



LINCOLN PARK PLANNING COMMISSION

October 13, 2021 at 7 p.m.

REMOTE MEETING VIA ZOOM

Call: 1 646 558 8656

Web: www.zoom.us

Meeting ID: 734 663 2622

Participant ID is #

AGENDA

- I. **Call to Order**
- II. **Roll Call**
- III. **Approval of Previous Minutes**
- IV. **Approval of Agenda**
- V. **Old Business**
- VI. **New Business**
 - A. Conceptual Review: 2017 Fort Street – Body Art Facility
- VII. **Policy Review and Discussion**
- VIII. **Education and Training** (see October Planning Report)
- IX. **Reports from Department and Other Boards and Commissions**
- X. **Public Comments**
- XI. **Comments from Planning Commissioners**
- XII. **Adjournment**

The City of Lincoln Park will provide necessary reasonable auxiliary aides and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park MI 48146; 313-386-1800 ext. 1296

**CITY OF LINCOLN PARK
COUNTY OF WAYNE, STATE OF MICHIGAN
PLANNING COMMISSION MEETING OF SEPTEMBER 8, 2021**

A Planning Commission meeting of September 8, 2021, via Zoom for Lincoln Park, Michigan was called to order at 7:06 p.m. Mr. Persinger, Commencing with the Pledge of Allegiance.

PRESENT: Palmer, Kissel, Horvath, Persinger, Duprey, LoDuca

ABSENT: Briones

EXCUSED: Graczyk

ALSO PRESENT: Elizabeth Gunden, John Meyers, Yasser Mahmoud

APPROVAL OF MINUTES

Moved by: Persinger to approve the minutes as corrected

Supported by: Palmer

MOTION CARRIED unanimously

APPROVAL OF AGENDA

Moved by: Duprey

Supported by: Persinger

MOTION CARRIED unanimously

OLD BUSINESS

(A) SITE PLAN REVIEW – 881 SOUTHFIELD

The proposed project adds the use of Auto Sales to an existing Auto Repair Facility. The property is 9,520 sq. ft., which consists of a 5,203 sq. ft. existing one-story building and 4,317 sq. ft. of open space. The proposed Auto Sales occupies the east side of the building, approximately 2,708 sq. ft. The Auto Repair Facility occupies the west section of the building, approximately 2,495 sq. ft. The existing Automotive Repair Station does not meet the standards of 1294.14, which governs Automotive Service Stations, Repair Centers, and Public Garages. This review treats the existing business as legally nonconforming, and it evaluates only the proposed addition of the Sales use. It explicitly does not grant Special Land Use approval to the existing Automotive Repair use. The site is located between Southfield Rd to the north and Wilson Ave to the west. The site is served by a 5 ft. concrete sidewalk along Wilson Ave; however, the sidewalk discontinues alongside the property at Southfield Rd and starts to appear again on the far east side of the property. The rear side of the property adjoins a public alley. An outdoor auto display area is proposed in front of the building, and there are proposed customer parking spaces on the east side of building.

Discussion: Owner also validated that the business is not in operation. The Building Official will require him to clear the premises of all debris and vehicles and register as a vacant property within 14 days.

Proposed motion: Move that the City of Lincoln Park Planning Commission approve the site plan numbered PI20-003, AT 881 Southfield rd. and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of 1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

Moved by: Persinger
Supported by: Duprey

Yay's: Persinger, Lodcua, Duprey, Kissel, Horvath
Nay's: Palmer

MOTION Approved

(B) PUBLIC HEARING: 881 SOUTHFIELD – AUTO REPAIR & SALES

Public Hearing opened at 7:30 p.m.

Seeing no public comment and hearing no public comment.

Public Hearing closed at 7:31 p.m.

(C) Special Land Use: 881 SOUTHFIELD – AUTO REPAIR & SALES

The applicant proposes to obtain Special Land Use approval to add an auto sales use to an existing auto repair facility. The property is 9,520 sq ft, which consists of a 5,203 sq ft existing one-story building and 4,317 sq ft of open space. The proposed auto sales occupies the east side of the building, approximately 2,708 sq ft. The auto repair facility occupies the west section of the building, approximately 2,495 sq ft. The proposed use of an automotive repair facility and used motor vehicle sales is permitted within the Municipal Business District (MBD) after Special Land Use Approval under section 1278.03 of the Lincoln Park Zoning Code, and subject to section 1294.14.

Proposed motion grant Special Land Use Approval for auto sales at 881 Southfield Rd, as requested in PI 20-003 based on affirmative finding of compliance with the criteria set forth in Section 1262.08 of the Lincoln Park Zoning Code.

Moved by Duprey.
Supported by Persinger.
Motion Approved Unanimously.

NEW BUSINESS

(A) PLANNING COMMISSION MEMBERS' REMOVAL

There have been three planning commission members that have been absent through all past meetings due to health and other issues. In an effort to have a full board of members consistently present at every planning commission meeting, two legal notices were sent to Member Brionnes and Member Hill to notify them of their intended dismissal by this board. A third discussion took place with Member Graczyk to remove himself from the Board due to his health concerns that don't allow him to be present.

Discussion.

Motion that the City of Lincoln Park Planning Commission recommend to the council to remove the three members, Mr. Arturo Briones, Ms. Hill and Mr. Gerald Graczyk.

Moved by: Persinger
Supported by: Palmer

MOTION CARRIED unanimously

POLICY REVIEW AND DISCUSSION

None.

EDUCATION AND TRAINING

A. See September Planning Report

REPORTS FROM DEPARTMENTS AND OTHER BOARDS AND COMMISSIONS

John Meyers reported that we have several cases on ZBA and DBB coming up soon.

PUBLIC COMMENTS

Lillian Ross wanted to clarify the information presented on 881 Southfield and what would be required for this business owner for his waste disposal.

COMMENTS FROM PLANNING COMMISSIONERS

Questions were presented on when Taco Bell will be moving forward with their project.

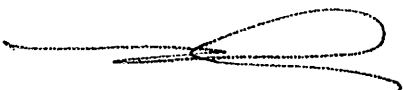
ADJOURNMENT

Moved by: Persinger to adjourn

Supported by: Loduca

MOTION CARRIED unanimously

Meeting adjourned at 7:55 p.m.



MICHAEL HORVATH, Secretary

2017 Fort – Body Art Facility

Conceptual Site Plan Review

Applicant	Gary Gray, represented by Detroit Architectural Group
Project	Body Art Facility
Address	2017 Fort St. Lincoln Park, MI 48146
Date	October 13, 2021
Request	Conceptual Site Plan Review
Recommendation	None – Advisory Only

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description

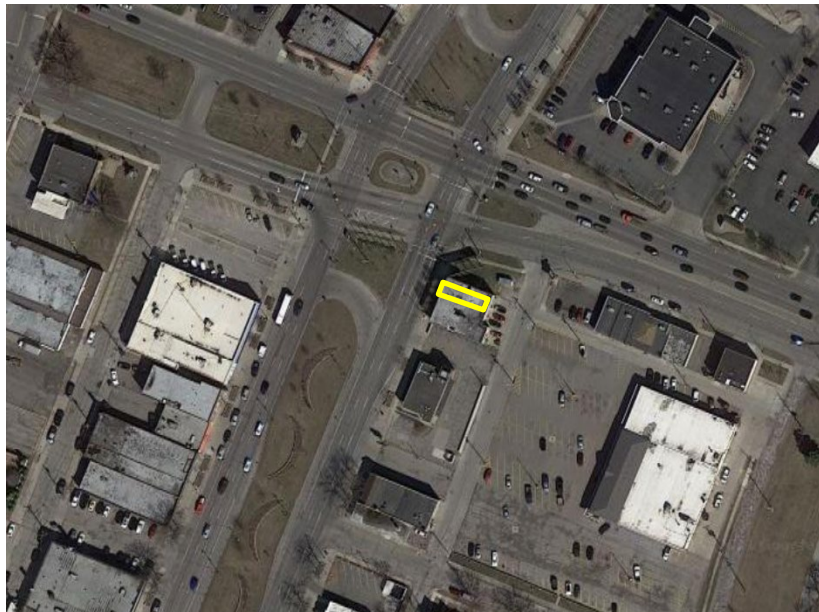


Figure 1: Aerial View

The proposed project is a body art facility (tattoo parlor). The site was previously used as a pharmacy, and the proposed body art facility will re-occupy the ground floor of the existing building.

Site Conditions

The site is one of three units in an existing building on the corner of Fort Street and Southfield Road. The entire site is about 0.13 acres, and the subject property is 1,506 sq. ft. in floor area. The site fronts Fort Street and has vehicular access via McKinley Street in the rear. There is an existing 20-ft. concrete sidewalk along Fort Street and six total parking spaces for

the building in the rear (two for each unit). There are existing raised planter boxes in the front of the building containing four trees.

Master Plan

Future Land Use Classification

The future land use classification for the site is Downtown Commercial. The proposed body art facility use is consistent with the designation.

Intent, Desirable Uses, and Elements

The Downtown Commercial land use is intended to be the commercial core of the community, and experiential businesses such as boutique shopping, entertainment, restaurants, and unique services are preferred. The atmosphere should have a strong physical presence, which includes walkability, density, attractive storefronts, intense landscaping, public realm amenities, detailed architecture, and consolidated parking.

Land Use and Zoning

Zoning

The site is zoned Central Business District (CBD). A “Body Art Facility” is permitted after Special Land Use approval in the district per §1280.03(l), subject to the site design standards of §1296.02(PP).

Proposed and Existing Uses

Site	Vacant – Central Business District (CBD)
North	ROW, then Commercial – Central Business District (CBD)
East	ROW, then Commercial – Central Business District (CBD)
South	Commercial – Central Business District (CBD)
West	ROW, then Commercial – Central Business District (CBD)



Figure 2: Zoning Map

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
Ex-1	Existing Site and Floor Plans, Exterior Elevations, Photos & Notes	09/10/2021	–

Dimensional Standards

The dimensional requirements of the Central Business District (CBD) district are described in the chart below. (§1294.32, except where noted)



	Required	Provided	Compliance
Lot Width	Min. 30'	60 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls maximum 2 ½' < height < 8'	No intersections	N/A
Lot Area	Min. 3,000 sq. ft.	~5,663 sq. ft.	Met
Lot Coverage	Max. 100%	3,789/5,663 = ~67%	Met
Height	3-Story Building; 40 ft	2 story; 24 ft.	Met
Setback – Front	0 ft.	0 ft.	Met
Setback – Sides	0 ft.	0 ft.	Met
Setback – Rear	0 ft.	~19 ft.	Met

Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> • Building mass, height, bulk & width-to-height ratio within 50-150% of buildings within 500' 	Met
<ul style="list-style-type: none"> • Architectural variety • Similar materials and entrances to buildings within 500'  <p>Figure 3: 1 block north on Fort St. – 2-story, square, flat roofs, masonry.</p>  <p>Figure 4: 1 block south on Fort St. – 2-story, square, flat roofs, masonry.</p>	Met

Required	Compliance
<ul style="list-style-type: none"> • Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) <u>West Elevation (front): 97% brick + CMU (929/962)</u> <ul style="list-style-type: none"> ○ Brick + CMU: ~929 sf ○ Door: ~33 sf ○ Glass Windows & Doors (exempt): ~478 sf ○ Total Area: ~1,440 sf <u>East Elevation (rear): 93% brick (1,115/1,203)</u> <ul style="list-style-type: none"> ○ Brick: ~1,115 sf ○ Doors: ~88 sf ○ Glass Windows (exempt): ~116 sf ○ Total Area: ~1,319 sf <u>North Elevation (side): 100% brick (1,498/1,498)</u> <ul style="list-style-type: none"> ○ Brick: ~1,498 sf ○ Glass Windows (exempt): ~22 sf ○ Total Area: ~1,520 sf <u>South Elevation (side): 100% brick (1,493/1,493)</u> <ul style="list-style-type: none"> ○ Brick: ~1,493 sf ○ Glass Windows (exempt): ~27 sf ○ Total Area: ~1,520 sf 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block) • Natural colors (bright for decorative features only) <i>Natural brick and tan paint</i> 	<p>Met</p>
<ul style="list-style-type: none"> • Façade: <100' uninterrupted • If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches • All sides similar <i>All sides are brick</i> 	<p>Met</p>
<ul style="list-style-type: none"> • Windows: vertical, recessed, visually obvious sills • Spaces between windows = columns, mullions, or material found elsewhere on the façade • Front facades > 25% windows ~33% transparency (478/1,440) • Size, shape, orientation, spacing to match buildings within 500' 	<p>Met</p>
<ul style="list-style-type: none"> • Main entrances: doors larger • Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) <i>Existing awning, distinctive door pulls, accent colors</i> 	<p>Met</p>
<ul style="list-style-type: none"> • Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 <i>Existing flat roof</i> • Rooflines >100' = roof forms, parapets, cornice lines • Roof-top mechanical equipment screened by roof form. <i>No roof-top mechanical equipment</i> 	<p>N/A</p>

Items to be addressed

None

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve; however, the existing trees in the raised planter boxes will remain.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

There is an existing 20-ft. public sidewalk in front of the building along Fort Street which provides pedestrian circulation separated from the vehicular circulation. The sidewalk appears to be in good condition. There are no bicycle lanes on the ROW or bicycle parking facilities proposed.

Items to be addressed

None

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Service Establishment	Two (2) for every one-thousand (1,000) square feet of gross leaseable floor area. <i>GLFA = ~1,025 sf 1,025 / 1,000 = 1.025 x 2 = 2.05 = 2 spaces</i>	2 spaces	Met

There are six (6) existing parking spaces in the rear of the building, and there are presumably two (2) for each of the three units. The parking requirements for a service establishment, which is the most relevant category for a body art facility, yield only two (2) parking spaces required; therefore, the site meets parking requirements.

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Ingress and egress provided from McKinley Street.	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Parking area is concrete that appears to be in good condition.	Met
	Concrete curbs and gutters	Existing concrete curbs and gutters.	Met
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	No adjoining residential property.	N/A
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	No adjoining residential property.	N/A
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	There is ample space for maneuvering given the size constraints of the site.	Met
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	Parking area does not abut a public sidewalk.	N/A

Items to be addressed

None

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 to 25	1	0	NOT MET

The allotted space for the two parking spaces is only about 20 feet wide, making the provision of a barrier-free space impossible with the dimension requirements for barrier-free parking spaces.

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
0 to 2,000	0	0	Met

Items to be addressed

None

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Rd., Fort St., Dix Ave., and Outer Dr.

There is no vehicular access to this site from any of these routes (vehicular access is via McKinley Street behind the building), so the standards of this section do not apply.

Items to be addressed

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via either Fort Street or McKinley Street. The Police Department has indicated that it has no concerns with the proposal.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	The area between the curb and building is completely paved; however, there are two 8-ft-wide planter boxes in front of the building.	Met as possible
	1 tree and 4 shrubs per 40' of street frontage 60' of frontage = 1 tree and 6 shrubs 30% redevelopment standard = 0 trees and 2 shrubs	4 existing trees in raised planter beds.	Met
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	No headlights will shine into the ROW.	Met
Interior Landscaping	10% of total lot area landscaped, including groundcover (5,663 sf * 0.1) = 566 sf landscaping 30% redevelopment standard: 170 sf	The existing landscaped area is 288 sf.	Met
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Landscaped area is in front of the building next to entrance.	Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping 170 sf (30% redevelopment standard) = 0 trees and 0 shrubs	4 existing trees in raised planter beds.	Met
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces < 10 parking spaces = 0 trees	No parking lot trees proposed or required.	N/A
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	No trash management plan provided.	INQUIRY
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive), and/or solid 6' masonry wall ornamental on both sides	No abutting residential.	N/A

Items to be addressed

- *Applicant shall provide a trash management plan.*

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- *Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.*
- *A Soil Erosion and Sedimentation permit must be obtained from Wayne County.*

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site. Engineering comments state that if the existing sanitary sewer is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. If the existing water service is being reused, it is important that the developer realize this existing water service is also old and may have reached its life expectancy. If the existing service is a lead-type service or undersized, it will be required to be removed and replaced. The design professional must verify the existing water service type, size, and lead capacity and should verify that the existing service is adequate to handle the required flows. Utility connections should be shown on the plans.

Items to be addressed

- *Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- *It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be

encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

There is existing lighting on the front façade of the building. No additional new lighting is indicated on the site plan.

Items to be addressed

- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

There is existing ground-mounted mechanical equipment that is not screened. Should the existing equipment be replaced, it would need to be screened in accordance with Ordinance requirements.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during site plan review is for illustrative purposes only.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

The proposed use is expected to generate some quantity of hazardous materials or waste, and tattoo parlors are regulated by the County. Applicant shall provide documentation of compliance with County, State and Federal standards for storage, use, handling, and disposal.

Items to be addressed

- Applicant shall provide documentation of compliance with County, State, and Federal standards for storage, use, handling, and disposal of hazardous materials and waste.

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

	Required	Proposed	Compliance
Setback	No body art facility shall be permitted within one thousand (1,000) feet of another body art facility.	No other body art facility appears to be within 1,000 ft.	Met

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- Applicant to secure all appropriate agency reviews as needed.

VARIANCES

No variances are anticipated from this proposal.

Items to be addressed

None

RECOMMENDATIONS

Findings

The information submitted with this proposal is substantially in compliance with §1296.01, Site Plan Review.

Conditions of Approval

- Applicant shall provide a trash management plan.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.
- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.
- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Applicant shall provide documentation of compliance with County, State, and Federal standards for storage, use, handling, and disposal of hazardous materials and waste
- Applicant to secure all appropriate agency reviews as needed.

Recommendations

None – Advisory only

MONSTER INK TATTOO

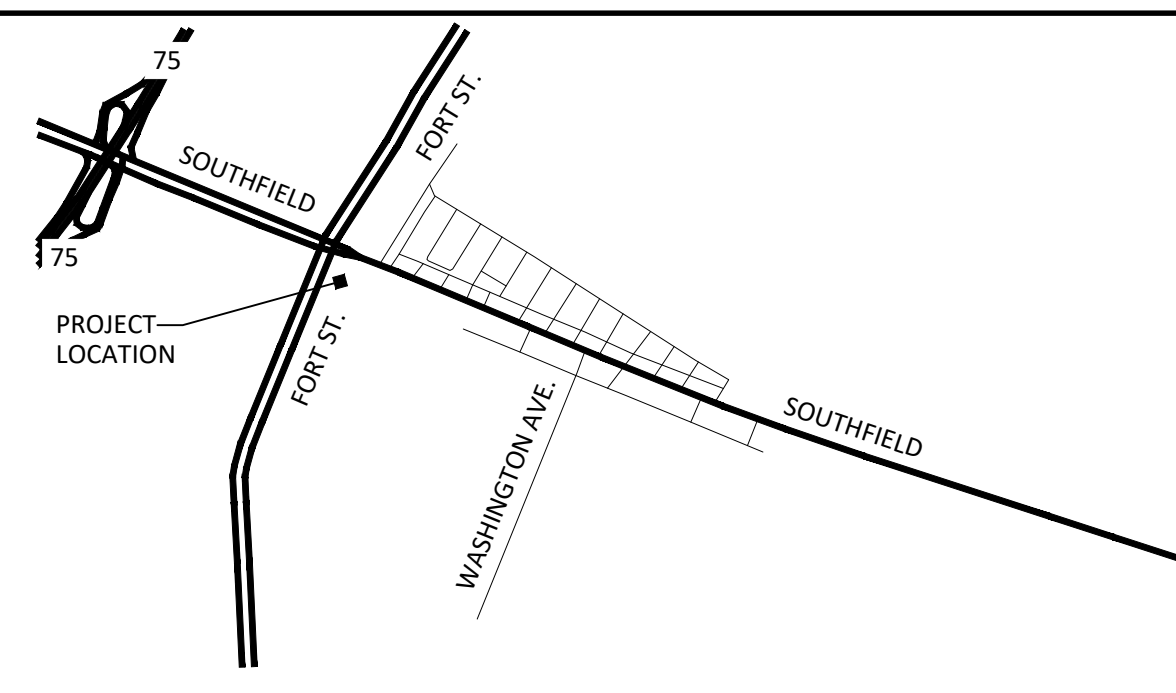
2017 FORT STREET
LINCOLN PARK, MI 48146

PROJECT DETAILS

SITE DATA
 PARCEL ID NUMBER: 45009070061000
 SITE AREA: 0.13 ACRES
 SITE ZONING: CENTRAL BUSINESS DISTRICT 'CB'
 PROPOSED USE: TATTOO PARLOR
 PROPOSED VARIANCES: NONE
 REQUIRED SETBACKS:
 FRONT: 0'-0"
 SIDE: 0'-0"
 REAR: 0'-0"
 HAZARDOUS MATERIALS: NONE USED AND NONE STORED
 AREAS OF KNOWN OR SUSPECTED CONTAMINATION: NONE KNOWN

BUILDING DATA
 AREA: 3,789 S.F. PER FLOOR
 STORIES: 2 STORIES
 USES: COMMERCIAL

LOCATION MAP



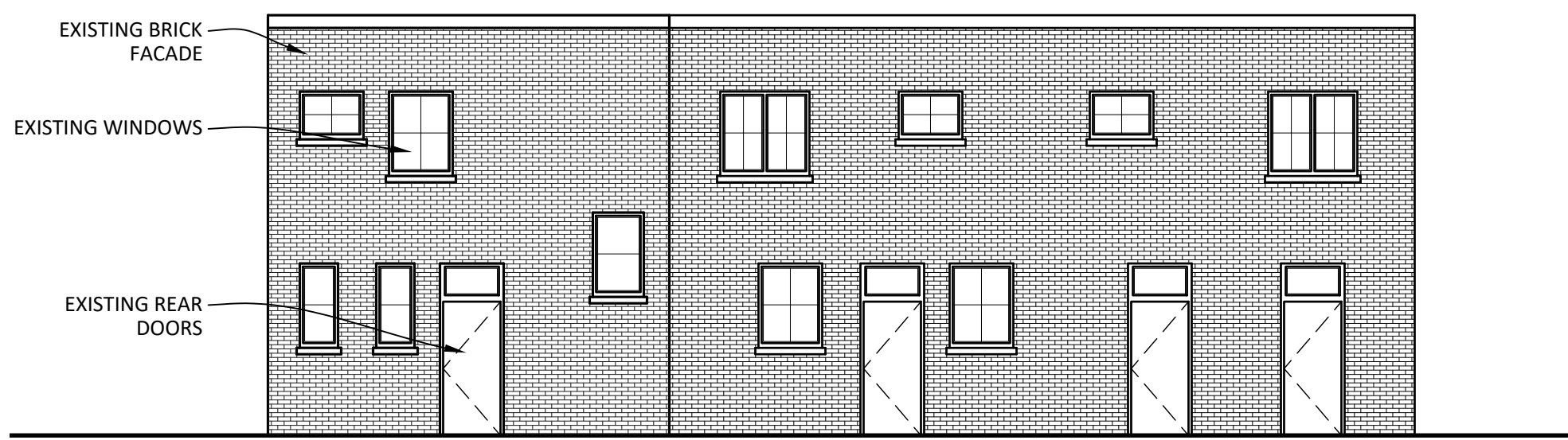
CONTACTS

TENANT
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 (352) 342-3632
 monsterinktattoo@gmail.com

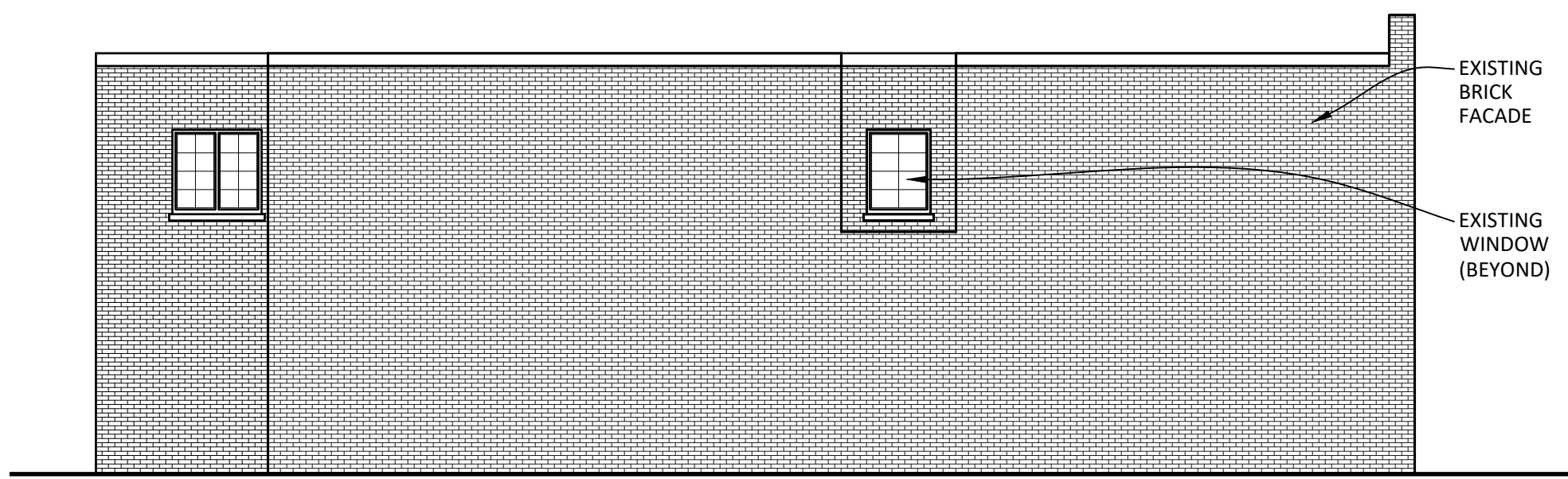
ARCHITECT OF RECORD
 DETROIT ARCHITECTURAL GROUP
 1644 FORD RD.
 WYANDOTTE, MI 48192
 CONTACT: Jake Root
 (734) 556-3259
 jroot@detroitarch.com



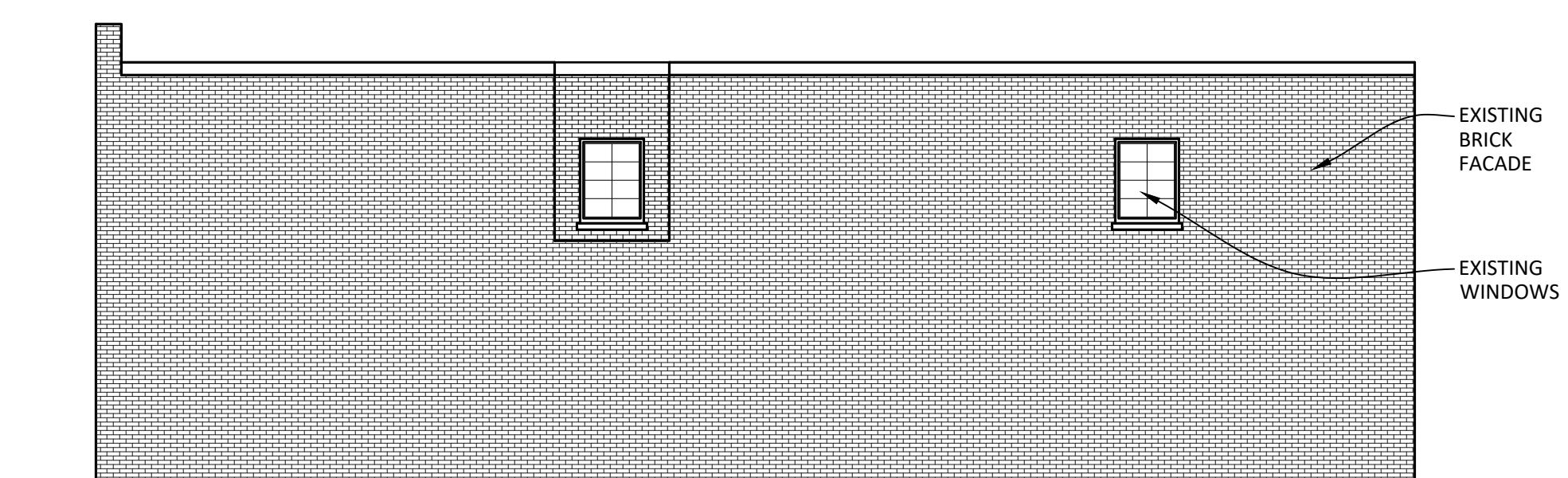
EXISTING WEST ELEVATION
 SCALE: 1/8" = 1'-0" 6



EXISTING EAST ELEVATION
 SCALE: 1/8" = 1'-0" 5



EXISTING SOUTH ELEVATION
 SCALE: 1/8" = 1'-0" 4



EXISTING NORTH ELEVATION
 SCALE: 1/8" = 1'-0" 3



EXISTING PLANTERS 7



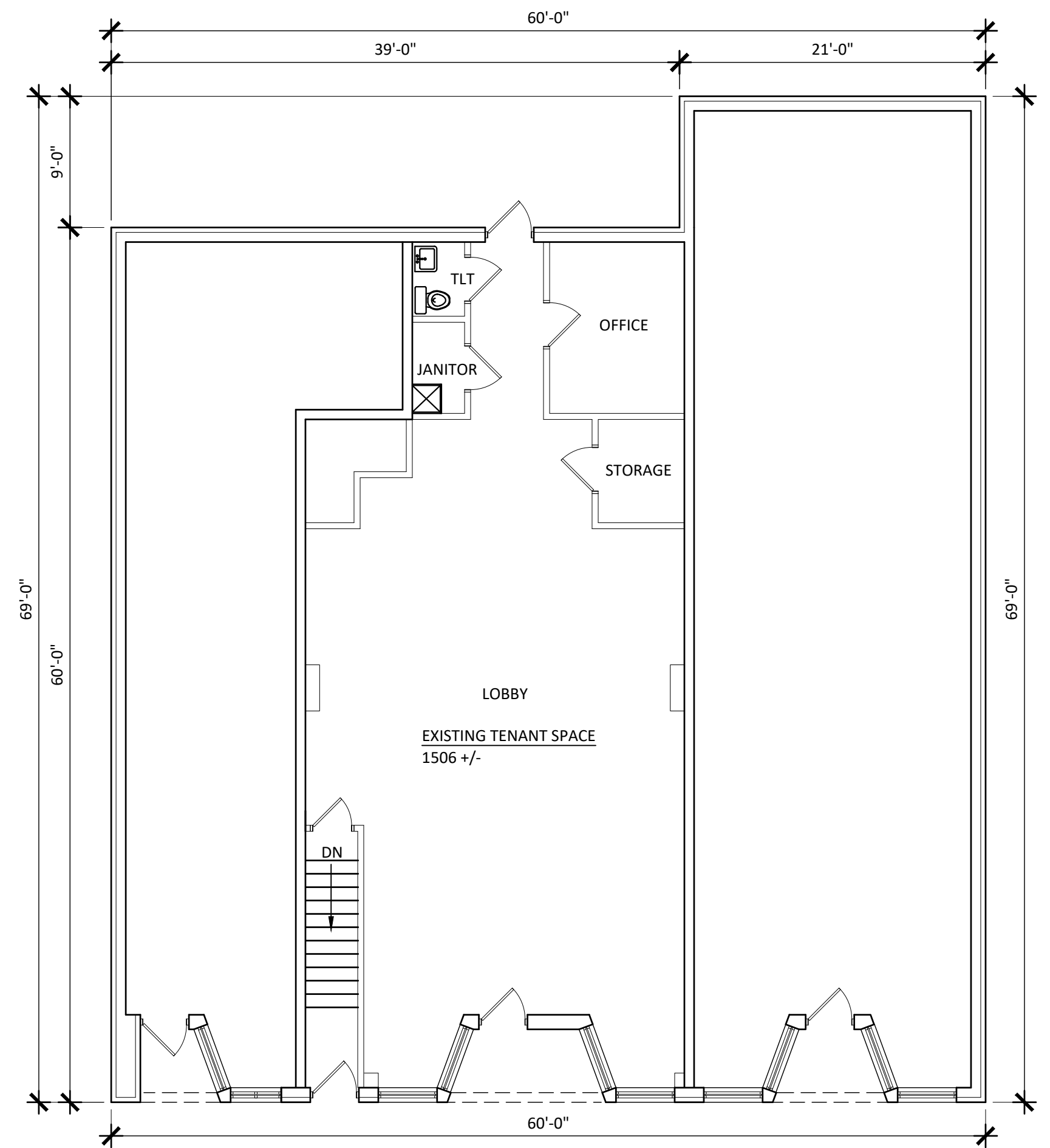
EXISTING REAR ENTRANCE 8



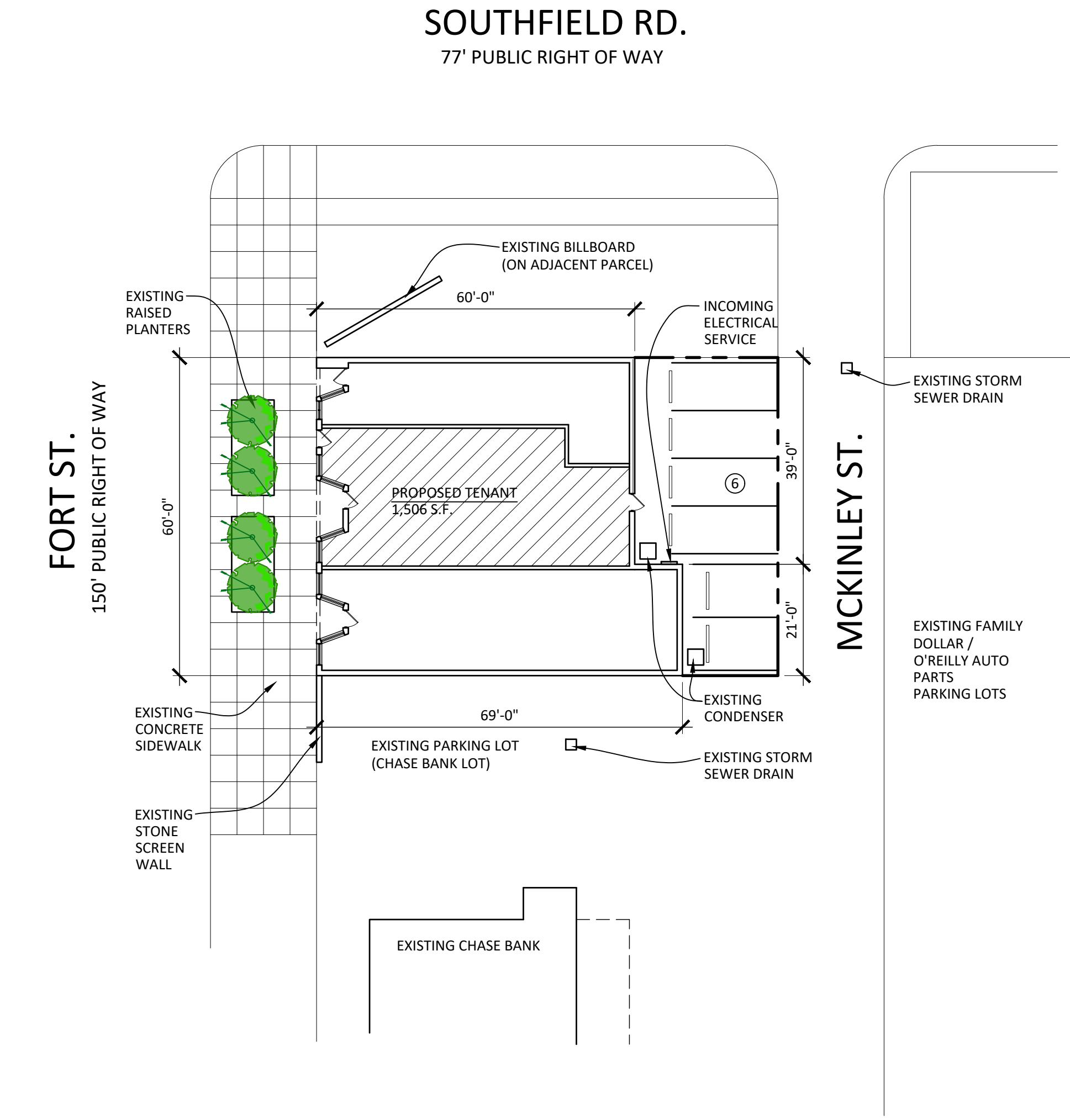
EXISTING STOREFRONT 9



PERSPECTIVE 10



EXISTING FLOOR PLAN
 SCALE: 1/8" = 1'-0" 2



EXISTING SITE PLAN
 SCALE: 1:20 1

Monster Ink Tattoo

Proposed
 RE-OCCUPANCY

2017 FORT STREET,
 LINCOLN PARK, MI
 48146

REV	DATE	ISSUED
09-10-21		SPECIAL LAND USE PERMIT

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DRAWN BY: RY
 CHECKED BY: JR
 IN CHARGE: JR
 SHEET NAME:
 EXISTING SITE AND FLOOR PLANS,
 EXTERIOR ELEVATIONS, PHOTOS & NOTES

JOB NO: 21-170
 SHEET NO: EX-1

Elizabeth Gunden

From: Ray Watters <RWatters@citylp.com>
Sent: Thursday, September 16, 2021 1:24 PM
To: Elizabeth Gunden
Subject: Re: Conceptual Site Plan Review Request: 2017 Fort - Body Art Facility

The police department has no issues with the tattoo parlor moving forward.

Chief R.Watters

From: Elizabeth Gunden <egunden@bria2.com>
Sent: Monday, September 13, 2021 1:42 PM
To: Fire Chief <FChief@citylp.com>; Irenda Lockhart <ILockhart@citylp.com>; Robert Wright <RWright@citylp.com>; Ray Watters <RWatters@citylp.com>; Krystina Erdos <KErdos@citylp.com>; John Kozuh <JKozuh@citylp.com>; jdhollandsworth@engineers.com <jdhollandsworth@engineers.com>
Subject: Conceptual Site Plan Review Request: 2017 Fort - Body Art Facility

Hello!

Please find attached a set of plans for a body art facility (tattoo parlor) at 2017 Fort Street. This is for conceptual review only at this point. Comments are appreciated by reply to this email by Wednesday, September 29th. Thank you!

Liz Gunden. AICP
Project Planner
Beckett&Raeder, Inc.
Making Great Places for over 50 Years
535 West William St Suite 101
Ann Arbor, MI 48103

Office: 734.663.2622
Direct Line: 734.239.6615

Petoskey, MI 231.347.2523
Traverse City, MI 231.933.8400
Toledo, OH 419.242.3428

Please visit us at www.bria2.com

Lincoln Park
Beckett & Kaeder

APPLICATION FOR SITE PLAN REVIEW

RECEIVED

SEP 13 2021

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

NOTICE TO APPLICANT:

Applications for Site Plan Review by the Planning Commission must be submitted to the City in complete form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. City Staff will review the application for completeness. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 pm. All meetings are held at the Lincoln Park City Hall.

APPLICANT INFORMATION

NAME Barry Gray	CITY Lincoln Park	STATE MI	ZIP CODE 48146	PHONE 313 406 6389	EMAIL MONSTERINKTATTOCOMP@gmail
ADDRESS 2017 FORT ST					

PROPERTY OWNER (if different from Applicant)

NAME James Koznicki	CITY Lincoln Park	STATE MI	ZIP CODE 48146	PHONE 313 382 4700	EMAIL Victoria.mclain@yahoo
ADDRESS 1631 FORT ST					

Attached written consent of property owner or lessee of property, if different than applicant.

PROPERTY INFORMATION

PROPERTY ADDRESS 2017 FORT ST	NEAREST CROSS STREETS FORT + SOUTHWIELD
PROPERTY DESCRIPTION (if part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e. acreage parcel), provide a metes and bounds description. Attach separate sheets if necessary.) LOTS 61, 62 and 63 QUANDT'S STATE TOWN SUB	
PROPERTY SIZE (square feet and acres) 1800 SQ FT	ZONING DISTRICT

PROPOSED DEVELOPMENT

Present Use of Property: Tattoo Parlor - Empty - Store Retail

FOR OFFICE USE ONLY
CASE # <u>2021-0026</u>
DATE SUBMITTED <u>[Signature]</u>

Proposed Use of Property: TATTOO ParlOR

Please complete the following chart:

TYPE OF DEVELOPMENT	NUMBER OF UNITS	GROSS FLOOR AREA	NUMBER OF EMPLOYEES ON LARGEST SHIFT
Detached Single Family			
Attached Residential			
Office			
Commercial	1	1800sqft	6
Industrial			
Other			

PROFESSIONALS WHO PREPARED THE PLANS:

NAME DETROIT Architectural Group			ADDRESS 1644 Ford Rd	
CITY Wyandotte	STATE MI	ZIP CODE 48192	PHONE 734 556 3259	EMAIL jroot@detroitarch.com
PRIMARY DESIGN RESPONSIBILITY JAKE ROOT				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

ATTACH THE FOLLOWING:

- Eight (8) individually folded copies of the site plan (24" x 36"), sealed by a registered architect, engineer, landscape architect, or community planner as well as ONE (1) electronic copy in PDF format.
- A brief written description of the existing and proposed uses as identified in the "Narrative" section of the Site Plan Application Requirements Table, including but not limited to hours of operation, number of employees, number of employees on largest shift, number of company vehicles, etc.
- Proof of property ownership or lease agreement.
- Review comments of approval received from County, State, or Federal agencies that have jurisdiction over the project, including but not limited to:

Wayne County Road Commission	Wayne County Drain Commission
Wayne County Health Division	Michigan Department of Natural Resources
Michigan Department of Transportation	Michigan Department of Environment, Great Lakes, & Energy

IMPORTANT

The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted after the site plan approval.

APPLICANT ENDORSEMENT

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application. Finally, I acknowledge that part of the site plan review process includes City staff entering the exterior of the property for site visits.

Signature of Applicant: Mary Mann

Date: 9-13-21

Signature of Applicant: _____

Date: _____

Signature of Property Owner: Jan Koznick
 Authorizing this Application

Date: 9-13-21

TO BE COMPLETED BY THE CITY

DATE SUBMITTED: BY: PLANNING COMMISSION ACTION <input type="checkbox"/> APPROVED <input type="checkbox"/> DENIED	FEE PAID: DATE OF PUBLIC HEARING: DATE OF ACTION:
--	---

RECEIVED

SEP 13 2021

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

City of Lincoln Park

APPLICATION FOR SPECIAL USE APPROVAL

Case No. PPCA1-0024

Date Submitted CP

SLU

NOTICE TO APPLICANT: Applications for Special Use review by the Planning Commission must be submitted to the City *in substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by six (6) individual folded copies of the site plan, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

Special Uses shall comply with the standards in Section 1262.08 of the Zoning Ordinance. Accordingly, a public hearing shall be held by the Planning Commission before a decision is made on any Special Use request. Furthermore, a site plan shall be required, which shall be prepared in accordance with Section 1294.01 of the Ordinance.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned do hereby respectfully request Special Use Review and provide the following information to assist in the review:

Applicant: Gary Gray

Mailing Address: 2017 FORT ST
Lincoln Park MI 48146

Email Address: MONSTERINKTATTOCOMP@gmail

Telephone: 313 4066389 Fax: _____

Property Owner(s) (if different from Applicant): JAMES KOZMIACKI - CA3 CONSULTING

Mailing Address: 1631 FORT ST
Lincoln Park MI 48146

Telephone: 313 382 4700 Fax: 313 382 4702

Applicant's Legal Interest in Property: Owner

Location of Property: Street Address: 2017 FORT ST LINCOLN PARK MI 48146

Nearest Cross Streets: FORT ST + Southfield

Sidwell Number: 45 009 07 0061 000

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., "acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

LOTS 61, 62 and 63 QUANDTS STATE - FORT ST SUB

Property Size (Square Ft): 1800 SQ FT (Acres): _____

Present Use of Property: EMPTY - RETAIL

Proposed Use of Property: TATTOO PARLOR - RETAIL

Existing Zoning (please check):

- | | |
|---|---|
| G SFRD Single Family Residential District | G RBD Regional Business District |
| G MFRD Multiple Family Residential District | <input checked="" type="checkbox"/> CBD Central Business District |
| G MHRD Mobile Home Park District | G GID General Industrial District |
| G NBD Neighborhood Business District | G LID Light Industrial District |
| G MBD Municipal Business District | G CSD Community Service District |
| G PUD Planned Unit Development District | |

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1	1800	5
Industrial			
Other			

ATTACH THE FOLLOWING:

1. Six (6) individually folded copies of the site plan, sealed by a registered architect, engineer, landscape architect or community planner.
2. Proof of property ownership.
3. A brief written description of the proposed use.

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this application.

Mary Moran _____ Date 6-10-21
 Signature of Applicant

 Signature of Applicant
Jan Kuzniek _____ Date 6/13/2021
 Signature of Property Owner Authorizing this Application

To be completed by City:

Date Submitted: _____ Fee Paid: _____
 Received By: _____ Date of Public Hearing: _____

PLANNING COMMISSION ACTION (RECOMMENDATION)

To Approve: _____ To Deny: _____ Date of Action: _____
 Reasons for Action Taken: _____

CITY COUNCIL ACTION

Approved: _____ Denied: _____ Date of Action: _____
 Reasons for Action Taken: _____

Planning Report

Serving & Planning Communities Throughout Michigan

October 2021

Top
Story

Michigan makes equity a core land management principle

"[D]isparate access to nature has broader consequences: Studies link time spent in nature to reduced stress and better physical and emotional wellbeing. And people living near natural spaces derive benefits even if they never visit those properties."

Bridge Magazine reports that the Michigan Department of Natural Resources, which manages state public lands, "this summer published a public lands strategy that, for the first time, makes equity a core principle of how Michigan manages its state lands, alongside other values like accountability, education and public safety. ... People of color make up more than a third of the country and just under a quarter of the state population, [yet] 95% percent of visitors to national parks are white, as are more than 90 percent of visitors to national forests. [D]ata suggests these trends hold true at the state level."

Some priorities have been identified, such as purchasing more parkland in the southern portion of the state near population centers and identifying where parks can serve redevelopment goals. The state intends to use its Five-Year Statewide Comprehensive Outdoor Recreation Plan as an opportunity to understand "what Michiganders of all backgrounds want out of their time spent outdoors."

Bridge Magazine. More information: <https://www.bridgemi.com/michigan-environment-watch/new-push-make-michigans-outdoors-more-inviting-people-color>

Legal and
Legislative

Federal housing bill: New support and incentives for planning

"As one of the first federal programs to directly empower planners, this marks an opportunity for planners to demonstrate leadership in finding solutions that will expand the nation's housing supply, address the affordability crisis, and tackle social equity challenges."

The American Planning Association is coordinating a response from practicing planners on a bipartisan bill, introduced and referred to committee in both houses of Congress in March 2021, that would empower planners to reform zoning and development codes, create housing action plans, and modernize regulatory structures. "The Housing Supply and Affordability Act would create a powerful new grant program inside the US Department of Housing and Urban Development that gives planners and cities, counties, and regional coalitions access to \$1.5 billion in new funding and technical assistance to overhaul local rules that continue to stymie housing supply and availability and drive up housing costs. ... The bill prioritizes planning-led solutions by providing both dedicated planning grants to help communities build out housing action plans and implementation grants to help them put plans into action. APA worked closely with Members of Congress from both parties to ensure that new funds for planning were included." The link below includes a tool to advocate for its inclusion in future reconciliation bills.

American Planning Association. More information: <https://www.planning.org/blog/9214072/federal-housing-bill-creates-new-support-and-incentives-for-planning/>

Legal and Legislative

Michigan Appeals Court upholds floodplain regulation in mobile home parks

"The federal and state rules relate to the construction and installation of the mobile home unit on the parcel it is intended to be installed on. However, the rules do not relate to the filling of a floodplain in the surrounding parcel. As a result, defendants' zoning ordinance is not more stringent than or inconsistent with the federal rules or the MHCA because the ordinance regulates a different issue."

Michigan's Mobile Home Commission Act (MCHA) reserves to the State the power of regulating the construction and installation of mobile homes. Since most other types of home development are overseen by the local building official, this unique regulatory situation can cause confusion in permitting and enforcement. A recent case in Monroe Charter Township clearly separated the process of floodplain filling from the construction of new mobile homes in an existing mobile home park, allowing the Township to require a special use permit for the floodplain fill regardless of the permitting process for building the homes. Floodplain management is a critical land use function, and this case reinforces local control over its permitting process even when the structure to be built upon it is regulated by another agency.

State Bar of Michigan. More information: <http://www.michbar.org/file/opinions/appeals/2021/082621/76122.pdf>

Ideas

APA offers "Building Resilience through Plan Integration" PAS free

"Conflicting policies across plans is especially problematic in the context of mitigating hazards and adapting to the impacts of climate change."

A core principle at BRI is plan alignment: ensuring that the community's suite of guiding documents contains goals, priorities, and actions that ideally can be expected to progress toward a common vision—and at a minimum, do not conflict with one another. Noting that coordinated action is especially important in addressing complex and multi-faceted issues like resiliency, the American Planning Association has developed a Plan Integration for Resilience Scorecard and made its methodology available to the public for free as a Planning Advisory Service memo (link in More Information, below). The tool is designed to systematically assess a community's land use policies, understand the spatial distribution of their impacts, reduce hazard vulnerability at the neighborhood level, and track policy implementation status.

American Planning Association. More information: <https://www.planning.org/pas/memo/2021/jan/>; direct download link: https://planning-org-uploaded-media.s3.amazonaws.com/publication/download_pdf/PAS-MEMO-2021-01-02.pdf

Conference

Michigan Downtown Association Annual Conference

Thursday and Friday, November 4-5 at Detroit Police Athletic League (PAL, 1680 Michigan Ave.) or virtual. Registration: \$195-\$245; room block at Motor City Casino and Hotel.

Comprehensive, professional downtown management got many communities through the pandemic, and new opportunities now exist for enhancing business mix, rehabbing buildings, placemaking, and engaging partners.

Michigan Downtown Association. More information: <https://www.memberleap.com/members/evr/regmenu.php?orgcode=MDTA>



informative