



LINCOLN PARK PLANNING COMMISSION

City Hall – Council Chambers
1355 Southfield Road | Lincoln Park, MI

April 12, 2023 at 7 p.m.

AGENDA

- I. Call to Order**
- II. Roll Call**
- III. Approval of Previous Minutes**
- IV. Approval of Agenda**
- V. Old Business**
- VI. New Business**
 - A. Conceptual Site Plan Review: 1336 Southfield – Childcare Center
 - B. Conceptual Site Plan Review: Fort St – Vacant Parcel – Car Wash
- VII. Policy Review and Discussion**
 - A. 2023 Capital Improvement Plan
- VIII. Education and Training**
 - A. April Planning Report
- IX. Reports from Department and Other Boards and Commissions**
- X. Public Comments**
- XI. Comments from Planning Commissioners**
- XII. Adjournment**

The City of Lincoln Park will provide necessary reasonable auxiliary aides and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park MI 48146; 313-386-1800 ext. 1296

**CITY OF LINCOLN PARK
COUNTY OF WAYNE, STATE OF MICHIGAN
PLANNING COMMISSION MEETING OF FEBRUARY 8, 2023**

A Planning Commission meeting of February 8, 2023, Lincoln Park City Hall at 1355 Southfield, Lincoln Park Michigan was called to order at 7:00 p.m. Mr. Persinger, Commencing with the Pledge of Allegiance.

PRESENT: Kissel, Horvath, Persinger, LoDuca, Duprey, LoDuca

ABSENT: none

EXCUSED: Palmer

ALSO PRESENT: John Meyers, Liz Gunden, Michael Higgins, Eduardo Zamudio Sainz, Silvia Maruncic

APPROVAL OF MINUTES WITH CORRECTIONS

Corrections to include February clean up moved to April

Moved by: Persinger

Supported by: Duprey

MOTION CARRIED unanimously

APPROVAL OF AGENDA

Moved by: Duprey

Supported by: Persinger

MOTION CARRIED unanimously

OLD BUSINESS

NONE.

NEW BUSINESS

A. SITE PLAN REVIEW – 1864 SOUTHFIELD – LANDSCAPING CONTRACTOR

The proposed project is a landscaping and snow services company, which falls under the use category of "Any service establishment of an office, showroom or workshop nature, such as a decorator, upholsterer, caterer, exterminator or building contractor, and similar establishments that require retail outlets, except that no outdoor storage of equipment or materials shall be permitted." The existing site is currently vacant and was previously used for an automotive tinting and wrapping establishment.

The 0.13-acre site is located on the north side of Southfield Road between Dix Highway to the west and Porter Avenue to the east. The subject site contains a vacant, 1,700 sq. ft. building and a concrete parking Area to the east. There is an existing five-foot public sidewalk along Southfield Road as well as a public alley behind the property. Access to the site is via Southfield Road in the front of the site and the public alley at the rear.

Moved by: Kissel

Supported by: Duprey

Yay's: Kissel, Horvath, Duprey, Persinger, LoDuca

Nay's: None

Motion Approved

POLICY REVIEW AND DISCUSSION

None.

EDUCATION AND TRAINING

- A. Meeting Protocol Review
 - a. Reviewed by Elizabeth Gunden and John Myer regarding Meeting Rules
- B. February Planning Report
 - a. Reviewed by Elizabeth Gunden

REPORTS FROM DEPARTMENTS AND OTHER BOARDS AND COMMISSIONS

Michael Horvath made a comment about ZBA

PUBLIC COMMENTS

COMMENTS FROM PLANNING COMMISSIONERS

Kevin Kissel – Concerns and discussion regarding Sears Center

ADJOURNMENT

Moved by: Horvath

Supported by: Persinger

MOTION CARRIED unanimously

Meeting adjourned at 7:50 p.m.



MICHAEL HORVATH, Secretary

1336 Southfield – Childcare Center

Conceptual Site Plan Review

Applicant	Channel Brawner, represented by Sketch Design Group, LLC
Project	Childcare Center
Address	1336 Southfield Road, Lincoln Park, MI 48146
Date	April 12, 2023
Request	Conceptual Site Plan Review

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

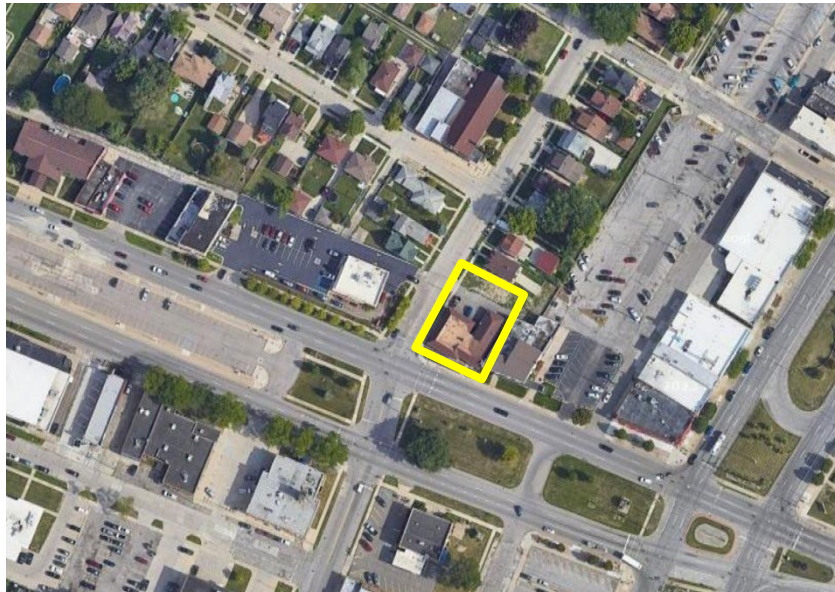


Figure 1: Aerial View

Project and Site Description

The proposed project is a childcare center. The site was previously used as a medical office and the proposed childcare center will re-occupy the existing building.

Site Conditions

The site consists of two parcels (1336 Southfield Rd. and 1765 Fort Park Blvd.) which contain an existing building and associated rear parking lot and a vacant grass area (to be used for parking). The total site area is approximately 10,668 sq. ft. and is located on the corner of Southfield Road and Fort Park Boulevard. The site

fronts Southfield Road and has vehicular access via Fort Park Blvd. There is an existing 6-ft. concrete sidewalk along Southfield Rd. and Fort Park Blvd., and two small, landscaped areas in the front and side of the building.

Master Plan

Future Land Use Classification

The future land use classification for the site is Downtown Commercial. A childcare center is consistent with the designation.

Intent, Desirable Uses, and Elements

The Downtown Commercial land use is intended to be the commercial core of the community, and experiential businesses such as boutique shopping, entertainment, restaurants, and unique services are preferred. The atmosphere should have a strong physical presence, which includes walkability, density, attractive storefronts, intense landscaping, public realm amenities, detailed architecture, and consolidated parking.

Land Use and Zoning

Zoning

The site is zoned Central Business District (CBD). A childcare center is permitted after Special Approval in the district per §1280.03(b).

Proposed and Existing Uses

Site	Vacant – Central Business District (CBD)
North	Residential – Central Business District (CBD)
East	Central Business District (CBD)
South	ROW, then Commercial – Central Business District (CBD)
West	ROW, then Commercial – Municipal Business District (MBD)



Figure 2: Zoning Map

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
A000	Cover Page	03/09/2023	–
A100	Existing Floor Plan	03/09/2023	–
A101	Existing Elevations	03/09/2023	–

Dimensional Standards

The dimensional requirements of the Central Business District (CBD) district are described in the chart below. (§1294.32, except where noted)

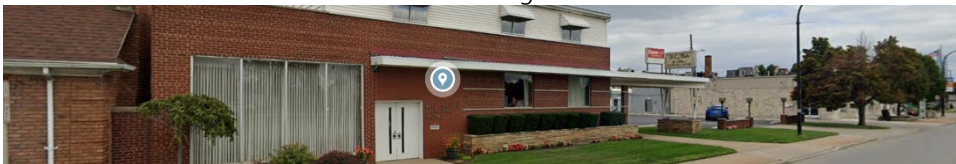

	Required	Provided	Compliance
Lot Width	Min. 30'	~88 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls maximum 2 ½' < height < 8'	Existing building is in intersection visibility triangle.	NOT MET
Lot Area	Min. 3,000 sq. ft.	~10,668 sq. ft.	Met
Lot Coverage	Max. 100%	4,048/10,668 = ~38%	Met
Height	3-Story Building; 40 ft	1 story; 16'	Met
Setback – Front	0 ft.	Southfield Rd. ~5.5 ft. Fort Park Blvd. ~2.5 ft.	Met
Setback – Sides	0 ft.	0 ft.	Met
Setback – Rear	0 ft.	~1.5 ft.	Met

Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> • Building mass, height, bulk & width-to-height ratio within 50-150% of buildings within 500' 	Met
<ul style="list-style-type: none"> • Architectural variety • Similar materials and entrances to buildings within 500'  <p>Figure 3: 1 block east on Southfield Rd. – square, flat roofs, masonry.</p>  <p>Figure 4: 1 block west on Southfield Rd. – 1-story, square, flat roofs, brick and masonry.</p>	Met

Required	Compliance
<ul style="list-style-type: none"> Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) <u>South Elevation (front on Southfield): 100% brick (624/624)</u> <ul style="list-style-type: none"> Brick: ~624 sf Glass Windows / Door (exempt): ~134 sf Total Area: ~758 sf <u>West Elevation (front on Fort Park Blvd.): 100% brick (630/630)</u> <ul style="list-style-type: none"> Brick: ~630 sf Glass Windows & Doors (exempt): ~175 sf Total Area: ~805 sf <u>North Elevation (rear): Unable to determine, no rear elevation provided.</u> <p>25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block)</p> <ul style="list-style-type: none"> Natural colors (bright for decorative features only) <i>Natural brick with white trim</i> 	<p>INQUIRY</p>
<ul style="list-style-type: none"> Façade: <100' uninterrupted If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches All sides similar <i>All sides are brick</i> 	<p>Met</p>
<ul style="list-style-type: none"> Windows: vertical, recessed, visually obvious sills Spaces between windows = columns, mullions, or material found elsewhere on the façade Front facades > 25% windows <i>Southfield Rd.: ~17% transparency (134/758); Fort Park Blvd: ~22% (175/805)</i> Size, shape, orientation, spacing to match buildings within 500' 	<p>NOT MET</p>
<ul style="list-style-type: none"> Main entrances: doors larger Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) <i>Existing awning, distinctive door and window trim</i> 	<p>Met</p>
<ul style="list-style-type: none"> Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 <i>Existing pitched roof</i> Rooflines >100' = roof forms, parapets, cornice lines Roof-top mechanical equipment screened by roof form. <i>No roof-top mechanical equipment</i> 	<p>N/A</p>

The existing building meets all building materials requirements except for the transparency requirement on the two front facades of the building (17% on Southfield Rd. and 22% on Fort Park Blvd. As the proposal does not include changes to the building façade, the City has historically permitted existing façade conditions to remain.

Items to be addressed

- Applicant shall provide elevations for the rear (north) side of the building.

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan

Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

There is an existing 6-ft. public sidewalk in front of the building along Southfield Road and Fort Park Boulevard which provides pedestrian circulation separated from vehicular circulation. There are no bicycle lanes on the ROW or bicycle parking facilities proposed.

Items to be addressed

- Applicant shall ensure that sidewalks are brought up to City standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Childcare Centers	Two (2) plus one (1) space for each eight (8) children of licensed authorized capacity. <i>The property is within the parking exempt area of the CBD; no parking spaces required.</i>	11 spaces	Met

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Ingress/egress provided on Fort Park Blvd.	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	No material details provided for the proposed parking lot.	INQUIRY
	Concrete curbs and gutters	No curb and gutter details provided.	INQUIRY

	Required	Proposed	Compliance
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	Adjacent residential property to the north; no masonry wall provided.	NOT MET
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	Adjacent residential property to the north; no masonry wall provided.	NOT MET
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	There is ample space for maneuvering given the size constraints of the site.	Met
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	Parking area abuts an existing public sidewalk along Fort Park Blvd. No barrier between parking area and sidewalk provided.	NOT MET

Items to be addressed

- Applicant shall provide surface material details on the proposed parking lot.
- Applicant shall provide curb and gutter details.
- Applicant shall provide the required 6' solid masonry wall, ornamental on both sides, with bumper guards, on the north end of the property line abutting residential property.
- Applicant shall provide a barrier between the parking area and the public sidewalk.

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
0	0	0	Met

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
2,001 to 5,000	1	1	Met

Items to be addressed

None

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Rd., Fort St., Dix Ave., and Outer Dr.

Access to the site is via Fort Park Blvd.; therefore, the standards in this section do not apply.

Items to be addressed

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via either Fort Park Blvd.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	The sidewalk is immediately adjacent to Southfield Road, so there is no space for a greenbelt. There is a 5-ft. greenbelt along Fort Park Blvd.	Met as possible
	1 tree and 4 shrubs per 40' of street frontage <i>86' on Southfield Rd. + 143' on Fort Park Blvd. 229' of frontage = 6 tree and 23 shrubs</i> <i>30% redevelopment standard = 2 trees and 7 shrubs</i>	9 Dwarf Bluestar Juniper shrubs provided; no trees provided.	NOT MET
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	The parking area does not face a ROW.	N/A
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>(10,668 sf * 0.1) = 1,067 sf landscaping</i> <i>30% redevelopment standard: 320 sf</i>	Landscaped area in the front of the building along Southfield Rd. and Fort Park Blvd. is ~684 sq. ft.	Met
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Landscaping is grouped next to both front entrances	Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>320 sf (30% redevelopment standard) = 1 tree and 1 shrub</i>	1 Dwarf Bluestar Juniper shrub provided; no tree provided.	NOT MET
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces <i>11 parking spaces = 1 tree</i>	No parking lot tree provided.	NOT MET
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Dumpster and 10' x 10' x 6' height masonry enclosure provided.	Met
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive), and/or solid 6' masonry wall ornamental on both sides	Adjacent residential property to the north; no masonry wall provided.	NOT MET

Items to be addressed

- Applicant shall provide four (4) additional trees to meet the street, interior, and parking lot landscaping requirements.
- Applicant shall provide the required 6' solid masonry wall, ornamental on both sides, with bumper guards, on the north end of the property line abutting residential property.

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.*
- Applicant shall specify the proposed land disturbance area, per Engineering comments.*
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.*

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site. Engineering comments state that if the existing sanitary sewer is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. If the existing water service is being reused, it is important that the developer realize this existing water service is also old and may have reached its life expectancy. If the existing service is a lead-type service or undersized, it will be required to be removed and replaced. The design professional must verify the existing water service type, size, and lead capacity and should verify that the existing service is adequate to handle the required flows. Utility connections should be shown on the plans.

Items to be addressed

- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County.

Items to be addressed

- *Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

No new lighting is indicated on the site plan.

Items to be addressed

- *If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts is anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

There is no existing roof or ground-mounted mechanical equipment that shown on the plan. Should any new equipment be added, it would need to be screened in accordance with Ordinance requirements.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during site plan review is for illustrative purposes only. There is an existing freestanding near the existing parking area entryway; therefore, because the sign is existing, the City has traditionally allowed such conditions to continue

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

Items to be addressed

None

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

	Required	Proposed	Compliance
Outdoor Play Area	100 sq. ft. per child cared for, total minimum area of 1,500 sq. ft.	No outdoor play area provided.	NOT MET
On-site Drive	On-site drive for drop-off/pick-ups; maneuvers shall not affect traffic flow on public street.	No on-site drive or drop-off/pick-up area provided.	NOT MET

Items to be addressed

- Applicant shall provide the required outdoor play area.
- Applicant shall provide an on-site drive and a drop-off/pick-up area that does not affect traffic flow on the public street.

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- Applicant to adhere to all state licensure requirements by the State of Michigan prior to issuance of a Certificate of Occupancy.
- Applicant to secure all appropriate agency reviews as needed.

VARIANCES

No variances are anticipated from this proposal.

Items to be addressed

None

RECOMMENDATIONS

Findings

There is a significant amount of information still needed before this proposal is substantially in compliance with §1296.01, Site Plan Review.

Conditions

- Applicant shall provide elevations for the rear (north) side of the building.
- Applicant shall ensure that sidewalks are brought up to City standards.
- Applicant shall provide surface material details on the proposed parking lot.
- Applicant shall provide curb and gutter details.
- Applicant shall provide the required 6' solid masonry wall, ornamental on both sides, with bumper guards, on the north end of the property line abutting residential property.
- Applicant shall provide a barrier between the parking area and the public sidewalk.
- Applicant shall provide four (4) additional trees to meet the street, interior, and parking lot landscaping requirements.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- Applicant shall specify the proposed land disturbance area, per Engineering comments.
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.
- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.
- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Applicant shall provide the required outdoor play area.
- Applicant shall provide an on-site drive and a drop-off/pick-up area that does not affect traffic flow on the public street.
- Applicant to adhere to all state licensure requirements by the State of Michigan prior to issuance of a Certificate of Occupancy.

- Applicant to secure all appropriate agency reviews as needed.

Recommendations

None – advisory only.

DATA:

GROSS SITE AREA = 7,619 (1336 SOUTHFIELD RD.)
= 3,049 (1765 FORT PARK BLVD.)

EXISTING BUILDING = 4,048 SQ. FT.

USE GROUP = GROUP B

CONSTRUCTION TYPE = TYPE IIIB

ZONING = CENTRAL BUSINESS DISTRICT

CODE COMPLIANCE:

MICHIGAN BUILDING CODE 2015

LEGAL DESCRIPTION:

PARCEL ID: 45006040028301
EB28A TO EB31A LOTS 28 TO 31 COMB EXC S PT MEAS 14.82 FT
ON E LINE AND 12.23 FT ON W LINE OF SAID COMB PARCEL
ALSO SLY 1/2 ADJ VAC ALLEY ELMWOOD PARK SUB PC 119,524
L33 P14 WCR.
COMMONLY KNOWN AS: 1336 SOUTHFIELD RD.

PARCEL ID: 45006040065300
EB65 LOT 65 ALSO NLY 1/2 ADJ VAC ALLEY ELMWOOD PARK SUB
PC 119, 524 L33 P14 WCR.
COMMONLY KNOWN AS: 1765 FORT PARK BLVD.

NIKKIS PLAYHOUSE, LLC. CHILDCARE CENTER 1336 SOUTHFIELD RD. LINCOLN PARK, MI

SKETCH DESIGN
GROUP

ICS
INDIGOSHORES
CONSULTANT
SERVICES

**NIKKIS PLAYHOUSE, LLC.
CHILDCARE CENTER
1336 SOUTHFIELD RD.
LINCOLN PARK, MI**

APPLICANT:

WALTER & CHANNEL BRAWNER
1336 SOUTHFIELD ROAD
LINCOLN PARK, MICHIGAN 48126
PHONE: 313-926-2430

INDEX TO DRAWINGS:

SHT. A000 EXISTING SITE PLAN
SHT. A100 EXISTING FLOOR PLAN
SHT. A101 EXISTING ELEVATIONS

DRAWN BY: D. ALLEN

CHK BY: I. THOMPSON

DATE: 03/09/23



PROJECT DIRECTORY

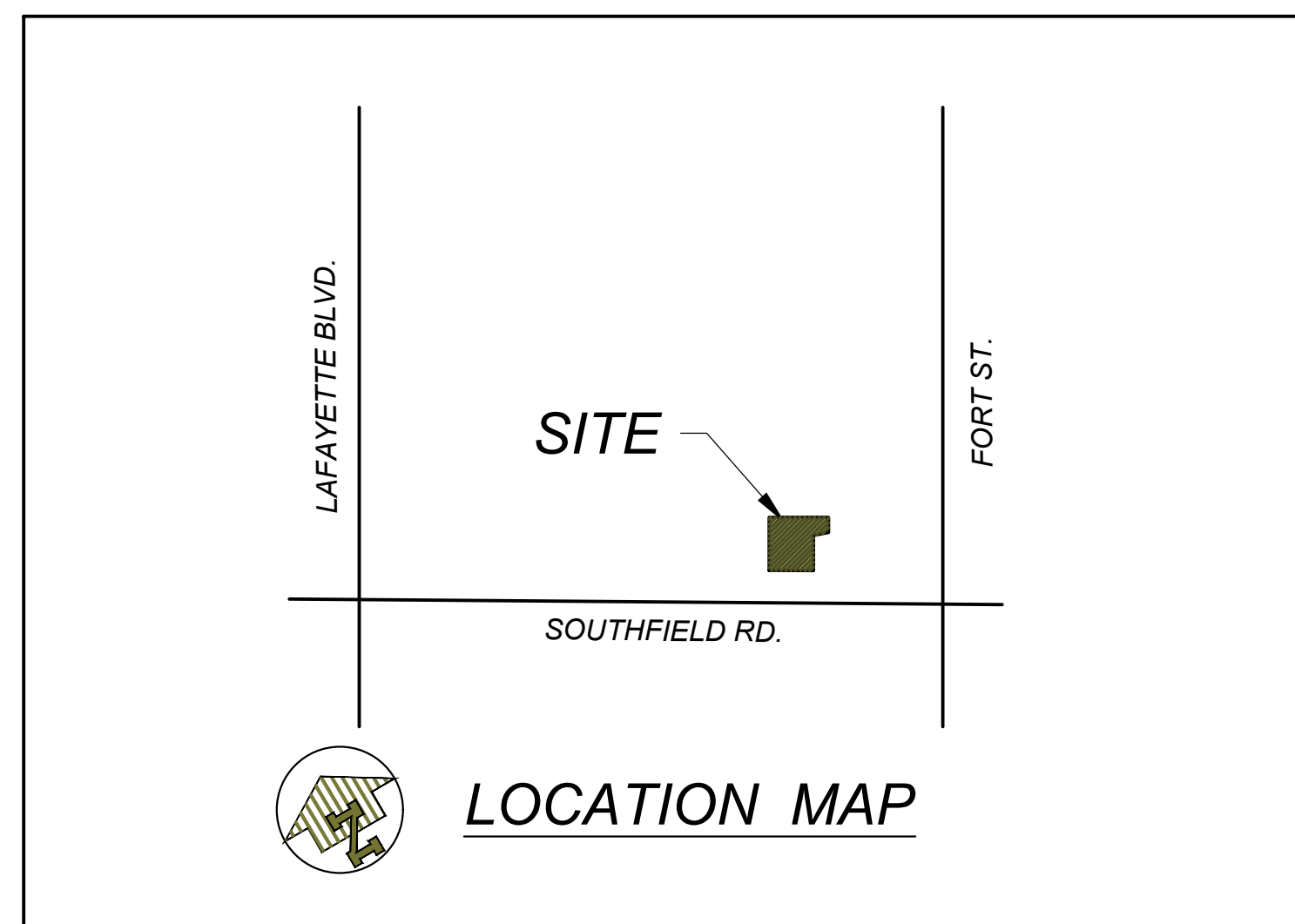
DESIGNER:

INDIGOSHORES CONSULTANT SERVICES PLC.
26520 GRAND RIVER BLVD., SUITE 101
REDFORD TWP., MI 48240
EMAIL: IAN@INDIGOSHORESCS.COM
PH: 954.804.3955

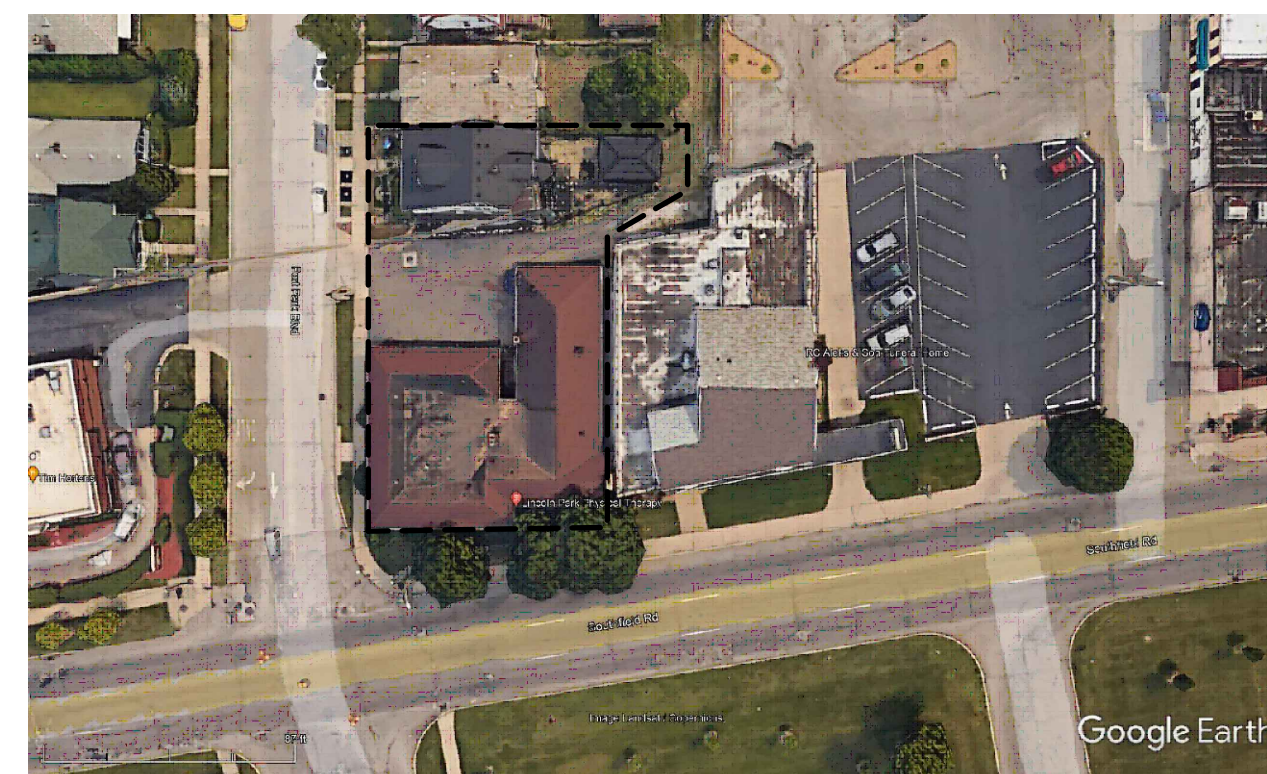
COVER PAGE

SKETCH DESIGN GROUP
26520 GRAND RIVER AVE., SUITE 101
REDFORD TWP., MI 48240
EMAIL: SKETCHTIMEDESIGN@GMAIL.COM
PH: 248.890.3036

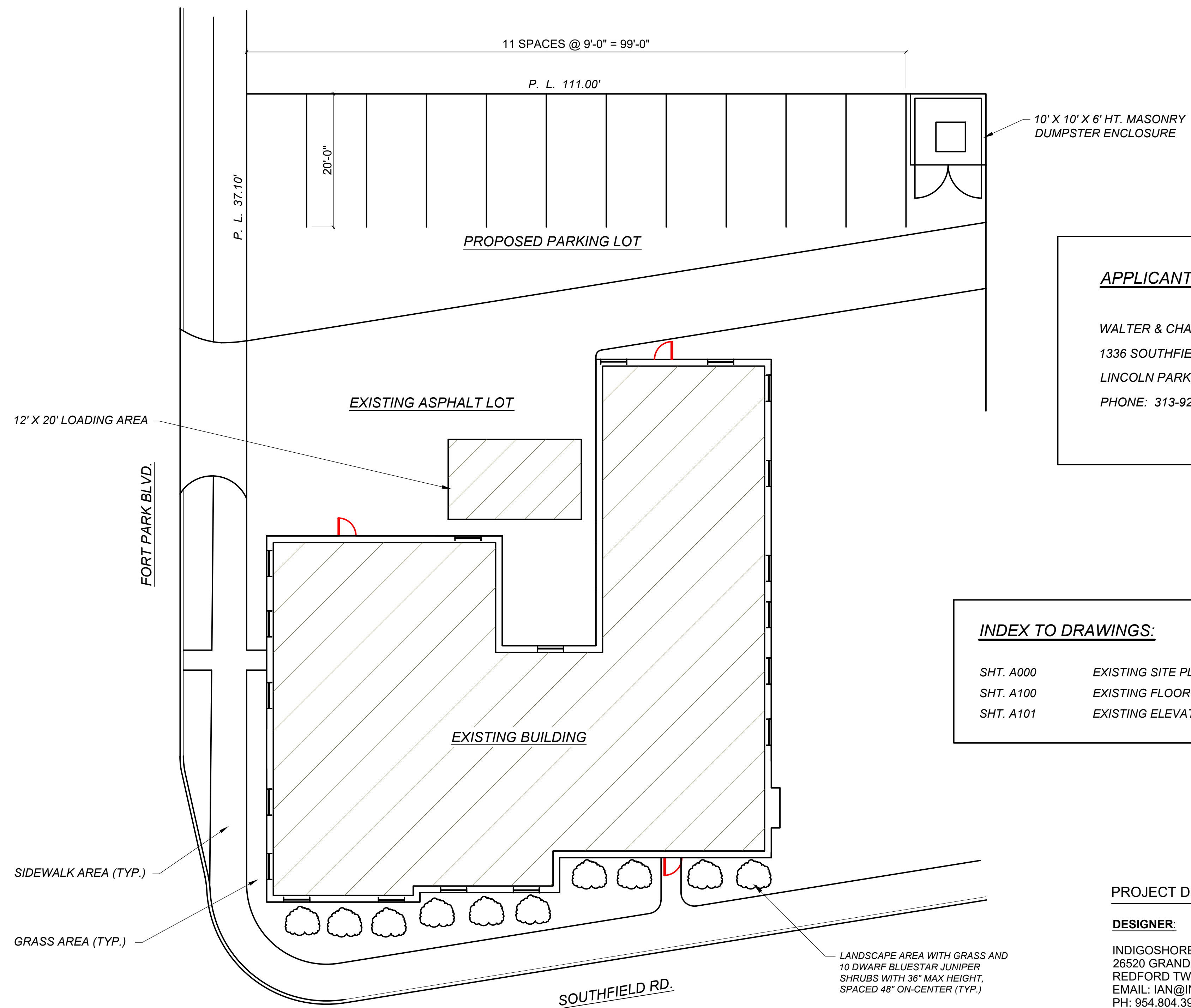
A000
PROJECT #221390



LOCATION MAP



AERIAL VIEW



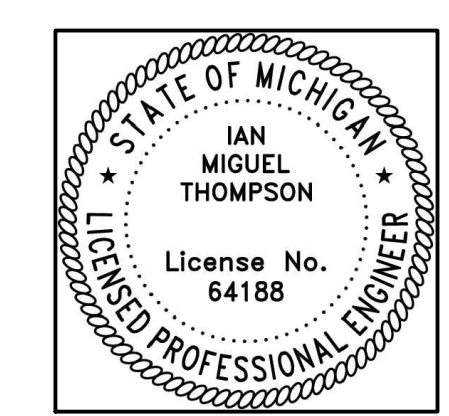
EXISTING SITE PLAN @ 1" = 10'-0"

SKETCH DESIGN GROUP

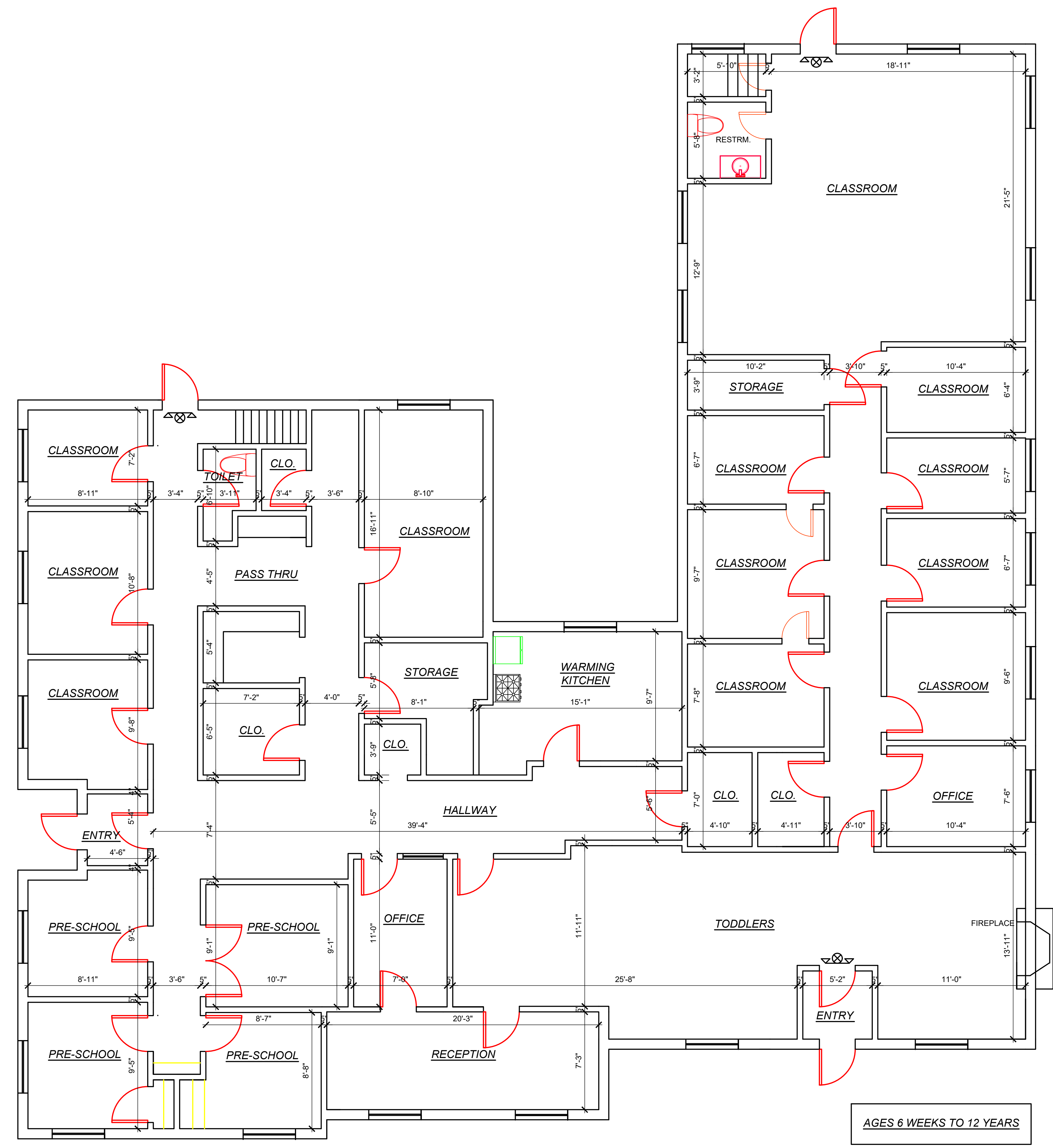
ICS
INDIGOSHORES
CONSULTANT
SERVICES

**NIKKIS PLAYHOUSE, LLC.
CHILDCARE CENTER
1336 SOUTHFIELD RD.
LINCOLN PARK, MI**

DRAWN BY: D. ALLEN
CHK BY: I. THOMPSON
DATE: 03/09/23



A100
PROJECT #221390



 EXISTING FLOOR PLAN @ 1/4" = 1'-0"

SKETCH DESIGN GROUP

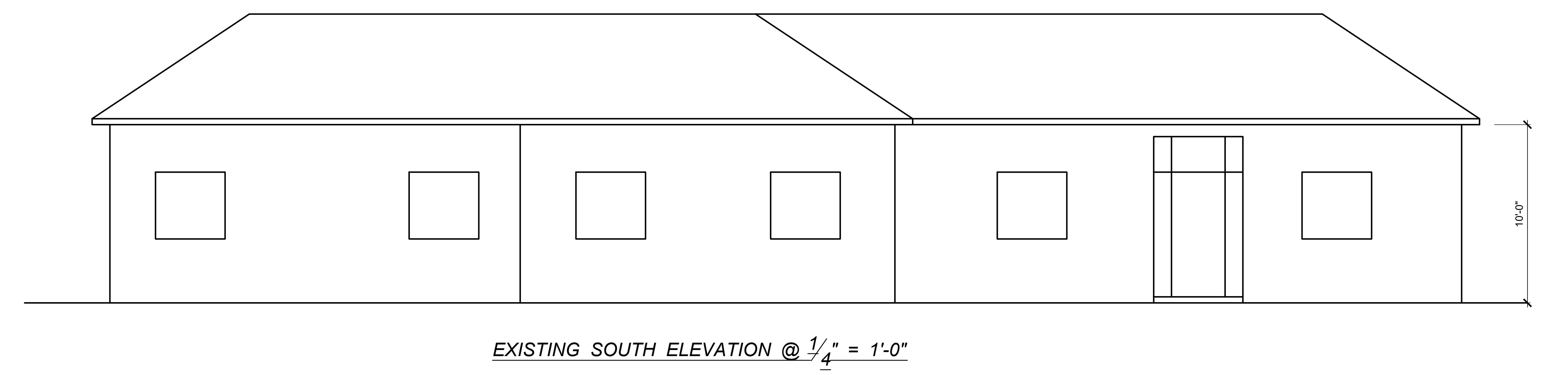
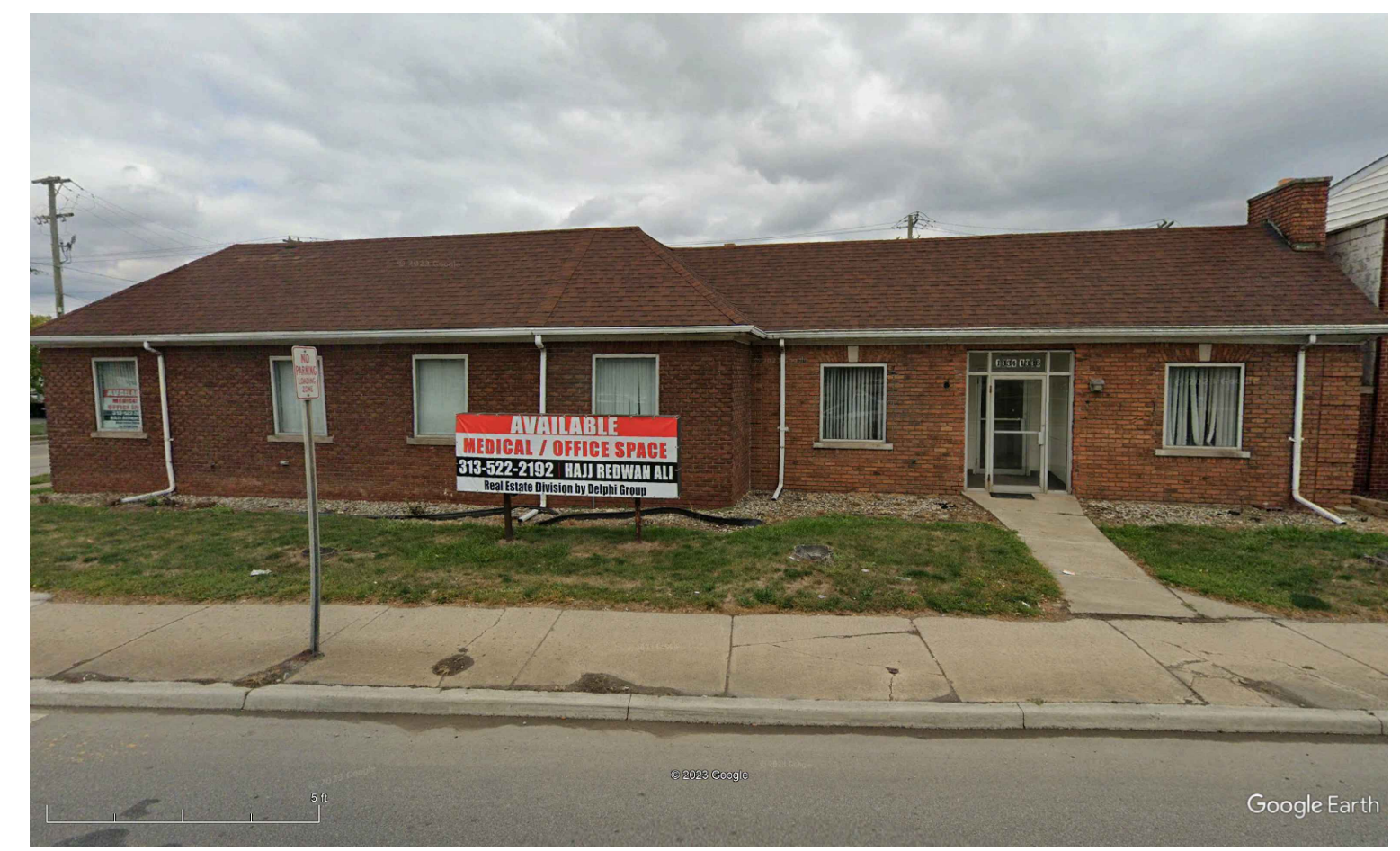
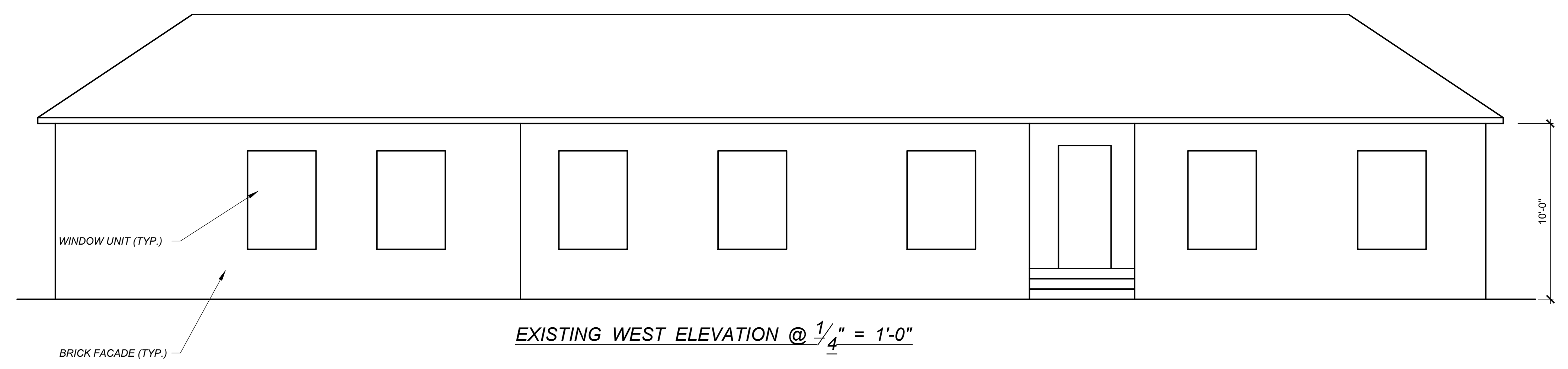
ICS
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**NIKKIS PLAYHOUSE, LLC.
CHILDCARE CENTER
1336 SOUTHFIELD RD.
LINCOLN PARK, MI**

DRAWN BY: D. ALLEN
CHK BY: I. THOMPSON
DATE: 03/09/23



A101
PROJECT #221390





March 30, 2023

Ms. Liz Gunden, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI 48103-4978

Re: Nikkis Playhouse (Childcare Center)
City of Lincoln Park, MI
Hennessey Engineers Project #72195

Dear Ms. Gunden:

Hennessey Engineers, Inc. completed our first review of the plans for the Planning Commission review for the above-mentioned project.

The project consists of a re-occupancy of an existing medical office building and a proposed parking lot. Listed below are some comments which are recommended to be addressed in the Preliminary Plan approval but would not be grounds for a reason for denial from an engineering feasibility standpoint:

1. Based on the site plan submitted, the existing utilities and utility leads for the commercial site are being reused. It is important that the developer realize these existing utilities are old and may have reached their life expectancy. It is our strong recommendation for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the service lead needs to be replaced the installation of the new service will need to be inspected by our office.
2. The developer should verify with the City the existing water service type and size. If the water service is a lead service, it will have to be replaced. The developer's engineer or architect shall determine the water service lead type and capacity.
3. Any work proposed in the Southfield Road right-of-way will require a Wayne County Department of Public Services (WCDPS) permit. This would include any utility connections and pavement repairs.
4. Any pavement, including sidewalk, adjacent to this site that is poor condition must be replaced/repaired.
5. Site area data shall specify the proposed land disturbance area.

From an engineering feasibility standpoint, our office has no objection to the preliminary site plan. Therefore, it's our recommendation for preliminary site plan approval. Prior to the start of any construction, a permit from the City must be obtained. **A detailed engineering review and approval will be required prior to permit issuance.**

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC



Richard J. McCarty, P.E.
Project Manager

RJM/rjm

cc: John Kozuh, DPW Director, City of Lincoln Park
John Meyers, Building Official, City of Lincoln Park
Laura Passalacqua (D'Onofrio), Commercial Business Assistant, City of Lincoln Park
Montserrat Contreras, Permit Clerk, City of Lincoln Park
James Hollandsworth, Lincoln Park Project Manager, Hennessey Engineers

R:\Municipalities\70000's Lincoln Park\72000's\72195 Nikkis Playhouse (Childcare Center)\2023-3-30_Nikkis Playhouse (Childcare Center)-1st PC Review_72195.docx

RECEIVED

MAR 10 2023

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

City of Lincoln Park

APPLICATION FOR SPECIAL USE APPROVAL

Case No. PPC23-0004

Date Submitted MAR 10, 2023

NOTICE TO APPLICANT: Applications for Special Use review by the Planning Commission must be submitted to the City in substantially complete form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by six (6) individual folded copies of the site plan, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

Special Uses shall comply with the standards in Section 1262.08 of the Zoning Ordinance. Accordingly, a public hearing shall be held by the Planning Commission before a decision is made on any Special Use request. Furthermore, a site plan shall be required, which shall be prepared in accordance with Section 1294.01 of the Ordinance.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned do hereby respectfully request Special Use Review and provide the following information to assist in the review:

Applicant: Channel Browner

Mailing Address: 26077 Elsinore Redford MI 48239

Email Address: ChanelBrowner@gmail.com

Telephone: 313 952-2376 Fax: 313 952-2376

Property Owner(s) (if different from Applicant): NET INCOME TAX LLC

Mailing Address: 9480 Dix Ave, Dearborn MI 48120

Telephone: Fax:

Applicant's Legal Interest in Property: Child Care Center

Location of Property: Street Address: 1336 Southfield

Nearest Cross Streets: Ford Street

Sidwell Number:

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., "acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

Parcel ID 45006040065300 KNOWN AS 1765 Ford

Park Blvd EB65 Lot 65 ALSO NLY 1/2 ADJ VAC ALLEY ELmwood Park Sub

Property Size (Square Ft): 4,712 (Acres):

Present Use of Property: Medical office

Proposed Use of Property: Child Care Center

Existing Zoning (please check):

- | | |
|---|---|
| G SFRD Single Family Residential District | G RBD Regional Business District |
| G MFRD Multiple Family Residential District | <input checked="" type="checkbox"/> CBD Central Business District |
| G MHRD Mobile Home Park District | G GID General Industrial District |
| G NBD Neighborhood Business District | G LD Light Industrial District |
| G MBD Municipal Business District | G CSD Community Service District |
| G PUD Planned Unit Development District | |

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1		6
Industrial			
Other			

ATTACH THE FOLLOWING:

- Six (6) individually folded copies of the site plan, sealed by a registered architect, engineer, landscape architect or community planner.
- Proof of property ownership.
- A brief written description of the proposed use.

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this application.

Chanel Brown 3-10-23
 Signature of Applicant Date

 Signature of Applicant Date

 Signature of Property Owner Authorizing this Application Date

To be completed by City:

Date Submitted: _____ Fee Paid: _____
 Received By: _____ Date of Public Hearing: _____

PLANNING COMMISSION ACTION (RECOMMENDATION)

To Approve: _____ To Deny: _____ Date of Action: _____
 Reasons for Action Taken: _____

CITY COUNCIL ACTION

Approved: _____ Denied: _____ Date of Action: _____
 Reasons for Action Taken: _____

City of Lincoln Park Planning and Development
Conceptual Review by Planning Commission

§1296.01.D.2

- A. An applicant may file a written request for conceptual review of a preliminary site plan by the Planning Commission, prior to submission of a site plan for formal (final) review. Conceptual site plan review is required for all special land use, planned unit development, condominium and conditional rezoning projects. A site plan submitted for conceptual review shall be drawn to scale, and shall show site development features in sufficient detail to permit the Planning Commission to evaluate the following:
1. Relationship of the site to nearby properties;
 2. Density;
 3. Adequacy of landscaping, open space, vehicular drives, parking areas, drainage, and proposed utilities; and,
 4. Conformance with City's development policies and standards.
- B. Conceptual review fees shall be paid according to the fee schedule established by the City Council.
- C. No formal action shall be taken on a site plan submitted for conceptual review, and neither the applicant nor the Planning Commission shall be bound by any comments or suggestions made during the course of the conceptual review.

FOR OFFICE USE ONLY	
CASE #	PPC23-0004
DATE SUBMITTED	

APPLICATION FOR SITE PLAN REVIEW

CITY OF LINCOLN PARK
1355 SOUTHFIELD RD. LINCOLN PARK, MI 48146
PH: (313) 386-1800 | FAX: 313-386-2205

RECEIVED

MAR 10 2023

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

NOTICE TO APPLICANT:

Applications for Site Plan Review by the Planning Commission must be submitted to the City in **complete** form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. City Staff will review the application for completeness. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 pm. All meetings are held at the Lincoln Park City Hall.

APPLICANT INFORMATION

NAME CHANNEL BRAUNER			ADDRESS 26077 ELSINORE		
CITY Redford	STATE MI	ZIP CODE 48239	PHONE (313)352-7722	EMAIL ChannelBrauner@gmail.com	

PROPERTY OWNER (if different from Applicant)

NAME XLET INCOME TAX LLC			ADDRESS 9480 DIX AVE		
CITY Dearborn	STATE MI	ZIP CODE 48120	PHONE	EMAIL	

- Attached written consent of property owner or lessee of property, if different than applicant.

PROPERTY INFORMATION

PROPERTY ADDRESS 1336 Southfield Rd	NEAREST CROSS STREETS FORT STREET
PROPERTY DESCRIPTION (if part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e. acreage parcel), provide a metes and bounds description. Attach separate sheets if necessary.) Parcel ID 45006040065300 Park Blvd E1505 LOT 65 ALSO NLY 1/2 ADJ VAC ALLEY Elmwood Park SUB	
PROPERTY SIZE (square feet and acres) 4,712	ZONING DISTRICT CBD

PROPOSED DEVELOPMENT

Present Use of Property: Child Care Center

Proposed Use of Property: Childcare Center

Please complete the following chart:

TYPE OF DEVELOPMENT	NUMBER OF UNITS	GROSS FLOOR AREA	NUMBER OF EMPLOYEES ON LARGEST SHIFT
<i>Detached Single Family</i>			
<i>Attached Residential</i>			
<i>Office</i>			
<i>Commercial</i>	1		6
<i>Industrial</i>			
<i>Other</i>			

PROFESSIONALS WHO PREPARED THE PLANS:

NAME <i>SKETCH DESIGN GROUP, LLC</i>			ADDRESS <i>26520 GRAND RIVER, STE. 101</i>	
CITY <i>REDFORD</i>	STATE <i>MI</i>	ZIP CODE <i>48240</i>	PHONE <i>248.290.3030</i>	EMAIL <i>SKETCHTIMEDESIGN@GMAIL.COM</i>
PRIMARY DESIGN RESPONSIBILITY <i>ARCHITECTURAL DRAWINGS</i>				

NAME <i>INDIGIOSHORES CONSULTANT SERVICES</i>			ADDRESS <i>26520 GRAND RIVER, STE. 101</i>	
CITY <i>REDFORD</i>	STATE <i>MI</i>	ZIP CODE <i>48240</i>	PHONE <i>954.804.3955</i>	EMAIL <i>IAN@INDIGIOSHORES.COM</i>
PRIMARY DESIGN RESPONSIBILITY <i>ARCHITECTURAL AND ENGINEERING</i>				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

ATTACH THE FOLLOWING:

<input checked="" type="checkbox"/>	Eight (8) individually folded copies of the site plan (24" x 36"), sealed by a registered architect, engineer, landscape architect, or community planner as well as ONE (1) electronic copy in PDF format.						
<input checked="" type="checkbox"/>	A brief written description of the existing and proposed uses as identified in the "Narrative" section of the Site Plan Application Requirements Table, including but not limited to hours of operation, number of employees, number of employees on largest shift, number of company vehicles, etc.						
<input checked="" type="checkbox"/>	Proof of property ownership or lease agreement.						
<input type="checkbox"/>	Review comments of approval received from County, State, or Federal agencies that have jurisdiction over the project, including but not limited to:						
	<table> <tr> <td>Wayne County Road Commission</td> <td>Wayne County Drain Commission</td> </tr> <tr> <td>Wayne County Health Division</td> <td>Michigan Department of Natural Resources</td> </tr> <tr> <td>Michigan Department of Transportation</td> <td>Michigan Department of Environment, Great Lakes, & Energy</td> </tr> </table>	Wayne County Road Commission	Wayne County Drain Commission	Wayne County Health Division	Michigan Department of Natural Resources	Michigan Department of Transportation	Michigan Department of Environment, Great Lakes, & Energy
Wayne County Road Commission	Wayne County Drain Commission						
Wayne County Health Division	Michigan Department of Natural Resources						
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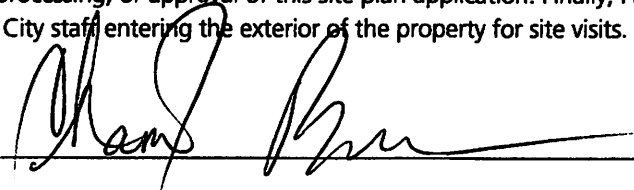
IMPORTANT

The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted after the site plan approval.

APPLICANT ENDORSEMENT

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application. Finally, I acknowledge that part of the site plan review process includes City staff entering the exterior of the property for site visits.

Signature of Applicant: 

Date: 3-10-23

Signature of Applicant: _____

Date: _____

Signature of Property Owner: _____
Authorizing this Application

Date: _____

TO BE COMPLETED BY THE CITY

DATE SUBMITTED:	FEE PAID:
BY:	DATE OF PUBLIC HEARING:
PLANNING COMMISSION ACTION	DATE OF ACTION:
<input type="checkbox"/> APPROVED	
<input type="checkbox"/> DENIED	

Fort Street – Vacant Lot – Car Wash

Conceptual Site Plan Review

Applicant	Kyle Wrentmore
Project	Car Wash
Address	Fort Street Lincoln Park, MI 48146 (45-009-99-0010-702)
Date	April 12, 2023
Request	Conceptual Site Plan Review

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial View

The proposed project is a car wash, to include a car wash facility with associated parking, vacuum areas, driveways, and utilities. The site is currently vacant.

Site Conditions

The 1.16-acre site is located west of the Fort Street and Mill Street intersection. The site is served by Fort Street (east), Mill Street (north), and Fort Park Boulevard (west). There are existing public sidewalks along all three rights of way. The south side of the site abuts a property containing a drug store and associated parking facilities.

Master Plan

Future Land Use Classification

The future land use classification for the site is Downtown Commercial.

Intent, Desirable Uses, and Elements

The Downtown Commercial future land use is intended to support experiential businesses (boutique shopping, entertainment, restaurants etc.) which encourage walkability and offer strong physical presence through attractive storefronts and intense landscaping. The proposed car wash project doesn't align with the future land use designation. However, given that adjacent properties, also designated as "downtown commercial" future land use, contain uses such a drug store (west) and auto service (east) the proposed project aligns with the existing context. Therefore, approval of the proposed project as a car wash is at the discretion of the Planning Commission.

Land Use and Zoning

Zoning

The site is zoned Municipal Business District (MBD). "Automobile and other vehicle wash establishments" are permitted after special land use approval in the district per §1278.03(b) of the Lincoln Park Zoning Ordinance.

Proposed and Existing Uses

Site	Vacant Commercial – Municipal Business District (MBD)
North	ROW, then Commercial & Residential – Municipal Business District (MBD) + Single Family Residential District (SFRD)
East	ROW, then Commercial – Municipal Business District (MBD)
South	Commercial – Municipal Business District (MBD)
West	ROW, then Residential – Single Family Residential District (SFRD)



Figure 2: Zoning Map

The zoning map indicates the project site is comprised of three individual parcels, and the use as proposed will utilize two sites fully and occupy a portion of the parcel abutting Fort Park Boulevard; The property lines shown in the zoning map differ from the property lines indicated in the submitted drawings. The applicant shall provide proof of ownership and clarify the property boundaries.

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
C000	Cover Sheet	03/13/2023	–
C200	Preliminary Site Plan	03/13/2023	–
C300	Preliminary Grading Plan	03/13/2023	–
C400	Preliminary Utility Plan	03/13/2023	–
L100	Preliminary Landscape Plan	03/13/2023	–

Dimensional Standards

The dimensional requirements of the Municipal Business District (MBD) district are described in the chart below. (§1294.32, except where noted)

	Required	Provided	Compliance
Lot Width	Min. 40	~147 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls maximum 2 ½' < height < 8'	Deciduous tree, deciduous flowering shrub, and evergreen shrubs proposed; Height of trees and shrubbery not noted.	NOT MET
Lot Area	Min. 4,000 sq. ft.	~50,535 sq. ft.	Met
Lot Coverage	Max. 50%	~3,677 / 50,535 = 7.2%	Met
Height	2-Story Building; 25 ft	1 story	Met
Setback – Front	0	Not indicated, though building appears to meet setback all requirements; Unable to determine exact setbacks as drawing scale doesn't match indicated measurements.	INQUIRY
Setback – Sides	0		
Setback – Rear	0		

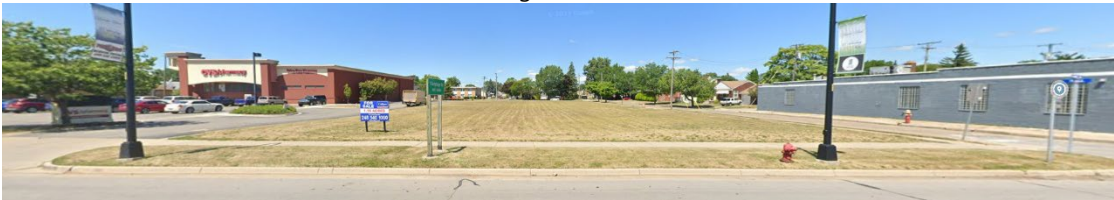

Items to be addressed.

- Applicant shall provide proof of ownership and clarify the property boundaries.
- Applicant shall submit scaled drawings.
- Applicant shall provide height and species details for proposed landscaping.

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design

guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> Building mass, height, bulk, and width-to-height ratio within 50-150% of buildings within 500' 	INQUIRY
<ul style="list-style-type: none"> Architectural variety Similar materials and entrances to buildings within 500'  <p>1 block east on Southfield Road – single-story, square, flat roofs, auto-oriented.</p>  <p>1 block west on Southfield Road – single-story, square, flat roofs, auto-oriented.</p>	INQUIRY
<ul style="list-style-type: none"> Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block) Natural colors (bright for decorative features only) 	INQUIRY
<ul style="list-style-type: none"> Façade: <100' uninterrupted If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches All sides similar 	INQUIRY
<ul style="list-style-type: none"> Windows: vertical, recessed, visually obvious sills Spaces between windows = columns, mullions, or material found elsewhere on the façade Front facades > 25% windows Size, shape, orientation, spacing to match buildings within 500' 	INQUIRY
<ul style="list-style-type: none"> Main entrances: doors larger Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) 	INQUIRY
<ul style="list-style-type: none"> Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 Rooflines >100' = roof forms, parapets, cornice lines Roof-top mechanical equipment screened by roof form. 	INQUIRY

Items to be addressed.

- Applicant shall provide scaled elevations for all four sides of the building with building material details.

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed.

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The site is served by a 6-ft wide public sidewalk on Fort Street, and a 5-ft wide public sidewalk on Mill Street and Fort Park Boulevard, which provides pedestrian circulation separated from vehicular circulation. There are no bicycle lanes on the ROW or bicycle parking facilities proposed. Any broken, cracked, or unsafe sidewalks in the right-of-way must be repaired.

Items to be addressed.

- Applicant shall ensure that concrete sidewalks are brought up to City standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Automobile wash establishments (automatic)	Two (2), plus one (1) for each employee and manager, plus a minimum of sixteen (16) for cars waiting to be washed for each conveyor system, plus one (1) upon exiting each conveyor system, plus two (2) for post-wash detailing. <i>Total employees = 7</i> <i>Required parking spaces = 2 + (7 * 1) + 1 + 2 = 12 spaces</i> <i>Required stacking spaces = 16</i>	35 parking spaces; No stacking spaces indicated on plan.	NOT MET

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Two entrances to the facility proposed via Mill Street and Fort Park Boulevard; A right-out exit lane is proposed on site for vehicles that are unable to move into the car wash tunnel.	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Concrete pavement proposed for all parking areas and asphalt pavement proposed for driveways. Grading and drainage indicated along all driveways and parking facilities.	Met
	Concrete curbs and gutters	Concrete curbs and gutters proposed.	Met
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	Proposed 6' screening wall west of Mill St. ingress/egress; no screening proposed on Fort Park Blvd. No material details provided.	NOT MET
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	Proposed 6' screening wall west of Mill St. ingress/egress; no screening proposed on Fort Park Blvd. No material details provided.	NOT MET
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	There is ample space for maneuvering.	Met
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	Screening wall or curb proposed along parking facility abutting public sidewalk on Mill Street.	Met

Items to be addressed.

- Applicant shall provide the required stacking spaces with dimensions to comply with the regulations in §1290.02.
- Applicant shall provide details on materials used to construct the proposed 6-ft screening wall along Mill Street.

- Applicant shall provide the required screening along Fort Park Boulevard, in compliance with §1294.28.

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 to 25	1	1	Met

Items to be addressed.

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
2,001 to 5,000	1	No loading space provided	NOT MET

Items to be addressed.

- Applicant shall provide the required loading and unloading space in accordance with §1290.09.

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Rd., Fort St., Dix Ave., and Outer Dr.

There is no vehicular access to this site from any of these routes (vehicular access is via Mill Street and Fort Park Boulevard), therefore the standards of this section do not apply.

Items to be addressed.

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via Mill Street or Fort Park Boulevard.

Items to be addressed.

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed.

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	Existing 10' greenbelt along Fort St. and Fort Park Blvd., existing 4' greenbelt Mill Street.	Met as possible
	1 tree and 4 shrubs per 40' of street frontage 147' frontage on Fort St. + 342' on Mill St. + 149' on Fort Park Blvd. = 638' frontage = 16 trees and 64 shrubs	13 trees and >64 shrubs proposed along the three-street frontage combined.	NOT MET
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	Parking is provided along Mill Street; The portion west of the ingress/egress of the parking is screen by a 6' wall. Landscaping with evergreen shrubs proposed along the parking area east of the ingress/egress.	Met
Interior Landscaping	10% of total lot area landscaped, including groundcover. (50,535 sf *0.1) = 5,053 sf landscaping	Unable to determine total landscaping area.	INQUIRY
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Interior landscaping grouped near entrances and walkways.	Met

	Required	Proposed	Compliance
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping. <i>5,053/400 + 5,053/250 = 13 trees + 20 shrubs</i>	3 trees and >20 shrubs	NOT MET
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces < 10 parking spaces <i>Total 35 parking space</i> <i>Required trees = 35 / 10 = 3.5 = 4 trees</i>	4 trees proposed; Unable to determine planting area.	INQUIRY
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Sheet C200 notes that a dumpster will be located outside the building, but no details provided.	INQUIRY
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive), and/or solid 6' masonry wall ornamental on both sides	Proposed 6' screening wall west of Mill St. ingress/egress; no screening proposed on Fort Park Blvd. No material details provided.	NOT MET

The proposed project is a new development on a vacant site; therefore, it must meet all landscaping requirements. There is adequate space to provide the required number of street trees and interior landscaping trees. While there is a proposed screening wall for the residential properties on Mill Street, there is no proposed screening for the residential properties on Fort Park Blvd. Additionally, an accurately scaled landscape plan is required to evaluate compliance with interior landscaping and parking lot planting standards.

Items to be addressed.

- Applicant shall provide accurately scale landscape drawings to calculate interior landscaping and parking lot plating areas.
- Applicant shall provide height and species details for proposed landscaping.
- Applicant shall revise the landscaping plan to add an additional 13 trees to comply with the street and interior landscaping requirements.
- Applicant shall provide dumpster screening wall and enclosure details.
- Applicant shall provide details on materials used to construct the proposed 6-ft screening wall along Mill Street.
- Applicant shall provide the required screening along Fort Park Boulevard, in compliance with §1294.28.

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- *Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.*
- *A Soil Erosion and Sedimentation permit must be obtained from Wayne County.*

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site. Engineering comments state that if the existing sanitary sewer is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realizes this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. If the existing water service is being reused, it is important that the developer realize this existing water service is also old and may have reached its life expectancy. If the existing service is a lead-type service or undersized, it will be required to be removed and replaced. The design professional must verify the existing water service type, size, and lead capacity and should verify that the existing service is adequate to handle the required flows.

Items to be addressed

- *Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- *It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County.

Items to be addressed

- *Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

Light poles indicated at multiple locations on the site; however, no lighting details are provided.

Items to be addressed.

- Applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts is anticipated from the development.

Items to be addressed.

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

Sheet L100 notes evergreen screening will be provided for mechanical equipment will be screened; however, no details on location of mechanical equipment or screening details provided.

Items to be addressed.

- Applicant shall show proposed mechanical equipment with the required screening on the site plan.*

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance.

Items to be addressed.

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

Car washes have the potential to generate some quantity of hazardous materials or waste. Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal.

Items to be addressed

- Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal of hazardous materials and waste.

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

	Required	Proposed	Compliance
Setback	Building >20' from street lot line	Not Indicated; Unable to determine setbacks from as drawing scale doesn't match indicated measurements.	INQUIRY
Stacking Spaces	<ul style="list-style-type: none"> • Number: 16 per wash line, plus 1 upon exit • Size: 10 ft. wide x 24 ft. long • Do not include use of any public space, street, alley, or sidewalk 	No stacking spaces or dimensions shown on plan.	INQUIRY

Items to be addressed.

- Applicant shall submit scaled drawings.
- Applicant shall provide the required stacking spaces with dimensions to comply with the regulations in §1290.02.

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed.

- Work in the Fort Street right-of-way requires a permit from the Wayne County Road Commission.
- Applicant to secure all appropriate agency reviews as needed.

VARIANCES

No variances are anticipated from this proposal.

Items to be addressed.

None

RECOMMENDATIONS

Findings

There remains a substantial amount of information needed before this proposal is in compliance with §1296.01, Site Plan Review.

Conditions

- Applicant shall provide proof of ownership and clarify the property boundaries.
- Applicant shall submit scaled drawings.
- Applicant shall provide height and species details for proposed landscaping.
- Applicant shall provide scaled elevations for all four sides of the building with building material details.
- Applicant shall ensure that concrete sidewalks are brought up to City standards.
- Applicant shall provide the required stacking spaces with dimensions to comply with the regulations in §1290.02.
- Applicant shall provide details on materials used to construct the proposed 6-ft screening wall along Mill Street.
- Applicant shall provide the required screening along Fort Park Boulevard, in compliance with §1294.28.
- Applicant shall provide the required loading and unloading space in accordance with §1290.09.
- Applicant shall provide accurately scale landscape drawings to calculate interior landscaping and parking lot plating areas.
- Applicant shall revise the landscaping plan to add an additional 13 trees to comply with the street and interior landscaping requirements.
- Applicant shall provide dumpster screening wall and enclosure details.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.
- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.
- Applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.
- Applicant shall show proposed mechanical equipment with the required screening on the site plan.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal of hazardous materials and waste.

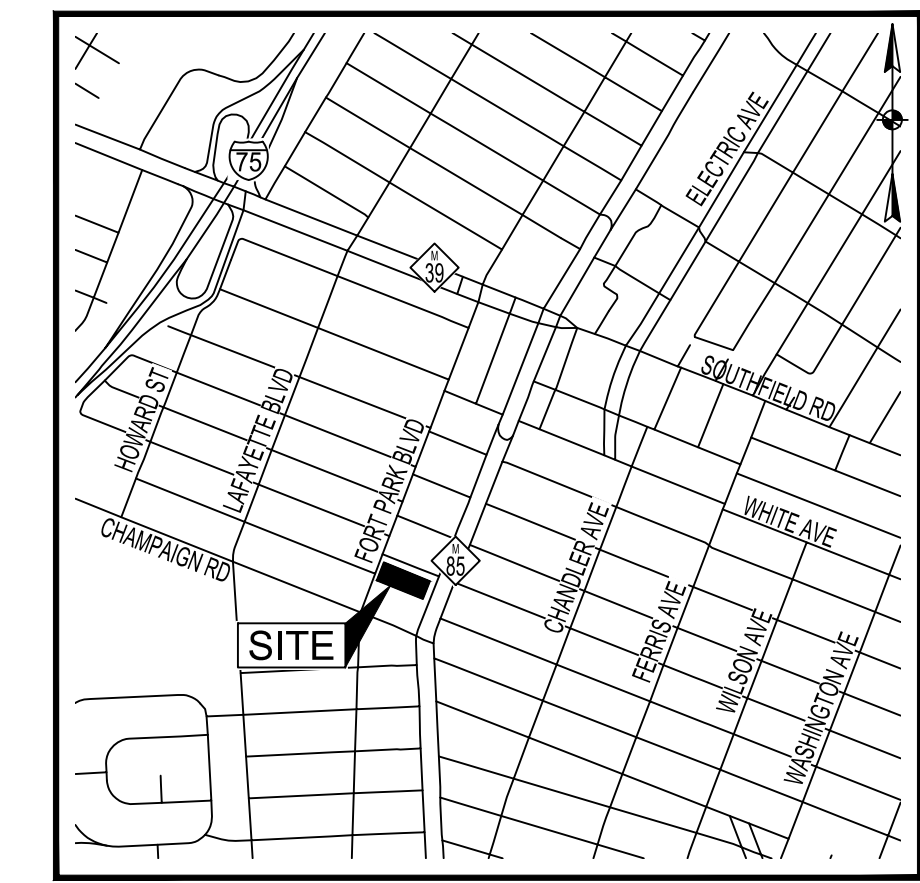
- Work in the Fort Street right-of-way requires a permit from the Wayne County Road Commission.*
- Applicant to secure all appropriate agency reviews as needed.*

Recommendations

None – advisory only.

CONCEPTUAL PLAN FOR CLEAN EXPRESS CAR WASH

MILL STREET AND FORT STREET LINCOLN PARK, MI 48416



VICINITY MAP
NOT TO SCALE

PROJECT DESCRIPTION

DEVELOPMENT OF A VACANT LOT INTO A CAR WASH FACILITY WITH ASSOCIATED PARKING, VACUUM AREAS, DRIVEWAYS, AND UTILITIES. THE TWO ENTRANCES TO THE FACILITY WILL BE ON MILL STREET AND FORT PARK BOULEVARD, AND A RIGHT-OUT EXIT LANE WILL BE PROVIDED WITHIN THE SITE FOR VEHICLES THAT ARE UNABLE TO MOVE INTO THE CAR WASH TUNNEL. THE PROPOSED STORM SEWER SYSTEM WILL INCLUDE AN UNDERGROUND DETENTION BASIN AND DISCHARGE INTO A CATCH BASIN ON FORT PARK BOULEVARD. THE PROPOSED SANITARY SEWER LEAD WILL CONNECT TO AN EXISTING SANITARY SEWER LINE WITH THE SITE. THE PROPOSED WATER SERVICE LEAD WILL CONNECT TO AN EXISTING WATER MAIN WITHIN THE MILL STREET.

LEGAL DESCRIPTION

PART OF PRIVATE CLAIM 119 AND FORT ST SCHOOL SUB L53 P29 WCR. FROM SW COR LOT 1 OF SAID SUBDIVISION N18°14'18"E 221.00 FT TO POINT OF BEGINNING THENCE N18°14'18"E 148.97 FT; THENCE S70°55'23"E 342.20 FT; THENCE S18°45' 52"W 146.99 FT; THENCE N71°15'11"W 340.83 FT TO POINT OF BEGINNING

UTILITY CONTACTS

SANITARY SEWER
CITY OF LINCOLN PARK
500 SOUTHFIELD
LINCOLN PARK, MI 48146
JOHN KOZUH
313-386-9000

WATERMAIN
CITY OF LINCOLN PARK
500 SOUTHFIELD
LINCOLN PARK, MI 48146
JOHN KOZUH
313-386-9000

STORM SEWER
WAYNE COUNTY DRAIN COMMISSIONER
400 MONROE, SUITE 400
DETROIT, MI 48226
WARREN EVANS
313-224-3620

COMMUNICATIONS
AT&T
2031 DIX HWY
LINCOLN PARK, MI 48146
DEREK BUKLEY
313-240-5480

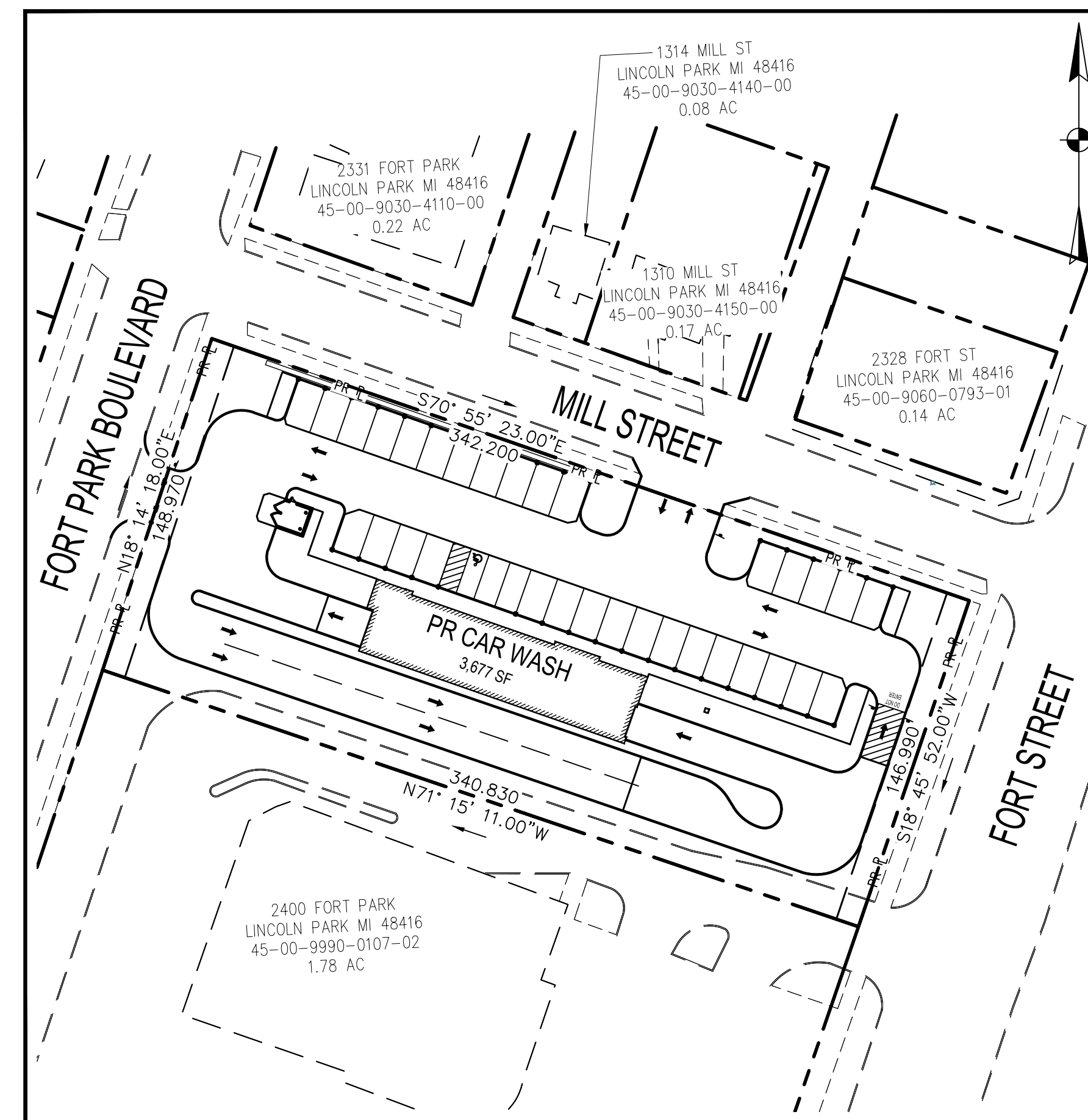
GAS
DTE ENERGY
1 ENERGY PLZ
DETROIT, MI 48226
SARA A KIPP
313-235-4000

FLOOD ZONE

THE PROPERTY SHOWN HEREIN LIES WITHIN ZONE X, WHICH ARE AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD HAZARD ZONE, PER NFIP FLOOD INSURANCE RATE MAP 26163C0406E, EFFECTIVE FEBRUARY 2, 2012

SITE DATA

EXISTING PARCEL	45-009-99-0010-702
LEASE PARCEL SIZE	1.16 ACRES - 50,535 SQ. FT.
ZONING:	SITE - MUNICIPAL BUSINESS DISTRICT & SINGLE FAMILY RESIDENTIAL NORTH - MUNICIPAL BUSINESS DISTRICT & SINGLE FAMILY RESIDENTIAL SOUTH - MUNICIPAL BUSINESS DISTRICT EAST - MUNICIPAL BUSINESS DISTRICT WEST - SINGLE FAMILY RESIDENTIAL
EXISTING USE	VACANT
PROPOSED USE	CAR WASH - 1-UNIT
PARKING REQUIRED	2 SPACES, PLUS 1 SPACE FOR EACH EMPLOYEE, PLUS 16 WAITING SPACES FOR ENTERING CARS PLUS 1 WAITING SPACE FOR EXITING CARS, 2 SPACES FOR POST WASH DETAILING
PARKING PROVIDED	37 SPACES (1ADA, 2 STANDARD, 34 VACUUM STALLS)
MINIMUM LOT LENGTH	40'
MINIMUM LOT AREA	4000 SQ. FT.
MAXIMUM BUILDING HEIGHT	25'
FRONT BUILDING SETBACK	AS SE BY ADJACENT BUILDING AND B LOCKS
SIDE BUILDING SETBACK	0'
REAR BUILDING SETBACK	0' FROM PRIVATE ALLEY
PARKING SETBACK	2' FROM PUBLIC SIDEWALK



INDEX MAP
SCALE: 1" = 50'

INDEX OF SHEETS

COVER SHEET	C000
PRELIMINARY SITE PLAN	C200
PRELIMINARY GRADING PLAN	C300
PRELIMINARY UTILITY PLAN	C400
PRELIMINARY LANDSCAPE PLAN	L100

DESIGN CONSULTANT

THE MANNIK & SMITH GROUP, INC.
607 SHELBY ST, SUITE 300
DETROIT, MI 48226
CONTACT: KYLE WRENTMORE, P.E.
PHONE: 614-441-4222
EMAIL: KWRENTMORE@MANNIKSMITHGROUP.COM

OWNER/DEVELOPER

EXPRESS WASH CONCEPTS
13375 NATIONAL ROAD, SUITE D
ETNA, OHIO 43068
CONTACT: JEFF GILGER
PHONE: (614) 751-9274
EMAIL: JEFF@EXPRESSWASHCONCEPTS.COM

APPROVALS

SIGNATURES BELOW SIGNIFY CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE PROPOSED PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE DESIGN ENGINEER PREPARING THE PLANS.

TITLE _____	DATE _____
TITLE _____	DATE _____
TITLE _____	DATE _____
TITLE _____	DATE _____
TITLE _____	DATE _____
TITLE _____	DATE _____

ENGINEER OF RECORD



CONTACT: MICHAEL J. MCAVOY, P.E.
ADDRESS: 607 SHELBY ST, SUITE 300
DETROIT, MI 48226
PHONE: 614-441-4222
EMAIL: MCAVOY@MANNIKSMITHGROUP.COM

TECHNICAL SKILL.
CREATIVE SPIRIT.



2022-11-10
REGISTERED PROFESSIONAL ENGINEER DATE

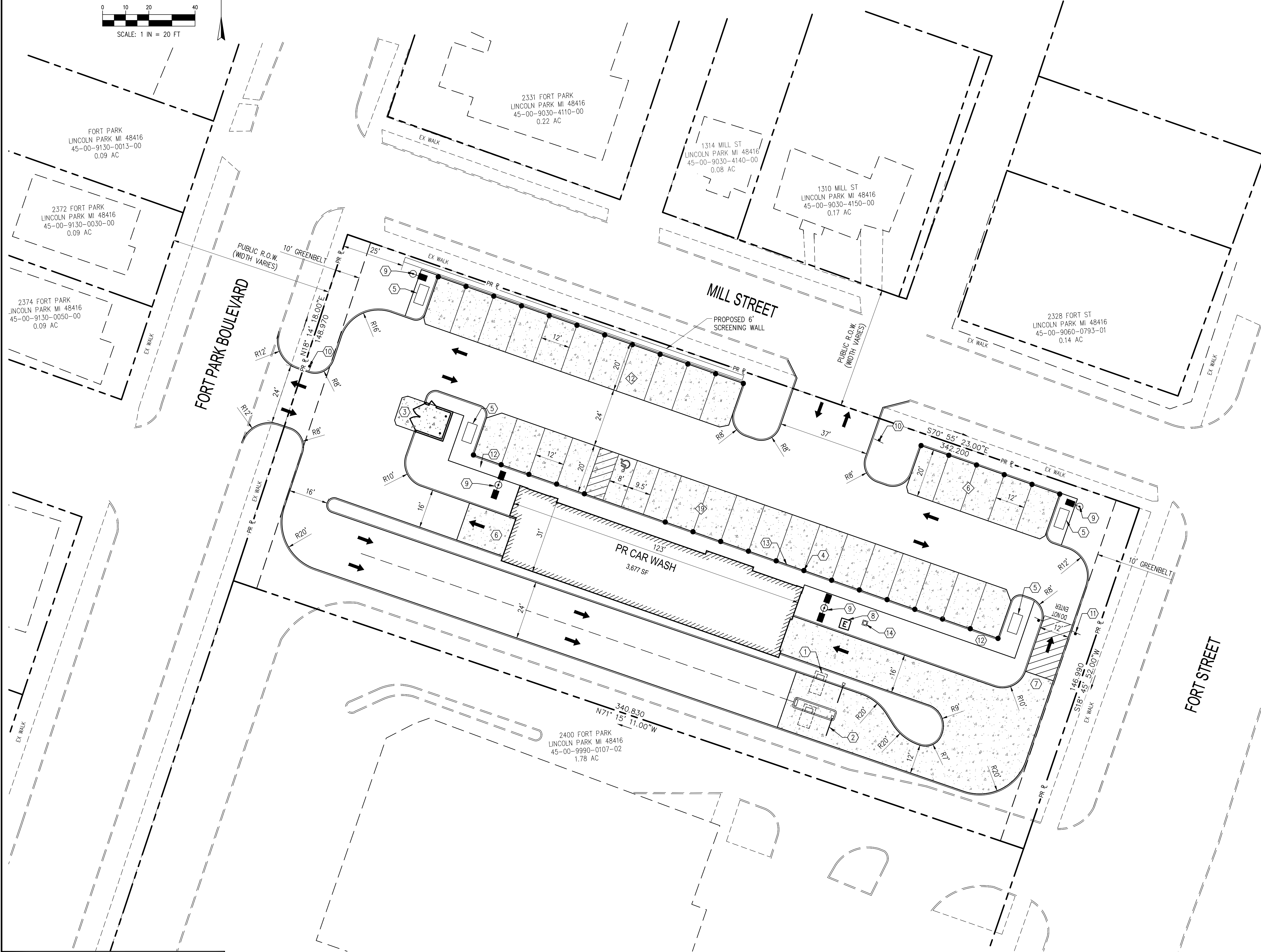
**PRELIMINARY
NOT FOR CONSTRUCTION**

DATE	BY	REVISION DESCRIPTION

PROJECT DATE: 11/11/2022
PROJECT NO.: M3900022

C000





LEGEND

	EX CONCRETE CURB
	PR CONCRETE CURB
	PR PROPERTY LINE
	PR ASPHALT PAVEMENT
	PR CONCRETE PAVEMENT
	PARKING COUNT

- CODED NOTES**
- ① PAY STATION (TYP OF 2)
 - ② CLEARANCE BAR (TYP OF 2)
 - ③ CONCRETE DUMPSTER PAD
 - ④ VACUUM STATION (TYP OF 31)
 - ⑤ VACUUM CORRELATOR
 - ⑥ HEATED CONCRETE PAVEMENT
 - ⑦ ESCAPE LANE
 - ⑧ TRANSFORMER PAD
 - ⑨ LIGHT POLE
 - ⑩ STOP SIGN
 - ⑪ DO NOT ENTER SIGN
 - ⑫ 5' CONCRETE SIDEWALK
 - ⑬ STANDARD CURB
 - ⑭ FLAGPOLE

NO.	DATE	BY	DESCRIPTION
PRELIMINARY NOT FOR CONSTRUCTION			

GRT/SHEBY ST
 DTD 11/11/2022
 TEL: 313.961.9600
 FAX: 313.961.9609
 PROJECT DATE: 11/11/2022
 PROJECT NO: M300022
 DRAWN BY: ESP
 CHECKED BY: MJM

**TECHNICAL SKILL.
CREATIVE SPIRIT.**

 www.MannikSmithGroup.com

PREPARED FOR:

EXPRESS
 WASH CONCEPTS
 13375 NATIONAL ROAD SW
 ETNA, OHIO 43088

CONCEPTUAL PLAN FOR
CLEAN EXPRESS CAR WASH
 MILL STREET AND FORT STREET
 LINCOLN PARK, MI 48146

**PRELIMINARY
SITE PLAN**

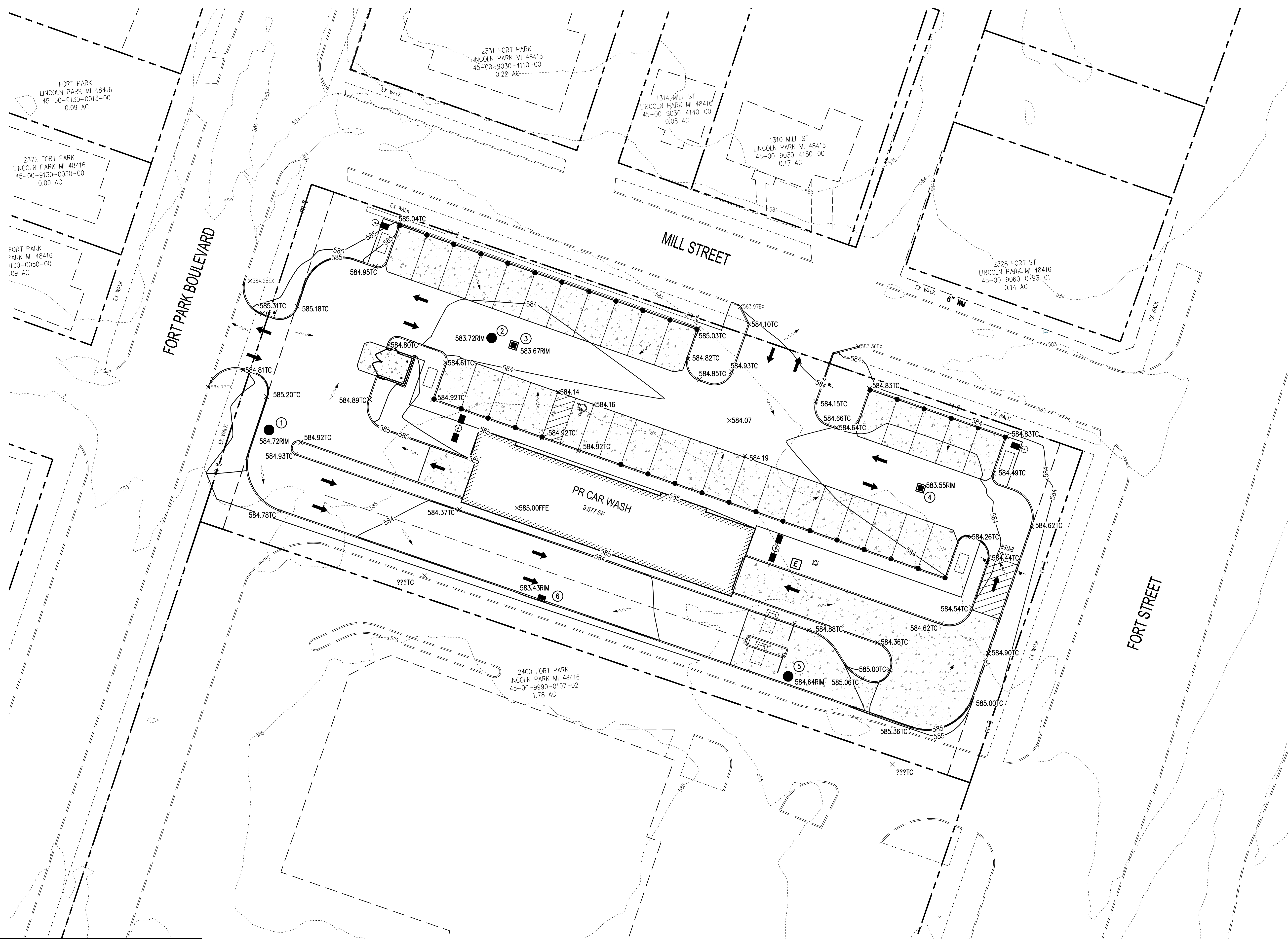
C200

**MICHIGAN
Utility Notification
CENTER**
811
 811 or
 1-800-482-7171
Know What's Below. Call Before You Dig.

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LEGEND

---1008---	EX CONTOUR
—1008—	PR CONTOUR
	EX STORM MANHOLE
	EX CATCH BASIN
	EX CURB AND GUTTER INLET
	PR FLOW DIRECTION
	PR MANHOLE
	PR CATCH BASIN
	PR CURB AND GUTTER INLET
	PR STORM STRUCTURE NUMBER
	PR PAVEMENT ELEVATION
	PR TOP OF CURB ELEVATION
	CONCRETE PAVEMENT



NO.	DATE	DESCRIPTION

GDT/SHEBY/ST
 D:\Projects\825
 TEL: 313.961.9600
 FAX: 313.961.9608

PROJECT DATE: 11/11/2022
 PROJECT NO: M390022
 DRAWN BY: ESP
 CHECKED BY: MJM

**PRELIMINARY
NOT FOR CONSTRUCTION**

PREPARED FOR:

EXPRESS
 WASH CONCEPTS
 13375 NATIONAL ROAD SW
 ETNA, OHIO 43088

CONCEPTUAL PLAN FOR
CLEAN EXPRESS CAR WASH
 MILL STREET AND FORT STREET
 LINCOLN PARK, MI 48146

**PRELIMINARY
GRADING PLAN**

C300

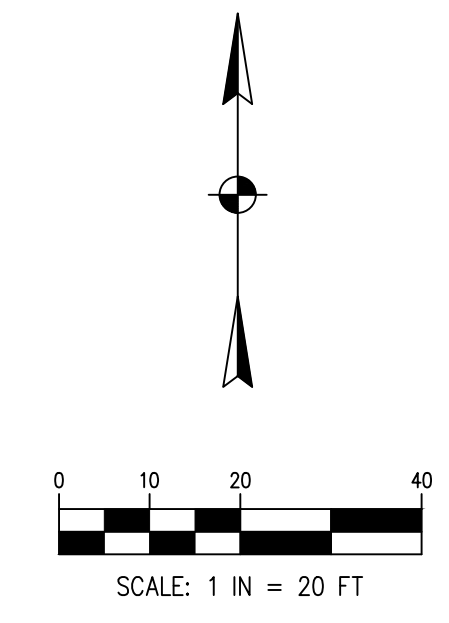
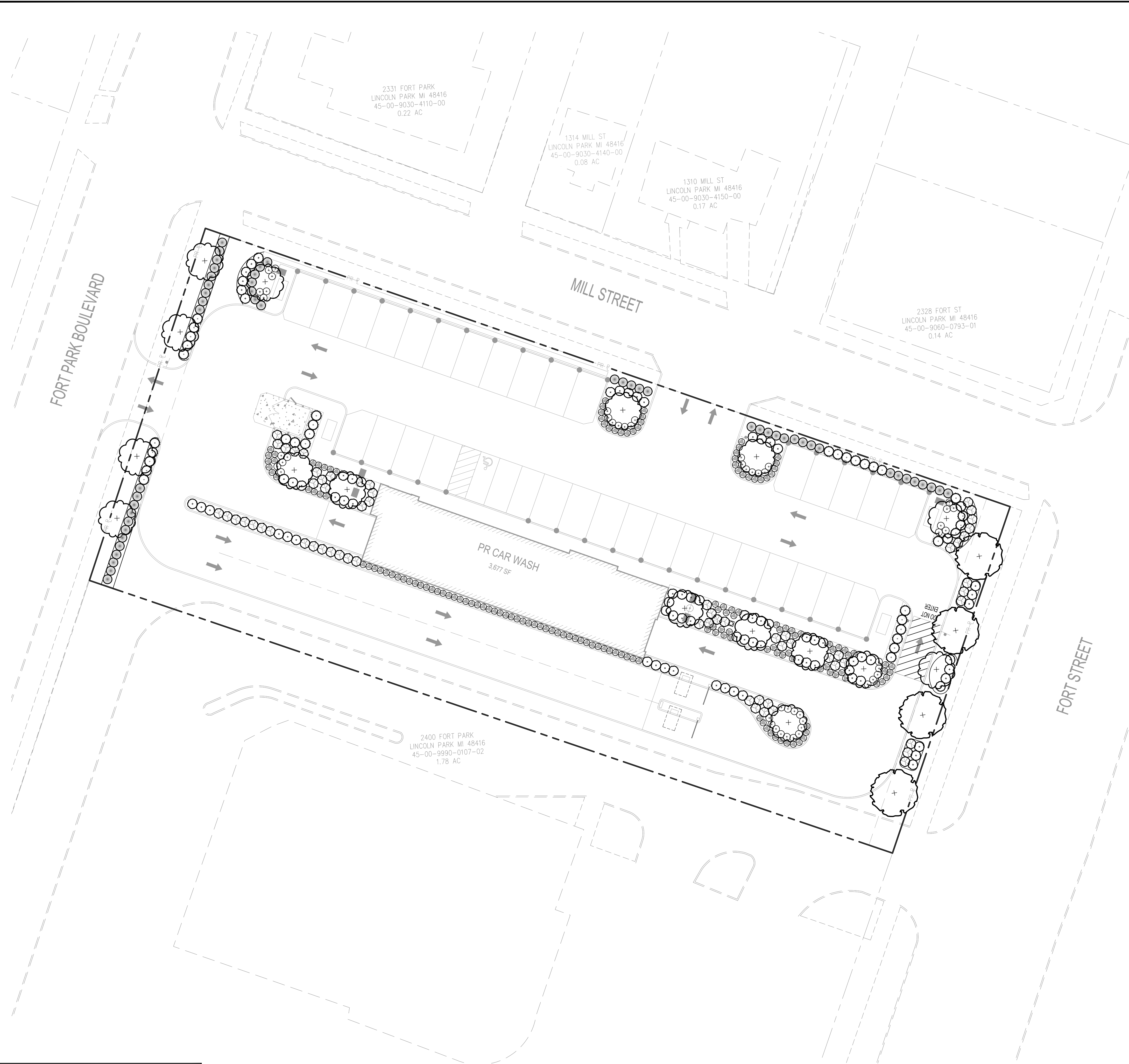
MICHIGAN
Utility Notification
CENTER

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 1-800-482-7171
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Utility Notification
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 811
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LEGEND

- PR DECIDUOUS TREE
- PR DECIDUOUS FLOWERING TREE
- PR DECIDUOUS FLOWERING SHRUB
- PR EVERGREEN SHRUB
- PR ORNAMENTAL GRASS

LANDSCAPE CODE REQUIREMENTS

REQUIRED:	PROVIDED:
CODIFIED ORDINANCES OF LINCOLN PARK, MI - SECTION 1296.03 d.1. A GREENBELT IS REQUIRED ALONG PUBLIC RIGHT-OF-WAYS. 1 DECIDUOUS TREE AND 4 SHRUBS SHALL BE PLANTED PER EACH 40' OF STREET FRONTAGE. FORT STREET FRONTAGE = 130' = 4 TREES REQUIRED AND 16 SHRUBS REQUIRED	4 DECIDUOUS TREES AND 16 SHRUBS PROVIDED ALONG FORT STREET.
d.3. A BUFFER STRIP MAY BE REQUIRED, PARTICULARLY WHERE USES ACROSS THE STREET ARE RESIDENTIAL IN NATURE. EVERGREEN TREES SHALL BE PLANTED.	WALL AND EVERGREEN TREES PLANTED ALONG MILL STREET AT A 3' MINIMUM SPACING. EVERGREEN TREES PLANTED ALONG FORT PARK BOULEVARD AT A 3' MINIMUM SPACING.
e. INTERIOR LANDSCAPING AREAS ARE REQUIRED, EXCLUSIVE OF ANY OTHER REQUIRED LANDSCAPING CONSISTING OF AT LEAST 10% OF THE TOTAL LOT AREA. ONE TREE SHALL BE PROVIDED FOR EVERY 400 SF OF REQUIRED AREA. ONE SHRUB SHALL BE PROVIDED FOR EVERY 250 SF OF REQUIRED AREA. TOTAL LOT AREA = 45,000 / 10 = 4,500 SF OF INTERIOR LANDSCAPING AREAS REQUIRED. 12 TREES REQUIRED AND 18 SHRUBS REQUIRED	4,900 SF OF INTERIOR LANDSCAPING AREAS PROVIDED. 12 ORNAMENTAL TREES AND 80 SHRUBS PROVIDED.
f. 1 DECIDUOUS OR ORNAMENTAL TREE AND 100 SF OF PLANTING AREA SHALL BE REQUIRED FOR EVERY 10 PARKING SPACES. 35 PARKING SPACES / 10 = 4 TREES AND 400 SF OF PLANTING AREA REQUIRED.	4 ORNAMENTAL TREES AND 1,400 SF OF PLANTING AREA PROVIDED.
g. WASTE RECEPTACLES SHALL BE SCREENED WITH A DECORATIVE MASONRY WALL OF AT LEAST 6' IN HEIGHT WITH A SOLID OR IMPERVIOUS GATE. GROUND-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED WITH PLANT MATERIALS OR A WALL.	WASTE RECEPTACLE IS SCREENED BY MASONRY WALL. EVERGREEN SCREENING PROVIDED FOR MECHANICAL EQUIPMENT.

NO.	DATE	BY	DESCRIPTION
PRELIMINARY NOT FOR CONSTRUCTION			
GRT SHELBY ST 313.961.9600 TEL: 313.961.9600 FAX: 313.961.9608	PROJECT NO.: M300022 PROJECT DATE: 11/11/2022	DRAWN BY: ESP CHECKED BY: MJM	TECHNICAL SKILL: CREATIVE SPIRIT.
 www.MannikSmithGroup.com		 13375 NATIONAL ROAD SW ETNA, OHIO 43088	
PREPARED FOR: CLEAN EXPRESS CAR WASH MILL STREET AND FORT STREET LINCOLN PARK, MI 48146			
CONCEPTUAL PLAN FOR PRELIMINARY LANDSCAPE PLAN			
L100			



March 30, 2023

Ms. Liz Gunden, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI 48103-4978

Re: Clean Express Car Wash-Fort at Mill Street
City of Lincoln Park, MI
Hennessey Engineers Project #72196

Dear Ms. Gunden:

Hennessey Engineers, Inc. completed our first review of the plans for the Planning Commission review for the above-mentioned project.

The project consists of a new development on the west side of Fort Street at Mill Street building and a proposed parking lot. Listed below are some comments which are recommended to be addressed in the Preliminary Plan approval but would not be grounds for a reason for denial from an engineering feasibility standpoint:

1. Based on the site plan submitted, the existing utilities and utility leads for the commercial site are being reused. It is important that the developer realize these existing utilities are old and may have reached their life expectancy. It is our strong recommendation for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the service lead needs to be replaced the installation of the new service will need to be inspected by our office.
2. The developer should verify with the City the existing water service type and size. If the water service is a lead service, it will have to be replaced. The developer's engineer or architect shall determine the water service lead type and capacity.
3. Any work proposed in the Fort Street right-of-way will require a permit from the Michigan Department Transportation (MDOT). This would include any utility connections and pavement repairs.
4. Any pavement, including sidewalk, adjacent to this site that is poor condition must be replaced/repaired.

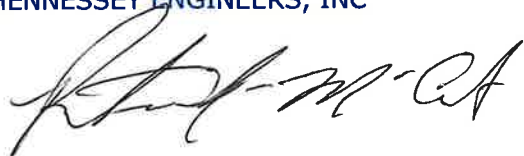
5. A permit from the Wayne County Department of Public Services (WCDPS) will be required for storm water management.

From an engineering feasibility standpoint, our office has no objection to the preliminary site plan. Therefore, it's our recommendation for preliminary site plan approval. Prior to the start of any construction, a permit from the City must be obtained. **A detailed engineering review and approval will be required prior to permit issuance.**

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC



Richard J. McCarty, P.E.
Project Manager

RJM/rjm

cc: John Kozuh, DPW Director, City of Lincoln Park
John Meyers, Building Official, City of Lincoln Park
Laura Passalacqua (D'Onofrio), Commercial Business Assistant, City of Lincoln Park
Monserrat Contreras, Permit Clerk, City of Lincoln Park
James Hollandsworth, Lincoln Park Project Manager, Hennessey Engineers

R:\Municipalities\70000's Lincoln Park\72000's\72196 Clean Express Car Wash - Fort at Mill Street\2023-3-30_Clean Express Car Wash)-1st PC Review_72196.docx

RECEIVED

MAR 13 2023

Case No. PPC23-05

Date Submitted MAR. 13, 2023

City of Lincoln Park

CITY OF LINCOLN PARK BUILDING DEPARTMENT

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan Review by the Planning Commission must be submitted to the City in substantially complete form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: Kyle Wrentmore
Mailing Address: 607 Shelby St, Suite 300, Detroit, MI 48226
Email: kwrentmore@manniksmithgroup.com
Telephone: 614-441-4222 Fax:

Property Owner(s) Name (if different from Applicant): Woodward Detroit CVS, LLC.
Mailing Address:
Telephone: Fax:

Applicant(s) Explanation of Legal Interest in Property:
Redeveloper

Location of Property: Street Address: Southwest Corner of Mill St & Fort St
Nearest Cross Streets: Fort St & Mill St
Sidwell Number (Parcel ID#): 45-009-99-0010-702

Property Description:
If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

PART OF PRIVATE CLAIM 119 AND FORT ST SCHOOL SUB L53 P29 WCR FROM SW CR LOT 1 OF SAID SUBDIVISION N18°14'18"E 221.00 FT TO POINT OF BEGINNING THENCE N18°14'18"E 148.97 FT; THENCE S70°55'23"E 342.20 FT; THENCE S18°45'52"W 146.99 FT; THENCE N71°15'11"W 340.83 FT TO POINT OF BEGINING.

Property Size (Square Ft): 50,535 (Acres): 1.16

Existing Zoning (please check):

- G SFRD Single Family Residential District
G MFRD Multiple Family Residential District
G MHRD Mobile Home Park District
G NBD Neighborhood Business District
G MBD Municipal Business District
G PUD Planned Unit Development District
G RBD Regional Business District
G CBD Central Business District
G GID General Industrial District
G LID Light Industrial District
G CSD Community Service District

Present Use of Property: VACANT LOT

Proposed Use of Property: A CAR WASH FACILITY WITH ASSOCIATED PARKING,
 VACUUM AREAS, DRIVEWAYS AND UTILITIES

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1	3677 sq. ft.	7
Industrial			
Other			

Professionals Who Prepared Plans:

A. Name: Euponine Pierre

Mailing Address: 607 Shelby St, Suite 300, Detroit, MI 48226

Email Address: epierre@manniksmithgroup.com

Telephone: 269-363-9748 Fax: _____ Primary Design Responsibility: Drafter & Designer

B. Name: Michael McAvoy

Mailing 607 Shelby St, Suite 300, Detroit, MI 48226 Address: _____

_____ Email mmcavoy@manniksmithgroup.com

Address: _____

Telephone: 740-541-3584 Fax: _____ Primary Design Responsibility: Backchecker & Designer

C. Name: _____

Mailing Address: _____

Email Address: _____

Telephone: _____ Fax: _____ Primary Design Responsibility: _____

ATTACH THE FOLLOWING:

1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. **A brief written description** of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:


- | | |
|---|--|
| G Wayne County Road Commission | G Wayne County Drain Commission |
| G Wayne County Health Division | G Michigan Department of Natural Resources |
| G Michigan Department of Transportation | G Michigan Department of Environmental Quality |

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

APPLICANT ' SENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

 _____	3/10/2023 _____
Signature of Applicant	Date
_____	_____
Signature of Applicant	Date
_____	_____
Signature of Property Owner Authorizing this Application	Date

TO BE COMPLETED BY THE CITY

Case No. _____

Date Submitted: _____

Fee Paid: _____

By: _____

Date of Public Hearing: _____

PLANNING COMMISSION ACTION

Approved: _____ Denied: _____ Date of Action: _____

PROJECT DESCRIPTION

The site of the project is located in the southwest corner of Mill Street and Fort Street. The proposed project is the development of a vacant lot into a car wash facility with associated parking, vacuum areas, driveways, and utilities. The facility is to operate between the hours of 7:00 AM to 8:00 PM Monday through Saturday and 9:00 AM to 6:00 PM on Sundays. The number of employees on the largest shift is 7 employees. The two entrances to the facility will be on Mill Street and Fort Park Boulevard, and a right-out exit lane will be provided within the site for vehicles that are unable to move into the car wash tunnel. The proposed storm sewer system will include an underground detention basin and discharge into a catch basin on Fort Park Boulevard. The proposed sanitary sewer lead will connect to an existing sanitary sewer within the site. The proposed water service lead will connect to an existing water main with Mill Street.

RECEIVED

MAR 13 2023

Case No. PPC23-0005

Date Submitted MAR. 13, 2023

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

City of Lincoln Park
APPLICATION FOR SPECIAL USE APPROVAL

NOTICE TO APPLICANT: Applications for Special Use review by the Planning Commission must be submitted to the City *in substantially complete form* at least thirty (30) days prior to the Planning Commission’s meeting at which the proposal will be considered. The application must be accompanied by six (6) individual folded copies of the site plan, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

Special Uses shall comply with the standards in Section 1262.08 of the Zoning Ordinance. Accordingly, a public hearing shall be held by the Planning Commission before a decision is made on any Special Use request. Furthermore, a site plan shall be required, which shall be prepared in accordance with Section 1294.01 of the Ordinance.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned do hereby respectfully request Special Use Review and provide the following information to assist in the review:

Applicant: Kyle Wrentmore

Mailing Address: 607 Shelby St, Suite 300, Detroit, MI 48226

Email Address: kwrentmore@manniksmithgroup.com

Telephone: 614-441-4222 Fax: _____

Property Owner(s) (if different from Applicant): Woodward Detroit CVS, LLC.

Mailing Address: _____

Telephone: _____ Fax: _____

Applicant’s Legal Interest in Property: Redeveloper

Location of Property: Street Address: SWC of Fort St & Mill St

Nearest Cross Streets: Fort Street & Mill Street

Sidwell Number: 45-009-99-001-0702

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., “acreage parcel”), provide metes and bounds description. Attach separate sheets if necessary.

Property Size (Square Ft): 50,535 (Acres): 1.16

Present Use of Property: Vacant Lot

Proposed Use of Property: Car Wash

RECEIVED

Existing Zoning (please check):

- | | |
|---|--|
| <input type="checkbox"/> SFRD Single Family Residential District | <input type="checkbox"/> RBD Regional Business District |
| <input type="checkbox"/> MFRD Multiple Family Residential District | <input type="checkbox"/> CBD Central Business District |
| <input type="checkbox"/> MHRD Mobile Home Park District | <input type="checkbox"/> GID General Industrial District |
| <input type="checkbox"/> NBD Neighborhood Business District | <input type="checkbox"/> LID Light Industrial District |
| <input checked="" type="checkbox"/> MBD Municipal Business District | <input type="checkbox"/> CSD Community Service District |
| <input type="checkbox"/> PUD Planned Unit Development District | |

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1	3677 sq. ft.	7
Industrial			
Other			

ATTACH THE FOLLOWING:

- Six (6) individually folded copies of the site plan, sealed by a registered architect, engineer, landscape architect or community planner.
- Proof of property ownership.
- A brief written description of the proposed use.

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this application.

3/10/2023

Signature of Applicant

Date

Signature of Applicant

Date

Signature of Property Owner Authorizing this Application

Date

To be completed by City:

Date Submitted: _____ Fee Paid: _____

Received By: _____ Date of Public Hearing: _____

PLANNING COMMISSION ACTION (RECOMMENDATION)

To Approve: _____ To Deny: _____ Date of Action: _____

Reasons for Action Taken: _____

CITY COUNCIL ACTION

Approved: _____ Denied: _____ Date of Action: _____

Reasons for Action Taken: _____



Capital Improvement Plans



**MICHIGAN ECONOMIC
DEVELOPMENT CORPORATION**

What you will learn:

What is a Capital Improvement Plan

Why is it helpful to a community

How can it help a community save money

A Capital Improvement Plan (or Program) (CIP) is a list of capital projects (public buildings, infrastructure or large equipment), along with the anticipated cost of those projects, scheduled over six or more years. The type of funding (general fund, grant, revolving, TIF) is also identified.

At a minimum, a CIP helps a local unit of government plan for its near-term public infrastructure needs. The process involves first identifying the community's needs, then, given the funding available, how to prioritize those needs, and finally, laying them out in a schedule.

A Capital Improvement refers to a project or equipment that is significant in size, proportionately significant in cost, fixed, expected to last 10-30 years, not a recurring expense, and substantially adds to the value of the government's fixed assets.

The process of developing a CIP is a necessary step in an organized effort to strengthen the quality of public facilities and services; provide a framework for the realization of community goals and objectives; and provide a sound basis on which to build a healthy and vibrant community.

Public investment in capital infrastructure projects like water and

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Summer 2020
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Ann Arbor, Michigan, 48103
734.913.2000 | www.planningmi.org
info@planningmi.org

What the Law Says:

The Michigan Planning Enabling Act

Capital improvements program of public structures and improvements; preparation; basis.

Sec. 65. (1) To further the desirable future development of the local unit of government under the master plan, a planning commission, after adoption of a master plan, shall annually prepare a capital improvements program of public structures and improvements, unless the planning commission is exempted from this requirement by charter or otherwise. If the planning commission is exempted, the legislative body either shall prepare and adopt a capital improvements program, separate from or as a part of the annual budget, or shall delegate the preparation of the capital improvements program to the chief elected official or a nonelected administrative official, subject to final approval by the legislative body.

The capital improvements program shall show those public structures and improvements, in the general order of their priority, that in the commission's judgment will be needed or desirable and can be undertaken within the ensuing 6-year period. The capital improvements program shall be based upon the requirements of the local unit of government for all types of public structures and improvements. Consequently, each agency or department of the local unit of government with authority for public structures or improvements shall upon request furnish the planning commission with lists, plans, and estimates of time and cost of those public structures and improvements.

(2) Any township may prepare and adopt a capital improvement program. However, subsection (1) is only mandatory for a township if the township, alone or jointly with 1 or more other local units of government, owns or operates a water supply or sewage disposal system.

sewer lines or roads has a significant impact on the size, location, and timing of future development in a community. For this reason, a CIP is more than just an exercise in fiscal responsibility. Along with adoption and implementation of a zoning ordinance, a CIP is an essential tool for implementing a community's master plan—its vision for the future. The planning and development of the social, physical, and economic well-being of the community are tied not only to

the development and implementation of its zoning ordinance, but also its CIP.

The process of developing a CIP allows a community to thoughtfully and proactively (rather than reactively) consider the projects it wants and needs to do. Rather than simply waiting for infrastructure or equipment to break or deteriorate, a CIP process allows decision makers the time to consider not only what equipment is

RESOURCES:

To meet the long term, collaborative, fiscal planning requirements outlined in the Michigan Planning Enabling Act, the Michigan Economic Development Corporation developed the *Capital Improvements Plan Guide* as a tool for Michigan communities looking to establish a capital improvements plan.

The *RRC Capital Improvements Plan Guide* recommends methods that have been successful in other communities. However, every community has different needs and capacities, so your CIP process and document should be tailored to fit your community's requirements.

The Michigan Association of Planning offers a CIP workshop that can be brought to your community.

aging or nearing the end of its useful life, but also the community's preferences. Now is the time to research the cost. While this can be a disheartening process, because there are always more needs and wants than there is money available, it's strategic and even more necessary when funds are finite. A CIP is the most effective vehicle to anticipate and approve new public improvements.

TIP

Coordinate your community's CIP activities with neighboring and overlapping jurisdictions.

Consider your own household budget. There is a certain amount of income coming in. There are "needs" for the family as well as "wants". Depending upon income and the particular cost of those wants and needs, often purchases must wait. For instance, the vacation must be postponed because the roof needs to be replaced. Just as setting up a budget and saving for that vacation of a lifetime takes planning for your family, the CIP process is similar for a community.

Even if your community has very limited funds and owns few pieces of equipment or property or infrastructure, the process of determining priorities, needs, available resources, scheduling and then implementing them over the next six years is imperative to make sound decisions that will keep your capital and operational expenses in check.

This tear sheet was developed by the Michigan Association of Planning (MAP) for the Michigan Economic Development Corporation (MEDC). The Michigan Association of Planning is a 501 c 3 organization, dedicated to promoting sound community planning that benefits the residents of Michigan. MAP was established in 1945 to achieve a desired quality of life through comprehensive community planning that includes opportunities for a variety of lifestyles and housing, employment, commercial activities, and cultural and recreational amenities.



Planning Report

Serving & Planning Communities Throughout Michigan

April 2023

Top
Story

First Mackinac Island Ferry to be electrified

Project is supported by the first-ever Mackinac Island Transportation Master Plan

A \$3.06 million grant from the Michigan Fuel Transformation Program (Department of Environment, Great Lakes, and Energy) will replace two 1988 diesel engines on its Chippewa with two brand new electric propulsion motors in the “first-ever conversion of a Mackinac Island passenger ferry to zero-emissions electric power.” This will reduce greenhouse gas emissions by 14,152 metric tons of carbon dioxide equivalents and 887 metric tons of nitrogen oxides over the boat’s lifetime. The grant covers half the cost of the project, which includes an overhaul of the vessel’s hull and appearance, installing 1.5 megawatts in shore power infrastructure at the Mackinaw City ferry dock, and electric power upgrades for the ports of St. Ignace and Mackinac Island. The project is the first initiative from the Mackinac Island Transportation Master Plan, conducted by the Michigan Department of Transportation with community engagement assistance from BRI. The long-term vision includes transitioning all 138 Upper Great Lakes ships in the 50- to 200-ton range to electric or hybrid-electric power, and creating local shipbuilding and servicing jobs along with a marine industry training hub.

EGLE. <https://content.govdelivery.com/accounts/MIDEQ/bulletins/34db787>. **Mackinac Island Transportation Master Plan.** <https://static1.squarespace.com/static/5ff236bdfbf14e2399f83be6/t/61bbb65442ae0a59f4f678c2/1639691990300/MITA+Transportation+Master+Plan.pdf>

Legislative

“Trust fund” legislation proposed to protect local revenue sharing

Change offers new protection to funds earmarked for cities, villages, townships, and counties

A package of bills has been introduced in the Legislature to establish a “Revenue Sharing Trust Fund” in the Michigan Department of Treasury. Michigan would dedicate a portion of general sales tax revenue to a restricted fund for distribution to cities, villages, townships, and counties. These bills would require a statutory change by the Legislature to reduce funding below current levels, which is a new protection: today, revenue sharing is subject only to the annual appropriations process. The Michigan Municipal League has long highlighted the decline of local revenue sharing funds. A short summary in the MML press release notes that a 1946 state constitutional amendment distributed revenue sharing payments to municipalities on a per capita basis, based upon a percentage of the sales tax collections. In 1998, state policymakers amended the law to provide statutory revenue sharing based upon a percentage of sales tax collections, but that formula has not been fully funded annually since 2001. In subsequent years, the appropriations process eliminated funding to over 1,100 municipalities, and statutory revenue sharing to local governments has been underfunded by more than \$10 billion since 2002.

Michigan Municipal League. <https://mml.org/inside208/2023/03/20/revenue-sharing-trust-fund-introduced-in-the-house-and-senate/>

Funding

\$80M available in second round of “Missing Middle” housing funds

MSHDA program funds gaps in eligible projects, including labor and materials

More housing production funding opened March 20, using ARP funding to defray the developer costs of constructing or substantially rehabbing properties targeted to Missing Middle households. Funding will be geographically distributed through September 30, 2023 via Housing Partnership Regions. At least 30% of the total funding must be allocated to rural areas, including the Upper Peninsula.

MSHDA. <https://www.michigan.gov/mshda/developers/missing-middle>

Legal

Court of Appeals reminder: Get around to that sign ordinance update

US Supreme Court “Reed vs. Town of Gilbert” invalidated many local regulations in 2015

A case handed down by the Michigan Court of Appeals in March serves as a gentle reminder for all who have not yet updated their sign ordinance in the era of *Reed vs. Town of Gilbert*, the 2015 Supreme Court decision that enforces content-neutral sign regulations (“if you need to read the sign to enforce the ordinance, it’s probably content-based”). Since content-based standards like regulations for “political signs” were a long-standing practice, most ordinances have required substantial revision in order to comply. The COA opinion in this case doesn’t involve the details of the defendant Township’s sign ordinance, but it does lightly scrutinize the timing of sign code amendments that were purportedly intended “to make them ‘content neutral,’ as required under *Reed*.” The Court points out that the amendments were initiated six years after the precedent-setting case, yet quite close in time to this \$1.5M lawsuit. But the Court was ultimately convinced that the ordinance change was indeed spurred by the general need to comply with *Reed* rather than being “suit-defensive.” Still, the Township’s overall victory rested heavily on a plaintiff error (failure to update the complaint with provisions from the new ordinance), and a *Reed*-compliant sign ordinance is a much more reliable strategy.

Michigan Court of Appeals. <http://www.michbar.org/file/opinions/appeals/2023/030223/79048.pdf>

Training

Training with BRI: ZBA, Planning Commissioners’ Toolkit

April 24 (ZBA) and 25 (PC Toolkit) at 5:30 pm in East Bay Township

BRI planners teach educational programming from the Michigan Association of Planning.

More information and registration. skopriva@bria2.com

Michigan Association of Planning Spring Institute

May 17 from 8am-5pm at East Lansing Marriott. Cost: \$195 (members, \$165; students, \$25)

“Creating Communities of the Future”: Population demographics and interrelated housing, transportation, and climate systems

More information: <https://miapa.memberclicks.net/spring-institute>

Michigan Municipal League Elected Officials Academy

May 19-20 at DoubleTree by Hilton Hotel Bay City - Riverfront. Cost: \$275 (members, \$225).

Two sessions: “Core” program focuses on legal framework, roles, finances, and zoning; “Advanced” program includes diversity, coalition building, and collaborative leadership.

More information: <https://mml.org/education-events/league-calendar/>