



LINCOLN PARK PLANNING COMMISSION

November 10, 2021 at 7 p.m.

REMOTE MEETING VIA ZOOM

Call: 1 646 558 8656

Web: www.zoom.us

Meeting ID: 734 663 2622

Participant ID is #

AGENDA

- I. **Call to Order**
- II. **Roll Call**
- III. **Approval of Previous Minutes**
- IV. **Approval of Agenda**
- V. **Old Business**
 - A. Site Plan Review: 2017 Fort – Body Art Facility
 - B. Public Hearing: 2017 Fort – Body Art Facility
 - C. Special Land Use: 2017 Fort – Body Art Facility
 - D. Site Plan Review: 471 Southfield – Auto Repair
 - E. Public Hearing: 471 Southfield – Auto Repair
 - F. Special Land Use: 471 Southfield – Auto Repair
- VI. **New Business**
 - A. Site Plan Review: 2962 Fort – Office
 - B. Site Plan Review: 3516 Fort – Office
- VII. **Policy Review and Discussion**
 - A. Southfield Road Corridor Study
- VIII. **Education and Training** (see November Planning Report)
- IX. **Reports from Department and Other Boards and Commissions**
- X. **Public Comments**
- XI. **Comments from Planning Commissioners**
- XII. **Adjournment**

The City of Lincoln Park will provide necessary reasonable auxiliary aides and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park MI 48146; 313-386-1800 ext. 1296

**CITY OF LINCOLN PARK
COUNTY OF WAYNE, STATE OF MICHIGAN
PLANNING COMMISSION MEETING OF OCTOBER 13, 2021**

A Planning Commission meeting of October 13, 2021, via Zoom for Lincoln Park, Michigan was called to order at 7:01 p.m. Mr. Persinger, Commencing with the Pledge of Allegiance.

PRESENT: Palmer, Kissel, Horvath, Persinger, Duprey, LoDuca

ABSENT: Briones, Graczyk,

EXCUSED:

ALSO PRESENT: Elizabeth Gunden, John Meyers, Jacob Root

APPROVAL OF MINUTES

Moved by: Persinger to approve the minutes as corrected

Supported by: Duprey

MOTION CARRIED unanimously

APPROVAL OF AGENDA

Moved by: Persinger

Supported by: Duprey

MOTION CARRIED unanimously

OLD BUSINESS

None.

NEW BUSINESS

(A) CONCEPTUAL REVIEW: 2017 FORT ST – BODY ART FACILITY

The proposed project is a body art facility (tattoo parlor). The site was previously used as a pharmacy, and the proposed body art facility will re-occupy the ground floor of the existing building.

The site is one of three units in an existing building on the corner of Fort Street and Southfield Road. The entire site is about 0.13 acres and the subject property is 1,506 sq ft. in floor area. The site fronts Fort Street and has vehicular access from McKinley Street in the rear. There is an existing 20-ft concrete sidewalk along Fort Street and six total parking spaces for the building in the rear (two for each unit). There are existing raised planter boxes in the front of the building containing four trees.

Informational Only.

POLICY REVIEW AND DISCUSSION

EDUCATION AND TRAINING

A. See October Planning Report

REPORTS FROM DEPARTMENTS AND OTHER BOARDS AND COMMISSIONS

John Meyers reported that Carl Malysz of the DDA is preparing a Southfield Corridor Report. He also mentioned several trainings were going on that member of the planning commission may want to attend.

PUBLIC COMMENTS

None.

COMMENTS FROM PLANNING COMMISSIONERS

Member Duprey had questions regarding Taco Bell. Member Persinger had questions regarding the removal of other members on the planning commission.

ADJOURNMENT

Moved by: Persinger to adjourn

Supported by: Palmer

MOTION CARRIED unanimously

Meeting adjourned at 7:44 p.m.

MICHAEL HORVATH, Secretary

2017 Fort – Body Art Facility

Site Plan Review

Applicant	Gary Gray, represented by Detroit Architectural Group
Project	Body Art Facility
Address	2017 Fort St. Lincoln Park, MI 48146
Date	November 10, 2021
Request	Site Plan Review

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description

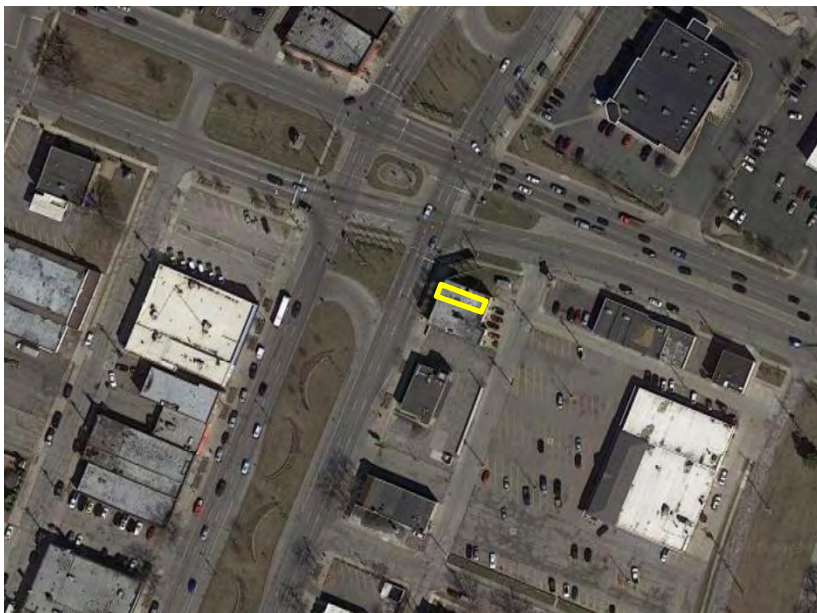


Figure 1: Aerial View

The proposed project is a body art facility (tattoo parlor). The site was previously used as a pharmacy, and the proposed body art facility will re-occupy the ground floor of the existing building.

Site Conditions

The site is one of three units in an existing building on the corner of Fort Street and Southfield Road. The entire site is about 0.13 acres, and the subject property is 1,506 sq. ft. in floor area. The site fronts Fort Street and has vehicular access via McKinley Street in the rear. There is an existing 20-ft. concrete sidewalk along Fort Street and six total parking spaces for

the building in the rear (two for each unit). There are existing raised planter boxes in the front of the building containing four trees.

Master Plan

Future Land Use Classification

The future land use classification for the site is Downtown Commercial. The proposed body art facility use is consistent with the designation.

Intent, Desirable Uses, and Elements

The Downtown Commercial land use is intended to be the commercial core of the community, and experiential businesses such as boutique shopping, entertainment, restaurants, and unique services are preferred. The atmosphere should have a strong physical presence, which includes walkability, density, attractive storefronts, intense landscaping, public realm amenities, detailed architecture, and consolidated parking.

Land Use and Zoning

Zoning

The site is zoned Central Business District (CBD). A “Body Art Facility” is permitted after Special Land Use approval in the district per §1280.03(l), subject to the site design standards of §1296.02(PP).

Proposed and Existing Uses

Site	Vacant – Central Business District (CBD)
North	ROW, then Commercial – Central Business District (CBD)
East	ROW, then Commercial – Central Business District (CBD)
South	Commercial – Central Business District (CBD)
West	ROW, then Commercial – Central Business District (CBD)



Figure 2: Zoning Map

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
Ex-1	Existing Site and Floor Plans, Exterior Elevations, Photos & Notes	09/10/2021	10/15/2021

Dimensional Standards

The dimensional requirements of the Central Business District (CBD) district are described in the chart below. (§1294.32, except where noted)


	Required	Provided	Compliance
Lot Width	Min. 30'	60 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls maximum 2 ½' < height < 8'	No intersections	N/A
Lot Area	Min. 3,000 sq. ft.	~5,663 sq. ft.	Met
Lot Coverage	Max. 100%	3,789/5,663 = ~67%	Met
Height	3-Story Building; 40 ft	2 story; 24 ft.	Met
Setback – Front	0 ft.	0 ft.	Met
Setback – Sides	0 ft.	0 ft.	Met
Setback – Rear	0 ft.	~19 ft.	Met

Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> • Building mass, height, bulk & width-to-height ratio within 50-150% of buildings within 500' 	Met
<ul style="list-style-type: none"> • Architectural variety • Similar materials and entrances to buildings within 500'  <p>Figure 3: 1 block north on Fort St. – 2-story, square, flat roofs, masonry.</p>  <p>Figure 4: 1 block south on Fort St. – 2-story, square, flat roofs, masonry.</p>	Met

Required	Compliance
<ul style="list-style-type: none"> • Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) <u>West Elevation (front): 97% brick + CMU (929/962)</u> <ul style="list-style-type: none"> ○ Brick + CMU: ~929 sf ○ Door: ~33 sf ○ Glass Windows & Doors (exempt): ~478 sf ○ Total Area: ~1,440 sf <u>East Elevation (rear): 93% brick (1,115/1,203)</u> <ul style="list-style-type: none"> ○ Brick: ~1,115 sf ○ Doors: ~88 sf ○ Glass Windows (exempt): ~116 sf ○ Total Area: ~1,319 sf <u>North Elevation (side): 100% brick (1,498/1,498)</u> <ul style="list-style-type: none"> ○ Brick: ~1,498 sf ○ Glass Windows (exempt): ~22 sf ○ Total Area: ~1,520 sf <u>South Elevation (side): 100% brick (1,493/1,493)</u> <ul style="list-style-type: none"> ○ Brick: ~1,493 sf ○ Glass Windows (exempt): ~27 sf ○ Total Area: ~1,520 sf 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block) • Natural colors (bright for decorative features only) <i>Natural brick and tan paint</i> 	<p>Met</p>
<ul style="list-style-type: none"> • Façade: <100' uninterrupted • If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches • All sides similar <i>All sides are brick</i> 	<p>Met</p>
<ul style="list-style-type: none"> • Windows: vertical, recessed, visually obvious sills • Spaces between windows = columns, mullions, or material found elsewhere on the façade • Front facades > 25% windows ~33% transparency (478/1,440) • Size, shape, orientation, spacing to match buildings within 500' 	<p>Met</p>
<ul style="list-style-type: none"> • Main entrances: doors larger • Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) <i>Existing awning, distinctive door pulls, accent colors</i> 	<p>Met</p>
<ul style="list-style-type: none"> • Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 <i>Existing flat roof</i> • Rooflines >100' = roof forms, parapets, cornice lines • Roof-top mechanical equipment screened by roof form. <i>No roof-top mechanical equipment</i> 	<p>N/A</p>

Items to be addressed

None

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve; however, the existing trees in the raised planter boxes will remain.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

There is an existing 20-ft. public sidewalk in front of the building along Fort Street which provides pedestrian circulation separated from the vehicular circulation. The sidewalk appears to be in good condition. There are no bicycle lanes on the ROW or bicycle parking facilities proposed.

Items to be addressed

None

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Service Establishment	Two (2) for every one-thousand (1,000) square feet of gross leaseable floor area. <i>GLFA = ~1,025 sf 1,025 / 1,000 = 1.025 x 2 = 2.05 = 2 spaces</i>	2 spaces	Met

There are six (6) existing parking spaces in the rear of the building, and there are presumably two (2) for each of the three units. The parking requirements for a service establishment, which is the most relevant category for a body art facility, yield only two (2) parking spaces required; therefore, the site meets parking requirements.

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Ingress and egress provided from McKinley Street.	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Parking area is concrete that appears to be in good condition.	Met
	Concrete curbs and gutters	Existing concrete curbs and gutters.	Met
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	No adjoining residential property.	N/A
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	No adjoining residential property.	N/A
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	There is ample space for maneuvering given the size constraints of the site.	Met
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	Parking area does not abut a public sidewalk.	N/A

Items to be addressed

None

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 to 25	1	0	NOT MET

The allotted space for the two parking spaces is only about 20 feet wide, making the provision of a barrier-free space impossible with the dimension requirements for barrier-free parking spaces.

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
0 to 2,000	0	0	Met

Items to be addressed

None

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Rd., Fort St., Dix Ave., and Outer Dr.

There is no vehicular access to this site from any of these routes (vehicular access is via McKinley Street behind the building), so the standards of this section do not apply.

Items to be addressed

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via either Fort Street or McKinley Street. The Police Department has indicated that it has no concerns with the proposal.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	The area between the curb and building is completely paved; however, there are two 8-ft-wide planter boxes in front of the building.	Met as possible
	1 tree and 4 shrubs per 40' of street frontage 60' of frontage = 1 tree and 6 shrubs 30% redevelopment standard = 0 trees and 2 shrubs	4 existing trees in raised planter beds.	Met
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	No headlights will shine into the ROW.	Met
Interior Landscaping	10% of total lot area landscaped, including groundcover (5,663 sf * 0.1) = 566 sf landscaping 30% redevelopment standard: 170 sf	The existing landscaped area is 288 sf.	Met
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Landscaped area is in front of the building next to entrance.	Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping 170 sf (30% redevelopment standard) = 0 trees and 0 shrubs	4 existing trees in raised planter beds.	Met
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces < 10 parking spaces = 0 trees	No parking lot trees proposed or required.	N/A
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	The building owner is under contract with a trash disposal company for weekly pick-up of the onsite dumpster.	Met
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive), and/or solid 6' masonry wall ornamental on both sides	No abutting residential.	N/A

Items to be addressed

None

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.*
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.*

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site. Engineering comments state that if the existing sanitary sewer is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. If the existing water service is being reused, it is important that the developer realize this existing water service is also old and may have reached its life expectancy. If the existing service is a lead-type service or undersized, it will be required to be removed and replaced. The design professional must verify the existing water service type, size, and lead capacity and should verify that the existing service is adequate to handle the required flows. Utility connections should be shown on the plans.

Items to be addressed

- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be

encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

There is existing lighting on the front façade of the building. No additional new lighting is indicated on the site plan.

Items to be addressed

- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

There is existing ground-mounted mechanical equipment that is not screened. Should the existing equipment be replaced, it would need to be screened in accordance with Ordinance requirements.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during site plan review is for illustrative purposes only.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

The proposed use is expected to generate some quantity of hazardous materials or waste, and tattoo parlors are regulated by the County. The applicant is contracted with Stericycle for quarterly disposal of medical waste generated in processes from the tattoo and piercing industry. Stericycle will provide regulated medical waste disposal containers, and upon retrieval of each container, will provide a new container for client use. Applicant shall provide documentation of compliance with County, State and Federal standards for storage, use, handling, and disposal.

Items to be addressed

- Applicant shall provide documentation of compliance with County, State, and Federal standards for storage, use, handling, and disposal of hazardous materials and waste.

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

	Required	Proposed	Compliance
Setback	No body art facility shall be permitted within one thousand (1,000) feet of another body art facility.	No other body art facility appears to be within 1,000 ft.	Met

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- Applicant to secure all appropriate agency reviews as needed.

VARIANCES

No variances are anticipated from this proposal.

Items to be addressed

None

RECOMMENDATIONS

Findings

The information submitted with this proposal is substantially in compliance with §1296.01, Site Plan Review.

Conditions of Approval

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.*
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.*
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*
- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*
- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties.*
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*
- Applicant shall provide documentation of compliance with County, State, and Federal standards for storage, use, handling, and disposal of hazardous materials and waste*
- Applicant to secure all appropriate agency reviews as needed.*

Recommendations

I move that the City of Lincoln Park Planning Commission **approve** the site plan numbered PPC21-0026, proposing a body art facility at 2017 Fort Street and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

2017 Fort – Body Art Facility Special Land Use Review

Applicant	Gary Gray, represented by Detroit Architectural Group
Project	Body Art Facility
Address	2017 Fort St. Lincoln Park, MI 48146
Date	November 10, 2021
Request	Special Land Use

REQUEST

The applicant proposes to obtain Special Land Use approval to allow for a body art facility (tattoo parlor) at 2017 Fort Street. The site is one of three units in an existing building on the corner of Fort Street and Southfield Road. The entire site is about 0.13 acres, and the subject property is 1,506 sq. ft. in floor area. The site fronts Fort Street and has vehicular access via McKinley Street in the rear. The proposed use of a body art facility is permitted within the Central Business District (CBD) after Special Land Use approval under §1280.03(l) of the Lincoln Park Zoning Code, and subject to §1296.02(PP).

The property is legally described as:

FN61 62 63 LOTS 61 62 AND 63 QUANDTS STATE-FORT ST. SUB PC 43 L57 P48 WCR

CRITERIA FOR REVIEW

The following conditions are all required to be met before a Special Land Use approval may be granted:

- 1) The special use will promote the use of land in a socially and economically desirable manner for persons who will use the proposed land use or activity, for landowners and residents who are adjacent thereto and for the City as a whole;

The proposed use will fill an existing and vacant building in the Central Business District.

This condition is MET.

- 2) The special use is compatible and in accordance with the goals, objectives and policies of the City's Comprehensive Development Plan;

The Future Land Use classification for the site is Downtown Commercial.

The Downtown Commercial land use is intended to be the commercial core of the community, and experiential businesses such as boutique shopping, entertainment, restaurants, and unique services are preferred. The atmosphere should have a strong physical presence, which includes walkability, density, attractive storefronts, intense landscaping, public realm amenities, detailed architecture, and consolidated parking.

This condition is MET

- 3) The special use is necessary for the public convenience at that location;

This condition is MET.

- 4) The special use is compatible with adjacent uses of land, and can be constructed, operated and maintained so as to continue to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed;

The proposal will make use of an existing and vacant building that is in good condition. The proposed use will occur indoors, and it is compatible with adjacent commercial uses.

This condition is MET.

- 5) The special use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected;

The proposed use must provide documentation of compliance with County, State, and Federal standards for storage, use, handling, and disposal of hazardous materials and waste.

This condition is MET.

- 6) The special use can be adequately served by public services and facilities without diminishing or adversely affecting public services and facilities to existing land uses in the area;

The proposed use will fill an existing and vacant building and will re-use existing services and facilities.

This condition is MET.

- 7) The special use will not cause injury to the value of other property in the neighborhood in which it is to be located;

The proposal will make use of an existing and vacant building that is in good condition. The proposed use will occur indoors, and it is an appropriate use in a downtown commercial area.

This condition is MET.

- 8) The special use will protect the natural environment, help conserve natural resources and energy, and will not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance;

The proposal does nothing to protect the natural environment; however, it will maintain existing landscaping on the site.

This condition is PARTIALLY MET.

- 9) The special use is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located, and meets applicable site design standards for use in Section 1296.02; and

The site meets zoning requirements and design standards, and it complies with the site design standards for uses permitted after special approval pertinent to body art facilities (§1296.02(PP)).

This condition is MET.

- 10) The special use is related to the valid exercise of the City's police power and purposes which are affected by the proposed use or activity.

This condition is MET.

PROPOSED MOTION

I move that the Lincoln Park Planning Commission grant Special Land Use **Approval** for a body art facility at 2017 Fort Street, as requested in PPC 21-0026, based on an affirmative finding of compliance with the criteria set forth in Section 1262.08 of the Lincoln Park Zoning Code.

MONSTER INK TATTOO

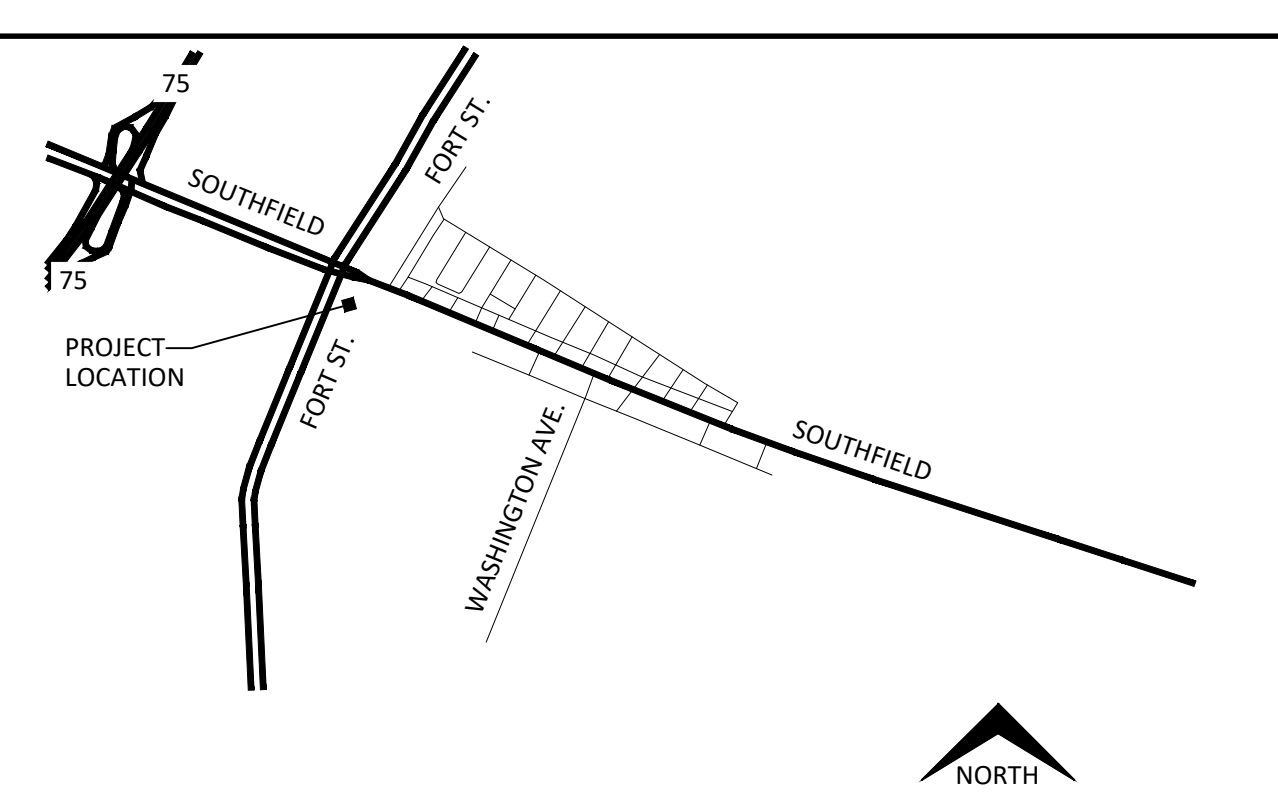
2017 FORT STREET
LINCOLN PARK, MI 48146

PROJECT DETAILS

SITE DATA
 PARCEL ID NUMBER: 45009070061000
 SITE AREA: 0.13 ACRES
 SITE ZONING: CENTRAL BUSINESS DISTRICT 'CB'D'
 PROPOSED USE: TATTOO PARLOR
 PROPOSED VARIANCES: NONE
 REQUIRED SETBACKS:
 FRONT: 0'-0"
 SIDE: 0'-0"
 REAR: 0'-0"
 HAZARDOUS MATERIALS: NONE USED AND NONE STORED
 AREAS OF KNOWN OR SUSPECTED CONTAMINATION: NONE KNOWN

BUILDING DATA
 AREA: 3,789 S.F. PER FLOOR
 STORIES: 2 STORIES
 USES: COMMERCIAL

LOCATION MAP



TRASH PLAN

THE BUILDING OWNER IS UNDER CONTRACT WITH A TRASH DISPOSAL COMPANY FOR WEEKLY PICK-UP OF AN ON-SITE DUMPSTER.

TENANT MONSTER INK IS CONTRACTED WITH STERICYCLE FOR QUARTERLY DISPOSAL OF MEDICAL WASTE GENERATED IN PROCESSES FROM THE TATTOO AND PIERCING INDUSTRY.

STERICYCLE WILL PROVIDE REGULATED MEDICAL WASTE DISPOSAL CONTAINERS AND UPON RETRIEVAL OF EACH CONTAIN SHALL PROVIDE A NEW CONTAINER FOR CLIENT USE.

CONTACTS

TENANT
 MONSTER INK TATTOO
 2017 FORT STREET
 LINCOLN PARK, MI 48146
 CONTACT: GARY GRAY
 (352) 342-3632
 monsterinktattoocomp@gmail.com

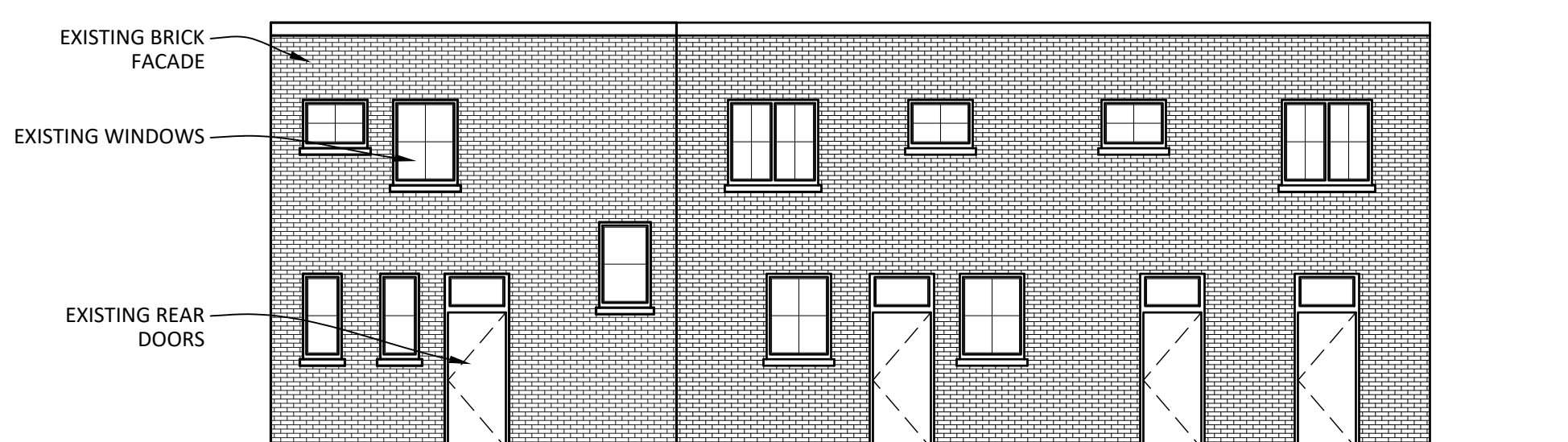
ARCHITECT OF RECORD
 DETROIT ARCHITECTURAL GROUP
 1644 FORD RD.
 WYANDOTTE, MI 48192
 CONTACT: Jake Root
 (734) 556-3259
 jroot@detroitarch.com



EXISTING WEST ELEVATION

SCALE: 1/8" = 1'-0"

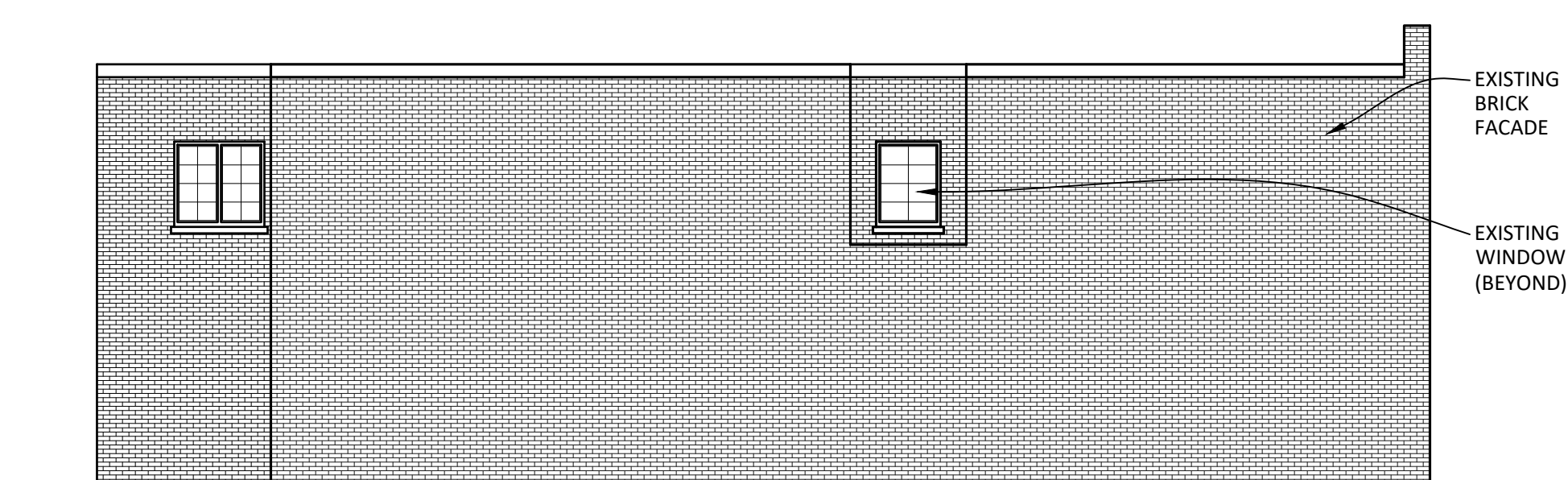
6



EXISTING EAST ELEVATION

SCALE: 1/8" = 1'-0"

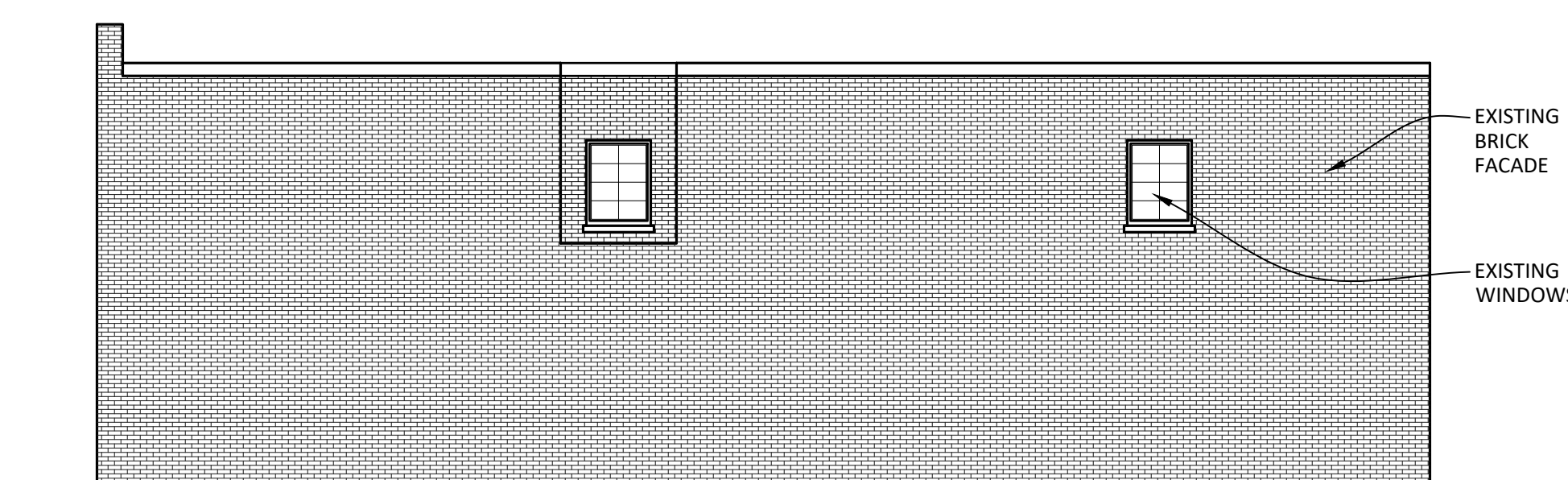
5



EXISTING SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

4



EXISTING NORTH ELEVATION

SCALE: 1/8" = 1'-0"

3



EXISTING PLANTERS

7



EXISTING REAR ENTRANCE

8



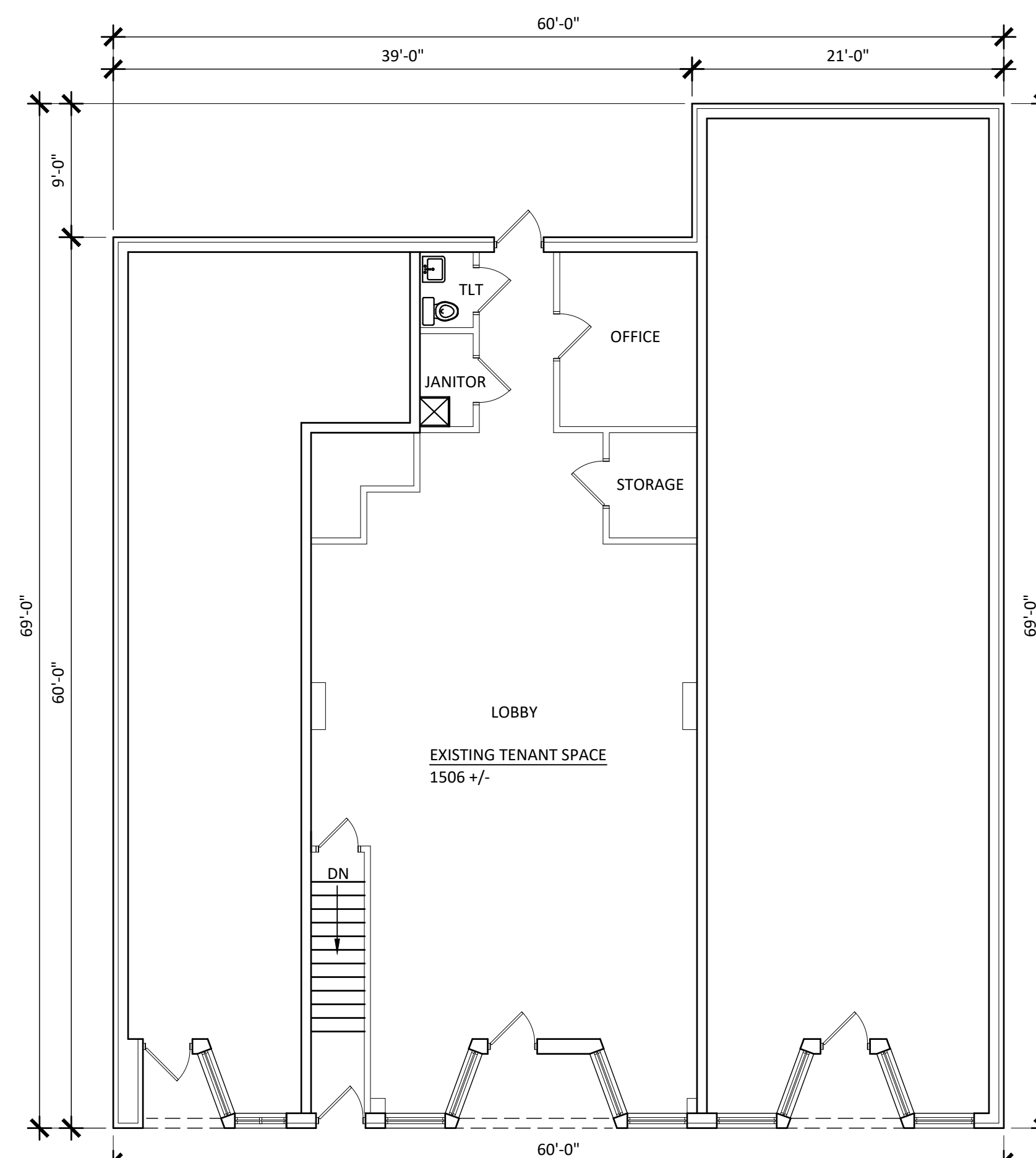
EXISTING STOREFRONT

9



PERSPECTIVE

10

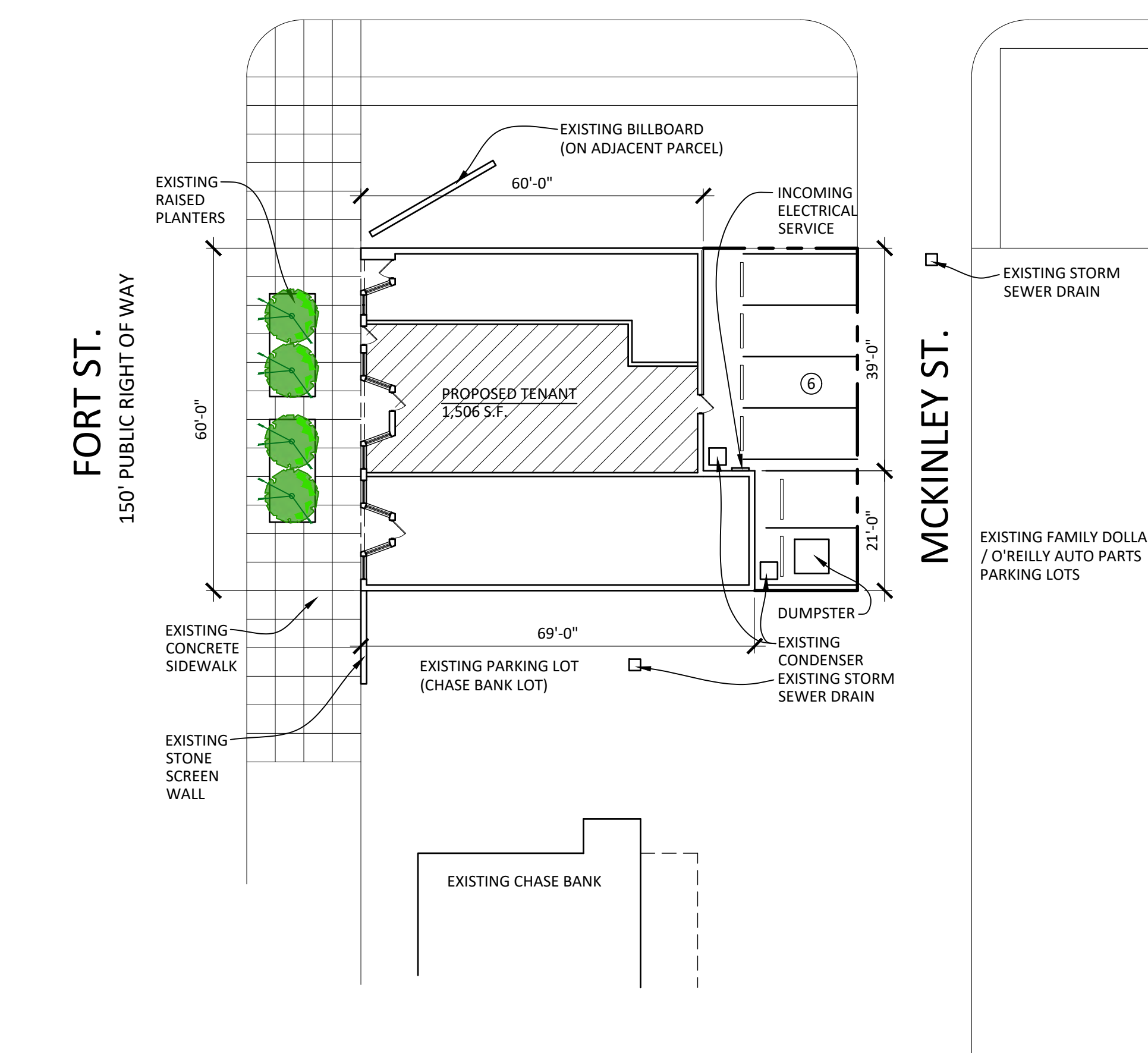


EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

2

SOUTHFIELD RD.
77' PUBLIC RIGHT OF WAY



EXISTING SITE PLAN

SCALE: 1:20

1

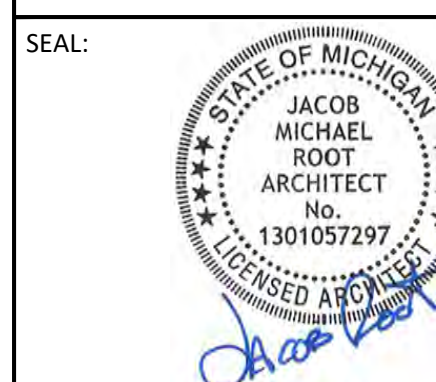
Monster Ink Tattoo

Proposed
RE-OCCUPANCY

2017 FORT STREET,
LINCOLN PARK, MI
48146

10-15-21	PLANNING COMMISSION SUBMITTAL	
09-10-21	SPECIAL LAND USE PERMIT	
REV	DATE	ISSUED

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DRAWN BY: RY
 CHECKED BY: JR
 IN CHARGE: JR
 SHEET NAME:
 EXISTING SITE AND FLOOR PLANS,
 EXTERIOR ELEVATIONS, PHOTOS & NOTES

JOB NO:
21-170

SHEET NO:
EX-1

Lincoln Park
Beckett & Raeder

APPLICATION FOR SITE PLAN REVIEW

RECEIVED

SEP 13 2021

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

NOTICE TO APPLICANT:

Applications for Site Plan Review by the Planning Commission must be submitted to the City in complete form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. City Staff will review the application for completeness. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 pm. All meetings are held at the Lincoln Park City Hall.

CITY OF LINCOLN PARK
1355 SOUTHWIELD RD, LINCOLN PARK, MI 48146
PH: (313) 386-1800 | FAX: 313-386-2205

FOR OFFICE USE ONLY
CASE # <u>PP2010026</u>
DATE SUBMITTED <u>[Signature]</u>

APPLICANT INFORMATION

NAME <u>Gary Gray</u>	CITY <u>Lincoln Park</u>	STATE <u>MI</u>	ZIP CODE <u>48146</u>	PHONE <u>3134066389</u>	EMAIL <u>MONSTERINKTATTOCOMP@gmail</u>
ADDRESS <u>2017 FORT ST</u>					

PROPERTY OWNER (if different from Applicant)

NAME <u>James Koznicki</u>	CITY <u>Lincoln Park</u>	STATE <u>MI</u>	ZIP CODE <u>48146</u>	PHONE <u>3133824700</u>	EMAIL <u>VICTORIA.MCCLAIN@yahoo</u>
ADDRESS <u>1631 FORT ST</u>					

Attached written consent of property owner or lessee of property, if different than applicant.

PROPERTY INFORMATION

PROPERTY ADDRESS <u>2017 FORT ST</u>	NEAREST CROSS STREETS <u>FORT + SOUTHWIELD</u>
PROPERTY DESCRIPTION (if part of a recorded plat, provide lot numbers and subdivision name, if not part of a recorded plat (i.e. acreage parcel), provide a metes and bounds description. Attach separate sheets if necessary.) <u>LOTS 61, 62 and 63</u> <u>QUANDT'S STATE TOWN SUB</u>	
PROPERTY SIZE (square feet and acres) <u>1800 SQ FT</u>	ZONING DISTRICT

PROPOSED DEVELOPMENT

Present Use of Property: Tattoo Parlor - Empty - Store Retail

Proposed Use of Property: TATTOO ParlOR

Please complete the following chart:

TYPE OF DEVELOPMENT	NUMBER OF UNITS	GROSS FLOOR AREA	NUMBER OF EMPLOYEES ON LARGEST SHIFT
Detached Single Family			
Attached Residential			
Office			
Commercial	1	1800sqft	6
Industrial			
Other			

PROFESSIONALS WHO PREPARED THE PLANS:

NAME DETROIT Architectural Group			ADDRESS 1644 Ford Rd	
CITY Wyandotte	STATE MI	ZIP CODE 48192	PHONE 734 556 3259	EMAIL jrcot@detroitarch.com
PRIMARY DESIGN RESPONSIBILITY JAKE ROOT				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

ATTACH THE FOLLOWING:

Eight (8) individually folded copies of the site plan (24" x 36"), sealed by a registered architect, engineer, landscape architect, or community planner as well as ONE (1) electronic copy in PDF format.	
A brief written description of the existing and proposed uses as identified in the "Narrative" section of the Site Plan Application Requirements Table, including but not limited to hours of operation, number of employees, number of employees on largest shift, number of company vehicles, etc.	
Proof of property ownership or lease agreement.	
Review comments of approval received from County, State, or Federal agencies that have jurisdiction over the project, including but not limited to:	
Wayne County Road Commission	Wayne County Drain Commission
Wayne County Health Division	Michigan Department of Natural Resources
Michigan Department of Transportation	Michigan Department of Environment, Great Lakes, & Energy

IMPORTANT

The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted after the site plan approval.

APPLICANT ENDORSEMENT

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application. Finally, I acknowledge that part of the site plan review process includes City staff entering the exterior of the property for site visits.

Signature of Applicant: Mary Fran

Date: 9-13-21

Signature of Applicant: _____

Date: _____

Signature of Property Owner: Jan Koznick
Authorizing this Application

Date: 9-13-21

TO BE COMPLETED BY THE CITY

DATE SUBMITTED:	FEE PAID:
BY:	DATE OF PUBLIC HEARING:
PLANNING COMMISSION ACTION	DATE OF ACTION:
<input type="checkbox"/> APPROVED	
<input type="checkbox"/> DENIED	

RECEIVED

SLU

SEP 13 2021

Case No. PPCA1-0020

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

Date Submitted CP

City of Lincoln Park

APPLICATION FOR SPECIAL USE APPROVAL

NOTICE TO APPLICANT: Applications for Special Use review by the Planning Commission must be submitted to the City *in substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by six (6) individual folded copies of the site plan, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

Special Uses shall comply with the standards in Section 1262.08 of the Zoning Ordinance. Accordingly, a public hearing shall be held by the Planning Commission before a decision is made on any Special Use request. Furthermore, a site plan shall be required, which shall be prepared in accordance with Section 1294.01 of the Ordinance.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned do hereby respectfully request Special Use Review and provide the following information to assist in the review:

Applicant: Gary Gray

Mailing Address: 2017 FORT ST
LINCOLN PARK MI 48146

Email Address: MONSTERINKTATTOCOMP@gmail

Telephone: 313 4066389 Fax: _____

Property Owner(s) (if different from Applicant): JAMES KOZMIACKI - CA3 CONSULTING

Mailing Address: 1631 FORT ST
LINCOLN PARK MI 48146

Telephone: 313 382 4700 Fax: 313 382 4702

Applicant's Legal Interest in Property: Owner

Location of Property: Street Address: 2017 FORT ST LINCOLN PARK MI 48146

Nearest Cross Streets: FONT ST + SOUTHFIELD

Sidwell Number: 45 009 07 0061 000

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., "acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

LOTS 61, 62 and 63 QUANDTS STATE - FONT ST SUB

Property Size (Square Ft): 1800 SQ FT (Acres): _____

Present Use of Property: EMPTY - RETAIL

Proposed Use of Property: TATTOO PARLOR - RETAIL

Existing Zoning (please check):

- | | |
|---------------------------------------------|-------------------------------------------------------------------|
| G SFRD Single Family Residential District | G RBD Regional Business District |
| G MFRD Multiple Family Residential District | <input checked="" type="checkbox"/> CBD Central Business District |
| G MHRD Mobile Home Park District | G GID General Industrial District |
| G NBD Neighborhood Business District | G LID Light Industrial District |
| G MBD Municipal Business District | G CSD Community Service District |
| G PUD Planned Unit Development District | |

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1	1800	5
Industrial			
Other			

ATTACH THE FOLLOWING:

1. Six (6) individually folded copies of the site plan, sealed by a registered architect, engineer, landscape architect or community planner.
2. Proof of property ownership.
3. A brief written description of the proposed use.

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this application.

Mary Moran _____ Date 6-10-21
 Signature of Applicant

 Signature of Applicant
Janis Reznick _____ Date 6/13/2021
 Signature of Property Owner Authorizing this Application

To be completed by City:

Date Submitted: _____ Fee Paid: _____

Received By: _____ Date of Public Hearing: _____

PLANNING COMMISSION ACTION (RECOMMENDATION)

To Approve: _____ To Deny: _____ Date of Action: _____

Reasons for Action Taken: _____

CITY COUNCIL ACTION

Approved: _____ Denied: _____ Date of Action: _____

Reasons for Action Taken: _____

471 Southfield – Auto Repair

Site Plan Review

Applicant	Mario Zuniga Morales, represented by Yogi Anand
Project	Auto Repair
Address	471 Southfield Rd. Lincoln Park, MI 48146
Date	November 10, 2021
Request	Site Plan Review

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial View

The proposed project is an auto repair facility. The site has been operating as an auto repair facility for quite some time with no history of planning approvals, and the City has been treating it as a nonconforming use. The applicant proposes to add a new overhead door, which will remove the site's nonconforming status. Therefore, the current request will bring the property into conformance with the Zoning Ordinance.

Site Conditions

The site is located along Southfield Road, west of River Drive, and east of Elliot Avenue. There is a party store to the east of the property and a vacant lot to the west side of the property. The rear of the

building abuts a 16-ft. public alley that is unimproved. The site is served by a 6-ft. concrete sidewalk along Southfield Road, and there is an existing parking lot onsite.

Master Plan

Future Land Use Classification

The future land use classification for the site is General Commercial. The proposed use of an Auto Repair Facility is consistent with the designation.

Intent; Desirable Uses and Elements

The General Commercial land use is intended to provide retail goods and services on a city-wide scale as well as a regional scale that draw customers from within and outside the City. This land use is appropriate location for automobile-oriented uses such as restaurants, gas stations with or without convenience stores, minor auto repair shops, and car washes that comply with special design standards that are not appropriate in other City areas such as the downtown.

Land Use and Zoning

Zoning

The site is zoned Municipal Business District (MBD). The proposed uses of an Auto Repair Facility is permitted after special approval under section 1278.03, listed below.

§1278.03 Uses Permitted After Special Approval

(d) Automotive repair stations, provided any outdoor storage of vehicles is screened in accordance with the standards of Section 1294.28, Screening.

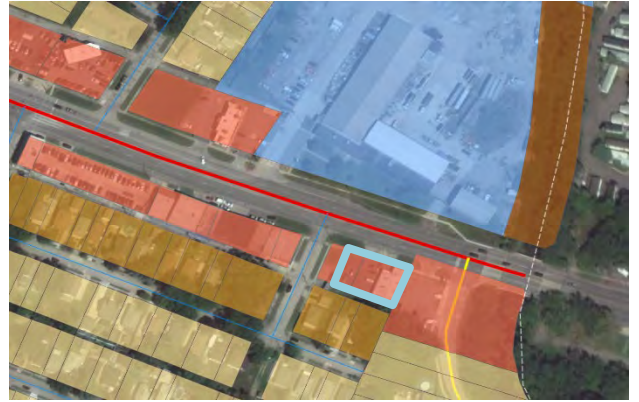


Figure 2: Zoning Map

Proposed and Existing Uses

Site	Commercial; Municipal Business District (MBD)
North	R.O.W then City Building; Community Service District (CSD)
East	Commercial; Municipal Business District (MBD)
South	Public Alley then Multiple Family Residential District (MFRD)
West	Vacant; Municipal Business District

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
–	Boundary and Topography Survey	5/3/2021	–
A1	Exist. Site Plan & Demo Notes	10/15/2021	–
A2	Proposed Site Plan	10/15/2021	–
A3	Prop. Floor Plan & Details	10/15/2021	–
A4	Exterior Bldg. Elevations	10/15/2021	–
L1	Landscape Plan & Notes	10/15/2021	–

Dimensional Standards

The dimensional requirements of the Municipal Business District (MBD) district are described in the chart below. (§1294.32, except where noted)

	Required	Provided	Compliance
Lot Width (§1294.14)	Min. 150 ft.	~125 ft.	NOT MET
Street Frontage (§1294.09)	Shrubbery and low retaining walls 2 ½' < height < 8'	No corners with proposed landscaping	N/A
Lot Area (§1294.14)	Min. 15,000 sq. ft.	~10,259 sq. ft.	NOT MET
Lot Coverage	Max. 50%	~36%	Met
Height	Two story; 25 ft.	One story; 14' 3"	Met
Setback – Front (§1294.14)	40 ft.	8 ft.	NOT MET
Setback – Sides (§1294.14) (§1294.32)	0 ft. from adjacent propoerty line	1.4 ft. to east ~73 ft. to west	Met
Setback – Rear (§1294.14)	0 ft. adjoining public alley	0 ft.	Met



The existing site does not meet the standards for lot area, lot width, and front setback pertaining to an auto repair center. Because this is an existing site, the City has historically permitted these conditions to remain.

Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> • Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' 	<p>Met</p>
<ul style="list-style-type: none"> • Architectural variety • Similar materials and entrances to buildings within 500'  <p>Figure 3: Southfield Rd looking east</p>  <p>Figure 4: Southfield Rd looking west</p>	<p>Met</p>
<ul style="list-style-type: none"> • Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) <u>North Elevation (front): 0% masonry</u> <ul style="list-style-type: none"> ○ Painted Brick Veneer: ~143 sf ○ Metal Siding: ~257 sf ○ Metal Doors: ~115 sf ○ Glass Windows & Doors (exempt): ~156 sf ○ Total Area: ~671 sf <u>South Elevation (rear): 0% masonry</u> <ul style="list-style-type: none"> ○ Metal Siding: ~645 sf ○ Metal Doors: ~26 sf ○ Total Area: ~671 sf <u>East Elevation (side): 0% masonry</u> <ul style="list-style-type: none"> ○ Metal Siding: ~1,070 sf ○ Total Area: ~1,070 sf <u>West Elevation (side): 0% masonry</u> <ul style="list-style-type: none"> ○ Metal Siding: ~869 sf ○ Metal Doors: ~197 sf ○ Glass Window (exempt): ~4 sf ○ Total Area: ~1,070 sf • 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block) 	<p>NOT MET</p>

Required	Compliance
<ul style="list-style-type: none"> Natural colors (bright for decorative features only). <i>Building is bright blue and yellow.</i> 	
<ul style="list-style-type: none"> Façade: <100' uninterrupted If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches All sides similar 	Met
<ul style="list-style-type: none"> Windows: vertical, recessed, visually obvious sills <i>Windows only present on front and are large storefront-type windows</i> Spaces between windows = columns, mullions, or material found elsewhere on façade Front facades > 25% windows <i>23% transparency (156 sf / 671 sf)</i> Size, shape, orientation, spacing to match buildings within 500' 	NOT MET
<ul style="list-style-type: none"> Main entrances: doors larger Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) <i>Door pulls, peaked roof, larger windows in front.</i> 	Met
<ul style="list-style-type: none"> Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 Rooflines >100' = roof forms, parapets, cornice lines Roof-top mechanical equipment screened by roof form. <i>Existing mechanical equipment located on the roof needs is not screened.</i> 	NOT MET

The building materials, colors, and transparency (windows) do not meet the standards but may be preserved so long as the nonconformity is not increased. As the proposal does not include changes to the building façade, the City has historically permitted existing façade conditions to remain. Additionally, there is existing roof-top mechanical equipment that is not screened. Should the existing equipment be replaced, it would need to be screened in accordance with Ordinance requirements.

Items to be addressed

None

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The site is served by a 6-ft concrete sidewalk along Southfield Road which provides pedestrian circulation separated from the vehicular circulation. The existing sidewalk appears to have some cracks, and the applicant must bring it up to City standards. There are no bus stops on the portion of Southfield Rd abutting this site, and there are no bicycle facilities along the ROW or bicycle parking facilities proposed.

Items to be addressed

- Applicant shall ensure that existing and new concrete sidewalks are brought up to City standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Automotive service stations	One (1) for each employee, plus one (1) for the owner and/or manager, plus two (2) for each service bay. <i>Employee: 2 employees = 2 spaces</i> <i>Manager/Owner = 1 manager/owner = 1 space</i> <i>Service bay: 2X2 = 4 spaces</i> <i>Total: 7 spaces</i>	8 spaces (7 spaces + 1 barrier-free space)	Met

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Existing ingress and egress on Southfield Rd. Existing concrete is in poor condition and will be replaced in 2022.	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Parking area is covered with asphalt, which will be replaced.	Met
	Concrete curbs and gutters	Concrete curbs and gutter are indicated on the site plan. Details will be provided at the time of detailed Engineering review.	Met
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	6' solid masonry wall proposed on rear end of property adjoining a residential alley.	Met
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street,	6' solid masonry wall proposed on rear end of property adjoining a residential alley.	Met

	Required	Proposed	Compliance
	shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.		
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	Entrance only from Southfield Rd.; there is ample space in the existing parking lot for maneuvering.	Met
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	No parking spaces face public sidewalks or right-of-ways.	N/A

Items to be addressed

- Applicant shall provide curb and gutter details at the time of detailed engineering review.

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 to 25	1	1	Met

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
2,001 to 5,000	1	27' x 11' loading area shown on west side of building.	Met

Items to be addressed

None

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Road, Fort Street, Dix Avenue, and Outer Drive.

Required	Provided	Compliance
<ul style="list-style-type: none"> • Single two-way driveway or pair of one-way driveways • Two-way: 25' < throat width < 30' (face to face of curb). One-way paired: each 20' measured perpendicularly. May be separated by 10' median; sidewalks shall be continued or maintained • 25' radii; 30' radii where daily truck traffic expected • Corner lots: one access point per street with >100' frontage • If frontage >300' and documented need (ITE), may allow additional access with design restrictions • If frontage >600', max of 3 drives may be allowed; one with design restrictions 	<ul style="list-style-type: none"> • Existing one single-way and one two-way driveway on Southfield Rd. • Two-way: 25'; One-way: 16'; Sidewalk continues 	NOT MET
	<ul style="list-style-type: none"> • Western drive edge – 20' • Eastern drive edge – 15' • Interior curbs – 5' 	Partially Met
	<ul style="list-style-type: none"> • Not applicable 	NOT MET
	<ul style="list-style-type: none"> • Not Applicable 	N/A
	<ul style="list-style-type: none"> • Not Applicable 	N/A
<ul style="list-style-type: none"> • Shared access: driveways along property lines, connecting parking lots, on-site frontage roads, rear service drives. Encouraged and may be required for sites within 1/4 mile of major intersections; having dual frontage; with <300' frontage; with sight distance problems; along congested or accident-prone roadway segments • Connection to adjacent facilities may be required; site accommodation may be required for future connection to undeveloped adjacent property • Letters of agreement or access easements required 	Not Applicable	N/A
<ul style="list-style-type: none"> • Triangular unobstructed view areas: from corner of two ROWs, 25' along each; from corner of ROW and driveway, 10' along driveway and 5' along ROW • Grass / groundcover only in 3' strip abutting driveway and ROW • Trees permitted if trimmed between 30" and 6' from ground level 	Not applicable	N/A

Required	Provided	Compliance
<ul style="list-style-type: none"> • May require drive to be located on the far side of the property from congested intersections • >150' from signalized intersection or 4-way stop, or right-turn-only at 75' from intersection • >100' otherwise • >200' from centerline of I-75 access ramps 	<ul style="list-style-type: none"> • Drive is >700 ft. from nearest signalized intersection. Not applicable. 	N/A
<ul style="list-style-type: none"> • Same side of street: Driveway spacing determined by speed limits in §1290.10. <i>Speed limit is 35 mph = 150' driveway spacing</i> • Across the street: Driveways directly aligned or >150' offset (excludes right-turn-only) • Directional driveways, divided driveways, and deceleration tapers and/or by-pass lanes may be required by the Planning Commission where they will reduce congestion and accident potential 	<ul style="list-style-type: none"> • Closest drive is ~31 ft. • There is a driveway across the street slightly offset, but both drives are existing • Not Applicable 	<p>NOT MET</p> <p>NOT MET</p> <p>N/A</p>

The existing driveways do not meet the standards for width, radius, or number. Because the project is redeveloping an existing site, the Planning Commission has the authority to apply the standards to the maximum extent possible if it determines that compliance with all the standards of this section is unreasonable.

(4) For expansion and/or redevelopment of existing sites where the Planning Commission determines that compliance with all the standards of this section is unreasonable, the standards shall be applied to the maximum extent possible. In such situations, suitable alternatives which substantially achieve the purpose of this section may be accepted by the Planning Commission, provided that the applicant demonstrates that all of the following apply:

- A. The size of the parcel is insufficient to meet the dimensional standards.
- B. The spacing of existing, adjacent driveways or environmental constraints prohibit adherence to the access standards at a reasonable cost.
- C. The use will generate less than five hundred (500) total vehicle trips per day or less than seventy-five (75) total vehicle trips in the peak hour of travel on the adjacent street, based on rates developed by the Institute of Transportation Engineers (ITE).
- D. There is no other reasonable means of access.

Items to be addressed

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via Southfield Road. The Lincoln Park Police Department has reviewed this plan and indicates no outstanding issues.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	~21-ft. greenbelt between Southfield Rd. and the sidewalk.	Met
	1 tree and 4 shrubs per 40' of street frontage <i>Southfield Rd:</i> <i>125' of frontage = 3 trees and 13 shrubs</i> <i>30% Redevelopment Standard = 1 tree and 4 shrubs</i>	1 tree and 4 shrubs proposed.	Met
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	No parked vehicles will face the ROW.	Met
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>(~10,259 sf*0.1) = 1,026 sf landscaping</i> <i>30% Redevelopment Standard = 308 sf landscaping</i>	~345 sf proposed landscaped area	Met
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Proposed plantings grouped near entrances and sidewalks.	Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>30% Redevelopment Standard = 0 trees and 1 shrub</i>	1 shrub and 41 sf planter box with annual flowers proposed.	Met

	Required	Proposed	Compliance
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces <i>8 parking spaces = 0 trees</i>	No trees required because there are fewer than 10 parking spaces.	Met
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	6' CMU wall proposed to screen dumpster.	Met
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive); solid 6' masonry wall ornamental on both sides	6' solid masonry wall proposed on rear end of property adjoining a residential alley.	Met

The proposed landscaping plan meets 30% of the landscaping requirements, which is sufficient for the redevelopment of an existing site.

Items to be addressed

None

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.*

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site. If the existing sanitary sewer is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. If the existing water service is being reused, it is important that the developer realize this existing water service is also old and may have reached its life expectancy. If the existing service is a lead-type service, it will need to be replaced. The design professional must verify the

existing water service type, size, and lead capacity and should verify that the existing service is adequate to handle the required flows.

Items to be addressed

- *The applicant shall verify that the existing sanitary service is adequate to handle the required flows for the building's use.*
- *It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*
- *Applicant shall verify the existing water service type, size, and lead capacity and shall verify that the existing service is adequate to handle the required flows.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County. No new stormwater management system is proposed on the site.

Items to be addressed

- *Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

The existing light on the southern side of the building (rear) will be replaced, but no lighting details have been provided.

Items to be addressed

- *Applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

There is existing roof-top mechanical equipment that is not screened. Should the existing equipment be replaced, it would need to be screened in accordance with Ordinance requirements.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during site plan review is for illustrative purposes only.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

The proposed use is expected to generate some quantity of hazardous materials or waste. Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal.

Items to be addressed

- Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal of hazardous materials and waste.*

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

	Required	Proposed	Compliance
Area and Frontage	Frontage on principal street >150'	~125 ft.	NOT MET
	Minimum area of 15,000 sf	~10,259 sq. ft.	NOT MET

	Required	Proposed	Compliance
Setbacks	Building >40' from street lot line Building >15' from side or rear lot line adjoining residential zoning (may abut open alley)	8 ft. from Southfield Abuts open alley, but will be screened with 6' masonry wall.	Partially Met
	>5,000' from existing similar use from lot line to lot line	Existing location	N/A
Drives and Curbs	<30' wide at lot line	2-way drive: 25 ft. 1-way drive: 16 ft.	Met
	1 curb cut per street	Two curbcuts	NOT MET
	>20' from corner or exterior lot line	~33 ft. to east lot line ~25 ft. to west lot line	Met
	>30' from other driveway	6 ft. between drives at the curb (tapers to 25 ft. at the sidewalk) with proposed reconstruction of drives.	NOT MET
	6" curb along all street lot lines	Curb labeled on plan, details to be provided at the time of detailed Engineering review.	Met
Paved Areas	Hard surfaced; curbs along landscape	Hard surfaced, though in poor condition; no indication of curbs along landscaping	NOT MET
Equipment Locatoin	Lubrication equipment, motor vehicle washing equipment, hydraulic hoists and pits enclosed entirely within a building	No proposed equipment outside.	Met
	Gasoline and fuel pumps >15' from any lot line	Not applicable	N/A
	Vehicles shall not be serviced while overhanging public sidewalk, street, or right of way.	No proposed outdoor service area.	Met
Number of Pumps	Max of 4 double gasoline and fuel pumps or 8 single gasoline and fuel pumps and 2 enclosed stalls for service	Proposed use does not include fuel sales. Not applicable.	N/A
	2 additional gasoline and fuel pumps and/or 1 enclosed stall for each additional 2,000 sf of lot area over 15,000		
Walls	Where adjoining residential district: 6' solid, ornamental, masonry wall along interior or alley lot line	6' solid masonry wall proposed on rear end of property adjoining a residential alley.	Met
	Trash areas, tires, parts, etc. enclosed on all sides by 6' masonry wall	6' masonry wall proposed to screen dumpster.	Met
	Walls: same materials as principal building; brick, decorative block, pre-cast concrete with decorative pattern; painted principal building color scheme	Proposed masonry wall for dumpster and adjoining alley to be split-face type and gray color block.	Met

	Required	Proposed	Compliance
	Protected by curb or vehicle barrier	No parking proposed adjacent to wall.	N/A
	May be required adjoining nonresidential use, e.g. office, clinic, day care, or landscaped area	N/A	N/A
	May be stepped down 25' from ROW	N/A	N/A
Prohibited	>200' from school, playground, church, hospital, or other congregating use, property line to property line	Existing location	N/A
Outdoor Storage and Parking	All work conducted completely within enclosed building	No proposed outdoor service area.	Met
	No storage of parts, trash, supplies, or equipment outside of a building	No proposed outdoor storage area.	Met
	Vehicle storage generally limited to private passenger automobiles between 10pm-7am; see 1294.14 for exceptions	No proposed vehicle storage.	Met

The existing site does not meet the standards for lot area and frontage, setbacks, and number of driveways. Because this is an existing site, the City has historically permitted these conditions to remain.

Items to be addressed

- Applicant shall provide curb and gutter details at the time of Detailed Engineering Review.
- Applicant shall replace any broken and cracked asphalt in the existing parking area.
- Applicant shall provide curbs along landscaped areas and indicate such curbs on the plan.

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Southfield Road is under the jurisdiction of Wayne County. All work within the right-of-way shall be approved by the Wayne County Road Commission.

Items to be addressed

- Work in the Southfield Road right of way requires a permit from the Wayne County Road Commission.
- Applicant to secure all appropriate agency reviews as needed.

VARIANCES

No variances are anticipated from this proposal.

Items to be addressed

None

RECOMMENDATIONS

Findings

The information submitted with this proposal is substantially in compliance with §1296.01, Site Plan Review.

Conditions and Waivers

Conditions to be Addressed Before Approval Letter is Issued:

- Applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.
- Applicant shall provide curbs along landscaped areas and indicate such curbs on the plan.

Conditions of Approval

- Applicant shall ensure that existing and new concrete sidewalks are brought up to City standards.
- Applicant shall provide curb and gutter details at the time of detailed engineering review.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- The applicant shall verify that the existing sanitary service is adequate to handle the required flows for the building's use.
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.
- Applicant shall verify the existing water service type, size, and lead capacity and shall verify that the existing service is adequate to handle the required flows.
- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal of hazardous materials and waste.
- Applicant shall replace any broken and cracked asphalt in the existing parking area.
- Work in the Southfield Road right of way requires a permit from the Wayne County Road Commission.
- Applicant to secure all appropriate agency reviews as needed.

Recommendations

I move that the City of Lincoln Park Planning Commission **approve** the site plan numbered PPC20-0009, proposing an auto repair facility at 471 Southfield Road and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

471 Southfield – Auto Repair Special Land Use Review

Applicant	Mario Zuniga Morales, represented by Yogi Anand
Project	Auto Repair
Address	471 Southfield Rd. Lincoln Park, MI 48146
Date	November 10, 2021
Request	Special Land Use

REQUEST

The applicant proposes to obtain Special Land Use approval to allow for an automotive repair facility at 471 Southfield Road. The site has been operating as an automotive repair facility for quite some time with no history of planning approvals, and the City has been treating it as a nonconforming use. The applicant proposes to add a new overhead door, which will remove the site's nonconforming status. Therefore, the current request will bring the property into conformance with the Zoning Ordinance. The site is located along Southfield Road, west of River Drive, and east of Elliot Avenue. The proposed use of an automotive repair facility is permitted within the Municipal Business District (MBD) after Special Land Use approval under §1278.03 of the Lincoln Park Zoning Code, and subject to §1294.14.

The property is legally described as:

FB1A 2A 3A SLY PART OF LOTS 1 2 AND 3 MEAS 86.08FT ON ELY LINE OF LOT 1 AND 80.21FT ON WLY LINE OF LOT 3 EMPIRE GARDENS SUB PC 85 L33 P97 WCR

CRITERIA FOR REVIEW

The following conditions are all required to be met before a Special Land Use approval may be granted:

- 1) The special use will promote the use of land in a socially and economically desirable manner for persons who will use the proposed land use or activity, for landowners and residents who are adjacent thereto and for the City as a whole;

The proposed use is an existing, though nonconforming use. The special use will bring the property into conformance with the Zoning Ordinance.

This condition is MET.

- 2) The special use is compatible and in accordance with the goals, objectives and policies of the City's Comprehensive Development Plan;

The Future Land Use classification for the site is General Commercial.

The General Commercial land use is intended to provide retail goods and services on a city-wide scale as well as a regional scale that draw customers from within and outside the City. This land use is appropriate location for automobile-oriented uses such as restaurants, gas stations with or without convenience stores, minor auto repair shops, and car washes that comply with special design standards that are not appropriate in other City areas such as the downtown.

This condition is MET.

- 3) The special use is necessary for the public convenience at that location;

The site is existing.

This condition is MET.

- 4) The special use is compatible with adjacent uses of land, and can be constructed, operated and maintained so as to continue to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed;

The proposed use is an existing, though nonconforming use. The special use will bring the property into conformance with the Zoning Ordinance, and it will improve the current conditions of the site.

This condition is MET.

- 5) The special use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected;

The proposed improvements to the site will help ensure that the public health, safety and general welfare will be protected, particularly the solid masonry screening wall to be installed at the rear of the property.

This condition is MET.

- 6) The special use can be adequately served by public services and facilities without diminishing or adversely affecting public services and facilities to existing land uses in the area;

The proposed use is existing will re-use existing services and facilities.

This condition is MET.

- 7) The special use will not cause injury to the value of other property in the neighborhood in which it is to be located;

The proposed solid masonry screening wall to be installed at the rear of the property will adequately screen the site from neighboring properties.

This condition is MET.

- 8) The special use will protect the natural environment, help conserve natural resources and energy, and will not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance;

The proposal does nothing to protect the natural environment; however, it will improve the landscaping on the site.

This condition is PARTIALLY MET.

- 9) The special use is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located, and meets applicable site design standards for use in Section 1296.02; and

The site design as proposed does not completely conform with the requirements of 1294.14, but may be waived for good reason per the same section.

This condition is CONDITIONALLY MET.

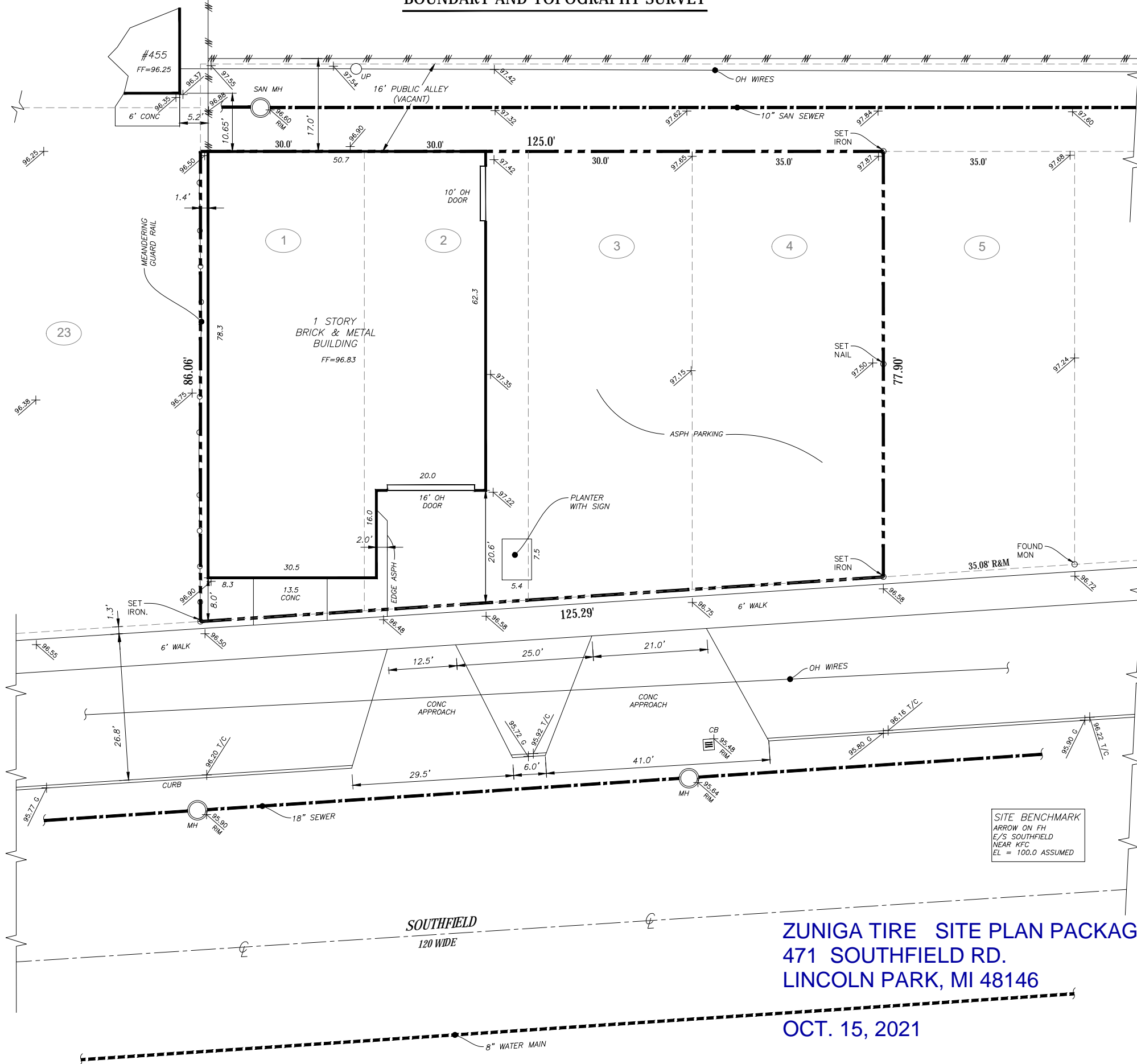
- 10) The special use is related to the valid exercise of the City's police power and purposes which are affected by the proposed use or activity.

This condition is MET.

PROPOSED MOTION

I move that the Lincoln Park Planning Commission grant Special Land Use **Approval** for an auto repair facility at 471 Southfield Road, as requested in PPC 20-0009, based on an affirmative finding of compliance with the criteria set forth in Section 1262.08 of the Lincoln Park Zoning Code.

BOUNDARY AND TOPOGRAPHY SURVEY



LEGEND:

- LOT LINE
- PROPERTY LINE
- SEWER MAIN
- WATER MAIN
- OH WIRES
- OVERHEAD WIRES
- EXISTING GRADES
- T/C TOP OF CURB
- G GUTTER
- FF FINISH FLOOR
- FG FINISH GRADE
- CL CENTERLINE
- MH MANHOLE
- CB CATCH BASIN
- UP UTILITY POLE
- 29 LOT NUMBER

LEGAL DESCRIPTION:

LOTS 1-4 AS DESCRIBED:
 LOT 1, EXCEPT THE NORTH PART THEREOF MEASURING 31.27 FEET ON THE WEST LINE OF AND 29.22 FEET ON THE EAST LINE, OF EMPIRE GARDENS.
 LOT 2, EXCEPT THE NORTH PART MEASURING 33.33 FT ON THE WEST LINE AND 31.27 FEET ON THE EAST LINE, OF EMPIRE GARDENS.
 LOT 3, EXCEPT THE NORTH PART OF LOT 3 MEASURING 33.33 FT ON THE EAST LOT LINE AND 35.39 FT ON THE WEST LOT LINE, OF EMPIRE GARDENS.
 LOT 4, EXCEPT THE NORTHERLY PART MEASURING 37.80 FT ON THE WEST LINE AND 35.39 FT ON THE EAST LINE OF, EMPIRE GARDENS.
 BEING MORE PARTICULARLY DESCRIBED AS BEING ALL THAT PART OF LOT 2 OF SAID SUBDIVISION WHICH LIES SOUTH OF THE SOUTH RIGHT-OF-WAY LINE OF SOUTHFIELD ROAD, 120 FT WIDE, AS NOW ESTABLISHED, SAID RIGHT OF WAY LINE INTERSECTS THE LINE COMMON TO LOTS 1 AND 2, 31.27 FT SOUTH OF THE FRONT CORNER COMMON TO SAID LOTS 1 AND 3, AND 33.33 FT SOUTH OF THE FRONT CORNER COMMON TO LOTS 2 AND 3, OF EMPIRE GARDENS SUBDIVISION.
 AS RECORDED IN LIBER 33 OF PLATS, PAGE 97 WAYNE COUNTY RECORDS.
 DESCRIBED FOR TAX PURPOSES AS:
 PART OF LOTS 1, 2, AND 3, MEASURING 86.08 FT ON EASTERLY LINE OF LOT 1, AND 80.21 FT ON THE WESTERLY LINE OF LOT 3, EMPIRE GARDENS SUBDIVISION, AS RECORDED IN LIBER 33 OF PLATS, PAGE 97, WAYNE COUNTY RECORDS.
 TAX ITEM NO: 45-008-02-0001-001
 AND 45-008-02-0004-001

CERTIFICATE:

WE HEREBY CERTIFY THAT WE HAVE SURVEYED THE PARCEL HEREON DELINEATED IN ACCORDANCE WITH THE LEGAL DESCRIPTION AS FURNISHED BY YOU AND BOUNDARIES AND CORNERS OF SAID PARCEL ARE AS INDICATED HEREIN AND THAT THEIR EXISTS NO ENCROACHMENTS UPON SAID PARCEL EXCEPT AS OTHERWISE NOTED.

BY: P.S. #53493
 MARK A. CANTOR

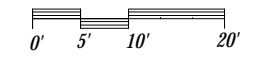


UTILITY NOTE:
 PLEASE NOTE THAT ALL UTILITY INFORMATION WAS OBTAINED FROM EITHER VARIOUS UTILITY COMPANIES AND/OR THE MUNICIPALITIES. THE LOUIS CANTOR COMPANY TAKES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS THEREOF.

NOTE:
 IF A CURRENT TITLE POLICY WAS NOT ISSUED TO THE LOUIS CANTOR COMPANY AT THE TIME OF THE SURVEY WE TAKE NO RESPONSIBILITY FOR EASEMENTS AND/OR ENCUMBRANCES AFFECTING THE SUBJECT PROPERTY.

LOUIS CANTOR COMPANY
 17600 NORTHLAND PARK CT., SUITE 201
 SOUTHFIELD, MI 48075

LOUISCANTOR2@CS.COM
 248-559-7840 FAX 248-559-4504



DATE	ISSUED FOR

CLIENT: **YOGI ANAND**

ORDERED BY: **YOGI (248) 766-1546**

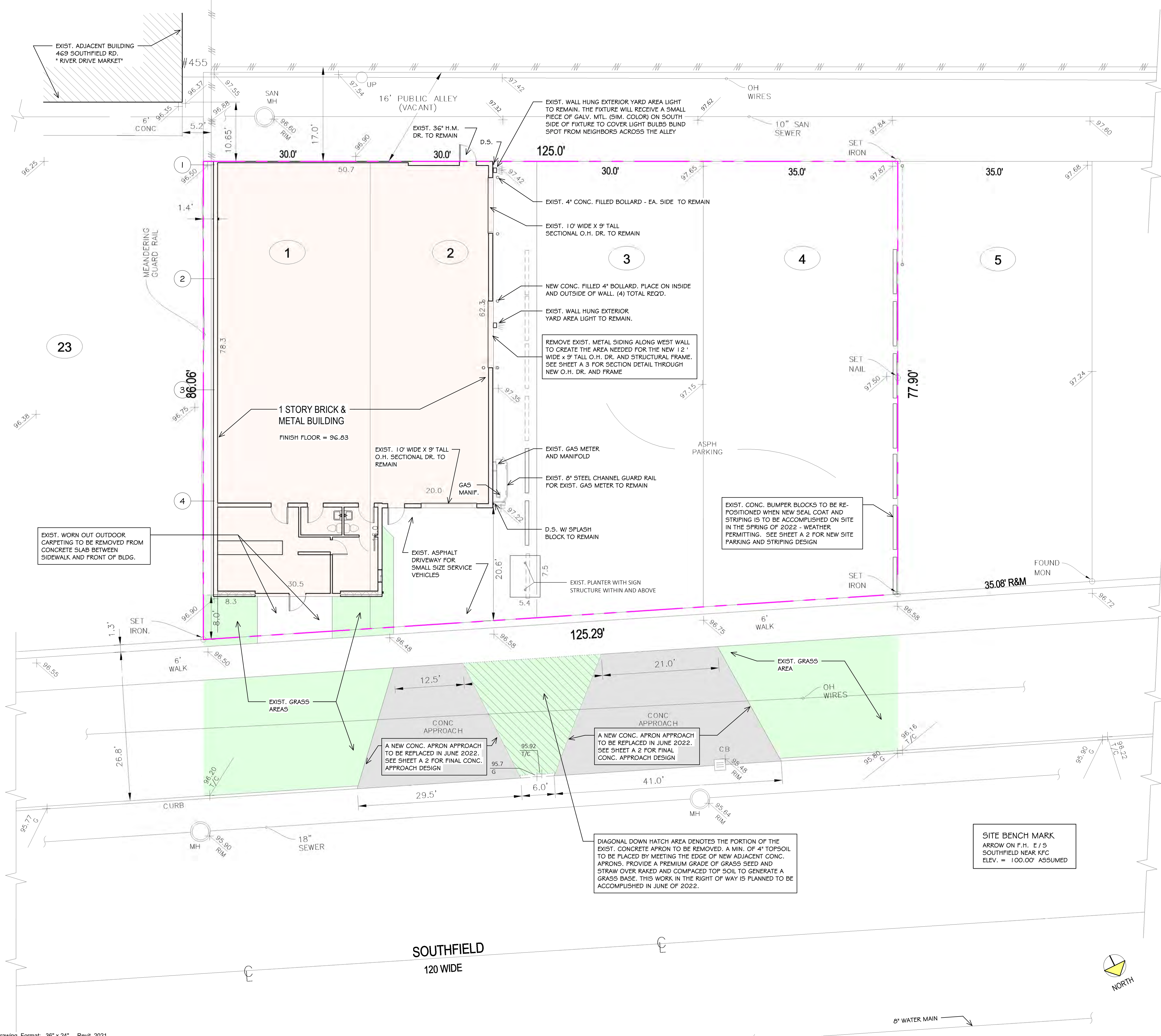
ADDRESS: **471 SOUTHFIELD RD LINCOLN PARK, MI**

DRAWING TITLE: **BOUNDARY AND TOPOGRAPHY SURVEY**

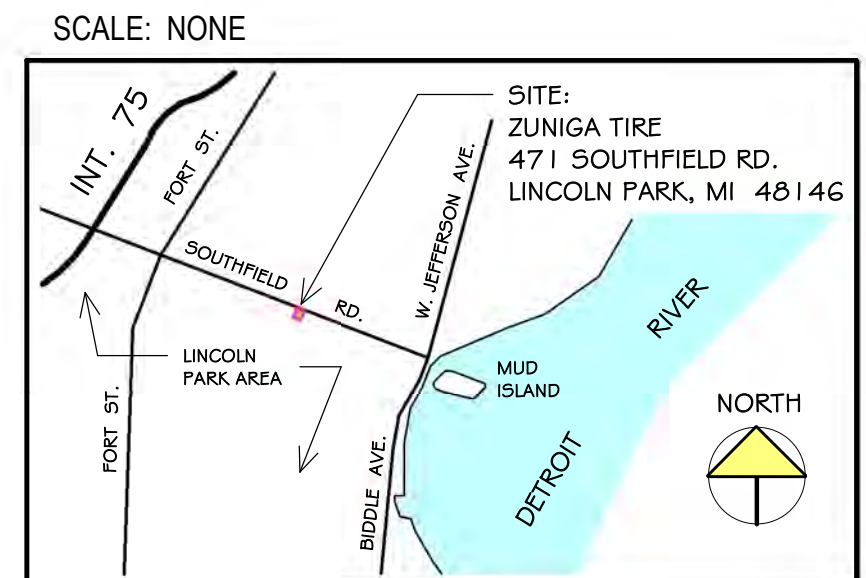
SCALE:	1"=20'
DATE:	5/3/2021
DRAWN BY:	R MARBLE
SURVEY:	41-67

DRAWING NUMBER: **1 OF 1**

ZUNIGA TIRE SITE PLAN PACKAGE
471 SOUTHFIELD RD.
LINCOLN PARK, MI 48146
OCT. 15, 2021



LOCATION MAP:



DRAWING SHEET INDEX:

SHEET 1 OF 1	TOPOGRAPHIC AND BOUNDARY SURVEY OF SITE
SHEET L 1	LANDSCAPE PLAN AND DETAILS
SHEET A 1	EXIST. SITE PLAN WITH DEMOLITION NOTES
SHEET A 2	PROPOSED SITE PLAN AND DETAILS
SHEET A 3	EXIST. AND PROPOSED BUILDING FLOOR PLAN AND DETAILS
SHEET A 4	EXTERIOR BUILDING ELEVATIONS

DIRECTOR OF PROJECT:
 YOGI ANAND, DEng, P.E.
 PHONE: 248-766-1546
 EMAIL: yogia1@gmail.com

OWNER / CLIENT:
 MARIO ZUNIGA
 PHONE: 313-727-5414
 EMAIL: zmc.mason@gmail.com



ENGINEER:
 YOGI ANAND, DEng, P.E.
 +1-248-766-1546
 yogia1@gmail.com

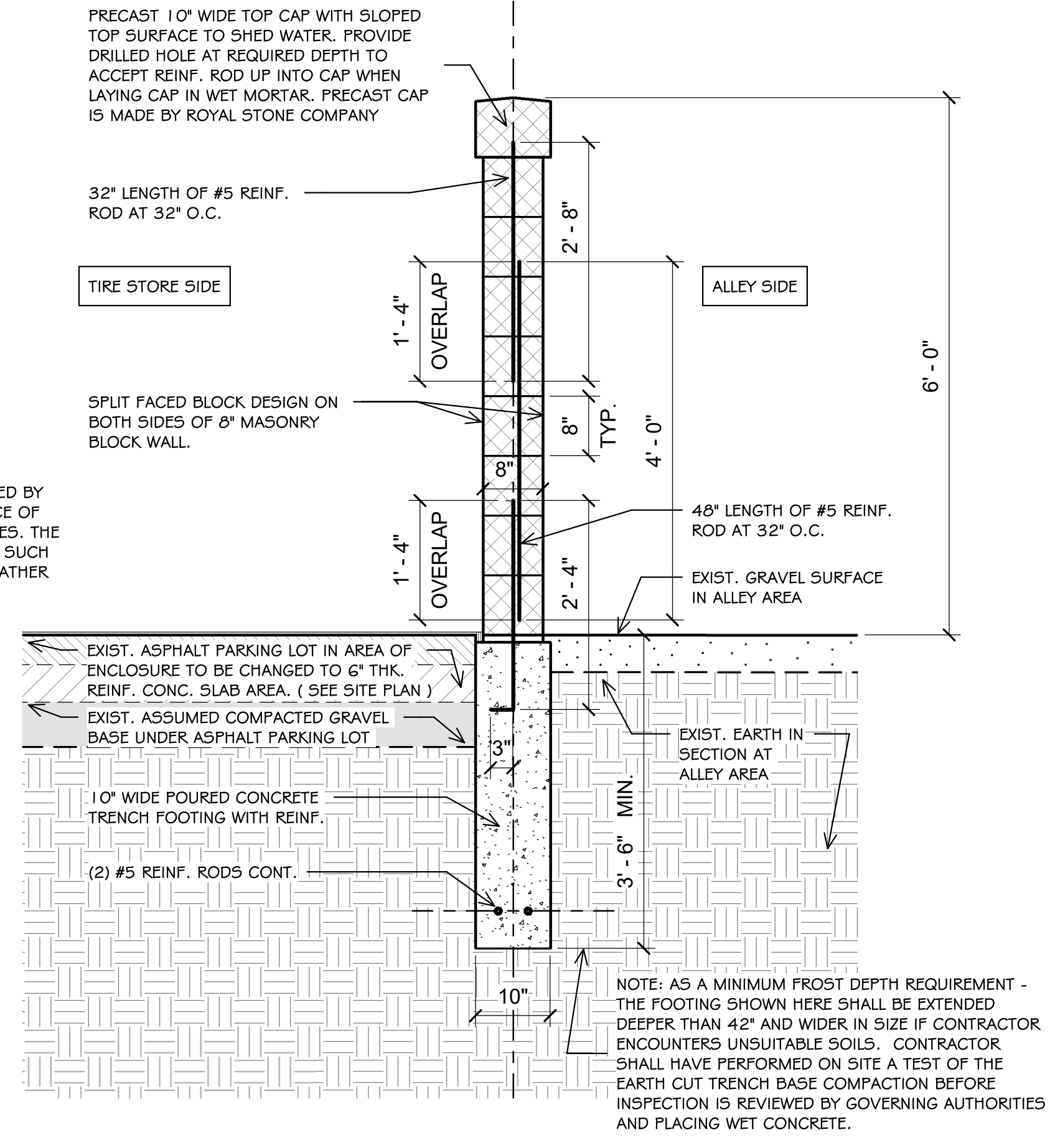
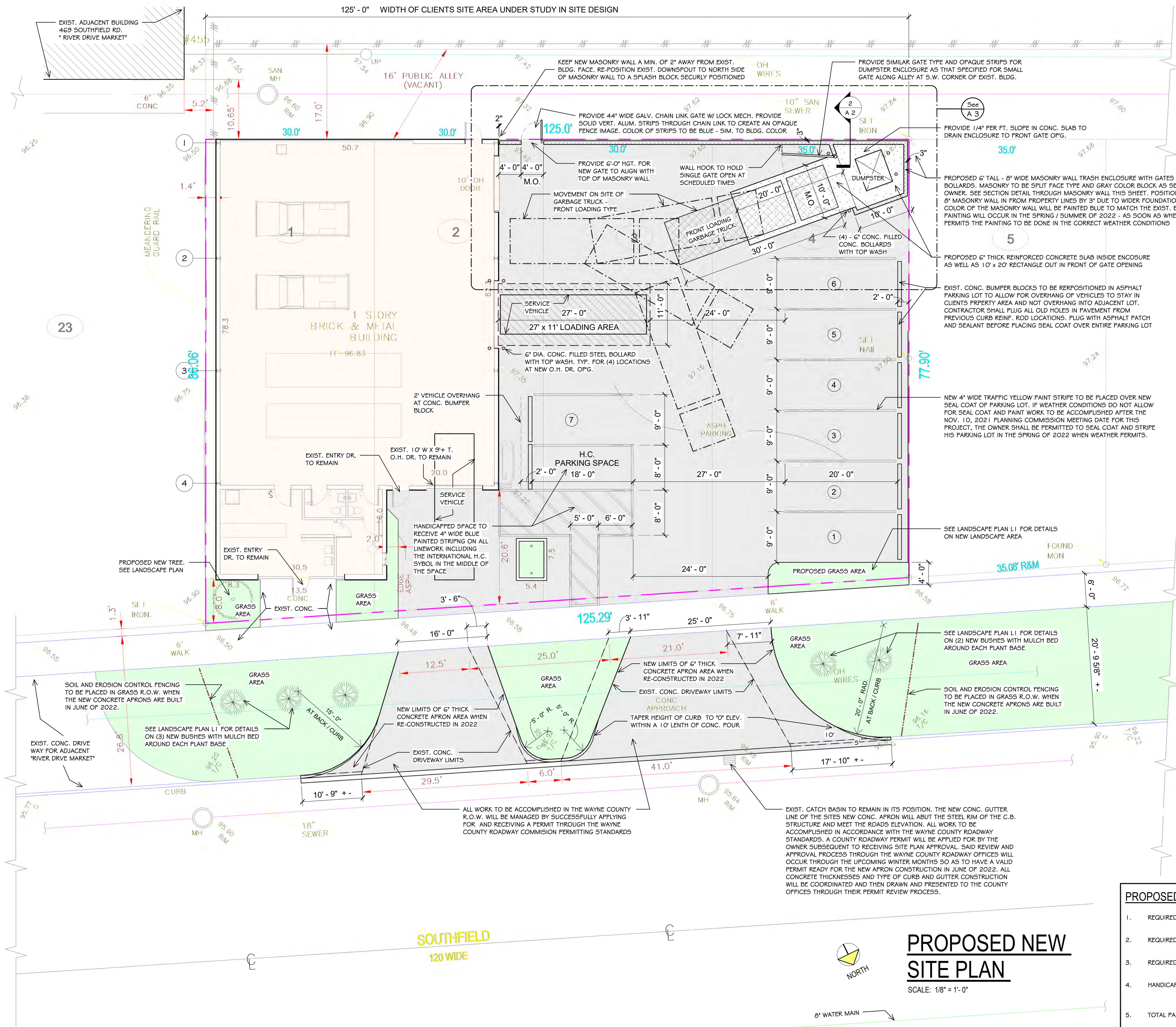
10-15-2021	SITE PLAN REVIEW
10-12-2021	DESIGN REVIEW
9-21-2021	DESIGN REVIEW

DATE	ISSUE
Proposed Business	
ZUNIGA TIRE	
471 Southfield Rd.	
Lincoln Park, MI	
48146	
EXIST. SITE PLAN & DEMO NOTES	
Project number	1913
Drawn by	JMP
Sheet	A 1
Scale	As indicated



EXIST. SITE PLAN WITH DEMOLITION NOTES

SCALE: 1/8" = 1'-0"



SECTION DETAIL THRU MASONRY SCREEN WALL
SCALE: 3/4" = 1'-0"



YOGI ANAND, DEng, P.E.
+1-248-766-1546
yogia1@gmail.com

DATE	ISSUE
10-15-2021	SITE PLAN REVIEW
10-13-2021	DESIGN REVIEW
9-21-2021	DESIGN REVIEW

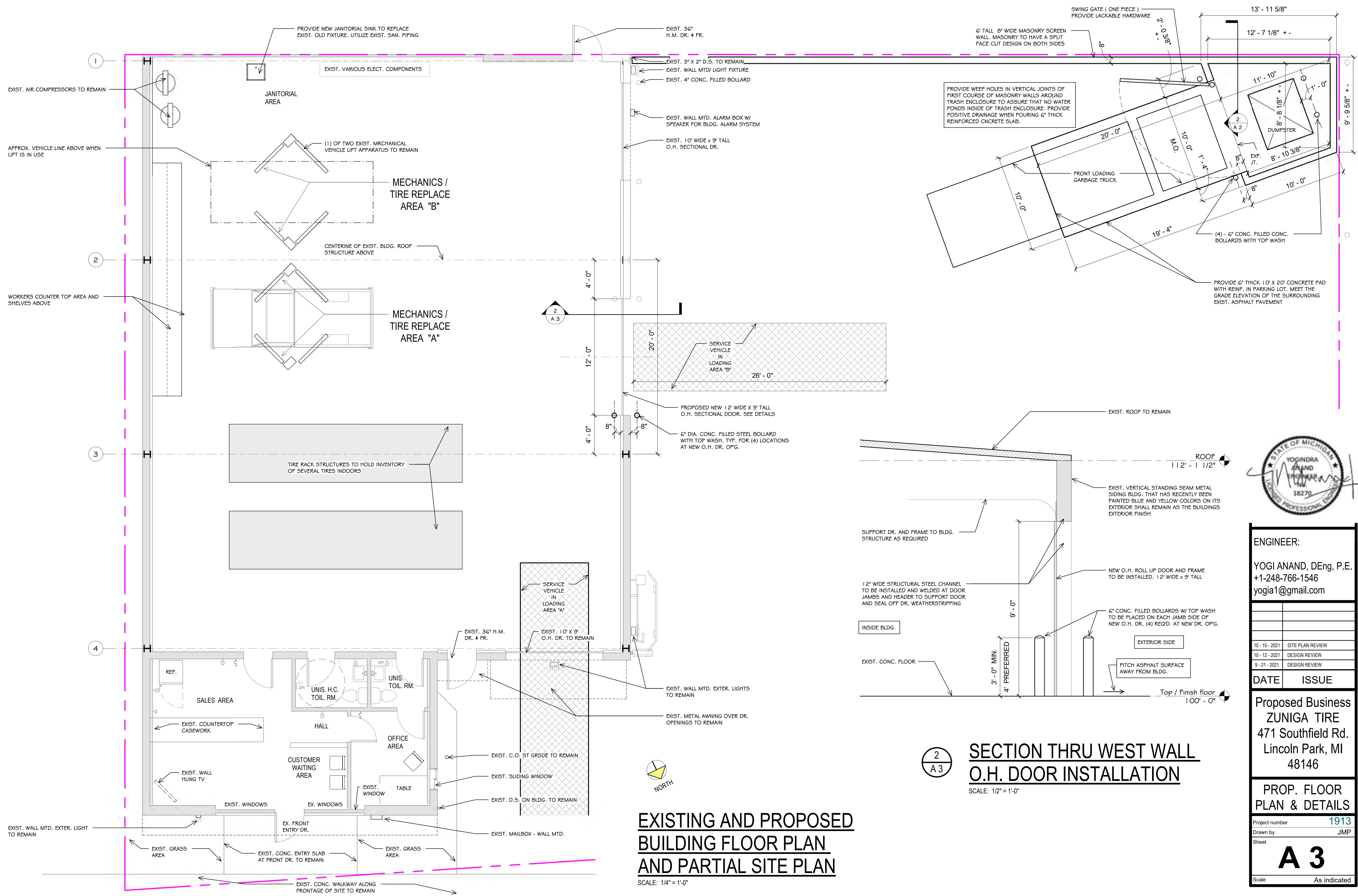
Proposed Business ZUNIGA TIRE
471 Southfield Rd.
Lincoln Park, MI 48146

PROPOSED SITE PLAN

Project number: 1913
Drawn by: JMP
Sheet: **A 2**
Scale: As indicated

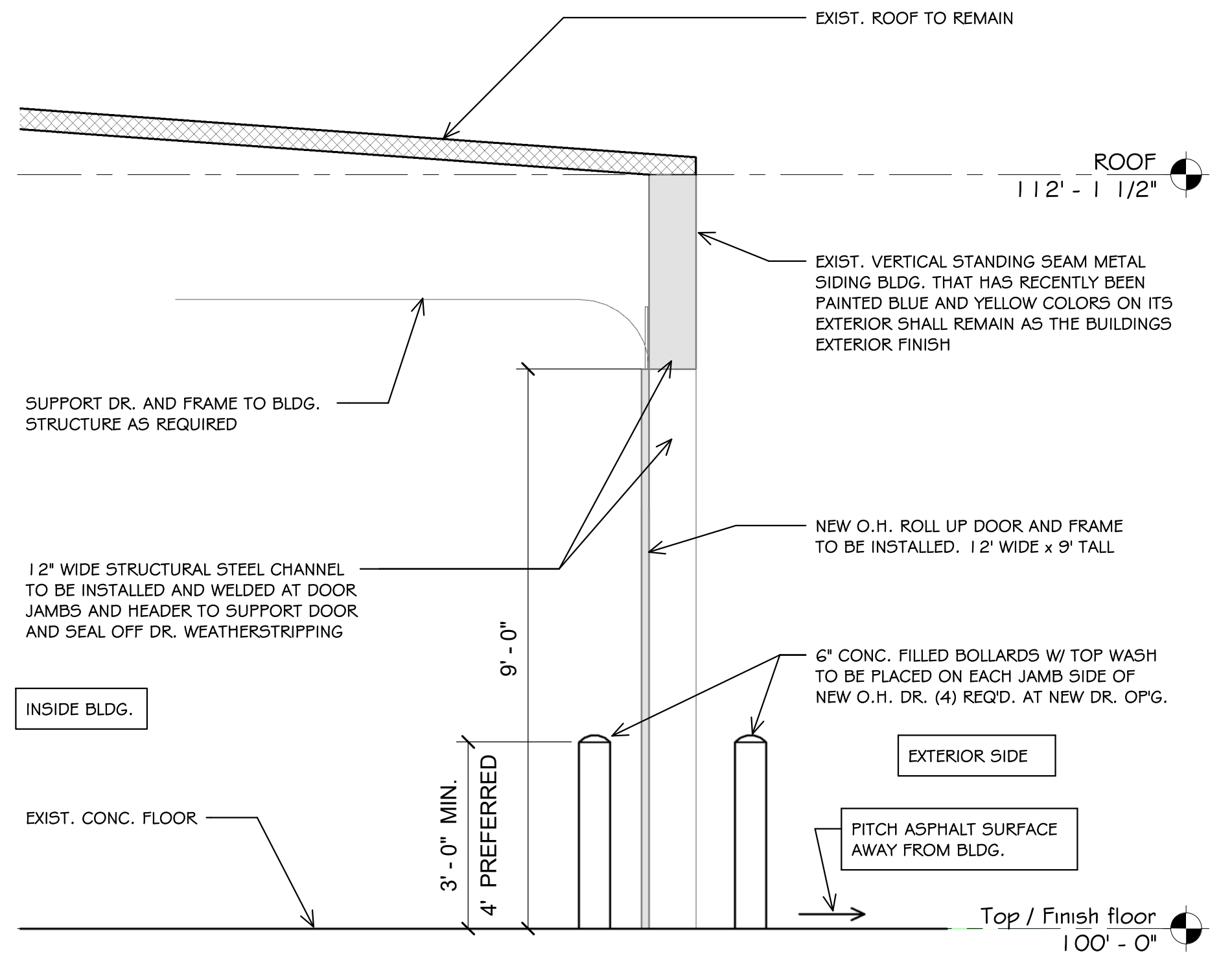
PROPOSED PARKING DATA:

1. REQUIRED PARKING FOR EACH SERVICE BAY	2 CARS FOR EA. SERVICE BAY (4 CARS SPACES PROVIDED)
2. REQUIRED PARKING FOR OWNER	1 CAR FOR OWNERS VEHICLE (1 CAR SPACE PROVIDED FOR OWNER)
3. REQUIRED PARKING FOR EMPLOYEES	1 CAR FOR EACH EMPLOYEE (2 CAR SPACES PROV. FOR EMPLOYEES)
4. HANDICAPPED PARKING SPACE	1 CAR SPACE - VAN ACCESSIBLE REQUIRED (1 HANDICAPPED SPACE PROVIDED WITH EXTRA WIDE ACCESS AISLE)
5. TOTAL PARKING PROVIDED	7 REGULAR SPACES AND ONE H.C. SPACE



**EXISTING AND PROPOSED
BUILDING FLOOR PLAN
AND PARTIAL SITE PLAN**

SCALE: 1/4" = 1'-0"



2
A3

**SECTION THRU WEST WALL
O.H. DOOR INSTALLATION**

SCALE: 1/2" = 1'-0"

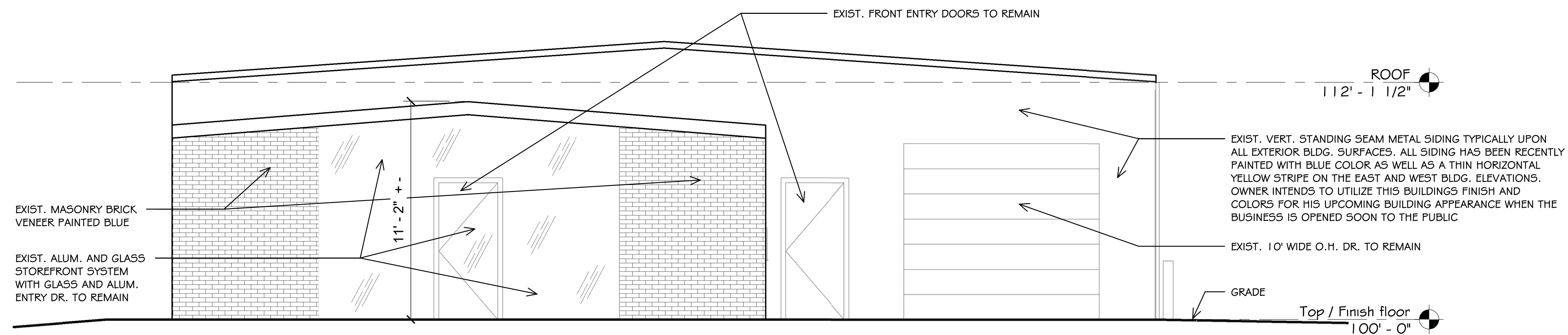


ENGINEER:
YOGI ANAND, DEng, P.E.
+1-248-766-1546
yogia1@gmail.com

DATE	ISSUE
10-15-2021	SITE PLAN REVIEW
10-12-2021	DESIGN REVIEW
9-21-2021	DESIGN REVIEW

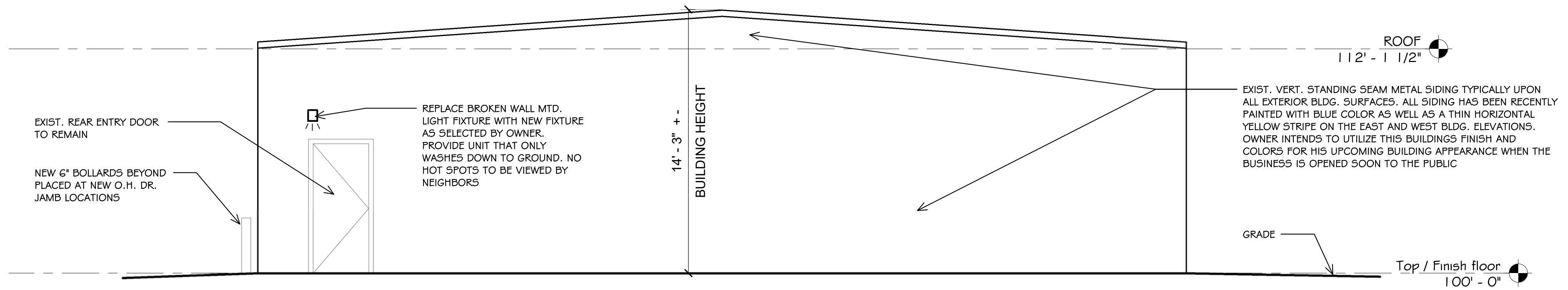
**Proposed Business
ZUNIGA TIRE**
471 Southfield Rd.
Lincoln Park, MI
48146

Project number	1913
Drawn by	JMP
Sheet	A 3
Scale	As indicated



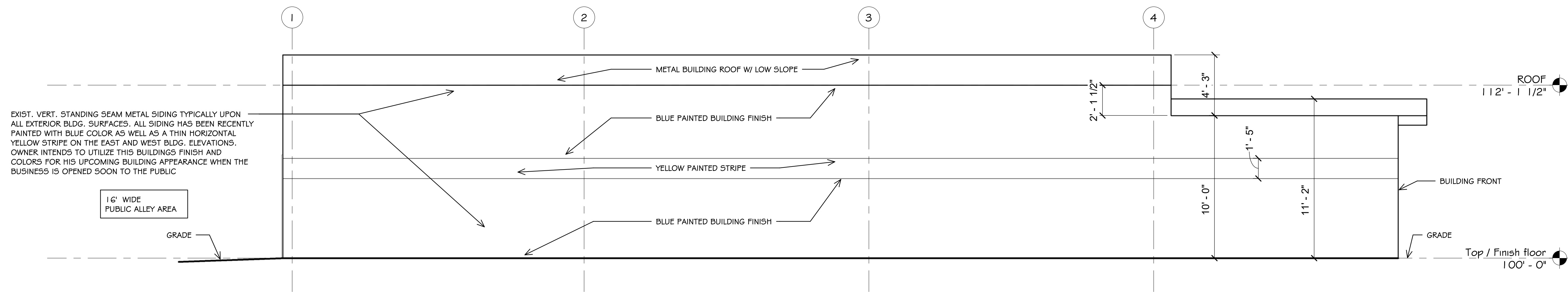
NORTH EXTER. BLDG. ELEVATION

SCALE: 1/4" = 1'-0"



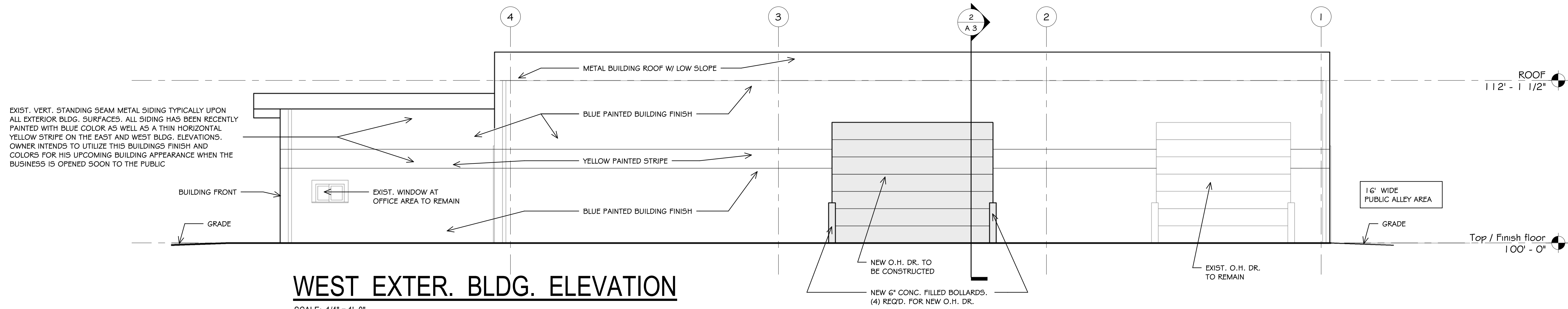
SOUTH EXTER. BLDG. ELEVATION

SCALE: 1/4" = 1'-0"



EAST EXTER. BLDG. ELEVATION

SCALE: 1/4" = 1'-0"



WEST EXTER. BLDG. ELEVATION

SCALE: 1/4" = 1'-0"



ENGINEER:

YOGI ANAND, DEng, P.E.
+1-248-766-1546
yogia1@gmail.com

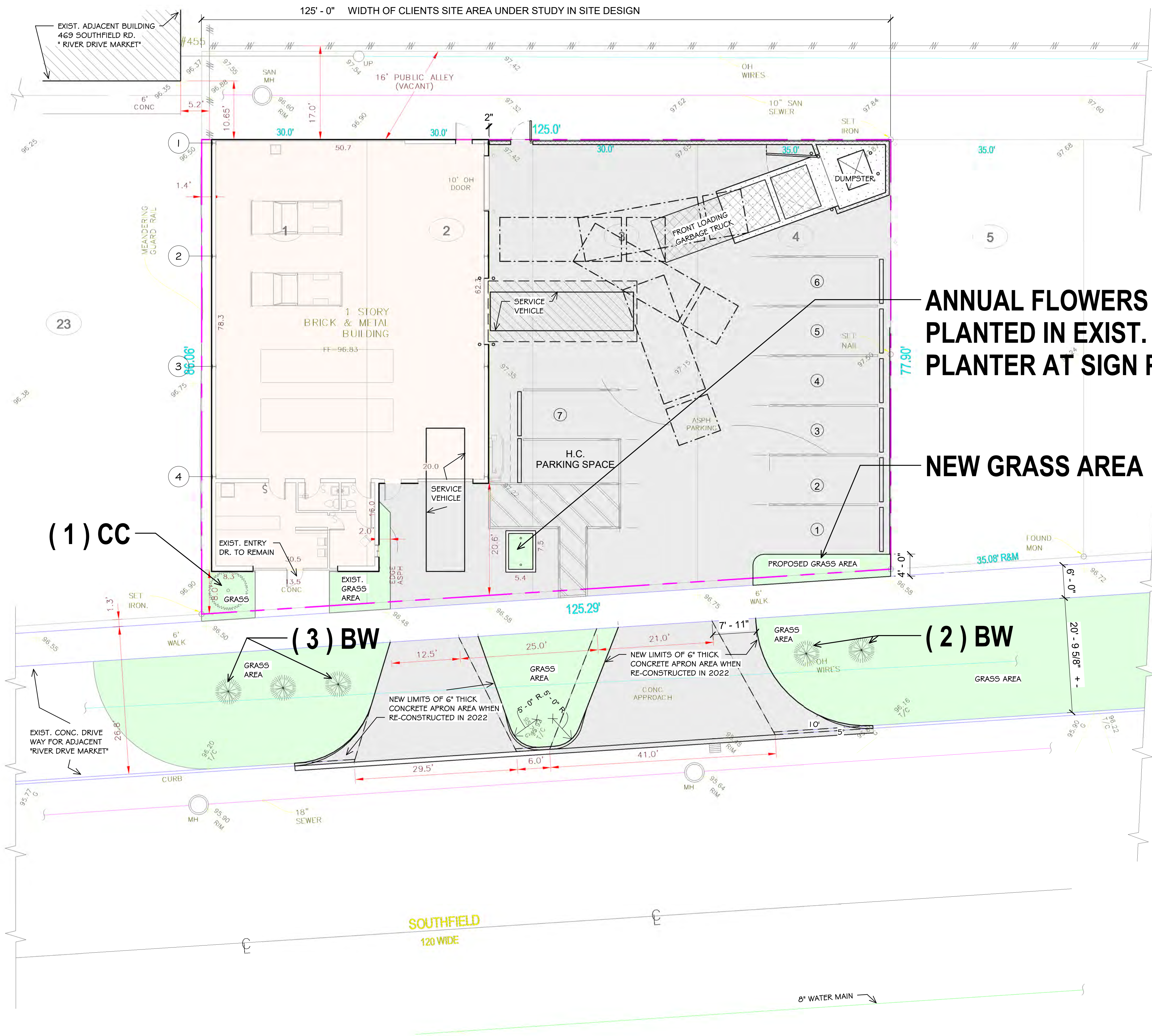
10-15-2021	SITE PLAN REVIEW
DATE	ISSUE

Proposed Business
ZUNIGA TIRE
471 Southfield Rd.
Lincoln Park, MI
48146

EXTERIOR BLDG
ELEVATIONS

Project number	1913
Drawn by	JMP
Sheet	A 4

Scale 1/4" = 1'-0"



ANNUAL FLOWERS TO BE PLANTED IN EXIST. PLANTER AT SIGN POSTS

NEW GRASS AREA

(1) CC

(3) BW

(2) BW

PROPOSED LANDSCAPING PLAN

SCALE: 1" = 10'-0"

PLANT MATERIAL LIST:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE
BW	5	BUXUS S. WINTER GEM	WINTER BOXWOOD	5 GAL.
CC	1	CORNUS F. CHEROKEE PRINCESS	PINK FLOWERING CRAB	3" CALIP.

NOTE "A": THE OWNER WILL SELECT ANNUAL FLOWERS TO BE PLANTED IN THE EXIST. PLANTER BOX AT THE PROJECT SIGN AREA EACH YEAR AND WILL HAND WATER THE PLANTS AS REQUIRED.

NOTE "B": THE OWNER WILL INSTALL NEW GRASS AREAS AS SHOWN IN PLAN. OWNER WILL EITHER UTILIZE A PREMIUM GRADE GRASS SEED OR WILL LAY NEW SOD OVER TOPSOIL TO ACHIEVE THE GRASS AREAS SHOWN IN PLAN. SOME GRASS AREAS ALREADY EXIST, AND THEY WILL RECEIVE GROOMING AND CUTTING AS WELL AS ADDITIONAL SEED IN AREAS TO IMPROVE THE GRASS AREAS. ALL WATERING WILL BE BY HAND. THERE ARE NO NEW UNDERGROUND SPRINKLING SYSTEMS PLANNED FOR THIS PROJECT.

COMMON PLANTING NOTES:

- ALL BEDS TO HAVE MIN. 3" TOPSOIL
- ALL BEDS TO HAVE MIN. 4" SHREDDED HARD WOOD MULCH AROUND EACH BUSH AND EACH TREE PLANTED.
- ALL LANDSCAPING AND LANDSCAPE ELEMENTS SHALL BE PLANTED, AND EARTH MOVING OR GRADING PERFORMED, IN A SOUND WORKMANLIKE MANNER, ACCORDING TO ACCEPTED PLANTING AND GRADING PROCEDURES.
- ALL LANDSCAPING SHALL BE MAINTAINED IN A REASONABLY HEALTHY CONDITION, FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE YEAR IF DAMAGED OR DEAD OR THE NEXT APPROPRIATE PLANTING SEASON.



ENGINEER:
 YOGI ANAND, DEng, P.E.
 +1-248-766-1546
 yogia1@gmail.com

10 - 15 - 2021	SITE PLAN REVIEW
DATE	ISSUE

Proposed Business
ZUNIGA TIRE
 471 Southfield Rd.
 Lincoln Park, MI
 48146

LANDSCAPE PLAN AND NOTES

Project number	1913
Drawn by	JMP
Sheet	L 1
Scale	As indicated

RECEIVED

OCT 13 2020

Case No. PPC20-0009

CITY OF LINCOLN PARK
BUILDING DEPARTMENT
City of Lincoln Park

Date Submitted _____

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan Review by the Planning Commission must be submitted to the City in substantially complete form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: ZUNIGA TIRES LLC
Mailing Address: 8300 WHITTAKER ST, DETROIT MI 48209
Email: ZUNIGA-TIRE@GMAIL.COM
Telephone: (313) 727-5414 Fax: (313) 945-9501

Property Owner(s) Name (if different from Applicant): MARIO ZUNIGA MORALES
Mailing Address: 8300 WHITTAKER, DETROIT MI 48209
Telephone: (313) 727-5414 Fax: (313) 945-9501

Applicant(s) Explanation of Legal Interest in Property:
TO CONVERT TO ADAPT TO TIRE REPAIR SHOP

Location of Property: Street Address: 471 SOUTHFIELD RD, LINCOLN PARK MI 48146
Nearest Cross Streets: SOUTHFIELD RD. & RIVER DR.
Sidwell Number (Parcel ID#): LOT 5, EMPIRE GARDEN SUB, L33 P97 43008020005001

Property Description:
If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

LOT 5, EMPIRE GARDEN SUB

Property Size (Square Ft): 7200 (Acres):

Existing Zoning (please check):

- SFRD Single Family Residential District
- MFRD Multiple Family Residential District
- MHRD Mobile Home Park District
- NBD Neighborhood Business District
- MBD Municipal Business District
- PUD Planned Unit Development District
- RBD Regional Business District
- CBD Central Business District
- GID General Industrial District
- LID Light Industrial District
- CSD Community Service District

Present Use of Property: EMPTY

Proposed Use of Property: TIRE REPAIR & SALE (RETAIL & USED)

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1	3800	4
Industrial			
Other			

Professionals Who Prepared Plans:

A. Name: ANAND ENTERPRISES

Mailing Address: 308 LONGFORD DR
ROCHESTER, MI 48309

Email Address: _____

Telephone: 248.766.1546 Fax: _____ Primary Design Responsibility: _____

B. Name: _____

Mailing Address: _____ Address: _____

_____ Email _____

Address: _____

Telephone: _____ Fax: _____ Primary Design Responsibility: _____

C. Name: _____

Mailing Address: _____

Email Address: _____

Telephone: _____ Fax: _____ Primary Design Responsibility: _____

ATTACH THE FOLLOWING:

1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. **A brief written description** of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:
 - G Wayne County Road Commission G Wayne County Drain Commission
 - G Wayne County Health Division G Michigan Department of Natural Resources
 - G Michigan Department of Transportation G Michigan Department of Environmental Quality

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

APPLICANT 'SENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

<i>Mario Zuniga Morales</i>	<i>10-01-20</i>
Signature of Applicant	Date
Signature of Applicant	Date
Signature of Property Owner Authorizing this Application	Date

TO BE COMPLETED BY THE CITY	Case No. _____
Date Submitted: _____	Fee Paid: _____
By: _____	Date of Public Hearing: _____
PLANNING COMMISSION ACTION	
Approved: _____	Denied: _____
Date of Action: _____	

1 of 1

MORTGAGE SURVEY

CERTIFIED TO
COMERICA Bank
FIRST STATE ANTI-MONEY LAUNDERING CORPORATION

Applicant: JAMES AND CAROL LAWRENCE
Property Description:
See page 2 of 2



I HEREBY CERTIFY that we have made a mortgage survey of the property herein described and that the buildings and improvements on the same are shown and that there are no other encroachments upon said property without notice and shown. NOTE: This survey is for informational purposes only and no property encumbrances are shown, shown only for existing building or building lines.



James A. Lawrence
JOB NO. 93-0343 SCALE 1/2"=1'-0"
DATE 05/09/15 CR. BY AT

KEM-TEC
LAND SURVEYORS
2001 FARM ROAD
SARASOTA, FL 34231-2518
TEL: 941-555-6667

KEM-TEC WEST
SURVEYING & ENGINEERING
200 E. MAIN STREET
TALLAHASSEE, FL 32301-1412
TEL: 904-882-2822 FAX: 904-882-4112

RECEIVED

OCT 13 2020

Case No. PPC20-0009

Date Submitted _____

CITY OF LINCOLN PARK
BUILDING DEPARTMENT
City of Lincoln Park

APPLICATION FOR SPECIAL USE APPROVAL

NOTICE TO APPLICANT: Applications for Special Use review by the Planning Commission must be submitted to the City *in substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by six (6) individual folded copies of the site plan, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

Special Uses shall comply with the standards in Section 1262.08 of the Zoning Ordinance. Accordingly, a public hearing shall be held by the Planning Commission before a decision is made on any Special Use request. Furthermore, a site plan shall be required, which shall be prepared in accordance with Section 1294.01 of the Ordinance.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned do hereby respectfully request Special Use Review and provide the following information to assist in the review:

Applicant: ZUNIGA TIRES LLC

Mailing Address: 8300 WHITTAKER ST.
DETROIT MI 48209

Email Address: ZUNIGA.TIRE@GMAIL.COM

Telephone: (313) 727-5414 Fax: (313) 945,9501

Property Owner(s) (if different from Applicant): MARIO ZUNIGA MORALES

Mailing Address: 8300 WHITTAKER ST.
DETROIT MI 48209

Telephone: (313) 727-5414 Fax: (313) 945.9501

Applicant's Legal Interest in Property: MARIO ZUNIGA MORALES

Location of Property: Street Address: 471 SOUTHFIELD RD, LINCOLN PARK MI 48146

Nearest Cross Streets: SOUTHFIELD & RIVER DR

Sidwell Number: LOT 5, EMPIRE GARDEN SUB, L.33 P97 45008020005001

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., "acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

60W X 120

Property Size (Square Ft): 7200 (Acres): _____

Present Use of Property: NONE

Proposed Use of Property: TIRE SHOP

1 of 1

MORTGAGE SURVEY

State: Florida
County: Duval
Municipality: Jacksonville

CERTIFIED TO
COMERICA BANK
FIRST TITLE AGENCY CORPORATION

Survey
Created
11/18/82

Applicant: JAMES AND CAROL LAWRENCE

Property Description:

See page 2 of 2



ELLIOT AVE. 60' WD.



AGENCY CERTIFY that we have made a mortgage survey of the property herein described and that the boundaries and improvements are located as shown and that there are no other encumbrances upon said property which would affect or encumber. NOTE: This survey is for MORTGAGE purposes only and no responsibility is assumed for construction errors or building lines.

Continued to all Title Companies

APR 4 1982

Page 1 of 2

James Lawrence
JOD NO. 73-0513 SCALE 1/2"=1'-0"
DATE 04/19/82 DEL BY J.T.

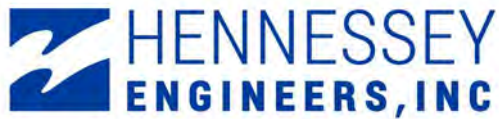
KEM-TEC
LAND SURVEYORS

KEM-TEC WEST
SURVEYING & ENGINEERING

1881 E. 1st St. Ste. 100
Jacksonville, FL 32201-2108
904-772-0201
904-772-1748



100 W. Main Street
New York, NY 10007-1001
212-694-6666 - (212) 694-6666
1000 10th Ave



July 28, 2021

Ms. Leah DuMouchel, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI, 48103-4978

**Re: Auto Repair
471 Southfield Road
City of Lincoln Park, MI
Hennessey Project 72151**

Dear Ms. DuMouchel:

Hennessey Engineers, Inc., completed our first review of the plans for the Planning Commission submittal dated July 16, 2021, and received via email from you.

The project consists of an existing 1-story commercial building to be converted to a Auto Repair Building.

Listed below are some comments which are recommended to be addressed for the Preliminary Plan approval but would not be grounds for a reason for denial from an engineering feasibility standpoint:

RECOMMENDATIONS

1. If the existing sanitary sewer service is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead.
2. The site plan does not show any new water service connections. If the existing water service is being reused, it is important that the developer realize this existing water service is old and may have reached its life expectancy.

REQUIRED

3. **If the existing service is a lead type service, it will be required to be removed and replaced. The engineer or architect must verify existing water service type and size.** The architect should verify that the existing service is adequate to handle the required flows. If it is undersized for the proposed use of the building or if it is a lead type service, it must be replaced. The developer's engineer or architect shall determine the water service lead capacity.

4. The parking lot has spider cracking but does not appear to have any potholes or safety issues. The developer should get with his engineer or an asphalt contractor as to the best method for improving the parking lot surface.
5. There is a fabric on the sidewalk at the main entrance from Southfield Road. The fabric needs to be removed and sidewalk inspected for damages.
6. The asphalt in front of the west garage door from Southfield Road and on the asphalt at the door near the rear of the building on the west side is in poor condition and needs to be replaced.
7. The drive approaches and the sidewalk in along Southfield Road has numerous flags that are broken. The drive approaches and the broken sidewalk flags need to be replaced. The developer should be aware of this and should be part of the approval. The final details can be addressed in the detailed engineering plan review.

The items listed above will need to be addressed in the detailed engineering review and should be made part of the approval of the site plan. Once they are addressed to the Planning Commissions satisfaction from an engineering feasibility, our office does not have any issues with the approval of the Site Plan submittal. Therefore, from the engineering feasibility review it would be our recommendation for the “**approval**” of the Preliminary Site Plan. Once the site plan receives Planning Commission Approval it will need to be submitted to our office for detailed engineering approval.

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC



James D. Hollandsworth, P.E., P.S.
Lincoln Park Project Manager

JDH/bd

cc: John Kozuh, DPW Director, City of Lincoln Park
John Meyers, Building Official, City of Lincoln Park
Laura Passalacqua (D'Onofrio), Clerk, City of Lincoln Park
Monserrat Contreras, Permit Clerk, City of Lincoln Park

B.3

R:\Municipalities\70000's Lincoln Park\72000's\72151 Auto Repair 471 Southfield Road\Auto Repair 471 Southfield 1st PC Review July 28,2021.docx

2962 Fort – Office

Site Plan Review

Applicant	Gramont Group LLC, represented by Daniel Boggs Architect
Project	Office
Address	2962 Fort Street, Lincoln Park, MI 48146
Date	November 10, 2021
Request	Site Plan Review

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial of Site

The proposed project is an office for an investment company. The site was previously used as a print shop, and the proposed office will re-occupy the the existing building.

Site conditions

The existing 1,470 sq. ft. building is located on a 0.05-acre parcel situated on Fort Street between Progress and Detroit Avenues. There is a shared parking lot north of the building with an ingress on Progress Avenue and egress on Fort Street. There is also on-street parking along Fort Street. There is an alley west of the building which

separates it from the single-family residential neighborhood. The building is served by an existing 6-ft. concrete sidewalk on Fort Street, and a 4.5-ft. sidewalk abutting the parking area along Progress Avenue. The front of building facing Fort Street has a low retaining wall with evergreen shrubs. There are two bus stops near the site, one 400 ft. south of the building and the other less than 200 ft. east of the building.

Master Plan Future Land Use Classification

The Future Land Use classification for this parcel is General Commercial.

Intent; Desirable Uses and Elements

General Commercial properties are intended to serve the whole community and are located along major thoroughfares. The proposed use fits within the General Commercial land use designation.

Land Use and Zoning

Zoning

The parcel is zoned Neighborhood Business District. The proposed use falls under the categories of “offices and business services” which is a principally permitted use in the Neighborhood Business District per §1276.02(a).

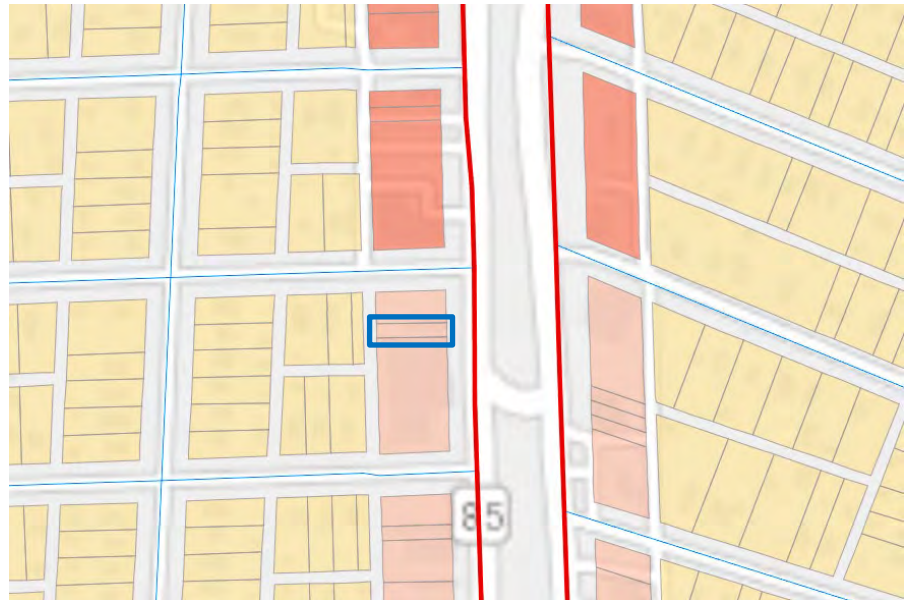


Figure 2: Zoning Map

Proposed and Existing Uses

Site	Vacant commercial building; Neighborhood Business District (NBD)
North	Parking Lot; Neighborhood Business District (NBD)
East	ROW & Commercial; Neighborhood Business District (NBD)
South	Commercial; Neighborhood Business District (NBD)
West	ROW (alley) & Residential; Single-Family Residential District (SFRD)

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
A-1	Floor Plans	09/24/2021	–

Dimensional Standards

The dimensional requirements of the Neighborhood Business District (NBD) are described in the chart below. (§1294.32, except where noted.)

	Required	Provided	Compliance
Lot Width	Min. 40	~20'	NOT MET
Street Frontage (§1294.09)	Shrubbery and low retaining walls height < 2 ½'; tree branch height > 8'	Property is not located on a corner lot	N/A
Lot Area	Min. 4,000 sq ft	~2,000 sq ft	NOT MET
Lot Coverage	Max. 50%	(1,470/2,000) ~73%	NOT MET
Height	2-Story Building; 25 ft	1-story; 12'10" max height	Met
Setback – Front	0	0	Met
Setback – Sides	0	0	Met
Setback – Rear	0	26' 6"	Met


The existing lot dimensions do not meet the requirements for lot width, lot area, and lot coverage in the district. Because this is an existing site, the City has historically permitted these conditions to remain.


Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> • Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' 	Met
<ul style="list-style-type: none"> • Architectural variety • Similar materials and entrances to buildings within 500'. <i>Primarily brick/block, single-story, with flat roofs.</i>  <p>1 block North on Fort Street – single-story, square, brick, flat roof</p>	Met

Required	Compliance
 <p>1 block South on Fort Street – single-story, square, brick/block, flat roof</p>	
<ul style="list-style-type: none"> Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW). <u>North Elevation (side): 100% masonry block (864 sf / 864 sf)</u> <ul style="list-style-type: none"> Masonry Block (painted): ~864 sf Total Area: ~864 sf <u>East Elevation (front): 56% masonry brick (108 sf / 193 sf)</u> <ul style="list-style-type: none"> Masonry Brick and Stone (painted): ~108 sf Metal: ~85 sf Windows / Door (exempt): ~64 sf Total Area: ~257 sf <u>West Elevation (rear): 79% masonry block (159 sf / 202 sf)</u> <ul style="list-style-type: none"> Masonry Block (painted): ~159 sf Metal: ~20 sf Door: ~23 sf Total Area: ~202 sf <p>25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block).</p> <ul style="list-style-type: none"> Natural colors (bright for decorative features only) <i>Existing building is painted brown.</i> 	<p>NOT MET</p>
<ul style="list-style-type: none"> Façade: <100' uninterrupted <i>Building is ~20 ft. wide</i> If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches All sides similar <i>All sides are painted the same color.</i> 	<p>Met</p>
<ul style="list-style-type: none"> Windows: vertical, recessed, visually obvious sills. <i>No windows on north / west sides.</i> Spaces between windows = columns, mullions, or material found elsewhere on the façade Front facades > 25% windows <i>25% transparency [64 sf (windows + doors) / 257 sf]</i> Size, shape, orientation, spacing to match buildings within 500' 	<p>Met</p>
<ul style="list-style-type: none"> Main entrances: doors larger Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) <i>Larger front door with distinctive door pull, metal frames compliment brown building</i> 	<p>Met</p>
<ul style="list-style-type: none"> Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 <i>flat roof</i> Rooflines >100' = roof forms, parapets, cornice lines <i>N/A</i> Roof-top mechanical equipment screened by roof form. <i>No roof-top mechanical equipment proposed.</i> 	<p>Met as possible</p>

The existing building does not meet the standards for building materials. As the proposal does not include changes to the building façade, the City has historically permitted existing façade conditions to remain.

Items to be addressed

None

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The site is served by a 6' public sidewalk along Fort Street and a 4' 6" sidewalk along the north side of the building adjacent to the neighboring parking lot property line, which provides pedestrian circulation separated from the vehicular circulation. The existing sidewalk appears to be cracked in several places and in need of repair. There are no bicycle lanes on the ROW or bicycle parking facilities proposed.

Items to be addressed

- Applicant shall ensure that concrete sidewalks are brought up to the City's standards.*

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

The Lincoln Park Code of Ordinance §1290.02 Number of Spaces required clearly indicates parking formulas for each use under the Office category.

Use	Required	Proposed	Compliance
General business offices	Three and one-half (3½) for every one-thousand (1,000) square feet of gross floor area. <i>1,470 sq. ft. / 1,000 = 1.47</i> <i>1.47 x 3.5 = 5.14 = 5 spaces</i>	0	NOT MET

The proposed number of the parking spaces does not comply with the parking requirements for the proposed use, and the existing layout of the site prevents the applicant from providing the required 5 parking spaces. However, the applicant has a shared parking agreement with the Bethel Assembly of God for the use of the adjacent parking lot, north of the site, which will provide 14 additional spaces and accommodate any additional parking that might be needed. There is also on-street parking along Fort Street, with one space in front of the existing building. It is the Planning Commission’s responsibility to determine whether the proposed parking plan offers adequate provision for the intended use while preserving the public health, safety, and welfare.

§1290.01 (q) Waiver or Modification of Standards for Special Situations. The Planning Commission may reduce or waive the number of off-street parking and/or loading spaces required for a specific use, provided they determine that no good purpose would be served by providing the required number of such spaces. In making such a determination to reduce or waive the requirements for off-street parking and/or loading spaces of this chapter, the following may be considered:

- (1) Extent that existing off-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use.
- (2) Extent that existing on-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use without negatively impacting traffic safety or adjacent uses.
- (3) Existing and proposed building placement.
- (4) Location and proximity of municipal parking lots and/or public alleys.
- (5) Agreements for parking and/or loading spaces with adjacent or nearby property owners.

As there are no proposed parking spaces, the standards of section 1290.05 Off-Street Parking B Areas; Business Districts do not apply.

Items to be addressed

- *A parking waiver is requested from the Planning Commission for the required 5 parking spaces. Factors for consideration are the size of the site, and the shared parking agreement with the adjacent property, and available on-street parking on Fort Street.*

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1-25	1	0	NOT MET

The proposed number of the parking barrier-free spaces does not comply with the parking requirements for the proposed use, and the existing layout of the site prevents the applicant from providing the required 1 barrier-free space. However, the applicant has a shared parking agreement with the Bethel Assembly of God for the use of the adjacent parking lot, north of the site, which will provide 1 additional space and accommodate any additional barrier-free space that might be needed. There is also on-street parking along Fort Street, with one parking space in front of the existing building.

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
0 to 2,000	None	None	Met

The total gross floor area of the building is 1,470 sq. ft.; therefore, no loading space is required.

Items to be addressed

None

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Road, Fort Street, Dix Avenue, and Outer Drive.

There is no vehicular access to this site from any of these routes, so the standards of this section do not apply.

Items to be addressed

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicle access will be via Fort Street or the alley west of the site.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	The sidewalk directly abuts Fort street with no space for landscaping.	N/A
	1 tree and 4 shrubs per 40' of street frontage		
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge		
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>(2,000 sf * 0.1) = 200 sf landscaping</i> <i>30% redevelopment standard: 60 sf</i>	There is an existing 22 sq. ft. raised landscaped area in front of the building with shrubs. No other interior landscpaing proposed or possible as the site is covered by the exiting bulding and concrete paving on the rear.	Met as possible

	Required	Proposed	Compliance
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Existing landscaped area at building entrance.	Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>200/400 = 0.5 = 0 trees</i> <i>200/250 = 0.8 = 1 shrub</i> <i>30% redevelopment standard: 0 tree and 0 shrubs</i>	4 existing shrubs	Met
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces	No parking proposed on site	N/A
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Proposed waste management plan is a 96-gallon roll-away cart.	Met
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive) or a solid 6' masonry wall ornamental on both sides	There is an existing wooden fence between the alley and the adjacent residential uses; the size of the property and the existing building does not fit the required screening buffer.	N/A

Items to be addressed

- Applicant shall request a Planning Commission waiver from the landscaping and abutting residential screening requirements as the site is too small to accommodate such requirements.

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to review soil erosion practices as needed.

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer, and the existing utilities and lead for the commercial site are being reused. No new water line or sanitary sewer systems are proposed for the site. For sanitary sewer service, the applicant will need to verify that the existing sanitary service is adequate to handle the required flows for the building use. If being reused, it is important that the applicant realize that this existing sanitary service is incredibly old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. For water service, the applicant must verify the water service type and size and that the existing service is adequate to handle the required flows. If it is undersized for the proposed use of the building or if it is a lead-type service, it must be replaced. As with the sanitary sewer, it is important that the applicant realized that the existing water service is incredibly old and may have reached its life expectancy.

Items to be addressed

- *Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- *It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County. No new stormwater management system is proposed to the site.

Items to be addressed

- *Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

1276.06, Required Conditions (NBD)	Proposed	Compliance
All lighting in connection with permitted business uses shall be so arranged as to reflect away from adjoining residence buildings or residentially zoned property, and shall be no greater than ten (10) foot candles at any point upon the lot, and no greater than one (1) foot candle along any lot line.	Recessed lighting fixtures shown at the front of the bulding, and images show existing lighting fixtures on the side and rear of the building.	Met

Items to be addressed

- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

No mechanical equipment is proposed.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during site Plan Review is for illustrative purposes only.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

There is no indication of hazardous substances and polluting materials to be used or stored on-site at the facility.

Items to be addressed

None

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

No additional standards are required for this approval.

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- As the previous use of the building was a print shop, there may be potential interior contamination. Therefore, it is strongly recommended that the applicant conduct a Phase 1 Environmental Assessment.*
- Applicant to secure all appropriate agency reviews as needed.*
- Pavement replacement may require review by Wayne County Drain Commissioner.*

VARIANCES

No variances are anticipated in conjunction with this development.

Items to be addressed

None

RECOMMENDATIONS

Findings

The proposal is substantially in compliance with §1296.01, Site Plan Review.

Waivers

- A parking waiver is requested from the Planning Commission for the required 5 parking spaces. Factors for consideration are the size of the site, and the shared parking agreement with the adjacent property, and available on-street parking on Fort Street.

- Applicant shall request a Planning Commission waiver from the landscaping and abutting residential screening requirements as the site is too small to accommodate such requirements.

Conditions

Conditions to be addressed before approval is issued

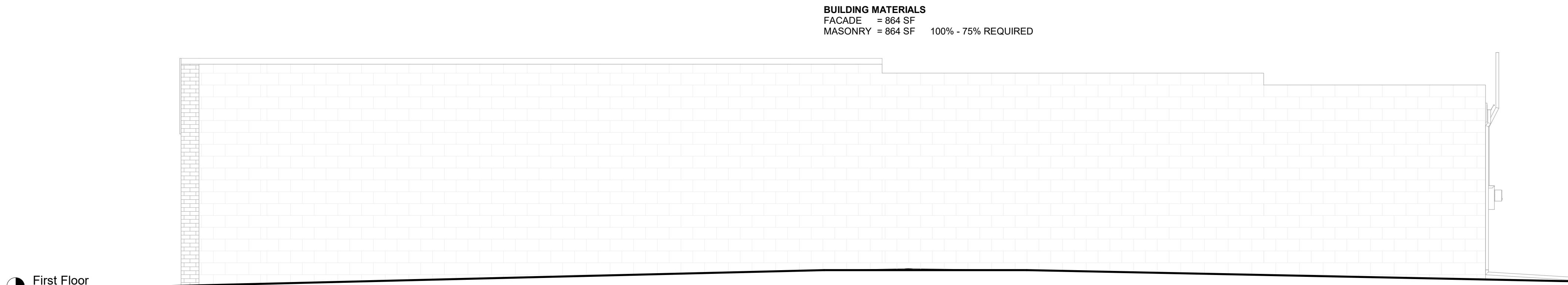
- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

Conditions of approval

- Applicant shall ensure that concrete sidewalks are brought up to the City's standards.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to review soil erosion practices as needed.
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.
- It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead.
- Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- As the previous use of the building was a print shop, there may be potential interior contamination. Therefore, it is strongly recommended that the applicant conduct a Phase 1 Environmental Assessment.
- Applicant to secure all appropriate agency reviews as needed.
- Pavement replacement may require review by Wayne County Drain Commissioner.

Proposed Motion

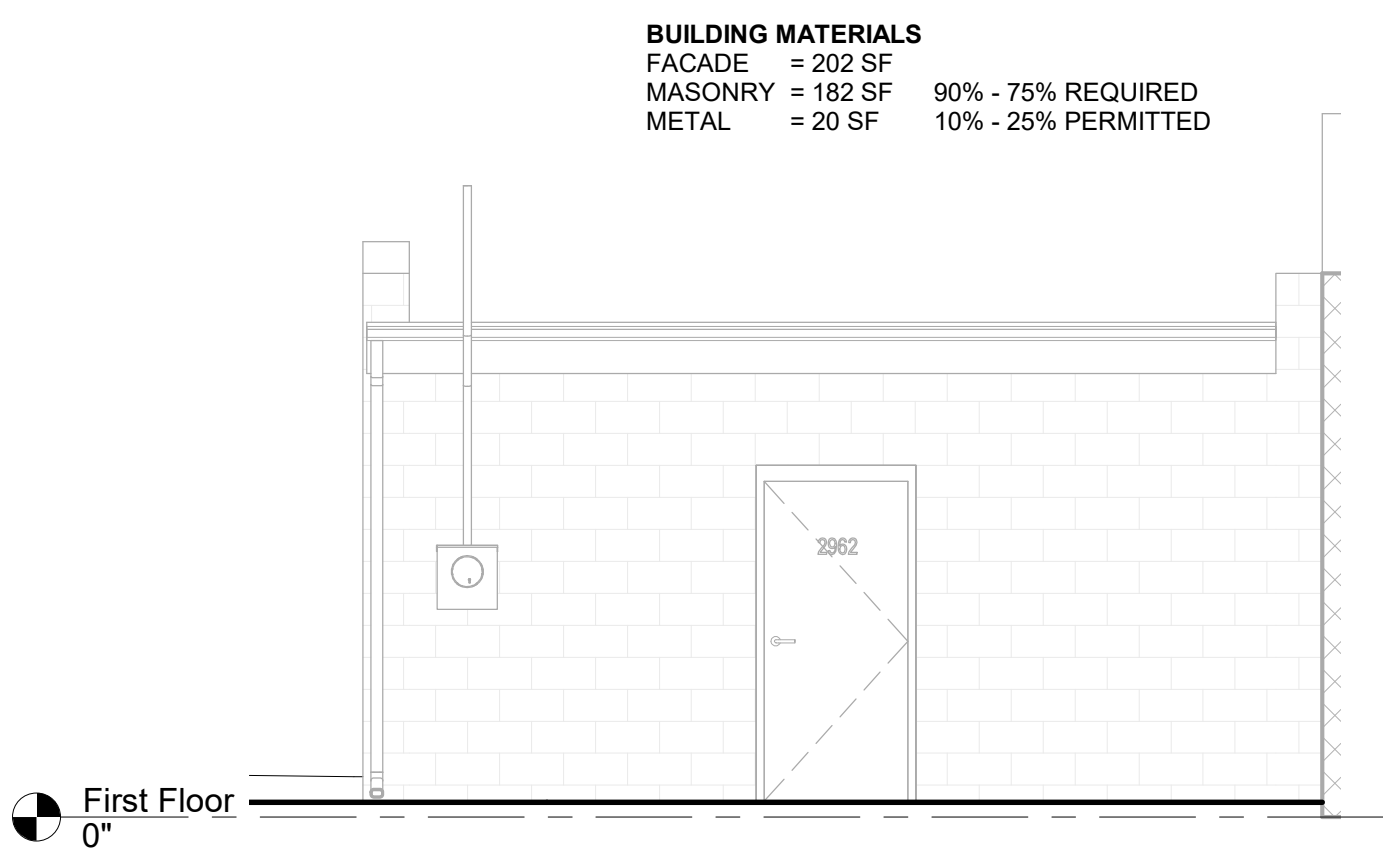
I move that the City of Lincoln Park Planning Commission **approve** the site plan numbered PPC20-0004, proposing an office at 2962 Fort Street and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.



BUILDING MATERIALS
 FACADE = 864 SF
 MASONRY = 864 SF 100% - 75% REQUIRED

First Floor
 0"

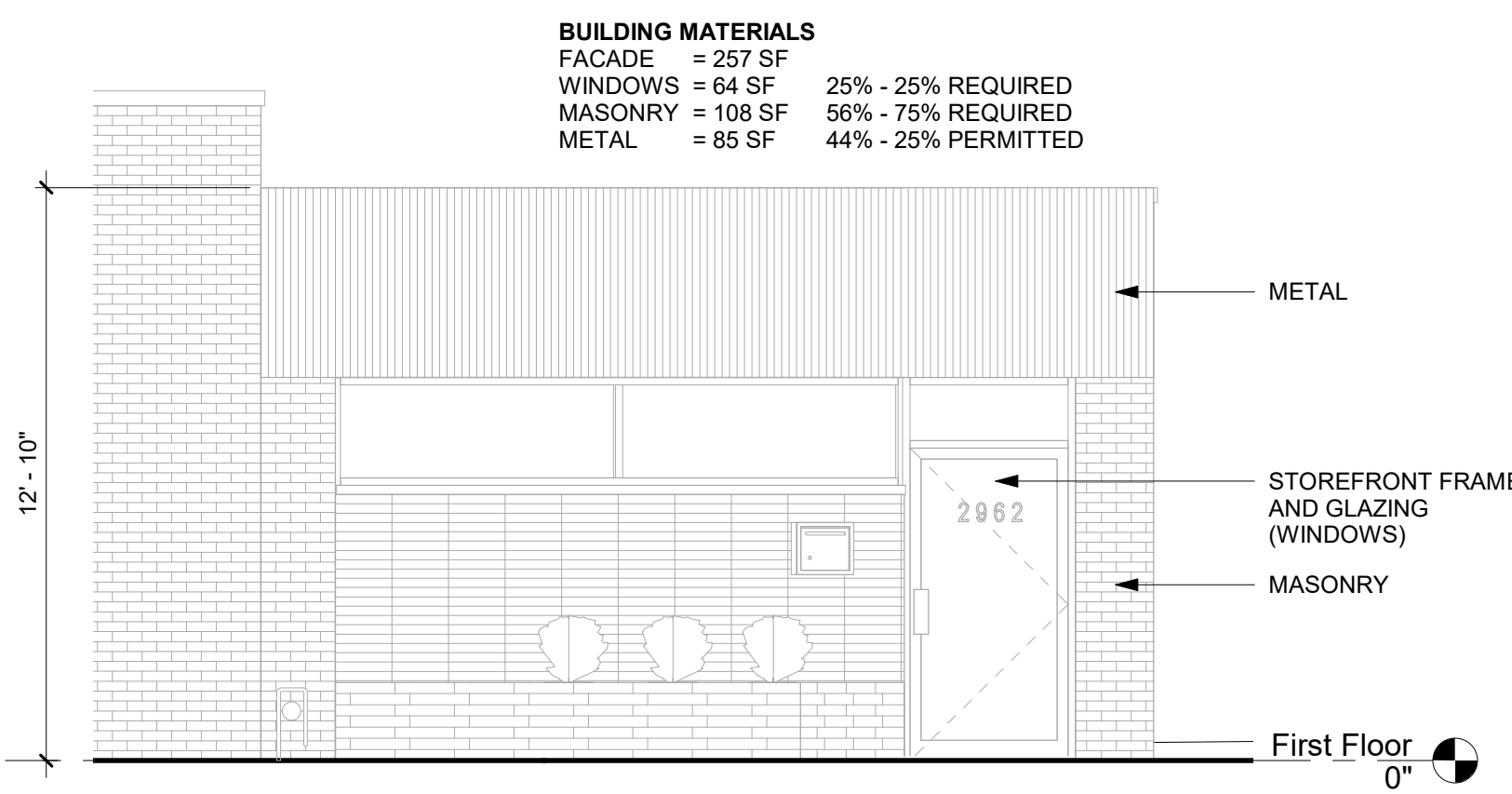
3 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



BUILDING MATERIALS
 FACADE = 202 SF
 MASONRY = 182 SF 90% - 75% REQUIRED
 METAL = 20 SF 10% - 25% PERMITTED

First Floor
 0"

4 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



BUILDING MATERIALS
 FACADE = 257 SF
 WINDOWS = 64 SF 25% - 25% REQUIRED
 MASONRY = 108 SF 56% - 75% REQUIRED
 METAL = 85 SF 44% - 25% PERMITTED

First Floor
 0"

2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



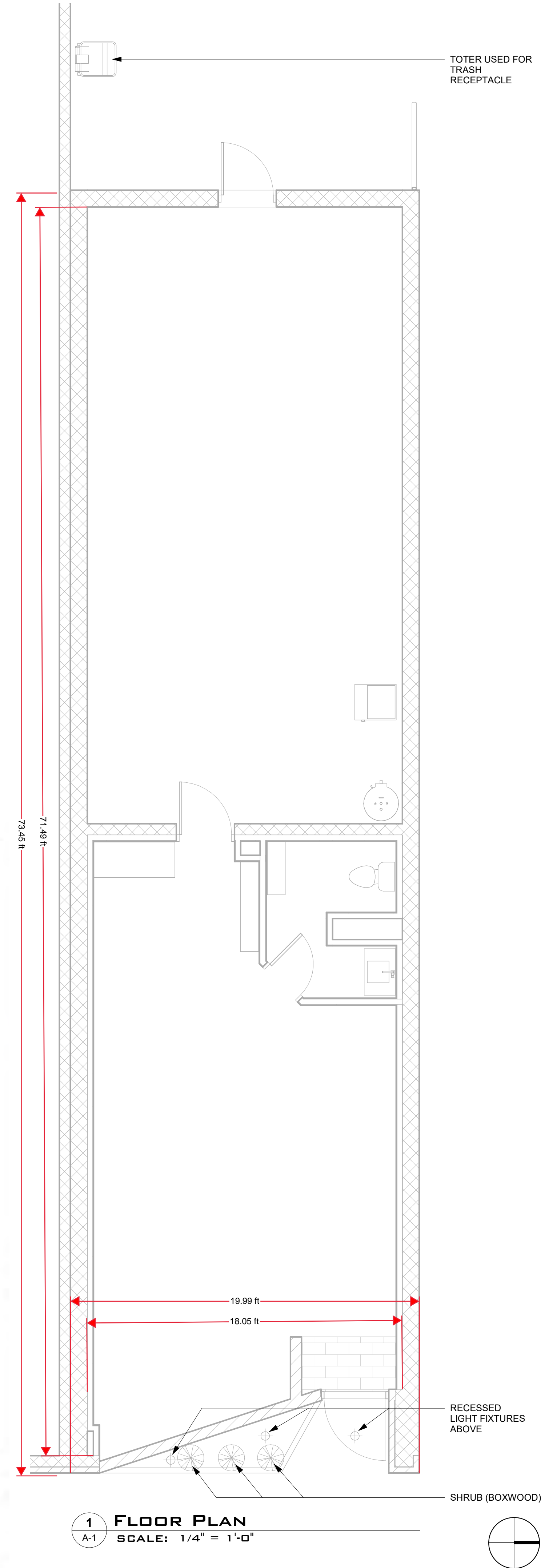
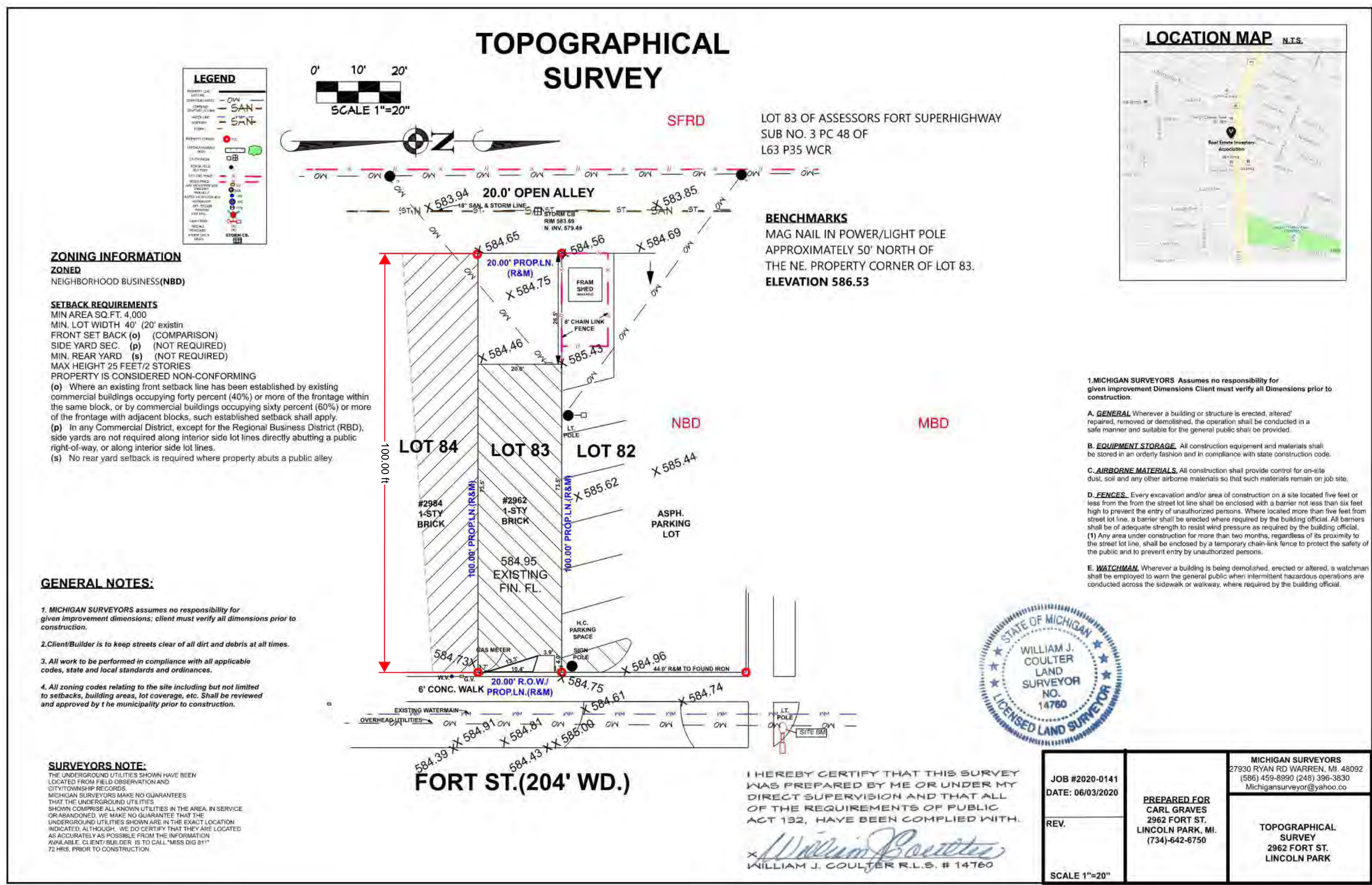
Image of west elevation



Image of north elevation



Image of east elevation



1 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DANIEL BOGGS ARCHITECT

ARCHITECTURE & PLANNING

8538 ISLAND BLVD.
 GROSSE ILE, MI 48138
 248.882.3642

PROJECT:
 Gramont Group

2962 Fort Street
 Lincoln Park, MI 48138

PROFESSIONAL SEAL:



ISSUED:
 09-22-21 Client Review
 09-24-21 Site Plan Review

PROJECT NO:
 2021.13

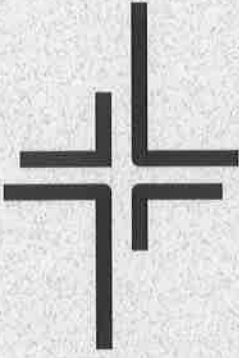
DRAWN BY:
 Author

These drawings have been specifically prepared for Gramont Group at 2962 Fort Street Lincoln Park, MI 48138. These drawings shall not be used at other locations without the consent and participation of Daniel Boggs Architect.

SHEET TITLE:
 Floor Plans

SHEET NO:

A-1



Bethel Assembly of God

2984 Fort Street, Lincoln Park, MI 48146 • 313-381-6090

July 14, 2021

City of Lincoln Park
Building Department
1355 Southfield Rd.
Lincoln Park, MI 48146

Re: Parking Lot, located at Fort and Progress Streets

This property is owned by Bethel Assembly of God. We have given verbal permission to Carl Graves and Mark Montes that the parking lot is available to them, except during church services and events.

Sincerely,

Bethel Assembly of God

Case No. PPC20-0004

Date Submitted 6-25-2020

Parcel # 225000

City of Lincoln Park

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan Review by the Planning Commission must be submitted to the City in substantially complete form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: Carl Graves Mark Montes
Mailing Address: 2962 Fort st. Lincoln Park, MI 48146
Email: Gramontgroup@gmail.com
Telephone: 734-642-6750 Fax: _____

Property Owner(s) Name (if different from Applicant): _____
Mailing Address: _____
Telephone: _____ Fax: _____

Applicant(s) Explanation of Legal Interest in Property:
Carl Graves & Mark Montes Are The Current Owners of 2962 Fort st. Lincoln Park, MI

Location of Property: Street Address: 2962 Fort St. Lincoln Park, MI 48148
Nearest Cross Streets: Progress (Nearest Side Street) Champaign (Nearest Main Street)
Sidwell Number (Parcel ID#): 45013040083000

Property Description:
If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., "acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

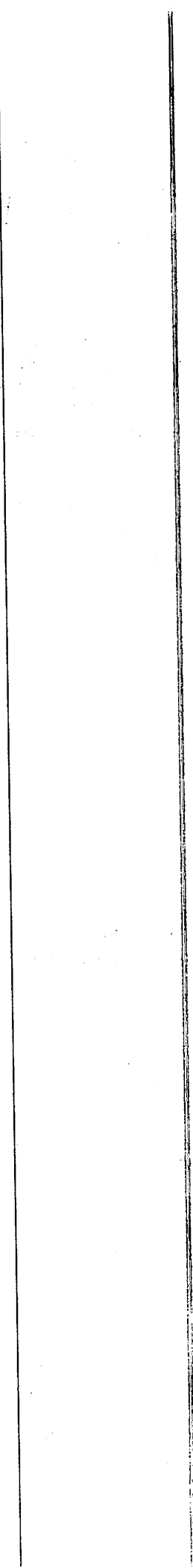
LEGAL DESCRIPTION:
JC83 LOT 83 ASSESSORS FORT SUPERHIGHWAY SUB NO. 3 PC 48 L63 P35 WCR
SUBDIVISION:
ASSR'S FORT SUPERHIGHWAY SUB NO 3

Property Size (Square Ft): 2,000 (Acres): 0.05

Existing Zoning (please check):

- SFRD Single Family Residential District
- MFRD Multiple Family Residential District
- MHRD Mobile Home Park District
- NBD Neighborhood Business District
- MBD Municipal Business District
- PUD Planned Unit Development District
- RBD Regional Business District
- CBD Central Business District
- GID General Industrial District
- LID Light Industrial District
- CSD Community Service District

Handwritten notes at the top left of the page, possibly including a name or title.



Main body of handwritten text on the right side of the page, appearing to be a list or a series of entries.

City of Lincoln Park
 Application for Site Plan Review
 Page 2 of 4

Present Use of Property: OFFICE SPACE

Proposed Use of Property: OFFICE SPACE - Investment Company

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office	1	1400 SQ FT	2
Commercial			
Industrial			
Other			

Professionals Who Prepared Plans:

A. Name: MICHIGAN SURVEYORS

Mailing Address: 27930 RYAN RD. WARREN, MI 48092

Email Address: michigansurveyor@yahoo.com

Telephone: 586-396-3830 Fax: _____ Primary Design Responsibility: _____

B. Name: _____

Mailing _____ Address: _____

_____ Email _____

Address: _____

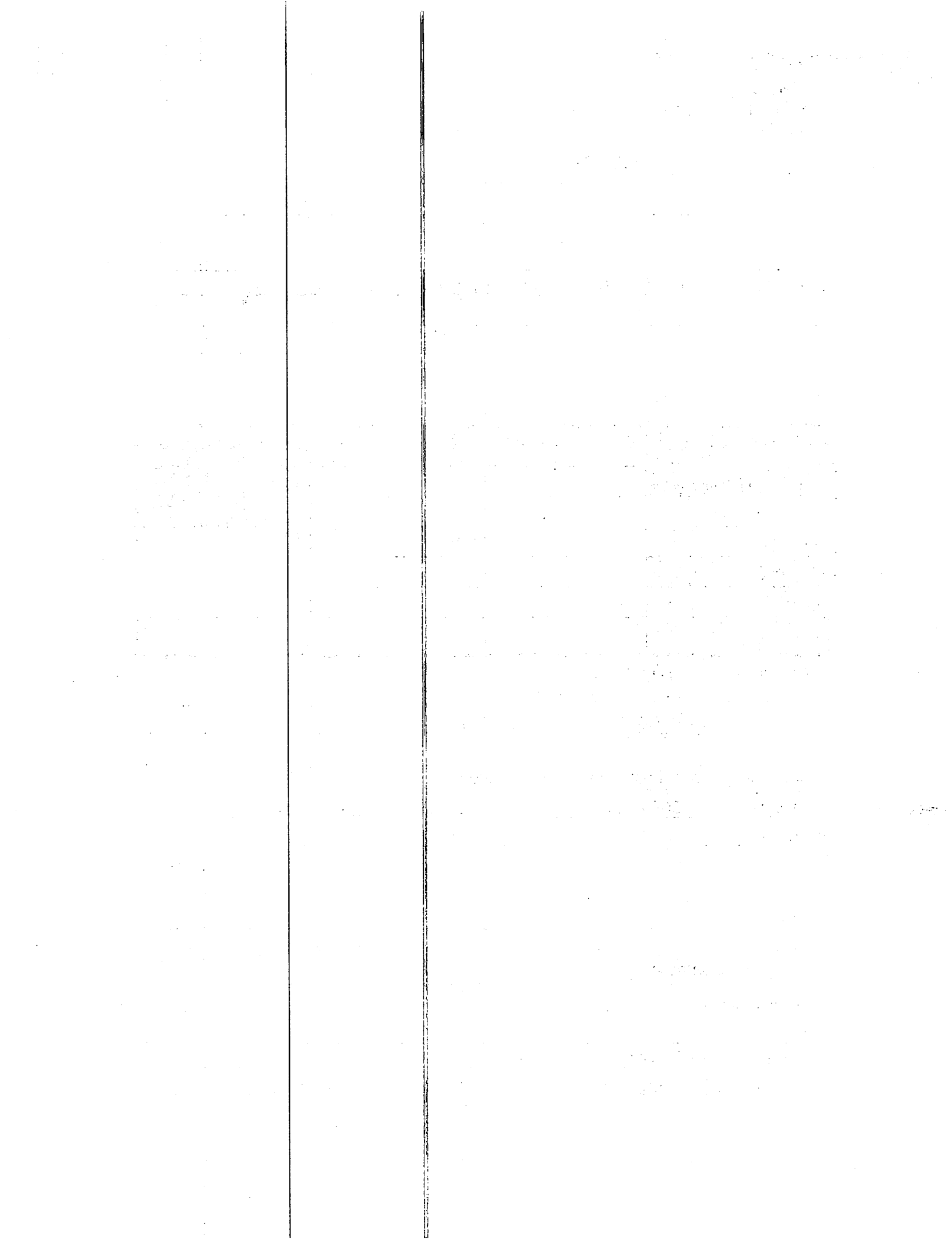
Telephone: _____ Fax: _____ Primary Design Responsibility: _____

C. Name: Gary Lamarand

Mailing Address: _____

Email Address: lamarand@comcast.net

Telephone: 734-818-6666 Fax: _____ Primary Design Responsibility: _____



City of Lincoln Park
Application for Site Plan Review
Page 3 of 4

ATTACH THE FOLLOWING:

1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. **A brief written description** of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:
 - G Wayne County Road Commission G Wayne County Drain Commission
 - G Wayne County Health Division G Michigan Department of Natural Resources
 - G Michigan Department of Transportation G Michigan Department of Environmental Quality

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

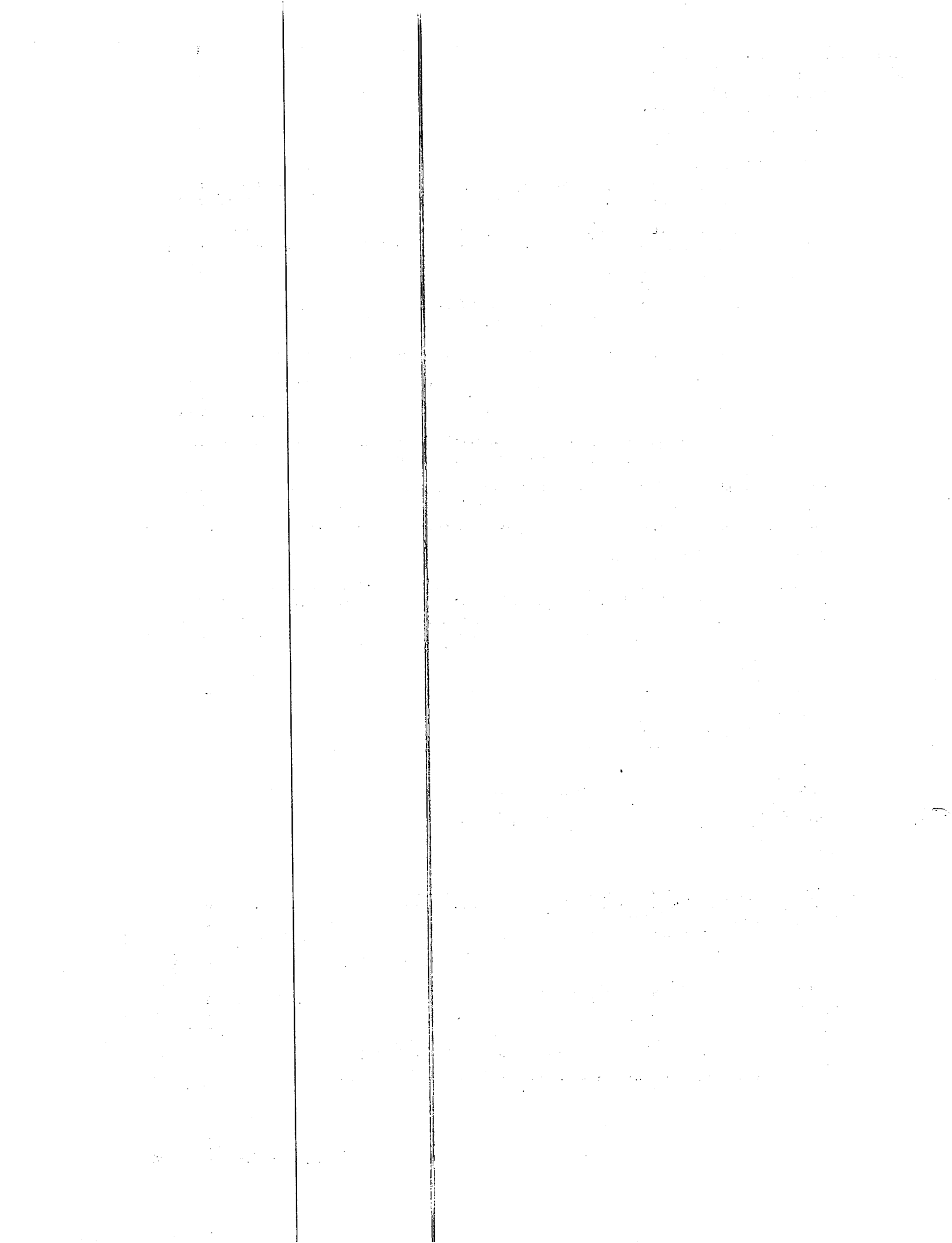
APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

<p><i>Carl Graves</i> <small>8/24/2020 10:42:56 AM EDT</small> Signature of Applicant</p> <hr/> <p><i>Mark Montes</i> <small>8/24/2020 10:44:15 AM EDT</small> Signature of Applicant</p> <hr/> <p><i>Carl Graves</i> <small>8/24/2020 10:42:57 AM EDT</small> Signature of Property Owner Authorizing this Application</p>	<p style="text-align: right;"><small>Authentisign</small></p> <p style="text-align: right;">06/24/2020</p> <hr/> <p>Date</p> <p style="text-align: right;"><small>Authentisign</small></p> <p style="text-align: right;">06/24/2020</p> <hr/> <p>Date</p> <p style="text-align: right;"><small>Authentisign</small></p> <p style="text-align: right;">06/24/2020</p> <hr/> <p>Date</p>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

TO BE COMPLETED BY THE CITY	Case No. _____
Date Submitted: _____	Fee Paid: _____
By: _____	Date of Public Hearing: _____
PLANNING COMMISSION ACTION	

Approved: _____	Denied: _____ Date of Action: _____



Gramont Group LLC.
2962 Fort St.
Lincoln Park, MI 48146
GramontGroup@gmail.com

Gramont Group LLC. Is a partnership between Carl Graves and Mark Montes. The proposed use for 2962 Fort st. Lincoln Park, MI 48146 is office space for Gramont Group LLC. The property will be owner occupied and managed. Hours of operation are Monday-Friday 7am-5pm. Current number of employees / Partners is 2. Gramont Group LLC. Is a startup investment group.

Carl Graves
734-642-6750

Mark Montes
734-624-0378

3516 Fort – Office

Site Plan Review

Applicant	Brad Skorina
Project	Office
Address	3516 Fort Street, Lincoln Park, MI 48146
Date	November 10, 2021
Request	Site Plan Review

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial of Site

The proposed project is an office for an electric company. The site was previously used as a medical facility, and the proposed office will re-occupy the existing building.

Site conditions

The existing 2,700 sq. ft. building is located on a 0.19-acre parcel situated on Fort Street between Liberty and New York Avenues. There is a parking area on the north side of the building with room for 18 spaces, with an ingress via Fort Street and egress via the public alley. There is also on-street parking available along Fort Street.

The public alley west of the building separates it from the single-family residential neighborhood. The building is served by an existing 6-ft. concrete side walk on Fort Street. There are two bus stops near the site, one ~350 ft. south of the building and the other ~250 ft. northeast of the building.

Master Plan Future Land Use Classification

The Future Land Use classification for this parcel is General Commercial.

Intent; Desirable Uses and Elements

General Commercial properties are intended to serve the whole community and are located along major thoroughfares. The proposed use fits within the General Commercial land use designation.

Land Use and Zoning

Zoning

The parcel is zoned Neighborhood Business District. The proposed use falls under the categories of “offices and business services” which is a principally permitted use in the Neighborhood Business District per §1276.02(a).

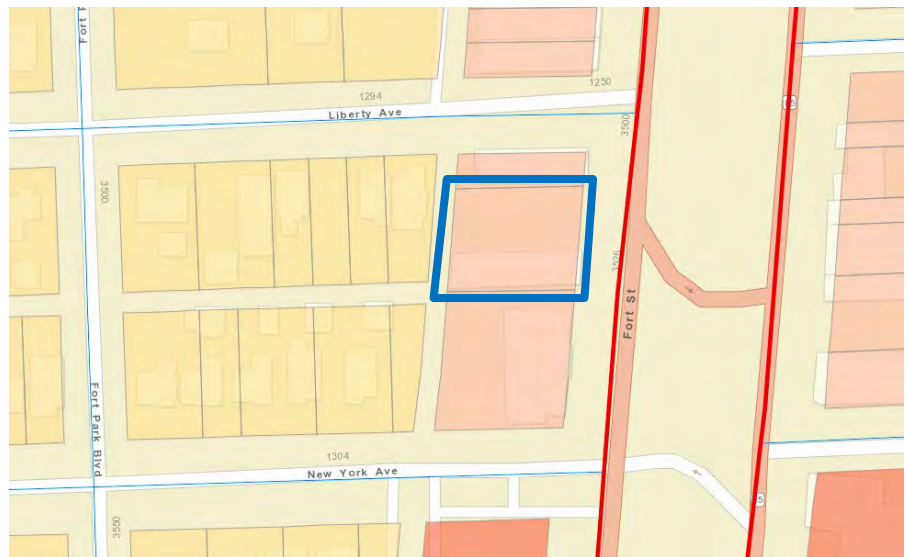


Figure 2: Zoning Map

Proposed and Existing Uses

Site	Vacant commercial building; Neighborhood Business District (NBD)
North	Commercial; Neighborhood Business District (NBD)
East	ROW & Commercial; Neighborhood Business District (NBD)
South	Commercial; Neighborhood Business District (NBD)
West	ROW (alley) & Residential; Single-Family Residential District (SFRD)

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
A-1	Site Plan Location Map	10/11/2021	–
A-2	Proposed Building Floor Plan	10/11/2021	–
A-3	Exterior Elevations Front, Right-Side, Rear, Left-Side	10/11/2021	–

Items to be addressed

- *The drawing scale for all three pages appears to be incorrect. Applicant shall provide drawings with the correct drawing scale.*

Dimensional Standards

The dimensional requirements of the Neighborhood Business District (NBD) are described in the chart below. (§1294.32, except where noted.)

	Required	Provided	Compliance
Lot Width	Min. 40	~81'	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls height < 2 ½'; tree branch height > 8'	Property is not located on a corner lot	N/A
Lot Area	Min. 4,000 sq ft	~8,180 sq ft	Met
Lot Coverage	Max. 50%	(2,700/8,180) ~33%	Met
Height	2-Story Building; 25 ft	1-story; 16' 0" max height	Met
Setback – Front	0	0	Met
Setback – Sides	0	0	Met
Setback – Rear	0	North (side): 53' 9" South (side): 0	Met



Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> • Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' 	Met
<ul style="list-style-type: none"> • Architectural variety • Similar materials and entrances to buildings within 500'. <i>Primarily brick/block, single-story, with flat roofs.</i> 	Met

Required	Compliance
 <p>1 block North on Fort Street – single-story, square, brick, flat roof</p>  <p>1 block South on Fort Street – single-story, square, brick, flat roof</p>	
<ul style="list-style-type: none"> Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW). <ul style="list-style-type: none"> South Elevation (side): 100% masonry block (1,458 sf / 1,458 sf) <ul style="list-style-type: none"> Masonry Block and Brick (painted): ~1,458 sf Total Area: ~1,458 sf North Elevation (side): 100% masonry block (1,458 sf / 1,458 sf) <ul style="list-style-type: none"> Masonry Block and Brick (painted): ~1,458 sf Total Area: ~1,458 sf East Elevation (front): 97% masonry block (424 sf / 435 sf) <ul style="list-style-type: none"> Masonry Brick: ~424 sf Metal (coping): ~11 sf Windows / Door (exempt): ~40 sf Total Area: ~475 sf West Elevation (rear): 86% masonry block (327 sf / 379 sf) <ul style="list-style-type: none"> Masonry Block (painted): ~327 sf Metal (coping): ~24 sf Door: ~28 sf Window (exempt): ~20 sf Total Area: ~399 sf <p>25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block).</p> Natural colors (bright for decorative features only) <i>Existing building has a natural brick façade. The sides and rear are and painted white.</i> 	Met
<ul style="list-style-type: none"> Façade: <100' uninterrupted <i>Building is ~27 ft. wide</i> If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches All sides similar <i>All sides are painted the same color.</i> 	Met
<ul style="list-style-type: none"> Windows: vertical, recessed, visually obvious sills. <i>No windows on side elevations.</i> 	Met

Required	Compliance
<ul style="list-style-type: none"> Spaces between windows = columns, mullions, or material found elsewhere on the façade Front facades > 25% windows <i>8% transparency [40 sf (windows + doors) / 475 sf]</i> Size, shape, orientation, spacing to match buildings within 500' 	<p>Met</p> <p>NOT MET</p> <p>Met</p>
<ul style="list-style-type: none"> Main entrances: doors larger Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) <i>Larger front door with distinctive door pull, grey accent colors compliment light blue building</i> 	<p>Met</p>
<ul style="list-style-type: none"> Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 <i>flat roof</i> Rooflines >100' = roof forms, parapets, cornice lines <i>N/A</i> Roof-top mechanical equipment screened by roof form. <i>No roof-top mechanical equipment proposed.</i> 	<p>Met as possible</p>

The existing building does not meet the standards for transparency. As the proposal does not include changes to the building façade, the City has historically permitted existing façade conditions to remain.

Items to be addressed

None

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The site is served by a 6' public sidewalk along Fort Street which provides pedestrian circulation separated from the vehicular circulation. The existing sidewalk appears to be cracked in several places and in need of repair. There are no bicycle lanes on the ROW or bicycle parking facilities proposed.

Items to be addressed

- Applicant shall ensure that concrete sidewalks are brought up to the City's standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

The Lincoln Park Code of Ordinance §1290.02 Number of Spaces required clearly indicates parking formulas for each use under the Office category.

Use	Required	Proposed	Compliance
General business offices	Three and one-half (3½) for every one-thousand (1,000) square feet of gross floor area. $2,700 \text{ sq. ft.} / 1,000 = 2.7$ $2.7 \times 3.5 = 9.45 = 9 \text{ spaces}$	18 existing spots retained	Met

There is also on-street parking along Fort Street, with two spaces in front of the existing building.

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Parking lot ingress is via Fort Street and egress is via the public alley to the west.	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition, and graded and drained appropriately	Existing asphalt surface appears to be cracked in several places and will likely need to be resurfaced.	NOT MET
	Concrete curbs and gutters	Existing curb locations noted on site plan. No change to existing curbs proposed.	Met
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	There is an alley between the parking area and residential property. However; no masonry wall is proposed as there is no space on the site for the required masonry wall.	Met as possible

	Required	Proposed	Compliance
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	There is an alley between the parking area and residential property. However; no masonry wall is proposed as there is no space on the site for the required masonry wall.	Met as possible
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	The existing parking lot configuration with angle parking could result in a car backing into the street / sidewalk. Parking area should be changed to 90-degree spaces.	NOT MET
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	No wall or curb proposed where parking abuts public sidewalk on Fort Street.	NOT MET

Items to be addressed

- The existing asphalt parking area shall be resurfaced and brought up to the City's standards.*
- Applicant shall change the parking configuration from angle parking to 90-degree parking.*
- Applicant shall ensure a curb is placed where parking abuts public sidewalk on Fort Street.*

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1-25	1	0	NOT MET

Items to be addressed

- Applicant shall provide the required barrier-free space in accordance with §1290.02(g) of Lincoln Park Zoning Code.*

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
0 to 2,000	1	0	NOT MET

Items to be addressed

- Applicant shall provide the required loading and unloading space in accordance with §1290.09 of Lincoln Park Zoning Code.

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Road, Fort Street, Dix Avenue, and Outer Drive.

Required	Provided	Compliance
<ul style="list-style-type: none"> • Single two-way driveway or pair of one-way driveways • Two-way: 25' < throat width < 30' (face to face of curb). One-way paired: each 20' measured perpendicularly. May be separated by 10' median; sidewalks shall be continued or maintained • 25' radii; 30' radii where daily truck traffic expected • Corner lots: one access point per street with >100' frontage • If frontage >300' and documented need (ITE), may allow additional access with design restrictions • If frontage >600', max of 3 drives may be allowed; one with design restrictions 	<ul style="list-style-type: none"> • Existing one single-way retained with ingress via Fort Street and egress via public alley on the west. • One-way: 17'; Sidewalk continues • No radii provided • Not applicable • Not Applicable • Not Applicable 	<p>Met</p> <p>NOT MET</p> <p>INQUIRY N/A</p> <p>N/A</p> <p>N/A</p>
<ul style="list-style-type: none"> • Shared access: driveways along property lines, connecting parking lots, on-site frontage roads, rear service drives. Encouraged and may be required for sites within 1/4 mile of major intersections; having dual frontage; with <300' frontage; with sight distance problems; along congested or accident-prone roadway segments • Connection to adjacent facilities may be required; site accommodation may be required for future connection to undeveloped adjacent property • Letters of agreement or access easements required 	<p>Not Applicable</p>	<p>N/A</p>

Required	Provided	Compliance
<ul style="list-style-type: none"> • Triangular unobstructed view areas: from corner of two ROWs, 25' along each; from corner of ROW and driveway, 10' along driveway and 5' along ROW • Grass / groundcover only in 3' strip abutting driveway and ROW • Trees permitted if trimmed between 30" and 6' from ground level 	Not applicable	N/A
<ul style="list-style-type: none"> • May require drive to be located on the far side of the property from congested intersections • >150' from signalized intersection or 4-way stop, or right-turn-only at 75' from intersection • >100' otherwise • >200' from centerline of I-75 access ramps 	Drive is about 720 ft. from nearest signalized intersection at Emmons Blvd. Not applicable.	N/A
<ul style="list-style-type: none"> • Same side of street: Driveway spacing determined by speed limits in §1290.10. <i>Speed limit is 45 mph = 230' driveway spacing</i> • Across the street: Driveways directly aligned or >150' offset (excludes right-turn-only) • Directional driveways, divided driveways, and deceleration tapers and/or by-pass lanes may be required by the Planning Commission where they will reduce congestion and accident potential 	<ul style="list-style-type: none"> • Closest driveway is ~35 ft. • There is a driveway across the street slightly offset, but both drives are existing • Not Applicable 	<p>NOT MET</p> <p>NOT MET</p> <p>N/A</p>

The existing building does not meet the standards of §1290.10, Access Management Standards. As the proposal does not include changes to the existing to the access, driveways, and vehicular circulation, the City has historically permitted existing conditions to remain.

Items to be addressed

- Applicant shall provide drive radii.

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicle access will be via Fort St. or the alley west of the site.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	There is an existing 12-ft. greenbelt area on the north side of the drive. The south side of the drive, however, is broken concrete in poor condition that should be removed and replaced with the required groundcover.	Partially Met
	1 tree and 4 shrubs per 40' of street frontage <i>81 ft. frontage = 2 trees + 8 shrubs</i> <i>30% redevelopment standard: 1 tree + 2 shrubs</i>	No landscaping proposed.	NOT MET
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	No parking spaces face the ROW.	N/A
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>(8,180 sf * 0.1) = 818 sf landscaping</i> <i>30% redevelopment standard: 245 sf</i>	No interior landscaping proposed or possible as the site is covered by the exiting bulding and parking area.	N/A
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas		
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>818/400 = 2.04 = 2 trees</i> <i>818/250 = 3.27 = 3 shrub</i> <i>30% redevelopment standard: 1 tree and 1 shrubs</i>		
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces <i>18 spaces/10 = 1.8</i>	No parking lot landscaping proposed or possible as the site	N/A

	Required	Proposed	Compliance
	$1.8 \times 1 = 1.8 = 2 \text{ trees}$ 30% redevelopment standard: 1 tree	is covered by the exiting building and parking area.	
	100 sf of planting area per tree $2 \times 100 = 200 \text{ sf}$ 30% redevelopment standard: 60 sf		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Location of waste receptacle not shown in the drawings. No waste management plan provided.	INQUIRY
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive) or a solid 6' masonry wall ornamental on both sides	There is an alley between the parking area and residential property. However; no masonry wall is proposed as there is no space on the site for the required masonry wall.	N/A

Items to be addressed

- Applicant shall request a Planning Commission waiver from the interior and parking lot landscaping requirements, as well as the abutting residential screening requirements as the site is already completely covered with impervious surface and can therefore not accommodate such requirements.
- Applicant shall provide the required street landscaping, to include the greenbelt on the north side of the drive as well as one tree and two shrubs to meet the 30% redevelopment standard for landscaping.
- Applicant shall provide a waste management plan. If the waste management plan includes a dumpster, applicant shall show location of waste receptacle and required screening meeting ordinance requirements, including installation detail.

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to review soil erosion practices as needed.

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer, and the existing utilities and lead for the commercial site are being reused. No new water line or sanitary sewer systems are proposed for the site. For sanitary sewer service, the applicant will need to verify that the existing sanitary service is adequate to handle the required flows for the building use. If being reused, it is important that the applicant realize that this existing sanitary service is incredibly old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. For water service, the applicant must verify the water service type and size and that the existing service is adequate to handle the required flows. If it is undersized for the proposed use of the building or if it is a lead-type service, it must be replaced. As with the sanitary sewer, it is important that the applicant realized that the existing water service is incredibly old and may have reached its life expectancy.

Items to be addressed

- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County. No new stormwater management system is proposed to the site.

Items to be addressed

- Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

1276.06, Required Conditions (NEIGHBORHOOD BUSINESS DISTRICT)	Proposed	Compliance
All lighting in connection with permitted business uses shall be so arranged as to reflect away from adjoining residence buildings or residentially zoned property, and shall be no greater than ten (10) foot candles at any point upon the lot, and no greater than one (1) foot candle along any lot line.	Three existing downward-facing lighting fixtures at the front of the building to be retained.	Met

Items to be addressed

- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

No mechanical equipment is proposed.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during site Plan Review is for illustrative purposes only.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

There is no indication of hazardous substances and polluting materials to be used or stored on-site at the facility.

Items to be addressed

None

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

No additional standards are required for this approval.

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- Applicant to secure all appropriate agency reviews as needed.*
- Pavement replacement may require review by Wayne County Drain Commissioner.*

VARIANCES

No variances are anticipated in conjunction with this development.

Items to be addressed

None

RECOMMENDATIONS

Findings

The proposal is substantially in compliance with §1296.01, Site Plan Review.

Waivers

- Applicant shall request a Planning Commission waiver from the interior and parking lot landscaping requirements, as well as the abutting residential screening requirements as the site is already completely covered with impervious surface and can therefore not accommodate such requirements.

Conditions

Conditions to be addressed before approval is issued

- The drawing scale for all three pages appears to be incorrect. Applicant shall provide drawings with the correct drawing scale.
- Applicant shall change the parking configuration from angle parking to 90-degree parking.
- Applicant shall ensure a curb is placed where parking abuts public sidewalk on Fort Street.
- Applicant shall provide the required barrier-free space in accordance with §1290.02(g) of Lincoln Park Zoning Code.
- Applicant shall provide the required loading and unloading space in accordance with §1290.09 of Lincoln Park Zoning Code.
- Applicant shall provide drive radii.
- Applicant shall provide the required street landscaping, to include the greenbelt on the north side of the drive as well as one tree and two shrubs to meet the 30% redevelopment standard for landscaping.
- Applicant shall provide a waste management plan. If the waste management plan includes a dumpster, applicant shall show location of waste receptacle and required screening meeting ordinance requirements, including installation detail.
- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

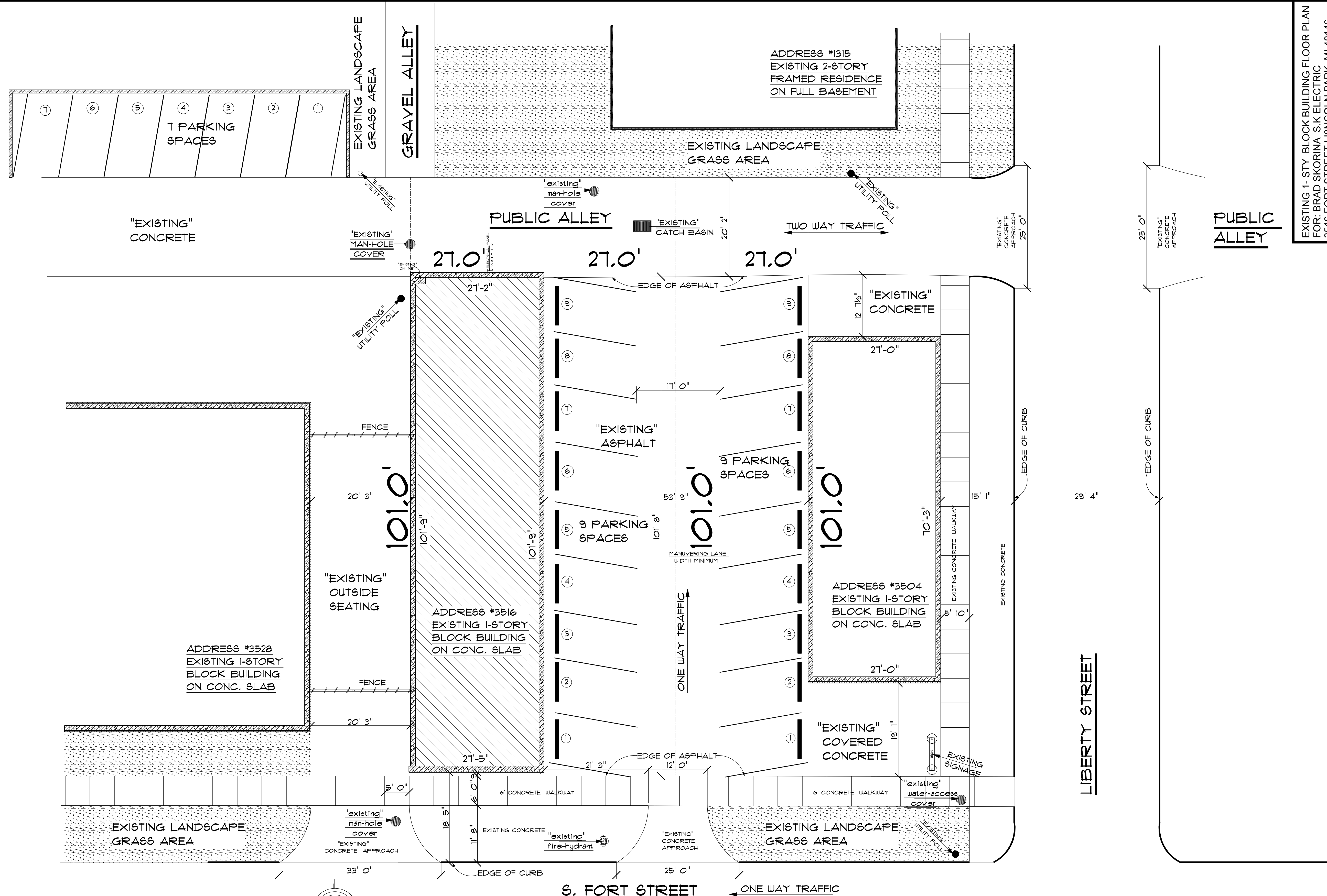
Conditions of approval

- Applicant shall ensure that concrete sidewalks are brought up to the City's standards.
- The existing asphalt parking area shall be resurfaced and brought up to the City's standards.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to review soil erosion practices as needed.
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.
- It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead.

- Applicant shall work with the City Engineer to review stormwater management system to determine the appropriate permitting process.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Applicant to secure all appropriate agency reviews as needed.
- Pavement replacement may require review by Wayne County Drain Commissioner.

Proposed Motion

I move that the City of Lincoln Park Planning Commission **approve** the site plan numbered PPC21-0052, proposing an office at 3516 Fort Street and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.



SITE PLAN PARKING SCALE: 1" = 25'-0"



LOCATION MAP SCALE: NOT TO SCALE

PROPERTY FACTS	
Property Type - RETAIL	Building Class - C
Property Subtype - Freestanding	Tenancy - Multiple
Building Size- 2,700 SF.	Building Height - 1 Story
Zoning - B-2	Building FAR - 0.33
Parking - 18 Spaces (6.32 Spaces per 1,000 SF Leased)	Land Acres - 0.19 AC
PROPERTY TYPE - RETAIL	

LEGAL DESCRIPTION
 Lots 378, 379 and 380, Assessor's Fort Superhighway #11, according to the plat thereof as recorded in Liber 63, page 61 of plats, Wayne County Records.

OWNER INFORMATION	
BRAD SKORINA- OWNER	
SK ELECTRIC- 24 HOUR SERVICE	
PHONE: 734-845-6208	cell: 734-672-2193
skelectric01@gmail.com	
www.skelectricmi.com	



EXISTING 1-STY BLOCK BUILDING FLOOR PLAN
 FOR: BRAD SKORINA, S.K ELECTRIC
 3516 FORT STREET LINCOLN PARK, MI 48146

JOHN T. HOLOWICKI - ARCHITECT 1-248-219-9386
 31693 W. EIGHT MILE RD. LIVONIA, MI 48152

SCALE: 1/4" = 1'-0"
 DATE: OCTOBER 11, 2021
 DRAWN BY: B.C.
 REVISED

DRAWING NUMBER
 1 OF 3

SITE PLAN
 LOCATION MAP

EXISTING 1-STY BLOCK BUILDING FLOOR PLAN
 FOR: BRAD SKORINA S.K ELECTRIC
 3516 FORT STREET LINCOLN PARK, MI 48146

DATE
 OCTOBER 11, 2021

SCALE
 AS NOTED

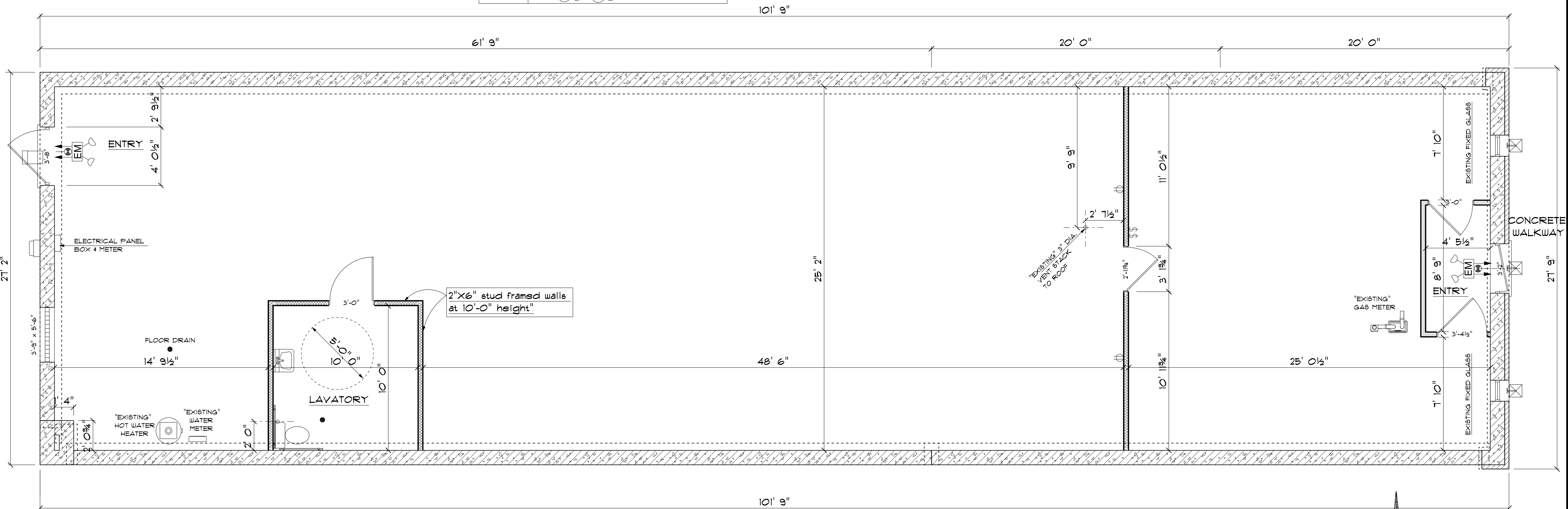
DRAWING#
 1155

SHEET NO.
 A-1

ELECTRICAL /LIGHTING	
	LED-EXIT LIGHT WITH (2) EMERGENCY LIGHTS THERMOPLASTIC CONSTRUCTION, WHITE FINISH, 90 MINUTE EMERGENCY BATTERY
	2-WAY HALOGEN EMERGENCY LAMP HEADS MOUNTED ON/ IN 90 MINUTE EMERGENCY BATTERY, WIRED TO SAME CIRCUIT AS AREA LIGHTS ONLY UNSWITCHED
	DUAL-LITE L22 OR ENGINEERED APPROVED EQUAL
	DUPLEX OUTLET
	GROUND FAULT INTERRUPTER
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	CEILING LIGHT FIXTURE
	FLUORESCENT LIGHT
	110V. SMOKE DETECTOR INTERCONNECTED WITH BATTERY BACK-UP
	CEILING EXHAUST FAN W/ LIGHT
	FIRE EXTINGUISHER- minimum 2A-20BC and REQUIRED K-CLASS FE
	ELECTRICAL PANEL; 120 / 240V-3PH-3W MAIN DISTRIBUTION PANEL MDP208-3PH-4W-800A
	EXISTING ELECTRICAL METER
	CARBON MONOXIDE ALARM WITH BATTERY BACK-UP

TYPICAL WALL LEGEND

- PROPOSED NEW STUDS 2"x4" @ 16" O.C.
- EXISTING BLOCK WALLS
- EXISTING 2"x4" STUD WALLS



BUILDING FLOOR PLAN SCALE: 1/4"=1'-0"
 NOTE: REFER TO MICHIGAN BUILDING CODE 2005

EXISTING 1-STY BLOCK BUILDING FLOOR PLAN
 FOR: BRAD SKORINA S.K ELECTRIC
 3516 FORT STREET L18NCOLN PARK, MI 48146

JOHN T. HOLOWICKI - ARCHITECT 1-248-219-9386
 31693 W. EIGHT MILE RD. LIVONIA, MI 48152

SCALE: 1/4" = 1'-0"
 DATE: OCTOBER 11, 2021

DRAWN BY: B.C.
 REVISED

DRAWING NUMBER
 2 OF 3

PROPOSED BUILDING
 FLOOR PLAN

EXISTING 1-STY BLOCK BUILDING FLOOR PLAN
 FOR: BRAD SKORINA S.K ELECTRIC
 3516 FORT STREET L18NCOLN PARK, MI 48146

DATE
 OCTOBER 11, 2021

SCALE
 AS NOTED

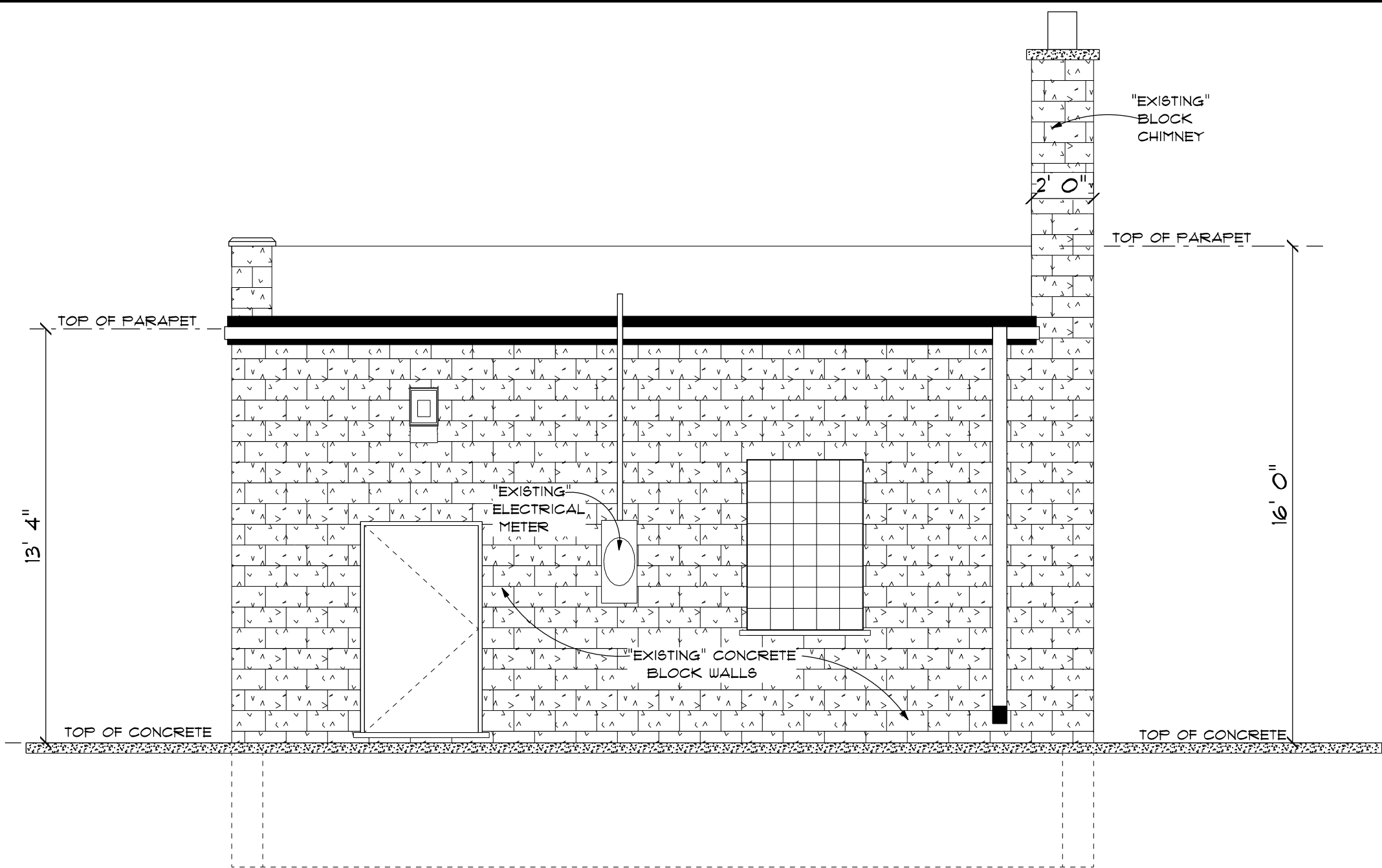
DRAWING#

1155

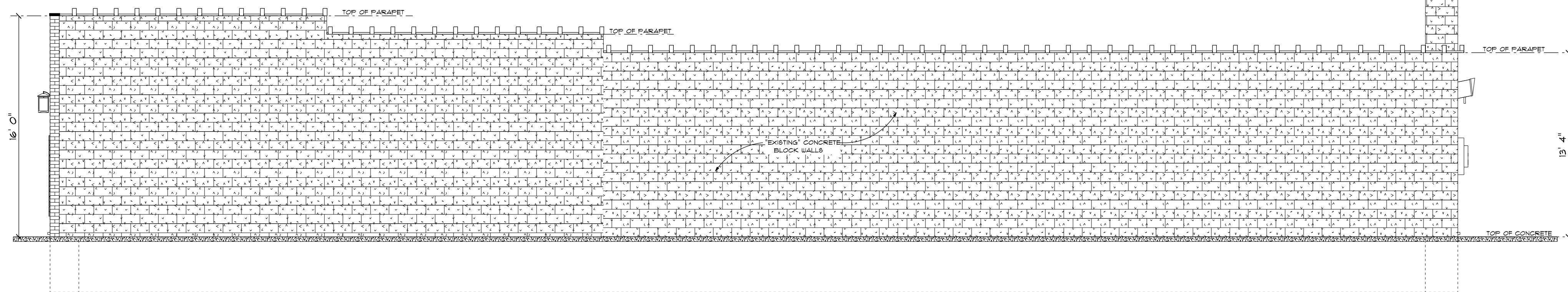
SHEET NO.

A-2

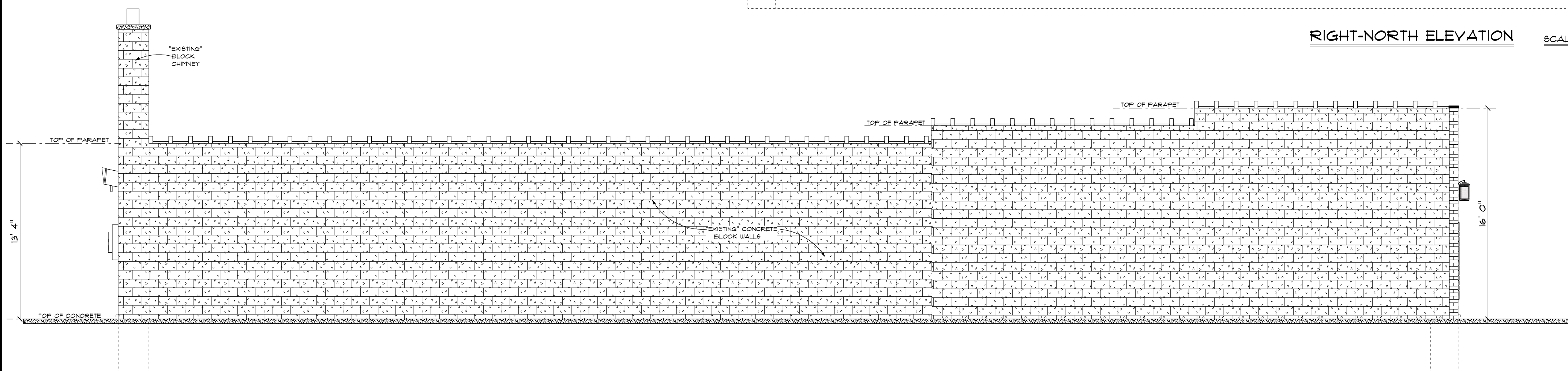




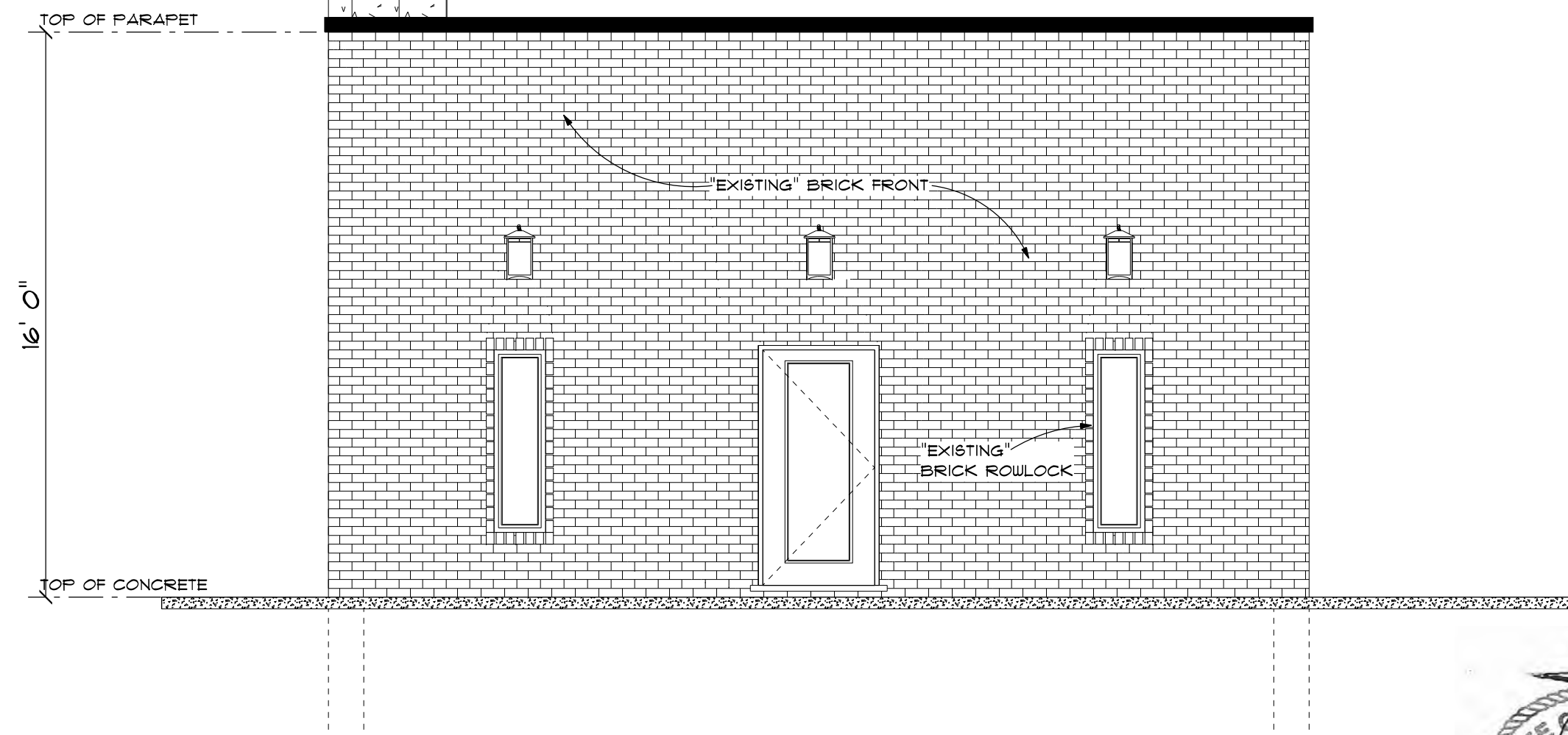
REAR-WEST ELEVATION SCALE: 1/4" = 1'-0"



RIGHT-NORTH ELEVATION SCALE: 1/4" = 1'-0"



LEFT-SOUTH ELEVATION SCALE: 1/4" = 1'-0"



FRONT-EAST ELEVATION SCALE: 1/4" = 1'-0"

EXISTING 1-STY BLOCK BUILDING FLOOR PLAN
FOR: BRAD SKORINA S/K ELECTRIC
3516 FORT STREET LINCOLN PARK, MI 48146

JOHN T. HOLOWICKI - ARCHITECT 1-248-219-9386
31693 W. EIGHT MILE RD. LIVONIA, MI 48152

SCALE: 1/4" = 1'-0"
DATE: SEPTEMBER 20, 2021

DRAWN BY: B.C. REVISED

DRAWING NUMBER
3 OF 3

EXTERIOR ELEVATIONS
FRONT, RIGHT-SIDE
REAR, LEFT-SIDE

EXISTING 1-STY BLOCK BUILDING FLOOR PLAN
FOR: BRAD SKORINA S/K ELECTRIC
3516 FORT STREET LINCOLN PARK, MI 48146

DATE
OCTOBER
11, 2021

SCALE
AS NOTED

DRAWING#

1155

SHEET NO.

A-3



Lincoln Park
Beckett & Raeder

FOR OFFICE USE ONLY	
CASE #	ARC21-0052
DATE SUBMITTED	10/11/2021

APPLICATION FOR SITE PLAN REVIEW

CITY OF LINCOLN PARK
1355 SOUTHFIELD RD. LINCOLN PARK, MI 48146
PH: (313) 386-1800 | FAX: 313-386-2205

RECEIVED

OCT 11 2021

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

NOTICE TO APPLICANT:

Applications for Site Plan Review by the Planning Commission must be submitted to the City in complete form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. City Staff will review the application for completeness. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 pm. All meetings are held at the Lincoln Park City Hall.

APPLICANT INFORMATION

NAME		ADDRESS		
Brad Skolina		16638 Club Dr		
CITY	STATE	ZIP CODE	PHONE	EMAIL
Southgate	MI	48195	734-672-2199	Skelectric01@gmail.com

PROPERTY OWNER (if different from Applicant)

NAME		ADDRESS		
Julann Abela		34454 Willow Road		
CITY	STATE	ZIP CODE	PHONE	EMAIL
New Boston	MI	48164	313-608-2654	

Attached written consent of property owner or lessee of property, if different than applicant.

PROPERTY INFORMATION

PROPERTY ADDRESS	NEAREST CROSS STREETS
3516 Font St Lincoln Park	Liberty Ave / New York Ave
PROPERTY DESCRIPTION (If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e. acreage parcel), provide a metes and bounds description. Attach separate sheets if necessary.)	
Lots 378 379 380 / 45-016-01-0378-302 Parcel	
PROPERTY SIZE (square feet and acres)	ZONING DISTRICT
42970 - 0.19 AC	B-2

PROPOSED DEVELOPMENT

Present Use of Property: OFFICE use and Storage electrical
Pants

Proposed Use of Property: EXISTING 1-STORY BLOCK BUILDING
TO BE USED FOR OFFICE USE AND STORAGE
FOR ELECTRICAL SUPPLIES.

Please complete the following chart:

TYPE OF DEVELOPMENT	NUMBER OF UNITS	GROSS FLOOR AREA	NUMBER OF EMPLOYEES ON LARGEST SHIFT
Detached Single Family			
Attached Residential			
Office	1		6
Commercial			
Industrial			
Other			

PROFESSIONALS WHO PREPARED THE PLANS:

NAME		ADDRESS		
JOHN T. HOLLOWICKI		31693 W. EIGHT MILE RD.		
CITY	STATE	ZIP CODE	PHONE	EMAIL
LIVORNIA	MI	48152	1-248-219	
PRIMARY DESIGN RESPONSIBILITY		9386		
ARCHITECT				

NAME		ADDRESS		
BRUCE A. CHAPPELLE		850 RIVERBANK ST.		
CITY	STATE	ZIP CODE	PHONE	EMAIL
WYANDOTTE	MI	48192	1-734-775-	BAYSIDES09@
PRIMARY DESIGN RESPONSIBILITY		3127 YAHOO.COM		

NAME		ADDRESS		
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

NAME		ADDRESS		
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

ATTACH THE FOLLOWING:

<input type="checkbox"/> Eight (8) individually folded copies of the site plan (24" x 36"), sealed by a registered architect, engineer, landscape architect, or community planner as well as ONE (1) electronic copy in PDF format.	
<input type="checkbox"/> A brief written description of the existing and proposed uses as identified in the "Narrative" section of the Site Plan Application Requirements Table, including but not limited to hours of operation, number of employees, number of employees on largest shift, number of company vehicles, etc.	
<input type="checkbox"/> Proof of property ownership or lease agreement.	
<input type="checkbox"/> Review comments of approval received from County, State, or Federal agencies that have jurisdiction over the project, including but not limited to:	
<input type="checkbox"/> Wayne County Road Commission	<input type="checkbox"/> Wayne County Drain Commission
<input type="checkbox"/> Wayne County Health Division	<input type="checkbox"/> Michigan Department of Natural Resources
<input type="checkbox"/> Michigan Department of Transportation	<input type="checkbox"/> Michigan Department of Environment, Great Lakes, & Energy

IMPORTANT

The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted after the site plan approval.

APPLICANT ENDORSEMENT

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application. Finally, I acknowledge that part of the site plan review process includes City staff entering the exterior of the property for site visits.

Signature of Applicant: Ubrad Shorini

Date: 10/11/2021

Signature of Applicant: _____

Date: _____

Signature of Property Owner: Ubrad Shorini
 Authorizing this Application

Date: 10/11/21

TO BE COMPLETED BY THE CITY

DATE SUBMITTED:	FEE PAID:
BY:	DATE OF PUBLIC HEARING:
PLANNING COMMISSION ACTION	DATE OF ACTION:
<input type="checkbox"/> APPROVED	
<input type="checkbox"/> DENIED	

Planning Report

Serving & Planning Communities Throughout Michigan

November 2021

Top
Story

Local tree management under legal threat

"The township's aim was to improve its community and protect its natural resources. Accordingly, the Tree Ordinance requires tree owners in Canton to get a permit before removing certain trees or undergrowth from their properties."

The US Court of Appeals, Sixth Circuit, has affirmed that a Canton Township ordinance requiring the protection and replacement of trees amounts to a regulatory taking as practiced, but is not an unreasonable seizure or excessive fine. The opinion specifies that the ordinance fails the "rough proportionality" test in the classic *Nollan* and *Dolan* takings cases, and cites caselaw in which a Texas community's tree mitigation fees did "not show that the removal of trees in the development would harm the air quality, increase noise and glare, remove ecosystems, bring down property values, or reduce the other benefits of trees described in the ordinance." This communicates to planners that tree preservation measures must be based on the considerable research quantifying trees' comprehensive ecosystem services, including environmental and social benefits—all of which may add up to quite a bit more than a replacement tree. Further appeal is possible.

Michigan Bar Association. More information: http://www.michbar.org/file/opinions/us_appeals/2021/101321/76317.pdf

Ideas

What can downtowns learn from cellphone data?

"To illustrate how urban informatics can provide new insights in a planning context, Beckett and Raeder, Inc., analyzed cell phone data for patrons of downtown West Branch, MI."

The Michigan Downtown Association is highlighting BRI's work on urban informatics, a relatively new field of study that uses the lens of information and technology to investigate how people interact with urban spaces. Data is collected from popular cell phone applications such as Pokemon Go, Google Maps, and even Tinder, and then aggregated around spatial points of interest (POIs) to preserve privacy. Data for 42 POIs in downtown West Branch helped answer the following questions: Where are downtown patrons coming from? What types of establishments are they visiting? Which specific establishments? What is the functional service area of the downtown? What do the most popular built environments look like? When is downtown the busiest? Which sectors are most activated at that time? Which sectors are underrepresented?

In West Branch, BRI Urban Technology Professional Rowan Brady found that the daytime foodservice economy and retail establishments of all sorts were the strongest performers. Mapping the customer-shed showed that the downtown was most heavily supported by patrons within five miles.

Michigan Downtown Association. More information: https://michigandowntowns.com/news_manager.php?page=23686 or https://www.michigandowntowns.com/docs/Mobility_Blog_Post-Beckett.pdf. Contact *Rowan Brady* directly to discuss how urban informatics can be used in your community: rbrady@bria2.com.

Legislative

Short-term rental pre-emption passes Michigan House

"While most people were sleeping the state House passed House Bill 4722 by a vote of 55-48."

The Michigan Municipal League offers this summary: "The legislation states a short-term rental is a residential use of property and a permitted use in all residential zones. It is not subject to a special use or conditional use permit or procedure different from those required for other dwellings in the same zone. It is not a commercial use of property." MML's analysis includes several key "carve-out" provisions, but both MML and the Michigan Townships Association are strongly opposed to the bill. It was advanced over a "good neighbor" compromise bill limiting STRs to 30 calendar days per year. MML and MTA urge all communities to contact their legislators immediately to express opposition.

More information: [Michigan Municipal League](https://blogs.mml.org/wp/inside208/2021/10/27/short-term-rental-preemption-bill-passed-by-house/). <https://blogs.mml.org/wp/inside208/2021/10/27/short-term-rental-preemption-bill-passed-by-house/>; <https://blogs.mml.org/wp/inside208/2021/10/21/short-term-rental-bills-introduced-good-neighbor-legislation-is-good-sense-compromise/>. [Michigan Townships Association](https://www.michigantownships.org/shorttermrental.asp). <https://www.michigantownships.org/shorttermrental.asp>.

Michigan introduces new Office of Rural Development

"A bill to create the office of rural development within the department of agriculture and rural development; and to prescribe the powers and duties of the office of rural development, the deputy of the office of rural development, and certain state departments and officials."

A legislative act to create an Office of Rural Development, first discussed in early 2021, was referred to the House Committee on Government Operations in October. The new office will review the impact of State and Federal policies on rural areas; specifically address education, energy, and communications issues; improve access to resources; and engage with stakeholders, departments, Tribes, businesses, and municipalities.

[Michigan Legislature](http://www.legislature.mi.gov/documents/2021-2022/billintroduced/House/pdf/2021-HIB-5406.pdf). More information: <http://www.legislature.mi.gov/documents/2021-2022/billintroduced/House/pdf/2021-HIB-5406.pdf>

News

Benton Harbor water issues gaining steam

"Do you realize how much ... money we pay for water every month?" resident Phyllis Williams asked as she waited in an hour-long line of cars at a bottled water distribution site. And yet, 'I can't eat with it. I can't cook with it.'"

Michigan's major news outlets have been leaning in on Benton Harbor's ongoing water crisis, where elevated lead levels have been reported for at least the last three years. The story tracks with the Flint water tragedy on several key points, including austerity measures imposed by State emergency managers, rising water rates charged to households in poverty, mismanaged recordkeeping, shoe-string responses to major challenges, elevated childhood blood lead levels, and long lines for bottled water. Proposals from the Governor, Legislature, and EGLE are intended to aid the crisis in Benton Harbor as well as address the larger problem of failing water infrastructure throughout the State, which could total \$2.5B according to the Michigan Municipal League. MI Lead Safe shows that the communities of Manchester, Hamtramck, and Wayne have also exceeded the state's regulatory threshold of 15ppb in recent tests.

More information: [Detroit News](https://www.detroitnews.com/story/news/local/michigan/2021/09/08/whitmer-seeks-20-m-replace-lead-pipes-benton-harbor/5768629001/), <https://www.detroitnews.com/story/news/local/michigan/2021/09/08/whitmer-seeks-20-m-replace-lead-pipes-benton-harbor/5768629001/>; [Bridge Michigan](https://www.bridgemi.com/michigan-environment-watch/benton-harbor-residents-complaints-lead-tainted-water-carry-echoes), <https://www.bridgemi.com/michigan-environment-watch/benton-harbor-residents-complaints-lead-tainted-water-carry-echoes>. [mlive.com](https://www.mlive.com) has a series of articles behind its paywall.



informative