODE



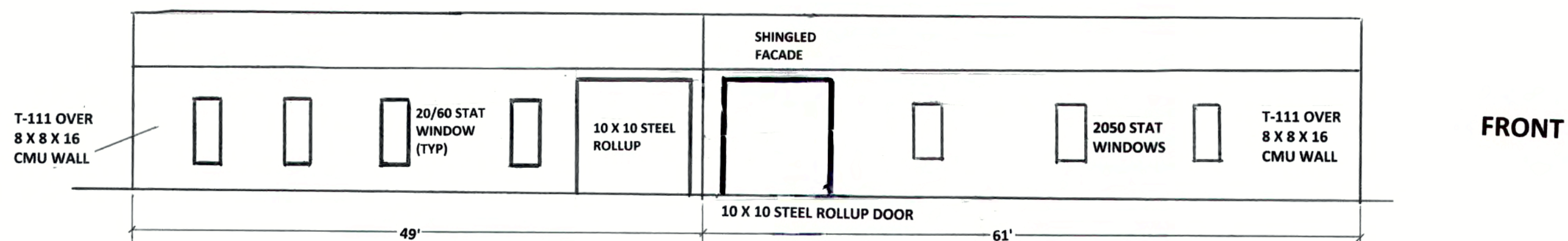
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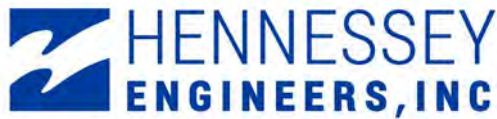


REAR



FRONT

NOTE:
 -- ALL ELEVATIONS WILL
 REMAIN THE SAME
 EXCEPT THE 10 X 10
 STEEL ROLLUP DOOR
 ON FRONT ELEVATION
 WILL BE CLOSED OFF



May 3, 2021

Ms. Leah DuMouchel, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI, 48103-4978

**Re: City Motor Works
881 Southfield Road
City of Lincoln Park, MI
Hennessey Project 72146**

Dear Ms. DuMouchel:

Hennessey Engineers, Inc., completed our first review of the plans for the Planning Commission submittal dated April 10, 2021 and received via email from you.

The project consists of an existing commercial building for use of automotive repairs.

Listed below are some comments which should to be addressed prior to the Site Plan.

GENERAL

1. The plans must be signed by the Professional Engineer.
2. Southfield Road is under the jurisdiction of Wayne County. All work in Southfield Road right of way requires review and approval by Wayne County. A permit is required.
3. Based on the plans the existing water and sanitary sewer service leads for each unit are going to be reused.

RECOMMENDATIONS

4. If the existing sanitary sewer service is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead.
5. The site plan does not show any new water service connections. If the existing water service is being reused, it is important that the developer realize this existing water service is old and may have reached its life expectancy.

REQUIRED

6. **If the existing service is a lead type service, it will be required to be removed and replaced. The engineer or architect must verify existing water service type and size.** The engineer/architect should verify that the existing service is adequate to handle the required flows. If it is undersized for the proposed use of the building or if it is a lead type service, it must be replaced. The developer's engineer or architect shall determine the water service lead capacity.

Sheet 01

7. The plans are difficult to understand. I cannot determine what is being proposed and what is to remain. There should be a separate plan showing what are the existing conditions and what is being proposed.
8. The plans call for a 6.5 foot walk along the front of the building. Currently, there is not a walk along the front of the building. The proposed sidewalk area is asphalt pavement and is part of the existing parking for the building. There should be a designated concrete sidewalk constructed along Southfield Road that will tie into the sidewalk on the adjacent property. The sidewalk must be constructed in accordance with City of Lincoln Park and Wayne County Standards. Sidewalk details and cross-sections must be provided at the time of the detailed engineering review.
9. The plans do not indicate any improvements are going to be made on the existing asphalt parking lot. The existing parking lot (Display Area) is in poor condition. It should be brought up to City of Lincoln Park Standards. Pavement details and cross-sections must be provided at the time of the detailed engineering review.
10. Currently, cars are being parked in the proposed sidewalk area. There must not be any parking allowed from the proposed sidewalk to the road.
11. The plans call for parking on the east side of the building. This area was fenced off land and I could not determine the condition of the existing pavement. If the pavement is in poor condition it should be replaced and brought up to current City of Lincoln Park Standards.
12. In the Southfield right of way the plans are calling for landscaping and an increase in the size of the east drive approach from Southfield Road. These will require Wayne County review and approval. A permit will be required.
13. The plans are calling for landscaping in the Wilson Avenue right of way, however, there are no details showing what is being proposed for landscaping in this area.

We have concerns for the work being proposed in the Southfield road right of way. This work will require Wayne County review and a permit. We believe from an engineering feasibility the plans are incomplete and lack enough detail. The engineer will need to make sure what is being proposed in the Southfield right of way will be acceptable with Wayne County. The engineer should provide clear plans showing what is existing and what is being proposed. From the engineering feasibility review, the plans do not appear to have enough details. It would be our recommendation **"To table"** the Site Plan until additional information is provided.

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC



James D. Hollandsworth, P.E., P.S.
Lincoln Park Project Manager

JDH/bd

cc: John Kozuh, DPW Director, City of Lincoln Park
John Meyers, Building Official, City of Lincoln Park
Laura Passalacqua (D'Onofrio), Clerk, City of Lincoln Park
Monserrat Contreras, Permit Clerk, City of Lincoln Park

B.3

R:\Municipalities\70000's Lincoln Park\72000's\72146 City Motor Works\881 Southfield Rd 1st PC Review May 2, 2021.docx

Elizabeth Gunden

From: Ray Watters <RWatters@citylp.com>
Sent: Thursday, April 29, 2021 2:24 PM
To: Elizabeth Gunden
Subject: Re: Site Plan Review Request: 881 Southfield - Auto Repair & Sales

The police department has no issues with the proposed auto repair/sales shop moving forward.

Chief R.Watters

From: Elizabeth Gunden <egunden@bria2.com>
Sent: Monday, April 26, 2021 8:12 AM
To: Fire Chief <FChief@citylp.com>; Irenda Lockhart <ILockhart@citylp.com>; Robert Wright <RWright@citylp.com>; Ray Watters <RWatters@citylp.com>; Krystina Erdos <KErdos@citylp.com>; John Kozuh <JKozuh@citylp.com>; jdhollandsworth@engineers.com <jdhollandsworth@engineers.com>
Cc: Idumouchel@bria2.com <Idumouchel@bria2.com>
Subject: Site Plan Review Request: 881 Southfield - Auto Repair & Sales

Good morning!

Please find attached a set of plans for the proposed auto repair and sales establishment at 881 Southfield. The project went through conceptual review in July 2020; the attached plans are for the complete site plan review. Comments are appreciated by reply to this email by next Monday, May 3rd. Thank you!

Liz Gunden, AICP
Project Planner

Beckett&Raeder, Inc.

Making Great Places for over 50 Years

535 West William St Suite 101
Ann Arbor, MI 48103
734.663.2622
Direct Line: 734.239.6615

Case No. PI 20-0003
Date Submitted 5-6-2020

City of Lincoln Park
APPLICATION FOR SPECIAL USE APPROVAL

NOTICE TO APPLICANT: Applications for Special Use review by the Planning Commission must be submitted to the City *in substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by six (6) individual folded copies of the site plan, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

Special Uses shall comply with the standards in Section 1262.08 of the Zoning Ordinance. Accordingly, a public hearing shall be held by the Planning Commission before a decision is made on any Special Use request. Furthermore, a site plan shall be required, which shall be prepared in accordance with Section 1294.01 of the Ordinance.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned do hereby respectfully request Special Use Review and provide the following information to assist in the review:

Applicant: YASER MAHMOUD
Mailing Address: 881 SOUTHFIELD LINCOLN PARK MI
48146

Email Address: YASER.MAHM@GMAIL.COM

Telephone: 313 949 1372 Fax: _____

Property Owner(s) (if different from Applicant): HEBRON HOLDINGS, LLC

Mailing Address: 881 SOUTHFIELD LINCOLN PARK MI
48146

Telephone: 313 949 1372 Fax: 313-5861155

Applicant's Legal Interest in Property: OWNER OF CITY MOTOR WORKS INC

Location of Property: Street Address: 881 SOUTHFIELD LINCOLN PARK

Nearest Cross Streets: FORT & SOUTHFIELD

Sidwell Number: 45008050125003

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., "acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

EMPIRE POINT SUB PC 85 L33 P44 WCR

Property Size (Square Ft): 0.24859 (Acres):

Present Use of Property: MECHANIC SHOP

Proposed Use of Property: USED CAR SALES - MECHANIC SHOP

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Existing Zoning (please check):

- | | |
|---|-----------------------------------|
| G SFRD Single Family Residential District | G RBD Regional Business District |
| G MFRD Multiple Family Residential District | G CBD Central Business District |
| G MHRD Mobile Home Park District | G GID General Industrial District |
| G NBD Neighborhood Business District | G LID Light Industrial District |
| G MBD Municipal Business District | G CSD Community Service District |
| G PUD Planned Unit Development District | |

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	↓	4300	2
Industrial			
Other			

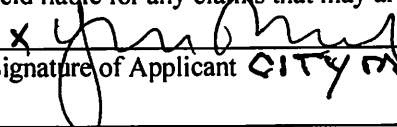
ATTACH THE FOLLOWING:

- Six (6) individually folded copies of the site plan, sealed by a registered architect, engineer, landscape architect or community planner.
- Proof of property ownership.
- A brief written description of the proposed use.

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

APPLICANT'S ENDORSEMENT:

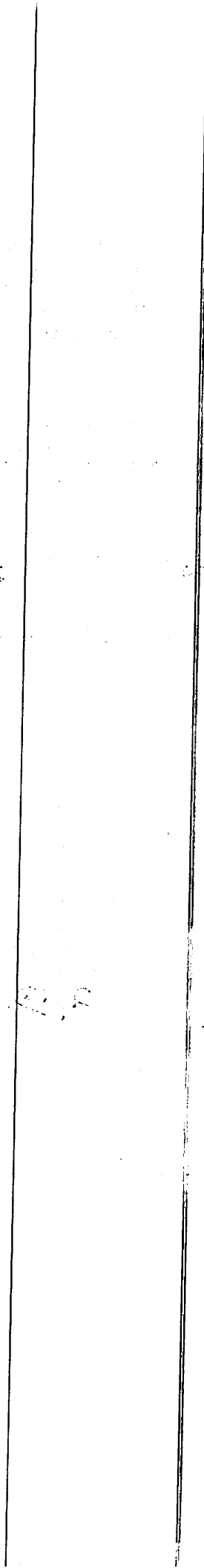
All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this application.


 Signature of Applicant CITY NETWORKS INC Date 2/13/2020

 Signature of Applicant _____ Date _____

 Signature of Property Owner Authorizing this Application _____ Date _____

To be completed by City:
 Date Submitted: _____ Fee Paid: _____
 Received By: _____ Date of Public Hearing: _____
PLANNING COMMISSION ACTION (RECOMMENDATION)
 To Approve: _____ To Deny: _____ Date of Action: _____
 Reasons for Action Taken: _____
CITY COUNCIL ACTION
 Approved: _____ Denied: _____ Date of Action: _____
 Reasons for Action Taken: _____



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Case No. P120-0003

Date Submitted 5-6-2020

City of Lincoln Park

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan Review by the Planning Commission must be submitted to the City in *substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: YASER MAHMOUD (CITY MOTORWORKS LLC)
Mailing Address: 881 SOUTHFIELD RD LINCOLN PARK MI 48146
Email: YASER.MAHMOUD@STABL.COM (YASERMAHMOUD@GMAIL)
Telephone: 313 949 1372 Fax: _____

Property Owner(s) Name (if different from Applicant): HEBRON HOLDINGS, LLC
Mailing Address: 881 SOUTHFIELD RD LINCOLN PARK MI 48146
Telephone: 313 949 1372 Fax: _____
Applicant(s) Explanation of Legal Interest in Property: OWNER (CITY MOTORWORKS LLC)

Location of Property: Street Address: 881 SOUTHFIELD RD
Nearest Cross Streets: FORT & SOUTHFIELD
Sidwell Number (Parcel ID#): 45008050125003

Property Description:
If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.
EMPIRE POINT SUB PC 85 L33 P44 W&R

Property Size (Square Ft): 0.24859 (Acres): _____

Existing Zoning (please check):

- | | |
|--|--|
| <input type="checkbox"/> SFRD Single Family Residential District | <input type="checkbox"/> RBD Regional Business District |
| <input type="checkbox"/> MFRD Multiple Family Residential District | <input type="checkbox"/> CBD Central Business District |
| <input type="checkbox"/> MHRD Mobile Home Park District | <input type="checkbox"/> GID General Industrial District |
| <input type="checkbox"/> NBD Neighborhood Business District | <input type="checkbox"/> LID Light Industrial District |
| <input type="checkbox"/> MBD Municipal Business District | <input type="checkbox"/> CSD Community Service District |
| <input type="checkbox"/> PUD Planned Unit Development District | |

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Present Use of Property: MECHANIC SHOP

Proposed Use of Property: USED CAR SALES
 AND MECHANIC SHOP

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	<u>1</u>	<u>4300</u>	<u>2</u>
Industrial			
Other			

Professionals Who Prepared Plans:

A. Name: WILLIAM RICHARDSON # 23355
 Mailing Address: 881 SOUTHFIELD

Email Address: YASSER.MAHM@GMAIL.COM
 Telephone: 263 949 1372 Fax: 263 586 1155 Primary Design Responsibility: YASSER MAHMOUD

B. Name: YASSER MAHMOUD
 Mailing Address: _____ Address: _____

Email: YASSER.MAHM@GMAIL.COM
 Address: 881 GREENFIELD
 Telephone: _____ Fax: _____ Primary Design Responsibility: _____

C. Name: _____
 Mailing Address: _____

Email Address: _____
 Telephone: _____ Fax: _____ Primary Design Responsibility: _____

1938

From ...

...

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ATTACH THE FOLLOWING:

1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. **A brief written description** of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:


- | | |
|---|--|
| G Wayne County Road Commission | G Wayne County Drain Commission |
| G Wayne County Health Division | G Michigan Department of Natural Resources |
| G Michigan Department of Transportation | G Michigan Department of Environmental Quality |

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

x 

 Signature of Applicant

2/13/2017

 Date

 Signature of Applicant

 Date

 Signature of Property Owner Authorizing this Application

 Date

TO BE COMPLETED BY THE CITY

Case No. _____

Date Submitted: _____

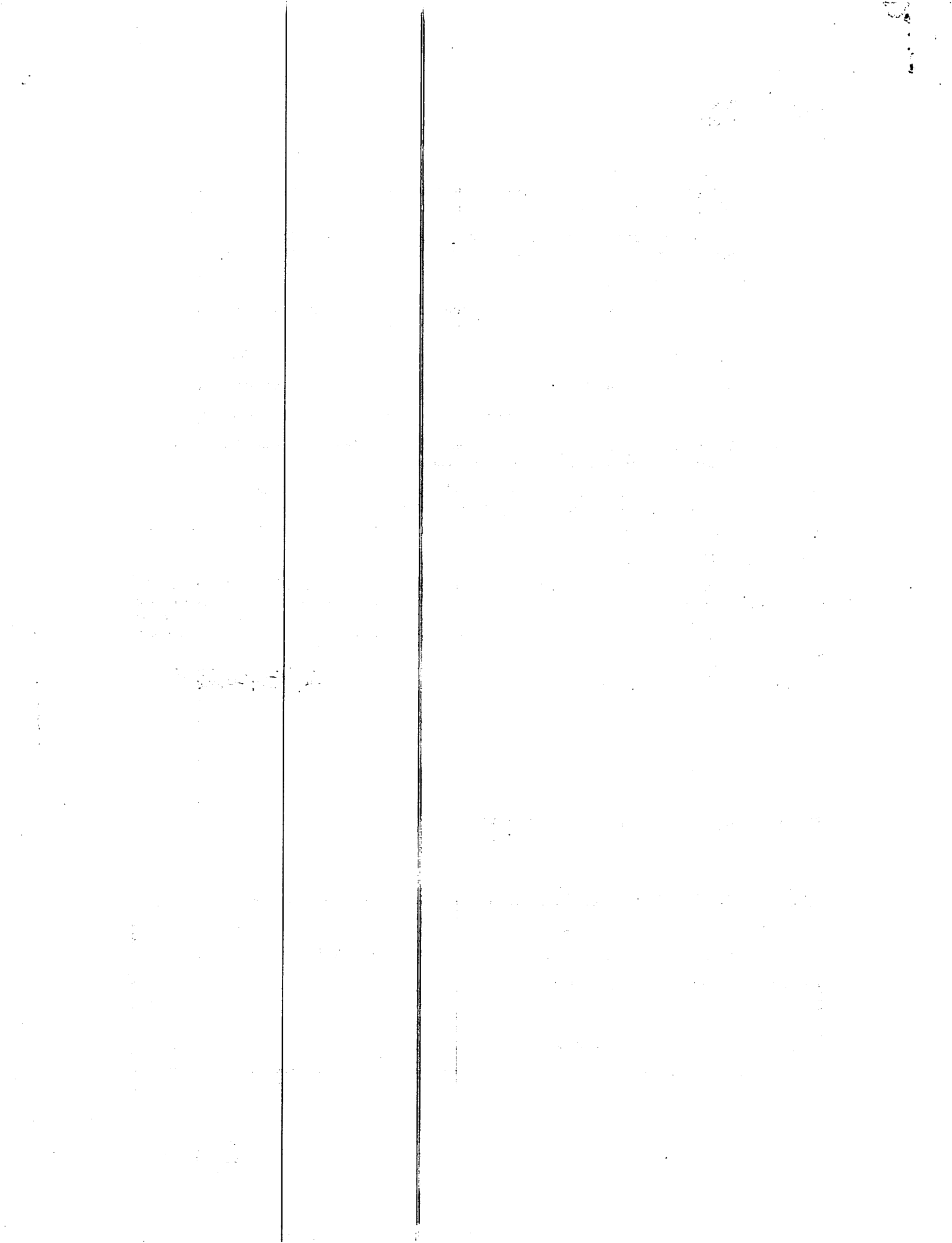
Fee Paid: _____

By: _____

Date of Public Hearing: _____

PLANNING COMMISSION ACTION

Approved: _____ Denied: _____ Date of Action: _____



787 Southfield – Center for Veterans

Site Plan Review

Applicant	Downriver for Veterans
Project	Center for Veterans
Address	787 Southfield Rd. Lincoln Park, MI 48146
Date	May 12, 2021
Request	Site Plan Approval
Recommendation	Approval with Conditions

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial View

The proposed project is a center for veterans, to include space for indoor meetings, charity benefits, and activities, as well as outdoor gardens. It is considered an Assembly use under the Lincoln Park Zoning Code.

Site Conditions

The 0.22-acre site is located on the corner of Southfield Road and Washington Avenue. There is an existing 6-ft. concrete sidewalk along both Southfield Rd. and Washington Ave., and the rear (south) side of the property abuts a public alley, which provides the access point to the site. There is an existing two-story building on the property. The first floor was previously the

office space for a construction contracting company and is now vacant, and the second floor of the building houses residential apartments. There is an existing wooden fence that surrounds the remainder of the lot, which was previously used as the construction material storage yard.

Master Plan

Future Land Use Classification

The future land use classification for the site is General Commercial. The proposed use of a veteran’s assembly building is consistent with the designation.

Intent, Desirable Uses, and Elements

The General Commercial land use is intended to provide retail goods and services on a city-wide scale as well as a regional scale that draw customers from within and outside the City. This is a suitable location for automobile-oriented uses that are not appropriate in pedestrian-oriented City areas such as the downtown, including as restaurants with car service, gas stations with or without convenience stores, minor auto repair shops, and car washes that comply with special design standards.

Land Use and Zoning

Zoning

The site is zoned Municipal Business District (MBD). The proposed Center for Veterans is defined as an “assembly hall” in the Lincoln Park Zoning Code, which is a principally permitted use in the district.

Proposed and Existing Uses

Site	Vacant & Residential – Municipal Business District (MBD)
North	ROW, then Commercial – Municipal Business District (MBD)
East	Commercial – Municipal Business District (MBD)
South	Public alley, then Residential – Multiple-Family Residential District (MFRD)
West	ROW then Commercial – Municipal Business District (MBD)



Figure 2: Zoning Map

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
EX-1	Existing Site and Floor Plans, Exterior Elevations, Details, & Notes	04/29/2021	–

Dimensional Standards

The dimensional requirements of the Municipal Business District (MBD) district are described in the chart below. (§1294.32, except where noted)



	Required	Provided	Compliance
Lot Width	Min. 40	~145 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls maximum 2 ½' < height < 8'	No shrubbery or retaining wall proposed at intersections	N/A
Lot Area	Min. 4,000 sq. ft.	~9,583 sq. ft.	Met
Lot Coverage	Max. 50%	~2,472/9,583 = 26%	Met
Height	2-Story Building; 25 ft	2 stories; 25'	Met
Setback – Front	0	0' (Southfield & Washington)	Met
Setback – Sides	0	0' (fence on west property line)	Met
Setback – Rear	0	0'	Met

Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' 	Met
<ul style="list-style-type: none"> Architectural variety Similar materials and entrances to buildings within 500'  <p>1 block east on Southfield Rd – one- and two-story, square, flat roofs, auto-oriented.</p>  <p>1 block west on Southfield Rd. – single-story, square, flat roofs, auto-oriented.</p>	Met

Required	Compliance
<ul style="list-style-type: none"> • Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) <u>North Elevation (Southfield): 96% masonry (609/633)</u> <ul style="list-style-type: none"> ○ Painted brick: ~480 sf ○ Stone: ~129 sf ○ Metal door: ~24 sf ○ Glass (exempt): ~241 sf ○ Total Area: ~874 sf <u>West Elevation (Washington): 98% masonry (1,307/1,327)</u> <ul style="list-style-type: none"> ○ Painted brick: ~911 sf ○ Stone: ~396 sf ○ Metal door: ~20 sf ○ Glass (exempt): ~189 sf ○ Total Area: ~1,516 sf <u>South Elevation (alley): 100% masonry (866/866)</u> <ul style="list-style-type: none"> ○ Painted CMU: ~866 sf ○ Glass (exempt): ~8 sf ○ Total Area: ~874 sf <u>East Elevation: 93% masonry (1,333/1,427)</u> <ul style="list-style-type: none"> ○ Painted CMU: ~1,333 sf ○ Metal doors: ~94 sf ○ Glass (exempt): ~89 sf ○ Total Area: ~1,516 sf <p>25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block)</p> • Natural colors (bright for decorative features only) <i>Natural stone and grey painted brick</i> 	<p>Met</p>
<ul style="list-style-type: none"> • Façade: <100' uninterrupted • If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches • All sides similar <i>All sides facing ROW are brick and stone</i> 	<p>Met</p>
<ul style="list-style-type: none"> • Windows: vertical, recessed, visually obvious sills • Spaces between windows = columns, mullions, or material found elsewhere on the façade • Front facades > 25% windows <i>Southfield: ~28% transparency (241/874); Washington: ~12% transparency (189/1,516)</i> • Size, shape, orientation, spacing to match buildings within 500' 	<p>Partially Met</p>
<ul style="list-style-type: none"> • Main entrances: doors larger • Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) <i>Existing awnings, distinctive door pulls, lighting</i> 	<p>Met</p>
<ul style="list-style-type: none"> • Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 <i>Existing flat roof</i> • Rooflines >100' = roof forms, parapets, cornice lines • Roof-top mechanical equipment screened by roof form. <i>No roof-top mechanical equipment</i> 	<p>N/A</p>

This is an existing building that meets all requirements excluding the 25% transparency requirement on the west elevation facing Washington Ave. Aside from touching up the existing paint, the proposal does not

include any changes to the existing facades; therefore, the City has historically permitted existing façade conditions to remain.

Items to be addressed

None

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The site is served by a 6-ft. public sidewalk on two sides of the building (Southfield Rd. to the north and Washington Ave. to the west) which provides pedestrian circulation separated from the vehicular circulation. There are no bicycle lanes on the ROW or bicycle parking facilities proposed. Any broken, cracked, or unsafe sidewalks in the Southfield Rd. and Washington Ave. rights-of-way must be repaired.

Items to be addressed

- Applicant shall ensure that concrete sidewalks are brought up to City standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Private clubs, dance and union halls, fraternal orders, civic clubs, lodge halls, or similar uses	One (1) for every three (3) persons allowed within the maximum occupancy load as established by City, County or State, Fire, Building or Health Codes. <i>Occupancy load = 11 persons = 4 spaces</i>	6 parking spaces	NOT MET

Multiple-family dwellings	One and one-half (1½) per each efficiency or one (1)-bedroom dwelling unit, and two (2) per each unit with two (2) or more bedrooms. <i>Two 2-bedroom apartments x 2 = 4 spaces</i>		
TOTAL	4 + 4 = 8 spaces		

§1290.01 (q) Waiver or Modification of Standards for Special Situations.

The Planning Commission may reduce or waive the number of off-street parking and/or loading spaces required for a specific use, provided they determine that no good purpose would be served by providing the required number of such spaces. In making such a determination to reduce or waive the requirements for off-street parking and/or loading spaces of this chapter, the following may be considered:

- (1) Extent that existing off-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use.
- (2) Extent that existing on-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use without negatively impacting traffic safety or adjacent uses.
- (3) Existing and proposed building placement.
- (4) Location and proximity of municipal parking lots and/or public alleys.
- (5) Agreements for parking and/or loading spaces with adjacent or nearby property owners.

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Ingress and egress provided from public alley.	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Parking area has existing asphalt; however, asphalt appears to be in poor condition.	INQUIRY
	Concrete curbs and gutters	Concrete curbs and gutters are existing along Southfield Rd. and Washington Ave.	Met
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	There is an existing block wall along the alley.	Met
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	Residential properties are located on the opposite side of public alley to the south of the property. The existing block wall provides the necessary screening.	Met
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	There is ample space for maneuvering.	Met

	Required	Proposed	Compliance
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	The existing wooden fence separates the parking area and the sidewalk.	Met

Engineering comments indicate that existing asphalt appears to be broken and in poor condition, though site inspection was not possible because it is fenced in. The parking lot should be resurfaced and brought up to current City standards. The current state of the parking lot would not meet the requirements for barrier-free parking.

Items to be addressed

- *A Planning Commission waiver is requested to reduce the number of parking spaces from 8 to 6. Considerations include the size and configuration of the existing site.*
- *Applicant shall remove and replace broken and settled asphalt and shall bring up the parking lot to current City standards and satisfy the requirements of the Americans with Disabilities Act of 1990.*

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 to 25	1	2	Met

As noted above, the current state of the parking lot would not meet the requirements for barrier-free parking.

Items to be addressed

- *Applicant shall remove and replace broken and settled asphalt and shall bring up the parking lot to current City standards and satisfy the requirements of the Americans with Disabilities Act of 1990.*

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
5,001 to 20,000	1	Proposed 10’ x 50’ loading area at southeast corner of lot	Met

Items to be addressed

None

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Rd., Fort St., Dix Ave., and Outer Dr.

There is no vehicular access to this site from any of these routes (vehicular access is via the public alley behind the building), so the standards of this section do not apply.

Items to be addressed

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via either Southfield Rd., Washington Ave., or the public alley. The Police Department has indicated that it has no concerns with the proposal.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this

Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance	
Street Landscaping	Greenbelt, 10' width minimum with groundcover	The entire space from the building to the streets is paved on this particular site, though greenbelts exist on adjacent properties. It is requested that the applicant at least install the 30% of landscaping required of redevelopment properties	NOT MET	
	1 tree and 4 shrubs per 40' of street frontage = 108' of frontage on Southfield + 65' of frontage on Washington = 173 lineal feet 4 trees and 17 shrubs <i>30% = 1 tree and 5 shrubs</i>		NOT MET	
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge		The existing wooden fence will shield any headlights from parked vehicles.	Met
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>(9,583 sf * 0.1) = 958 sf landscaping</i> <i>30% redevelopment standard: 287 sf</i>	The entire lot is already covered in impervious surface (asphalt or the building). There are 8 proposed planters (4' x 8' each) = 256 sf landscaping	NOT MET	
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas		Proposed planter boxes grouped near parking area.	Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>287 sf (30% redevelopment standard) = 0 trees and 1 shrub</i>		Contents of planter beds proposed to satisfy interior landscaping requirements.	Met with waiver
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces <i>< 10 parking spaces = 0 trees</i>	No parking lot trees proposed or required.	N/A	
	100 sf of planting area per tree			
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	The trash management plan appears to be rollout carts; confirmation from applicant requested.	INQUIRY	
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive), and/or solid 6' masonry wall ornamental on both sides	There is an existing block wall along the alley.	Met	

The site is entirely covered in impervious surface. Because this proposal redevelops an existing site, it must only meet 30% of the required landscaping. The proposed raised garden beds count toward meeting the required interior landscaping. As proposed, the raised garden beds are only 31 sq. ft. short of meeting the

requirement; applicant is requested to increase garden bed area to meet the standard. Additionally, the required greenbelts along Southfield Road and Washington Ave have been paved over on this property, although they exist on neighboring properties. The City's preference is for the applicant to fully restore the required greenbelts and associated plantings. The Planning Commission is empowered to accept 30% of the required landscaping on a redeveloping site, which is one (1) tree and five (5) shrubs. A revised site plan should show the greenbelt planting area, including groundcover.

Items to be addressed

- A waiver is requested Planning Commission for relief from 70% of the street landscaping requirements. The required greenbelts on this property have been paved over, and a revised plan is requested that implements at least 30% of the required street landscaping. The City's preference is for the entire required greenbelt to be restored.*
- Applicant shall provide at least 31 square feet of additional interior landscaping by either adding one more raised garden bed, slightly increasing the size of the proposed garden beds, or adding another form of landscaping in a raised planter box.*
- Applicant shall indicate the type of trash management vessels on the plan.*

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.*
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.*

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site. Engineering comments state that if the existing sanitary sewer is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. If the existing water service is being reused, it is important that the developer realize this existing water service is also old and may have reached its life expectancy. If the existing service is a lead-type service or undersized, it will be required to be removed and replaced. The design professional must verify the existing water service type, size, and lead capacity and

should verify that the existing service is adequate to handle the required flows. Utility connections should be shown on the plans.

Items to be addressed

- Applicant shall show existing and proposed (if any) utility connections on the plans.
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

There is existing and downward facing lighting on the building. If the applicant intends to add new lighting to the site, lighting details must be provided.

Items to be addressed

- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

There is an existing condenser on the east side of the building inside the existing fenced-in area.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

There is no indication of hazardous substances and polluting materials to be used or stored on-site at the facility.

Items to be addressed

None

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

The proposed Center for Veterans is a principal permitted use in the district.

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- Work in the Southfield Road right of way requires a permit from the Wayne County Road Commission.*
- Applicant to secure all appropriate agency reviews as needed.*

VARIANCES

No variances are anticipated from this proposal.

Items to be addressed

None

RECOMMENDATIONS

Findings

The information submitted with this proposal is substantially in compliance with §1296.01, Site Plan Review.

Conditions of Approval

Waivers

- A Planning Commission waiver is requested to reduce the number of parking spaces from 8 to 6. Considerations include the size and configuration of the existing site.*
- A waiver is requested Planning Commission for relief from 70% of the street landscaping requirements. The required greenbelts on this property have been paved over, and a revised plan is requested that implements at least 30% of the required street landscaping. The City's preference is for the entire required greenbelt to be restored.*

Conditions to be Addressed Before Approval Letter is Issued

- Applicant shall provide at least 31 square feet of additional interior landscaping by either adding one more raised garden bed, slightly increasing the size of the proposed garden beds, or adding another form of landscaping in a raised planter box.*
- Applicant shall indicate the type of trash management vessels on the plan.*
- Applicant shall show existing and proposed (if any) utility connections on the plans.*
- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

Conditions of Approval

- Applicant shall ensure that concrete sidewalks are brought up to City standards.*

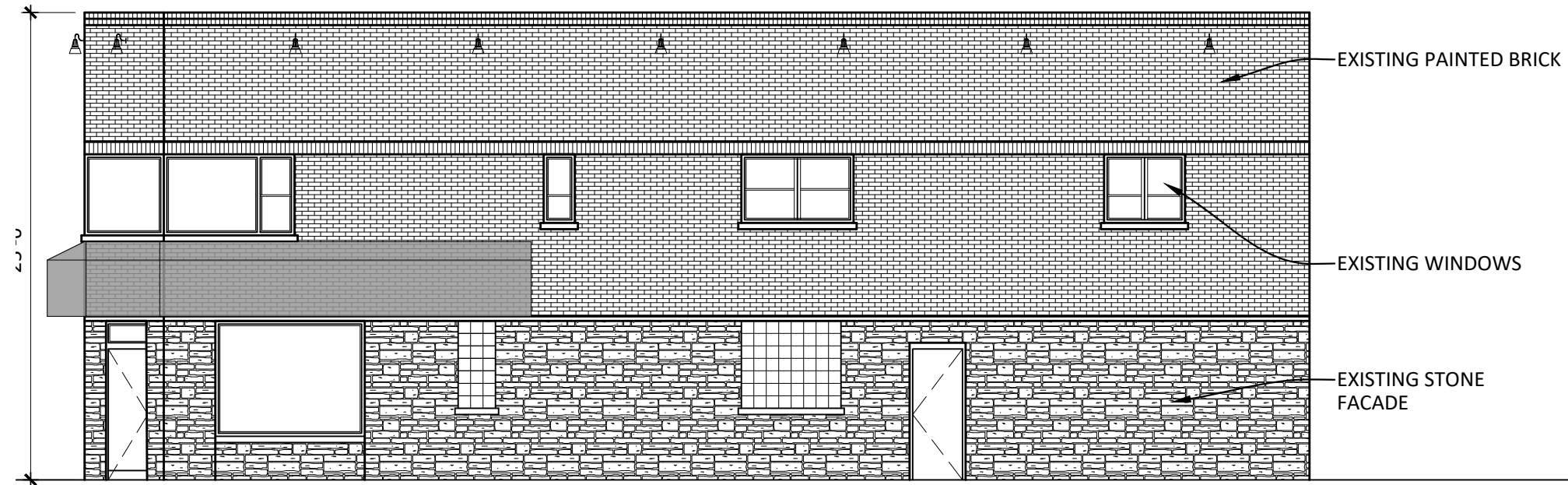
- *Applicant shall remove and replace broken and settled asphalt and shall bring up the parking lot to current City standards and satisfy the requirements of the Americans with Disabilities Act of 1990.*
- *Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.*
- *A Soil Erosion and Sedimentation permit must be obtained from Wayne County.*
- *Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- *It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*
- *Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*
- *Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*
- *Work in the Southfield Road right of way requires a permit from the Wayne County Road Commission.*
- *Applicant to secure all appropriate agency reviews as needed.*

Proposed Motion

I move that the City of Lincoln Park Planning Commission **approve** the site plan numbered PPC21-0012, proposing a Center for Veterans at 787 Southfield Road and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

DOWNRIVER FOR VETERANS

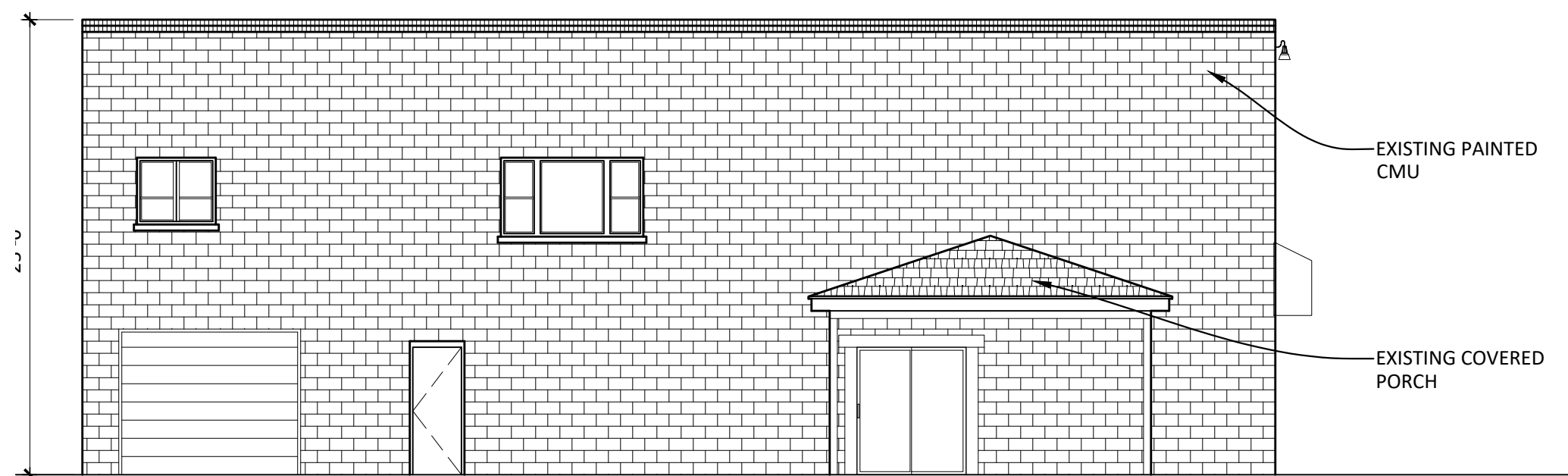
787 SOUTHFIELD ROAD
LINCOLN PARK, MI 48146



EXISTING WEST ELEVATION

SCALE: 1/8" = 1'-0"

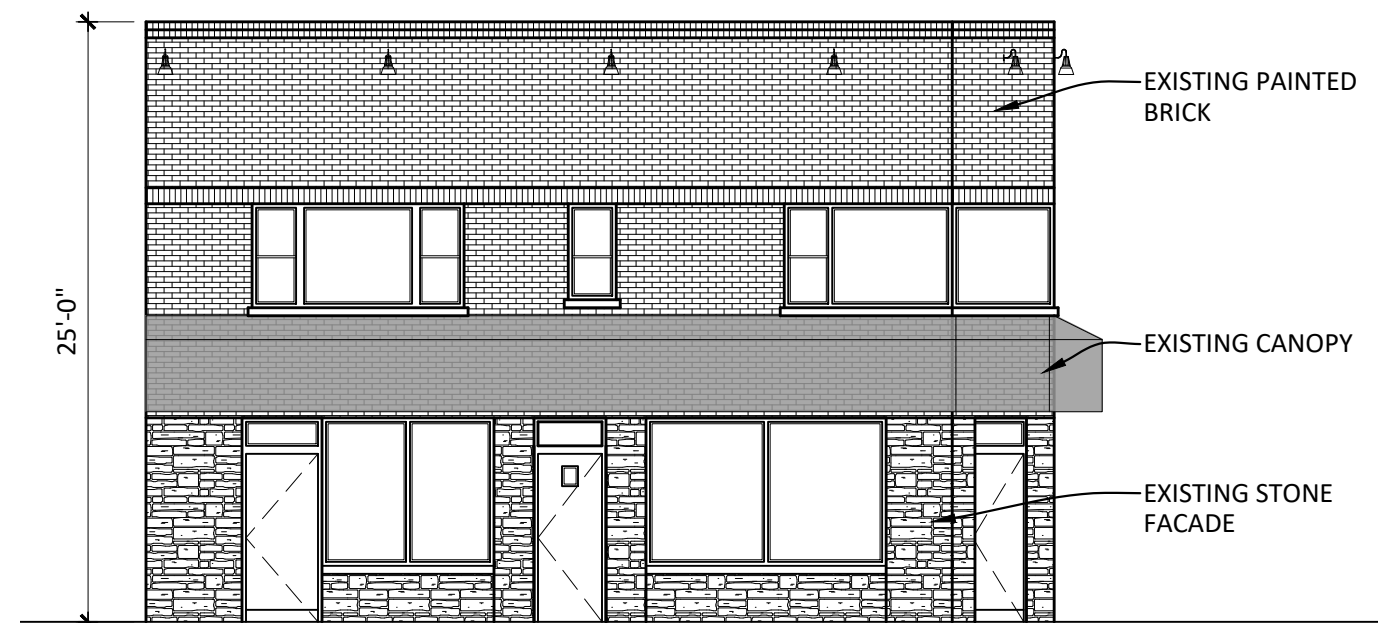
6



EXISTING EAST ELEVATION

SCALE: 1/8" = 1'-0"

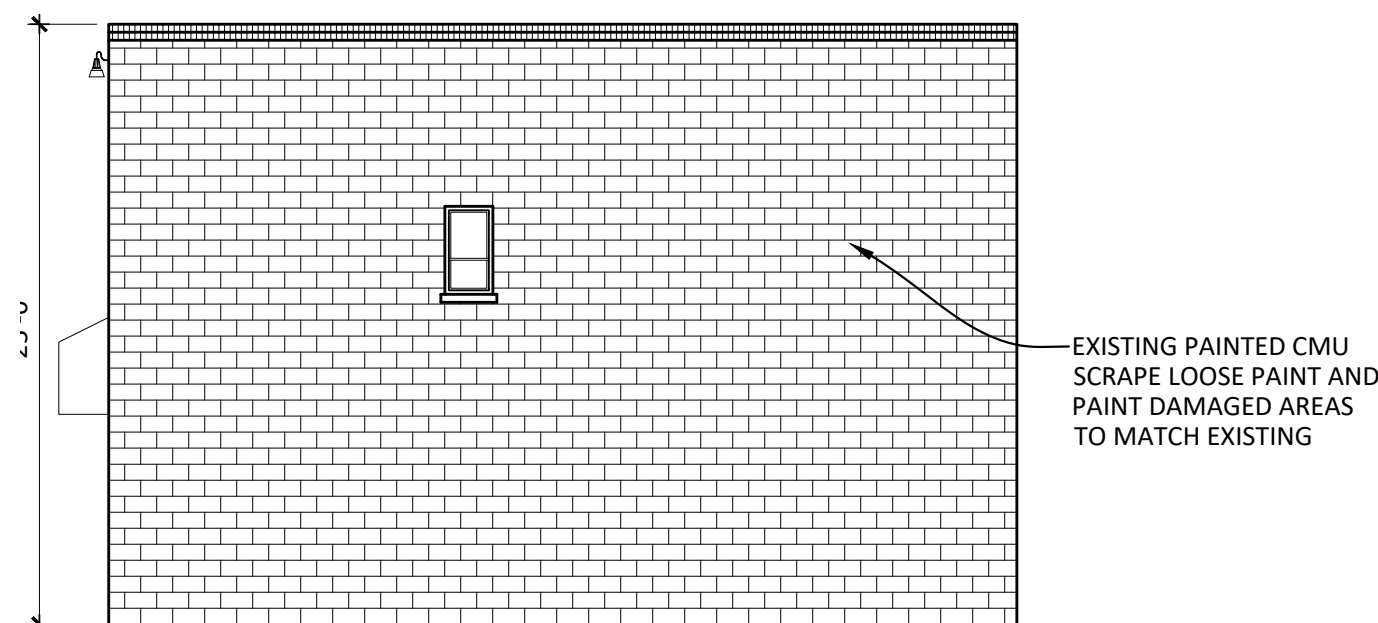
5



EXISTING NORTH ELEVATION

SCALE: 1/8" = 1'-0"

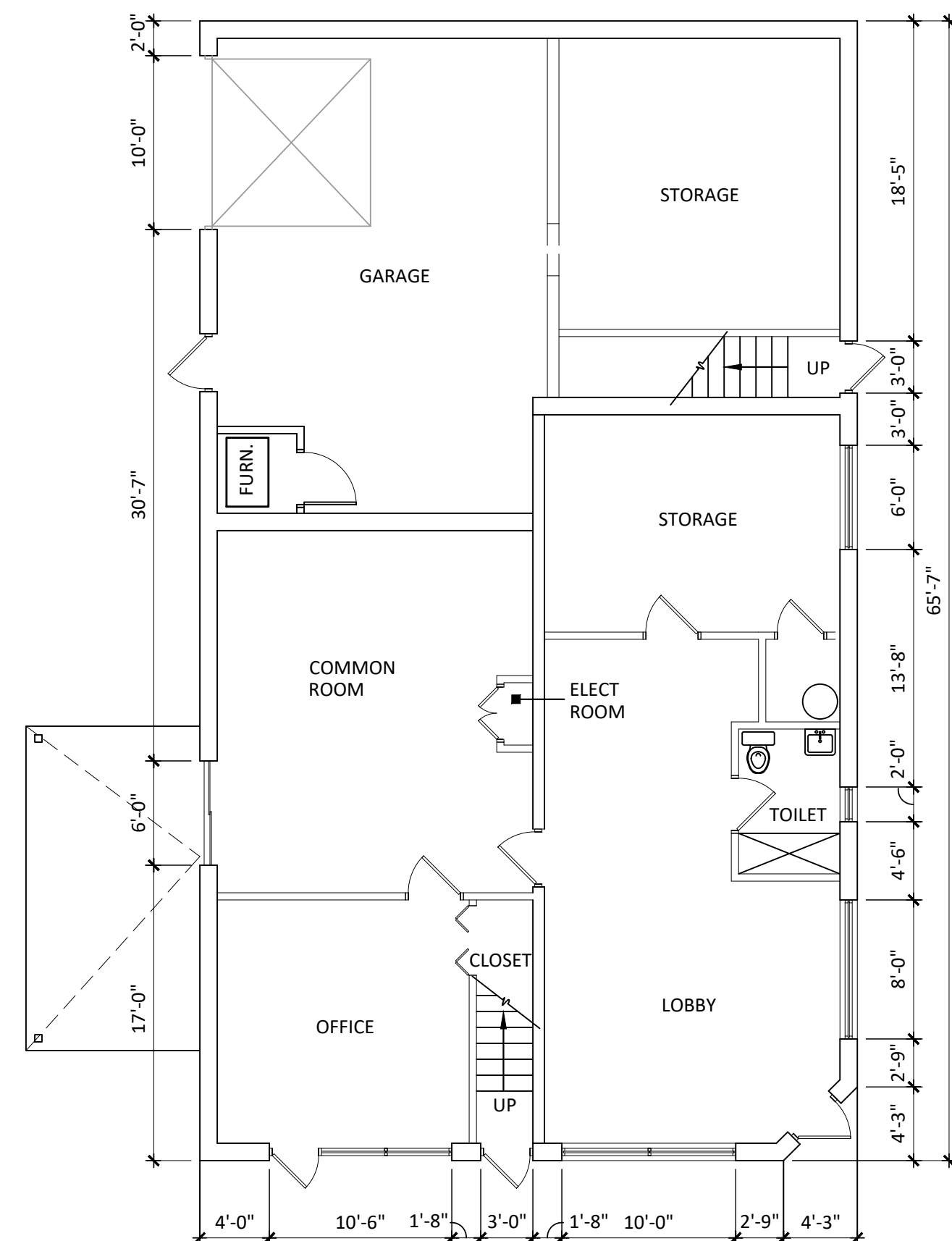
4



EXISTING SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

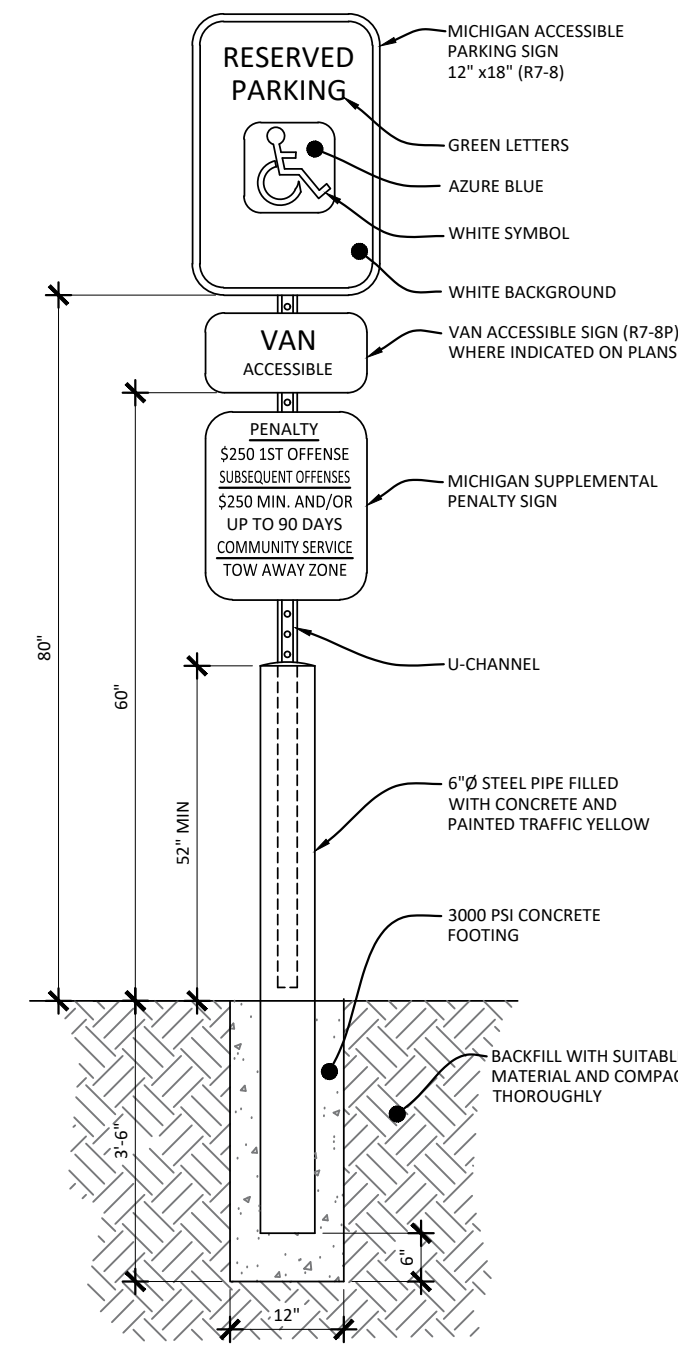
3



EXISTING FLOOR PLAN

SCALE: 1/16" = 1'-0"

2



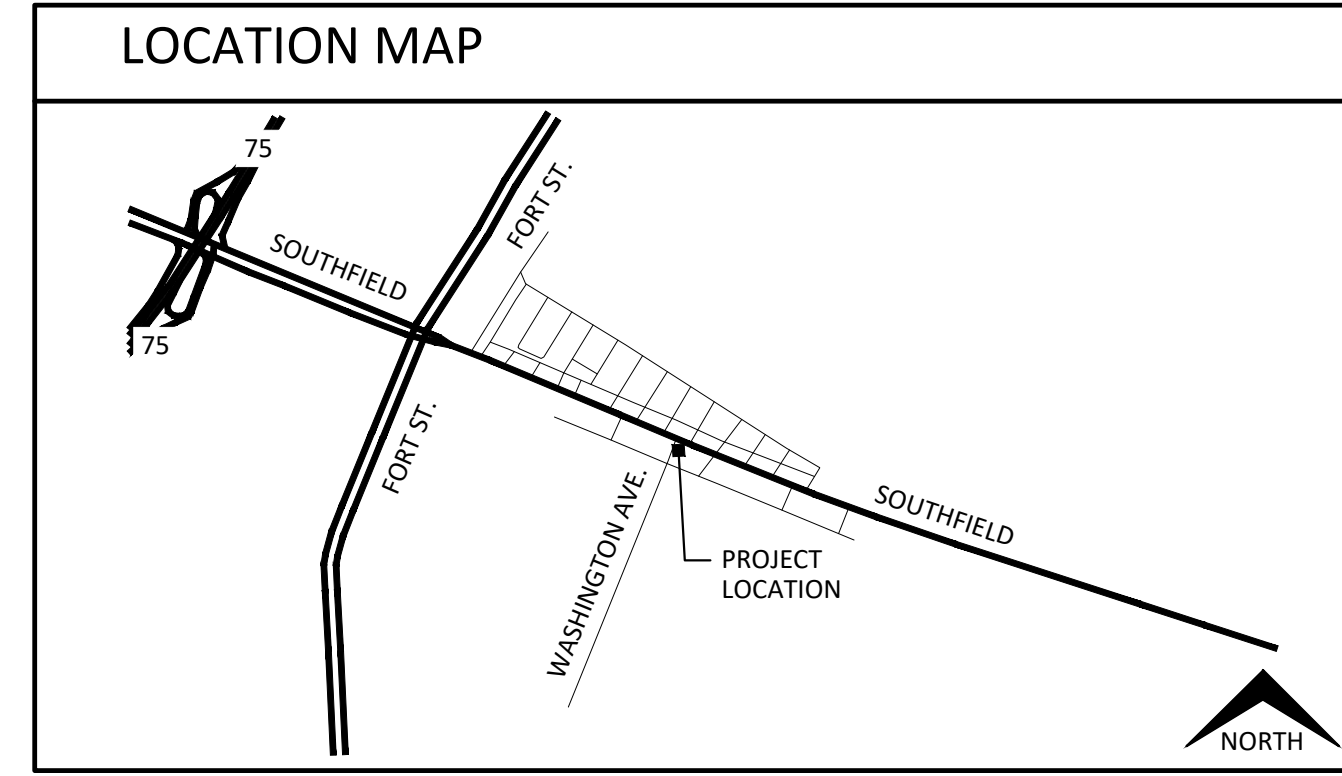
ACCESSIBLE PARKING SIGN BOLLARD DETAIL



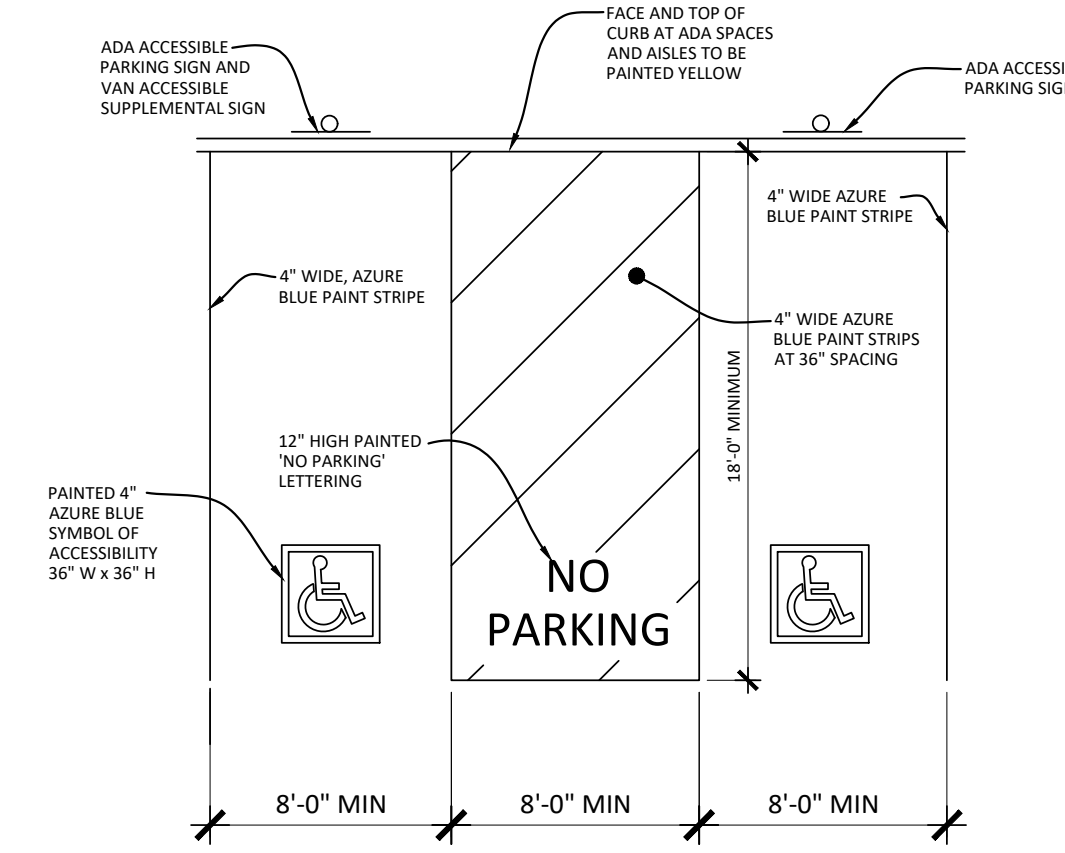
EXISTING BUILDING PHOTO

SCALE: N.T.S.

7



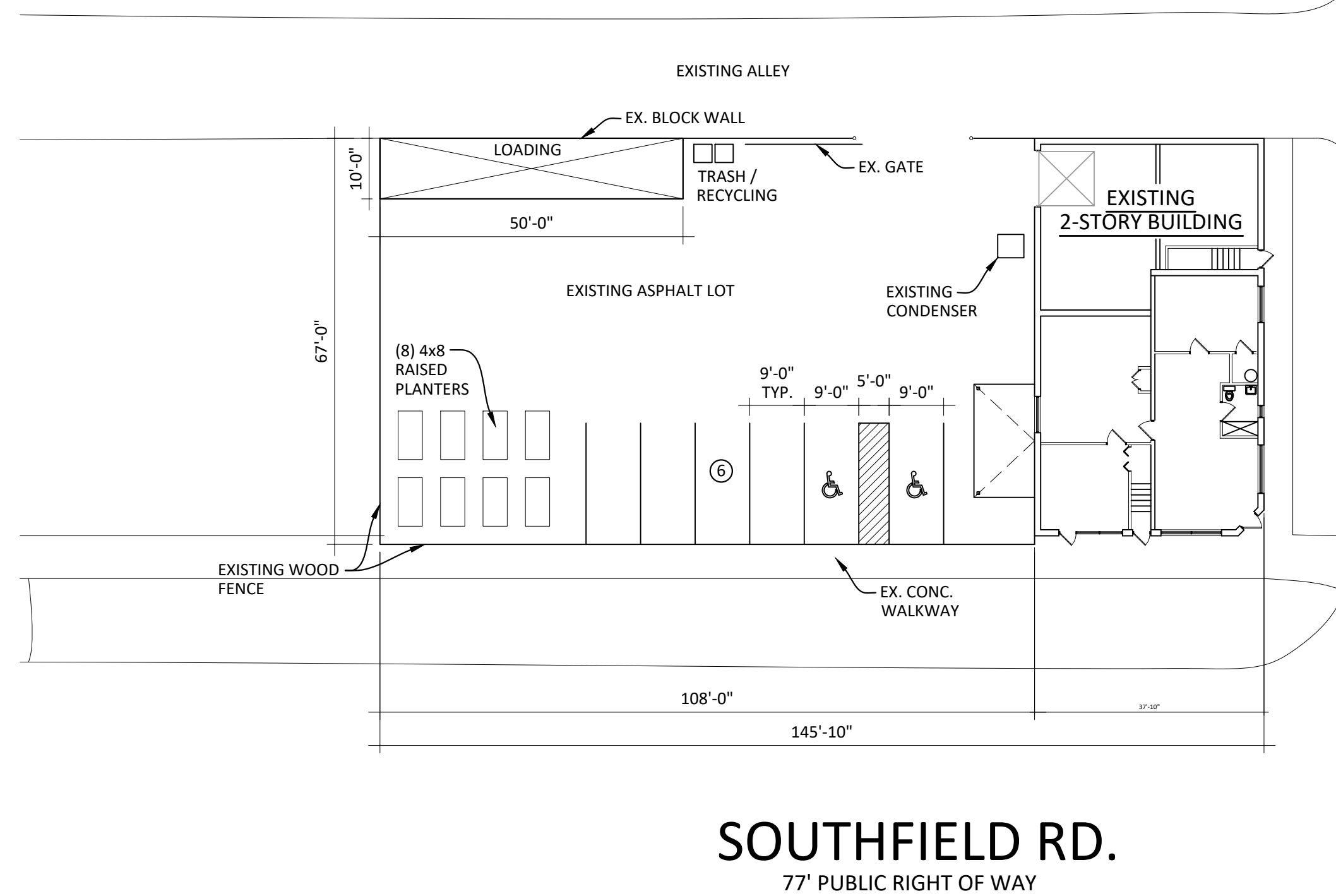
LOCATION MAP



ACCESSIBLE PARKING STALL MARKETING

LEGAL DESCRIPTION

LOTS 107,108,109,110 AND 111 EXCEPT THE N.54' TAKEN FOR STREET PURPOSES - EMPIRE PARK SUB. OF LOTS 34, 35, 36 AND 37 OF THE SIMON B. ROUSSON ESTATE SUB OF PART OF P.C.85, ECORSE TWP., NOW CITY OF LINCOLN PARK, WAYNE COUNTY MICHIGAN. (RECORDED IN LIBER 33 OF PLAT, PAGE 44, WAYNE COUNTY RECORDS).



SOUTHFIELD RD.
77' PUBLIC RIGHT OF WAY

WASHINGTON AVE

CONTACTS

TENANT
DOWNRIVER FOR VETERANS
2418 23 RD ST
WYANDOTTE, MI 48192
CONTACT: Rose Ann Rudisill
(734)-231-7399
liliannie76@yahoo.com

GENERAL CONTRACTOR
MASTERS RELIABLE MAINTENANCE
CONTACT: John Masters
(734)-686-3275

ARCHITECT OF RECORD
DETROIT ARCHITECTURAL GROUP
1644 FORD RD.
WYANDOTTE, MI 48192
CONTACT: Jake Root
(734)-556-3259
jroot@detroitarch.com

PROJECT DETAILS

SITE DATA

SITE AREA = .22 ACRES
SITE ZONING: MUNICIPAL BUSINESS DISTRICT 'MBD'
PROPOSED USE: VETERANS MEETING HALL
PROPOSED VARIANCES: NONE
REQUIRED SETBACKS:
FRONT: 0'-0"
SIDE: 0'-0"
REAR: 0'-0"
LOADING AREA: 10'-0" x 50'-0"
HAZARDOUS MATERIALS: NONE USED AND NONE STORED
AREAS OF KNOWN OR SUSPECTED CONTAMINATION: NONE KNOWN

PROJECT DATA

PROJECT SCHEDULE: REPAIRS TO BE COMPLETED BY 05-07-2021
BUILDING DATA:
AREA: 2,472 S.F. PER FLOOR
STORIES: 2 STORIES
USES: ASSEMBLY / GARAGE / RESIDENTIAL



DETROIT ARCHITECTURAL GROUP
1644 Ford Avenue Wyandotte, MI 48192
734.660.3250 O. 734.660.3234 F.
www.detroitarch.com

DOWNRIVER for
VETERANS
Proposed
RE-OCCUPANCY

787 SOUTHFIELD RD,
LINCOLN PARK, MI
48146

REV	DATE	ISSUED FOR PLANNING	ISSUED
04-29-21		ISSUED FOR PLANNING	
			ISSUED

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DRAWN BY: JR
CHECKED BY: JR
IN CHARGE: JR
SHEET NAME:
EXISTING SITE AND FLOOR PLANS,
EXTERIOR ELEVATIONS, DETAILS, & NOTES

JOB NO: 21-100

SHEET NO: EX-1

RECEIVED


APR 29 2021

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

City of Lincoln Park

App incomplete

Case No. PPC 21-0012

Date Submitted 

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan Review by the Planning Commission must be submitted to the City in substantially complete form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: Downward for Veterans
Mailing Address: 2418 23rd St Wyandotte Mich 48192
Email: LILIANOW@YAHOO.COM
Telephone: 734-231-7999 Fax: N/A

Property Owner(s) Name (if different from Applicant): Greg Tiddle
Mailing Address: 15720 Ford St Southfield
Telephone: 313-225-2525 Fax: 313-382-3458
Applicant(s) Explanation of Legal Interest in Property:

Location of Property: Street Address: 7877 Southfield Rd
Nearest Cross Streets: _____
Sidwell Number (Parcel ID#): _____

Property Description:
If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., "acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

Property Size (Square Ft): 2000 (Acres): _____

Existing Zoning (please check):

- | | |
|--|--|
| <input type="checkbox"/> SFRD Single Family Residential District | <input type="checkbox"/> RBD Regional Business District |
| <input type="checkbox"/> MFRD Multiple Family Residential District | <input type="checkbox"/> CBD Central Business District |
| <input type="checkbox"/> MHRD Mobile Home Park District | <input type="checkbox"/> GID General Industrial District |
| <input type="checkbox"/> NBD Neighborhood Business District | <input type="checkbox"/> LID Light Industrial District |
| <input type="checkbox"/> MBD Municipal Business District | <input type="checkbox"/> CSD Community Service District |
| <input type="checkbox"/> PUD Planned Unit Development District | |

Present Use of Property: N/A

Proposed Use of Property: Veterans Center Meetings

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office	<u>14 x 14.5</u>		<u>0</u>
Commercial	<u>21 x 18.5</u>		<u>0</u>
Industrial	<u>30 x 17</u>		<u>0</u>
Other <u>Storage</u>	<u>12 x 17</u>		<u>0</u>

Professionals Who Prepared Plans:

A. Name: JACOB Michael Doss
 Mailing Address: 1644 Ford Ave

Email Address: www.detroitarch.com
 Telephone: 734-556-3350 Fax: 734-556-3371 Primary Design Responsibility: _____

B. Name: _____
 Mailing Address: _____ Address: _____
 Email: _____
 Address: _____
 Telephone: _____ Fax: _____ Primary Design Responsibility: _____

C. Name: _____
 Mailing Address: _____
 Email Address: _____
 Telephone: _____ Fax: _____ Primary Design Responsibility: _____

ATTACH THE FOLLOWING:

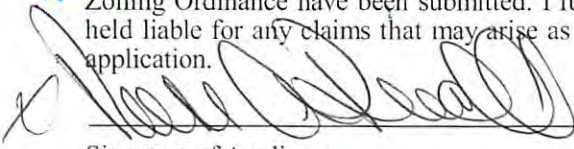
1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. **A brief written description** of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:
 - G Wayne County Road Commission
 - G Wayne County Drain Commission
 - G Wayne County Health Division
 - G Michigan Department of Natural Resources
 - G Michigan Department of Transportation
 - G Michigan Department of Environmental Quality

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

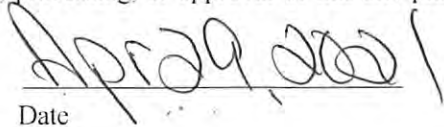
Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.



Signature of Applicant



Date

Signature of Applicant

Date

Signature of Property Owner Authorizing this Application

Date

TO BE COMPLETED BY THE CITY	Case No. _____
Date Submitted: _____	Fee Paid: _____
By: _____	Date of Public Hearing: _____
PLANNING COMMISSION ACTION	
Approved: _____	Denied: _____ Date of Action: _____

1005 John A. Papalas – Marijuana Establishment

Conceptual Site Plan Review

Applicant	Ox Tail, Inc., represented by Sidock Group
Project	Marijuana Establishment
Address	1005 John A. Papalas Drive Lincoln Park, MI 48146
Date	May 12, 2021
Request	Conceptual Site Plan Review
Recommendation	None – Advisory Only

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial View

The proposed project is a marijuana establishment to include a dispensary for medical and recreational marijuana. The proposed use will include office and retail space.

Site Conditions

The site is a 3,000 sq. ft. unit in an existing 23,710 sq. ft. building along John A. Papalas Drive. The building sits along John A. Papalas Drive, which borders I-75, and Outer Drive to the north is the nearest intersection. The Ecorse River borders the property to the north as well. The site has an existing parking lot in the front of the building and an existing loading / employee parking area in the rear of the building. There is existing landscaping on the site.

Master Plan

Future Land Use Classification

The future land use classification for the site is Industrial. The proposed marijuana establishment is consistent with the designation.

Land Use and Zoning

Zoning

The site is zoned General Industrial District (GID). The proposed marijuana establishment is permitted after special approval under section 1278.03.

Proposed and Existing Uses

Site	Vacant; General Industrial District (GID)
North	Ecorse River then fuel station; General Industrial District (GID)
East	ROW (I-75)
South	Industrial; General Industrial District (GID)
West	ROW then Industrial; General Industrial District (GID)



Figure 2: Zoning Map

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
CS-001	Cover Sheet / Location Map / Drawing Index	04/27/2021	-
AS-001	Architectural Site Plan	04/27/2021	-
A-201	Proposed Floor Plan / Exterior Elevation	04/27/2021	-

Dimensional Standards

The dimensional requirements of the General Industrial District (GID) district are described in the chart below. (§1294.32, except where noted)

	Required	Provided	Compliance
Lot Width	Min. 100	~418 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls maximum 2 ½' < height < 8'	No shrubbery or retaining wall proposed at lot corners	N/A
Lot Area	Min. 43,560 sq. ft.	~81,457 sq. ft.	Met
Lot Coverage	Max. 75%	~23,710/81,457 = 29%	Met
Height	40 ft.	~20 ft.	Met
Setback – Front	25 ft.	45' 6"	Met
Setback – Sides	25 ft. (2 sides combined >50 ft.)	74' (south), 103' 9" (north)	Met
Setback – Rear	25 ft.	29' 7"	Met

Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> • Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' 	Met
<ul style="list-style-type: none"> • Architectural variety • Similar materials and entrances to buildings within 500'  <p>Figure 3: The site looking north.</p>  <p>Figure 4: John A. Papalas Drive looking south.</p>	Met

Required	Compliance
<ul style="list-style-type: none"> Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) <i>Front elevation of unit (facing John A. Papalas): 100% brick veneer (766 sf / 766 sf)</i> <i>Brick veneer: ~766 sf</i> <i>Windows (exempt): ~269 sf</i> <i>Total: ~1,035 sf</i> 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block) Natural colors (bright for decorative features only). <i>Natural brick-color façade; proposed awning colors are black and white.</i> 	<p>Met</p>
<ul style="list-style-type: none"> Façade: <100' uninterrupted If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches All sides similar 	<p>Met</p>
<ul style="list-style-type: none"> Windows: vertical, recessed, visually obvious sills Spaces between windows = columns, mullions, or material found elsewhere on façade Front facades > 25% windows ~26% transparency (269 sf / 1,035 sf) Size, shape, orientation, spacing to match buildings within 500' 	<p>Met</p>
<ul style="list-style-type: none"> Main entrances: doors larger Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) 	<p>Met</p>
<ul style="list-style-type: none"> Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 Rooflines >100' = roof forms, parapets, cornice lines Roof-top mechanical equipment screened by roof form. <i>No indication of mechanical equipment located on the roof</i> 	<p>Met</p>

There are no proposed changes to the existing building façade, other than an awning addition.

Items to be addressed

None

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There is an existing wooded area on the north end of the property adjacent to the Ecorse River that will be preserved.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

There is an existing sidewalk that spans the front of the building; however, there is no sidewalk along the John A. Papalas Drive right-of-way. There are no bicycle facilities along the ROW or bicycle parking facilities proposed.

Items to be addressed

None

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Retail stores, except as otherwise specified herein (includes marijuana retailers and provisioning centers)	One (1) for every two-hundred-fifty (250) square feet of gross floor area. <i>3,645 sf GFA / 250 = 14.58 = 14 spaces</i>	The existing parking lot has 69 parking spaces.	Met

	Required	Proposed	Compliance
Parking Area Type C §1290.05	Adequate means of ingress and egress shall be provided and shown	Two existing ingress and egress points from John A. Papalas Drive.	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Existing parking lot is concrete, though some sections are in poor condition and need to be replaced.	Partially Met
	Concrete curbs and gutters	Existing concrete curbs and gutters. Gutters in north drive are in poor condition and need to be replaced.	Partially Met
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	Property does not adjoin residential property.	N/A

	Required	Proposed	Compliance
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	Property does not adjoin residential property.	N/A
	Lighting deflected away from residential areas; All parking lot lighting shall be designed, located, and shielded to prevent glare onto adjacent properties, and shall be arranged to prevent adverse effects on motorist visibility on adjacent rights-of-way; Lighting height <25 ft.	Property does not adjoin residential property; there does not appear to be any existing existing or proposed parking lot lighting.	N/A
	Where street setback lines are provided by ordinance or established through the adoption of a street and traffic plan, such setback lines shall be maintained.	N/A	N/A
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	There are no public sidewalks.	N/A

Engineering comments state that some of the concrete sections of the parking lot are in poor condition (see photos below). The sections with multiple cracks and unsafe, Spaulding, and deteriorated concrete must be replaced to bring the parking lot up to City of Lincoln Park Standards. The concrete sections that have a single crack are not a safety hazard may be able to be joint sealed as directed by the engineer. Additionally, the south side of the south drive approach has broken and deteriorated concrete that must be replaced, and the gutter area of both the south and south area of the north drive approach is in poor condition that must be replaced. It is recognized that this application pertains to one unit in a multi-unit building and that the applicant is not the building owner; however, the requirement is that the hard surface shall be “maintained” and thus applicable regardless of the building occupant. Resolving this item will likely require the involvement of the property owner.



Figure 5: Existing conditions of parking lot and curbs.

Items to be addressed

- Deteriorated concrete in the existing parking lot shall be brought up to City of Lincoln Park standards.
- Curb and gutters on the north drive approach shall be replaced.

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
51 to 75	3	4 existing barrier-free spaces	Met

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
2,001 to 5,000	1	There is an existing loading zone spanning entire rear of building; however, it does not meet the enclosure requirements outlined in 1296.02.QQ.	NOT MET

Items to be addressed

- Applicant shall provide an enclosed loading area that is not visible to the public and that meets the requirements in 1296.02.QQ.

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Rd., Fort St., Dix Ave., and Outer Dr.

There is no access to this site from any of these routes, so the standards of this section do not apply.

Items to be addressed

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via John A. Papalas Drive.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	There is an existing 8' greenbelt along John A. Papalas.	Met as possible
	1 tree and 4 shrubs per 40' of street frontage <i>418 ft. street frontage = 10 trees and 42 shrubs</i> <i>30% redevelopment standard = 3 trees and 13 shrubs</i>	4 existing street trees and 4 existing shrubs.	Partially met
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	Not provided.	NOT MET
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>(81,457 sf * 0.1) = 8,146 sf landscaping</i> <i>30% redevelopment standard = 2,444 sf</i>	~26,780 sf landscaped area	Met
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Grouped near entrances and walkways.	Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>8,146 sf = 20 trees and 33 shrubs</i> <i>30% redevelopment standard = 2,444 sf = 6 trees and 10 shrubs</i>	3 existing shrubs, plus 19,625 sf wooded area on north side of property with undetermined number of trees and shrubs.	Met
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces <i>69 spaces = 7 trees</i> <i>30% redevelopment standard = 2 trees</i>	Not provided	NOT MET
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Existing dumpster location provided at northeast corner of lot, but no screening details provided.	INQUIRY
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive); solid 6' masonry wall ornamental on both sides	Property does not abut residential property or uses.	N/A

The subject of this request is one unit in a multiunit building, and the standard of review is that no proposed change shall increase nonconformity with the Zoning Code. We have compared the existing condition to the proposal and found that the proposed improvements generally meet this standard, though they fall short of what would be required for even a gradual redevelopment of the site.

Items to be addressed

- Applicant shall provide the required dumpster screening and details on enclosure and locking.

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.*

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. Engineering comments state that if the existing sanitary sewer is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. If the existing water service is a lead-type service or undersized, it will be required to be removed and replaced. The design professional must verify the existing water service type, size, and lead capacity and should verify that the existing service is adequate to handle the required flows.

Items to be addressed

- The applicant shall verify that the existing sanitary service is adequate to handle the required flows for the building's use.*
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*
- Applicant shall verify the existing water service type, size, and lead capacity and shall verify that the existing service is adequate to handle the required flows.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County. No new stormwater management system is proposed on the site.

Items to be addressed

- *Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

There are five existing wall-mounted lights on the front façade of the entire building. No additional lighting is proposed, and it is not evident that the existing lighting will meet the security lighting requirements outlined in 1296.02.QQ.

Items to be addressed

- *Applicant shall ensure that there is adequate exterior lighting and provide details for the existing lighting on the building.*
- *If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

No mechanical equipment is visible from the right-of-way.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during site plan review is for illustrative purposes only.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

The proposed use is not expected to generate hazardous materials or waste.

Items to be addressed

None

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

	Required	Proposed	Compliance
Setback	200 ft setback from public or private schools providing education for kindergarten through 12th grade	No public or private schools within 200 ft.	Met
Performance	Shall comply with all performance standards as set forth in Section 1294.31. Such compliance shall specifically include adequate facilities for ventilation and odor control.	No ventilation and odor control methods provided.	INQUIRY
Prohibited	No other accessory uses permitted within the same building, other than those clearly necessary for continued operation, such as offices, employee facilities, and storage.	Proposed use includes retail, office, storage, work room, and break room spaces.	Met
	The location from which a primary caregiver manufactures, stores, and distributes medical marihuana to a qualifying patient shall not be used by another primary caregiver for any purpose whatsoever.	Proposed use is a medical and recreational marijuana dispensary.	Met
	Except for marihuana retail establishments and provisioning establishments, dispensing of marihuana is prohibited.	Proposed use is a medical and recreational marijuana dispensary.	Met
	Temporary outdoor marihuana special events are prohibited.	No outdoor special events proposed.	Met
	May not allow cultivation, processing, sale, or display of marihuana or marihuana accessories to be visible from a public place outside of the marihuana establishment without the use of binoculars, aircraft, or other optical aids.	No details on proposed sale or display.	INQUIRY

	Required	Proposed	Compliance
<i>Storage & Activities</i>	All activity related to marihuana businesses shall be conducted indoors.	No proposed outdoor activity.	Met
	No outdoor storage shall be allowed.	No proposed outdoor storage.	Met
<i>Waste</i>	Waste receptacles that are outdoors must be enclosed, and locked at all times when not in use.	Existing dumpster location shown at northeast corner of property, but no enclosure or locking details provided.	INQUIRY
<i>Loading</i>	Shall not be visible to the public and shall be either fully or partially enclosed.	Existing loading zone at rear of building and does not appear to be enclosed.	NOT MET
	Options: an area indoors that meets the loading zones size requirements, an area enclosed by two or more walls, a vehicle bay, or garage, or any other configuration that blocks the transfer of goods from vehicle to facility.	Existing loading zone at rear of building and does not appear to be enclosed.	NOT MET
	All products shall be transferred directly from the vehicles into the establishment.	No details on how products will be transferred.	INQUIRY
	Should a vehicle have to maneuver to enter the loading zone, it is subject to parking lot requirements in 1290.08.	There is ample maneuvering space.	Met
<i>Hours</i>	Provisioning centers and retail facilities shall be open to the public no earlier than 9 a.m. and shall close no later than 10 p.m.	No proposed hours of operation provided.	INQUIRY
<i>Lighting</i>	Exterior lighting shall be required for security purposes, and shall be implemented in accordance with the provisions of the Zoning Ordinance.	Existing wall-mounted lighting on the building, but no details provided.	INQUIRY
<i>Grower Facilities</i>	Any lighting methods shall not exceed the foot candles permitted for the exterior of the building between the hours of 11pm and 7am.	N/A	N/A
	Roof may consist of a sturdy transparent material; must be fully covered with a non-transparent material between dusk and dawn that prevents interior lighting from escaping through the roof.	N/A	
	Area where the storage of any chemicals such as herbicides, pesticides, and fertilizers shall be subject to inspection and approval by the Fire Department to ensure compliance with the Michigan Fire Protection Code.	N/A	

Items to be addressed

- Applicant shall provide details on ventilation and odor control methods.
- Applicant shall provide details on proposed sale and display methods.
- Applicant shall provide the required dumpster screening and details on enclosure and locking.
- Applicant shall provide an enclosed loading area that is not visible to the public and that meets the requirements in 1296.02.QQ.
- Applicant shall provide details on how the product will be transferred from the loading area into the building.
- Applicant shall provide hours of operation.
- Applicant shall ensure that there is adequate exterior lighting and provide details for the existing lighting on the building.

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- Applicant shall operate in compliance with the Michigan Department of Community Health, the MRTMA, the MMMA, and all administrative rules and regulations in the Ordinance Chapter 853 Marihuana Licenses.
- Applicant to secure all appropriate agency reviews as needed.

VARIANCES

No variances are anticipated from this proposal.

Items to be addressed

None

RECOMMENDATIONS

Findings

The information submitted with this proposal is substantially in compliance with §1296.01, Site Plan Review.

Conditions and Waivers

- Deteriorated concrete in the existing parking lot shall be brought up to City of Lincoln Park standards.*
- Curb and gutters on the north drive approach shall be replaced.*
- Applicant shall provide an enclosed loading area that is not visible to the public and that meets the requirements in 1296.02.QQ.*
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.*
- The applicant shall verify that the existing sanitary service is adequate to handle the required flows for the building's use.*
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*
- Applicant shall verify the existing water service type, size, and lead capacity and shall verify that the existing service is adequate to handle the required flows.*
- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*
- Applicant shall ensure that there is adequate exterior lighting and provide details for the existing lighting on the building.*
- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*
- Applicant shall provide details on ventilation and odor control methods.*
- Applicant shall provide details on proposed sale and display methods.*
- Applicant shall provide the required dumpster screening and details on enclosure and locking.*
- Applicant shall provide details on how the product will be transferred from the loading area into the building.*
- Applicant shall provide hours of operation.*
- Applicant shall operate in compliance with the Michigan Department of Community Health, the MRTMA, the MMMA, and all administrative rules and regulations in the Ordinance Chapter 853 Marihuana Licenses.*
- Applicant to secure all appropriate agency reviews as needed.*

Recommendations

None

MOSES ROSES LINCOLN PARK DISPENSARY

1005 JOHN A. PAPALAS DRIVE, LINCOLN PARK, MICHIGAN, 48146



Sidock Group
ENGINEERS-ARCHITECTS-CONSULTANTS

Corporate Headquarters
45650 Grand River Avenue
Novi, Michigan 48374
Ph: (248)349-4500 • Fax: (248)349-1429

Wyandotte Office
4242 Biddle Avenue
Wyandotte, Michigan 48192
Ph: (734)285-1924 • Fax: (734)285-2833

Novi • Wyandotte • Muskegon
Lansing • Gaylord • Sault Ste. Marie

www.sidockgroup.com
www.sidockarchitects.com

Key Plan: No Scale



INDEX TO DRAWINGS

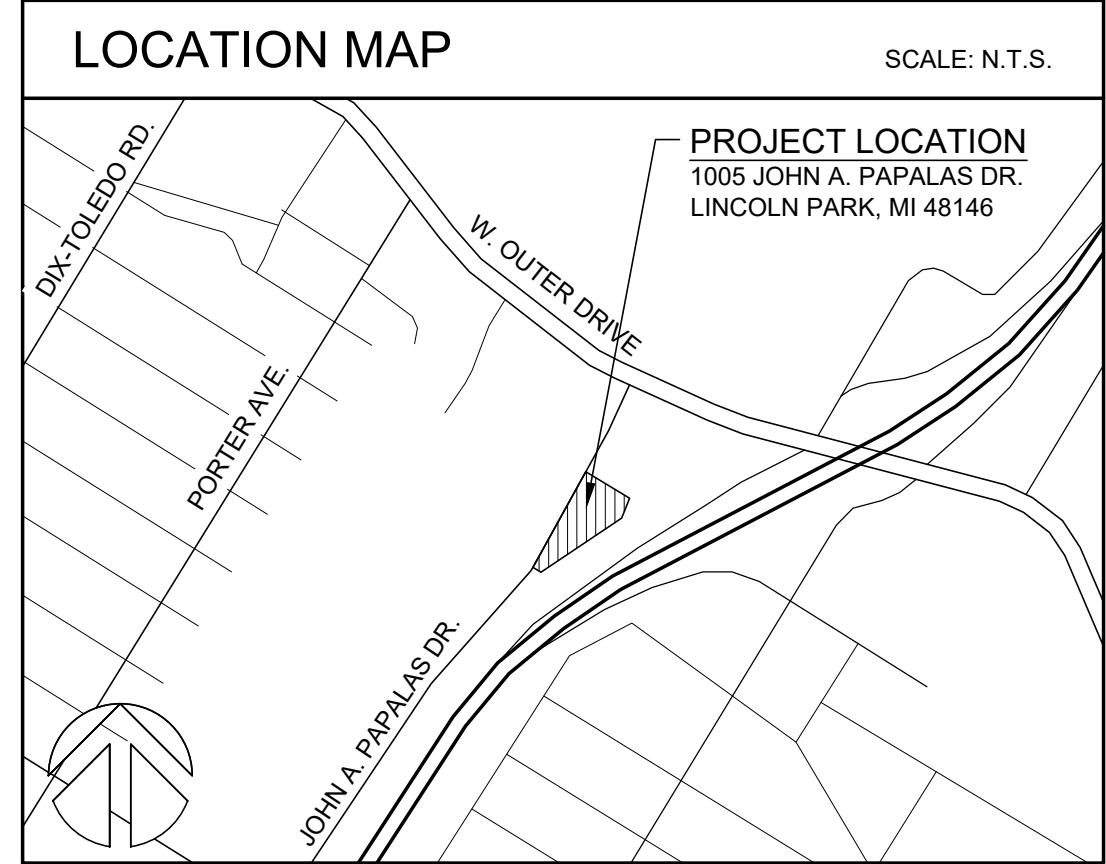
GENERAL

CS-001 COVER SHEET / LOCATION MAP / DRAWING INDEX

ARCHITECTURAL

AS-001 ARCHITECTURAL SITE PLAN

A-210 PROPOSED FLOOR PLAN / EXTERIOR ELEVATIONS



Client:
OX TAIL INC.

32411 MOUND ROAD
WARREN, MI 48092
ph.: 586.303.2211

Project:
**MOSES ROSES
LINCOLN PARK
DISPENSARY**

1005 JOHN A. PAPALAS DRIVE
LINCOLN PARK, MI 48146

Seal:



Emmanuel D. Kollias

Date: 04/27/2021 Issued For: SITE PLAN APPROVAL

Drawn: JG
Checked: EK
Approved:

Sheet Title:
**COVER SHEET /
LOCATION MAP /
DRAWING INDEX**

Project Number: **351018**

Sheet Number: **CS-001**

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Key Plan: No Scale

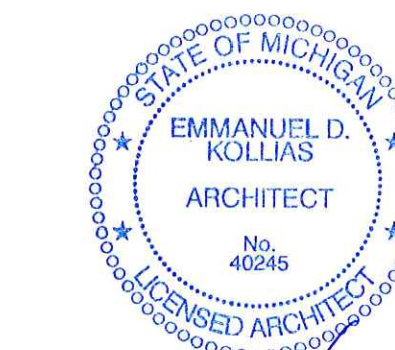
Client:
OX TAIL INC.

32411 MOUND ROAD
WARREN, MI 48092
ph.: 586.303.2211

Project:
**MOSES ROSES
LINCOLN PARK
DISPENSARY**

1005 JOHN A. PAPALAS DRIVE
LINCOLN PARK, MI 48146

Seal:



Emmanuel D. Kollias

Date: 04/27/2021 Issued For: SITE PLAN APPROVAL

Drawn:
Checked:
Approved:

Sheet Title:
**ARCHITECTURAL
SITE PLAN**

Project Number: 351018

Sheet Number: **AS-001**

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SITE NOTES

- MATERIALS SHALL NOT BE STORED AND NO ACTIVITIES SHALL TAKE PLACE OUTDOORS.
- ALL LANDSCAPING IS EXISTING AND SHALL REMAIN.

LEGAL DESCRIPTION

CG27A.27B LOT 27 EXC TRIANGULAR PART MEASURING 201.27 FT ON THE NWLY LOT LINE 226.28 FT ON THE SELY LOT LINE LINCOLN PARK INDUSTRIAL SUB PC 37.50,667 L100 P26 TO 30 WCR
CALCULATED PARCEL AREA = ~ 81,523 S.F.

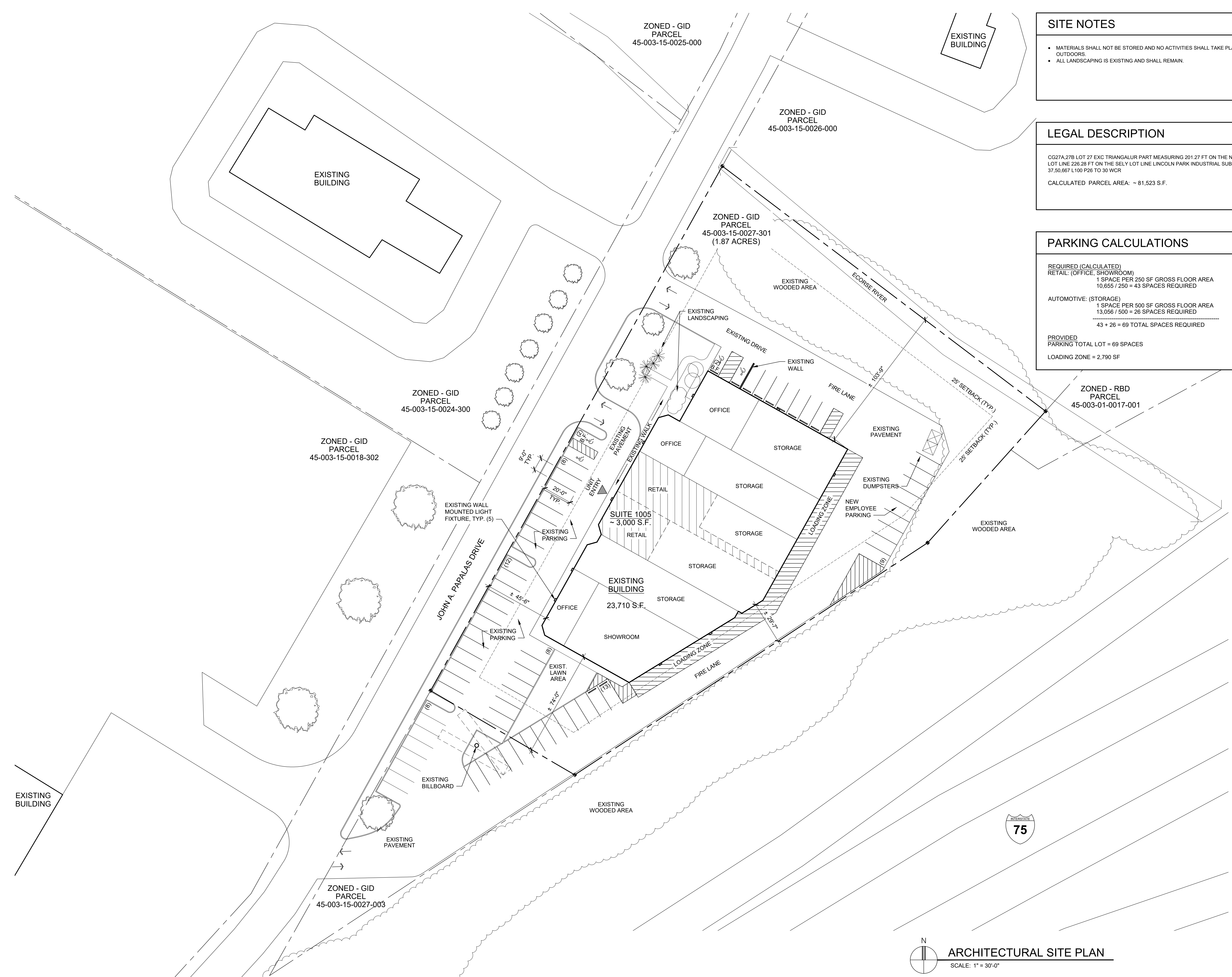
PARKING CALCULATIONS

REQUIRED (CALCULATED)
RETAIL: (OFFICE, SHOWROOM)
1 SPACE PER 250 SF GROSS FLOOR AREA
10,655 / 250 = 43 SPACES REQUIRED

AUTOMOTIVE: (STORAGE)
1 SPACE PER 500 SF GROSS FLOOR AREA
13,056 / 500 = 26 SPACES REQUIRED

43 + 26 = 69 TOTAL SPACES REQUIRED

PROVIDED
PARKING TOTAL LOT = 69 SPACES
LOADING ZONE = 2,790 SF



ARCHITECTURAL SITE PLAN
SCALE: 1" = 30'-0"

F:\2021\051018 Lincoln Park Dispensary\05 Architecture and Design\351018 AS-001 ARCH SITE PLAN.dwg Fri, 23 Apr 2021 - 11:34am



Sidock Group
ENGINEERS-ARCHITECTS-CONSULTANTS

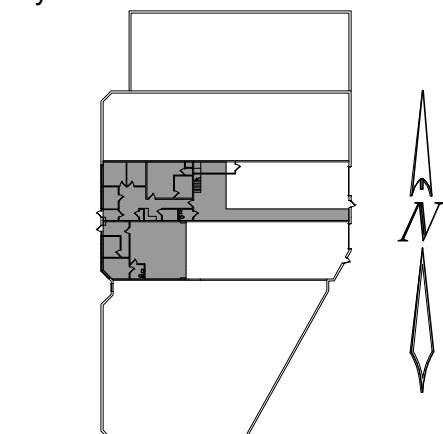
Corporate Headquarters
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Novi • Wyandotte • Muskegon
Lansing • Gaylord • Sault Ste. Marie

www.sidockgroup.com
www.sidockarchitects.com

Key Plan: No Scale



Client:
OX TAIL INC.

32411 MOUND ROAD
WARREN, MI 48092
ph.: 586.303.2211

Project:
**MOSES ROSES
LINCOLN PARK
DISPENSARY**

1005 JOHN A. PAPALAS DRIVE
LINCOLN PARK, MI 48146

Seal:



Date: 04/27/2021 Issued For: SITE PLAN APPROVAL

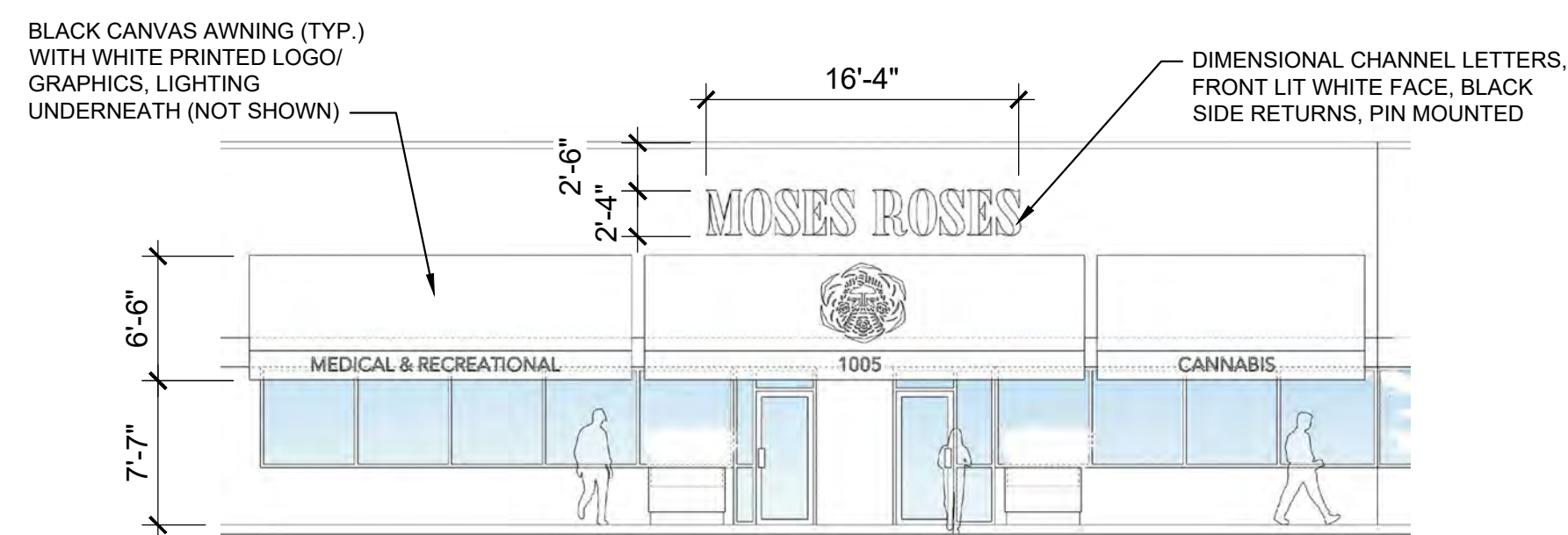
Drawn:
Checked:
Approved:

Sheet Title:
**PROPOSED
FLOOR PLAN /
EXTERIOR
ELEVATION**

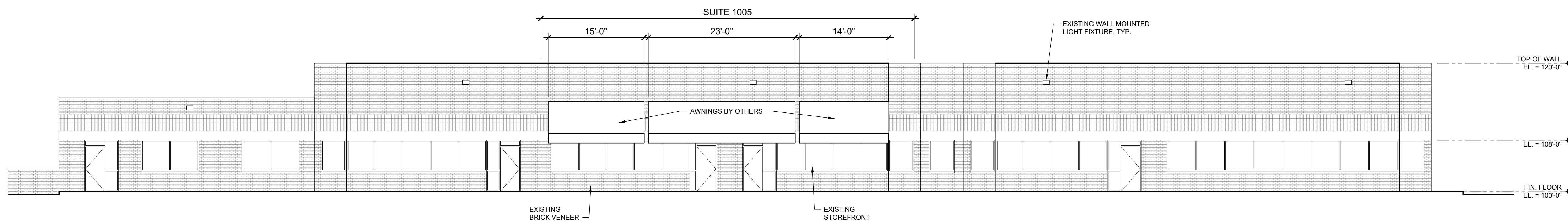
Project Number: 351018

Sheet Number: **A-210**

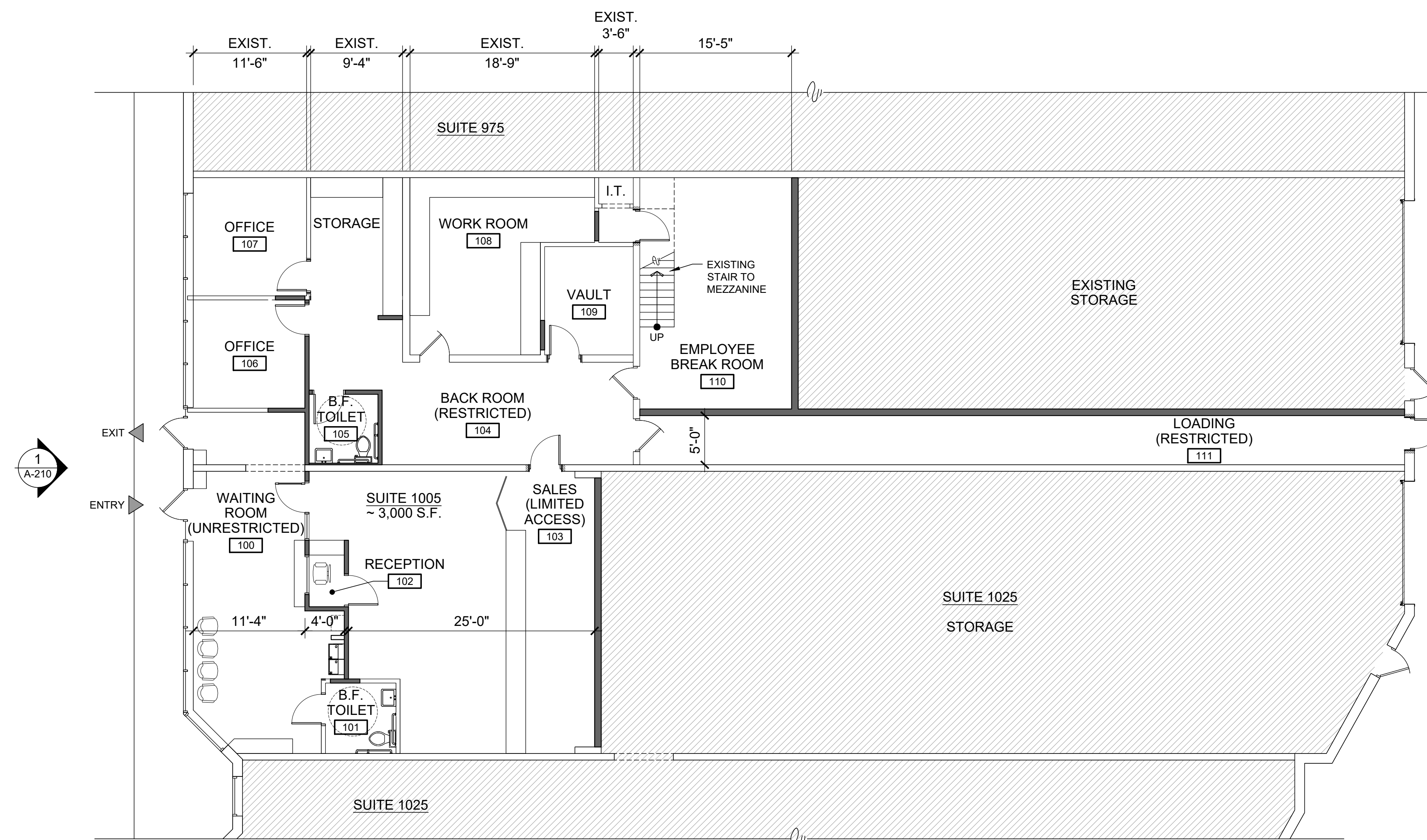
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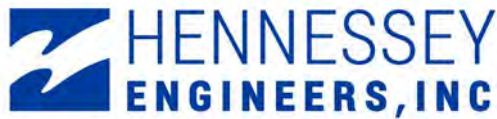
2 SIGNAGE ELEVATION
SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"



March 21, 2021

Ms. Leah DuMouchel, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI, 48103-4978

**Re: Moses Roses Dispensary
1005 John A. Papalas Drive
City of Lincoln Park, MI
Hennessey Project 72145**

Dear Ms. DuMouchel:

Hennessey Engineers, Inc., completed our first review of the plans for the Planning Commission submittal dated April 27, 2021 and received via email from you.

The project consists of an existing commercial building for use as a cannabis dispensary.

Listed below are some comments which are recommended to be addressed in the Preliminary Plan approval but would not be grounds for a reason for denial from an engineering feasibility standpoint:

RECOMMENDATIONS

1. If the existing sanitary sewer service is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead.
2. The site plan does not show any new water service connections. If the existing water service is being reused, it is important that the developer realize this existing water service is old and may have reached its life expectancy.

REQUIRED

3. **If the existing service is a lead type service, it will be required to be removed and replaced. The engineer or architect must verify existing water service type and size.** The architect should verify that the existing service is adequate to handle the required flows. If it is undersized for the proposed use of the building or if it is a lead type service, it must be replaced. The developer's engineer or architect shall determine the water service lead capacity.

Sheet AS-001

4. The existing parking lot is a concrete parking lot. Some of the concrete sections are in poor condition. The sections with multiple cracks, and unsafe, Spaulding and deteriorated concrete must be replaced to bring the parking lot up to City of Lincoln Park Standards.
5. The concrete sections that have a single crack are not a safety hazard may be able to be joint sealed as directed by the engineer.
6. The south side of the south drive approach has broken and deteriorated concrete. This section must be replaced.
7. The gutter area of both the south and south area of the north drive approach is in poor condition and must be replaced.

From an engineering feasibility, our office does not have any issues with the approval of the Site Plan submittal. Therefore, from the engineering feasibility review it would be our recommendation for the “**approval**” of the Preliminary Site Plan.

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC



James D. Hollandsworth, P.E., P.S.
Lincoln Park Project Manager

JDH/bd

cc: John Kozuh, DPW Director, City of Lincoln Park
John Meyers, Building Official, City of Lincoln Park
Laura Passalacqua (D’Onofrio), Clerk, City of Lincoln Park
Monserrat Contreras, Permit Clerk, City of Lincoln Park

B.3

R:\Municipalities\70000's Lincoln Park\72000's\72145 Moses Roses Dispensary\1005 John Papalas\Moses Roses Dispensary 1005 John A. Papalas DR 1st PC Review May 2, 2021.docx

RECEIVED

APR 26 2021

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

Case No. PPC21-0013

Date Submitted 4-26-21

City of Lincoln Park

APPLICATION FOR SPECIAL USE APPROVAL

NOTICE TO APPLICANT: Applications for Special Use review by the Planning Commission must be submitted to the City *in substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by six (6) individual folded copies of the site plan, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

Special Uses shall comply with the standards in Section 1262.08 of the Zoning Ordinance. Accordingly, a public hearing shall be held by the Planning Commission before a decision is made on any Special Use request. Furthermore, a site plan shall be required, which shall be prepared in accordance with Section 1294.01 of the Ordinance.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned do hereby respectfully request Special Use Review and provide the following information to assist in the review:

Applicant: Ox Tail Inc.

Mailing Address: 32411 Mound Road, Warren, Michigan 48092

Email Address: aaron@chrisaiello.com and chris@chrisaiello.com

Telephone: (586) 303-2211 Fax: (586) 303-1259

Property Owner(s) (if different from Applicant): C&Z Realty LLC

Mailing Address: 975 John A Papalas Drive, Lincoln Park, MI 48146

Telephone: (313) 790-1905 Fax: _____

Applicant's Legal Interest in Property: Tenant

Location of Property: Street Address: 1005 John A Papalas Drive

Nearest Cross Streets: John A Papalas Drive, Between West Outer Drive and Cicotte Avenue

Sidwell Number: 45-003-15-0027-301

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., "acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

CG27A,27B LOT 27EXC TRIANGULAR PART MEASURING 201.27 FEET ON THE NWLY LOT LINE 226.28 FEET ON THE SELY LOT LINE, LINCOLN PARK INDUSTRIAL SUB PC 37,50,667 L100 P26 TO 30 WCR

Property Size (Square Ft): 81,476 (Acres): 1.87

Present Use of Property: Partially Occupied

Proposed Use of Property: Medical and Recreational Marihuana Retail Facility

98C91-0013
4-22-21

RECEIVED

APR 20 2021

CITY OF LINCOLN
BUILDING DEPARTMENT

[Faint, mostly illegible text, likely a permit application or official correspondence]

Existing Zoning (please check):

- | | |
|---|--|
| G SFRD Single Family Residential District | G RBD Regional Business District |
| G MFRD Multiple Family Residential District | G CBD Central Business District |
| G MHRD Mobile Home Park District | G GID General Industrial District |
| G NBD Neighborhood Business District | G LID Light Industrial District |
| G MBD Municipal Business District | G CSD Community Service District |
| G PUD Planned Unit Development District | |

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1 of 4 units	3,000 sf of 23,710 sf.	8
Industrial			
Other			

ATTACH THE FOLLOWING:

- Six (6) individually folded copies of the site plan, sealed by a registered architect, engineer, landscape architect or community planner.
- Proof of property ownership.
- A brief written description of the proposed use.

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this application.

Josh Aullo 4-23-21
 Signature of Applicant OX TAIL VENTURES Date

Signature of Applicant _____ Date _____
Mark P Clark 4-23-21
 Signature of Property Owner Authorizing this Application Date

To be completed by City:

Date Submitted: _____ Fee Paid: _____

Received By: _____ Date of Public Hearing: _____

PLANNING COMMISSION ACTION (RECOMMENDATION)

To Approve: _____ To Deny: _____ Date of Action: _____

Reasons for Action Taken: _____

CITY COUNCIL ACTION

Approved: _____ Denied: _____ Date of Action: _____

Reasons for Action Taken: _____

City of Lincoln Park Planning and Development
Conceptual Review by Planning Commission

§1296.01.D.2

- A. An applicant may file a written request for conceptual review of a preliminary site plan by the Planning Commission, prior to submission of a site plan for formal (final) review. Conceptual site plan review is required for all special land use, planned unit development, condominium and conditional rezoning projects. A site plan submitted for conceptual review shall be drawn to scale, and shall show site development features in sufficient detail to permit the Planning Commission to evaluate the following:
1. Relationship of the site to nearby properties;
 2. Density;
 3. Adequacy of landscaping, open space, vehicular drives, parking areas, drainage, and proposed utilities; and,
 4. Conformance with City's development policies and standards.
- B. Conceptual review fees shall be paid according to the fee schedule established by the City Council.
- C. No formal action shall be taken on a site plan submitted for conceptual review, and neither the applicant nor the Planning Commission shall be bound by any comments or suggestions made during the course of the conceptual review.

Monthly Planning Report

Serving & Planning Communities throughout Michigan

May 2021

Top
Story

"In flooded Michigan neighborhoods, who should pay for sea walls?"

"It's a conundrum that communities from urban southeast Michigan to the ritzy vacation enclaves of west Michigan will encounter with increasing frequency: Who should pay for climate adaptation?"

Bridge Magazine investigates flood damage and prevention in a March article, with an example in Detroit's Jefferson Chalmers neighborhood. "The only way to ensure last year's crisis doesn't happen again is to build higher seawalls, at a potential cost of tens of thousands of dollars per property. ... City officials have told residents that they are responsible for reinforcing the seawall on their private property — a common local government policy that protects taxpayers from footing the bill for private property improvements. ... But in a neighborhood with a median household income of \$29,750 (a little more than half the state average) and a mix of large well-maintained homes, modest dwellings, empty lots and vacant buildings, not everybody can afford to comply."

Bridge Michigan. More information: <https://www.bridgemi.com/michigan-environment-watch/flooded-michigan-neighborhoods-who-should-pay-sea-walls>

News

Special Use Permit for "therapeutic farm community" upheld

"The Seventh Circuit Court of Appeals has recognized in the context of reasonable accommodations for housing that 'prospective neighbors' public safety concerns could not 'be based on blanket stereotypes about disabled persons'..."

A special use permit and site plan approval were approved in Cheboygan County for a "therapeutic farm community" for residents with mental illnesses that "substantially affect" one or more major life activity, providing room, board, farming opportunities, and other activities in a setting designed to enable residents to "work toward healing and living independently," also proposing 24-hour on-site staffing to provide medication reminders, treatment plans, and individual and group therapy. A neighboring homeowner association challenged the approval based on a requirement to demonstrate that the use would not place an undue burden on local emergency response, but the details of the case result in a ruling that the neighbors did not have standing to appeal. Furthermore, the appellate court sharply reprimanded both the subject and the tone of the appellant's discourse: "Here, we conclude that the circuit court based its decision on the Association's speculative fears and concerns which are based on nothing more than stereotypes and prejudices associated with mental illness. Such stereotypes and prejudices are not a proper basis for demonstrating that a party has been aggrieved by a zoning decision."

MI Court of Appeals. More information: <http://www.michbar.org/file/opinions/appeals/2021/031821/75086.pdf>

Training and Education

CEDAM Educational Opportunities

Financial Empowerment

Financial capabilities, financial stability, financial education... The financial empowerment world is an alphabet soup of terms! CEDAM's Brian Rakovitis will unpack what financial empowerment means and share examples of ways that Michigan communities are implementing best practices to raise the bar in their communities.

June 15, 10-11:30 am \$15

CEDAM. More information: <http://cedamichigan.org/>

Grants

Corona State and Local Fiscal Recovery Fund Pre-Award Requirements

Prior to the formal launch of the Coronavirus State and Local Fiscal Recovery Funds Program, those entities that are eligible to receive a direct payment of funds from Treasury under the program should prepare certain information in advance. By undertaking these preparatory steps, eligible entities will be better positioned to receive payments from Treasury in a more timely manner after the program is launched. All Federal financial assistance recipients must have a Data Universal Numbering System (DUNS) number and an active registration with the System for Award Management (SAM) database at SAM.gov. Eligible Non-entitlement Units of Local Government will receive a distribution of funds from their respective state government. "Non-entitlement units of local government" are defined in 42 U.S.C. 5302(a)(5) that are not metropolitan cities. For these Non-entitlement units of local government, Treasury will allocate and pay funds to state governments, and the state will distribute funds to non-entitlement units of local government in proportion to population. Non-entitlement units must have a valid DUNS number to meet reporting the requirements under the program. If an entity does not have a valid DUNS number, please visit <https://fedgov.dnb.com/webform/> or call 1-866-705-5711 to begin the registration process.

U.S. Department of the Treasury. More information: <https://home.treasury.gov/policy-issues/coronavirus/assistance-for-state-local-and-tribal-governments/state-and-local-fiscal-recovery-fund>

EGLE announces largest collaborative effort in state history to spark "recycling and recovery" economy

On Monday, April 19, the Department of Environment, Great Lakes, and Energy (EGLE), Michigan Chamber of Commerce, Meijer and bipartisan Michigan lawmakers announced the kickoff of the NextCycle Michigan initiative. This is a first-of-its-kind partnership that will fund infrastructure investment to promote the development of markets for recycled materials and recycled products, including manufacturing. EGLE announced a record-setting total of more than \$4.9 million in Renew Michigan grants to recipients in 45 communities statewide that will support the NextCycle Michigan initiative. The NextCycle Michigan Initiative and Renew Michigan grants mark the largest push in state history to promote recycling activities that divert materials from Michigan landfills, boost local economies, and support Governor Gretchen Whitmer's climate change priorities through reductions in greenhouse gas emissions.

EGLE. More information: <https://content.govdelivery.com/accounts/MIDEQ/bulletins/2cdc06e>