



LINCOLN PARK PLANNING COMMISSION

City Hall – Council Chambers
1355 Southfield Road | Lincoln Park, MI

June 14, 2023 at 7 p.m.

AGENDA

- I. Call to Order
- II. Roll Call
- III. Approval of Previous Minutes
- IV. Approval of Agenda
- V. Old Business
 - A. Site Plan Review: Fort St – Vacant Parcel – Car Wash
 - B. Public Hearing: Fort St – Vacant Parcel – Car Wash
 - C. Special Land Use: Fort St – Vacant Parcel – Car Wash
- VI. New Business
 - A. Site Plan Review: 972 Dix – Retail
 - B. Site Plan Review: 1518 Fort – Assembly Hall
- VII. Policy Review and Discussion
- VIII. Education and Training
 - A. June Planning Report
- IX. Reports from Department and Other Boards and Commissions
- X. Public Comments
- XI. Comments from Planning Commissioners
- XII. Adjournment

The City of Lincoln Park will provide necessary reasonable auxiliary aides and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park MI 48146; 313-386-1800 ext. 1296

Yay's: Kissel, Horvath, Duprey, Persinger, Hernandez

Nay's: None

Motion Approved

B. PUBLIC HEARING – SOUTHFIELD CORRIDOR STUDY

Public Hearing Opened: 7:31 p.m.

Public Comment: None

Public Hearing Closed: 7:32 p.m.

C. CAPITAL IMPROVEMENT PLAN

Over the next six fiscal years, the city plans many different capital improvements. There are over \$2M in projects planned during this time for improvements to city facilities. These include roof projects at the library and the River Dr. Pump Station as well as upkeep at the DPS facility and the community center.

Moved by: Duprey

Supported by: Hernandez

Yay's: Kissel, Horvath, Duprey, Persinger, Hernandez

Nay's: None

Motion Approved

D. PUBLIC HEARING – CAPITAL IMPROVEMENT PLAN

Public Hearing Opened: 7:43 p.m.

Public Comment: None

Public Hearing Closed: 7:44 p.m.

POLICY REVIEW AND DISCUSSION

EDUCATION AND TRAINING

A. May Planning Report

- a. Reviewed by Elizabeth Gunden

REPORTS FROM DEPARTMENTS AND OTHER BOARDS AND COMMISSIONS

Zoning Board of Appeals

PUBLIC COMMENTS

COMMENTS FROM PLANNING COMMISSIONERS

Code Enforcement changes reviewed by John Meyers

**CITY OF LINCOLN PARK
COUNTY OF WAYNE, STATE OF MICHIGAN
PLANNING COMMISSION MEETING OF MAY 10, 2023**

A Planning Commission meeting of May 10, 2023, Lincoln Park City Hall at 1355 Southfield, Lincoln Park Michigan was called to order at 7:00 p.m. Mr. Persinger, Commencing with the Pledge of Allegiance.

PRESENT: Kissel, Horvath, Persinger, LoDuca, Duprey, Hernandez

ABSENT: LoDuca

EXCUSED: Palmer

ALSO PRESENT: John Meyers, Elizabeth Gunden, James Krizan, Brian Barrick

APPROVAL OF MINUTES

Moved by: Duprey

Supported by: Persinger

MOTION CARRIED unanimously

APPROVAL OF AGENDA

Moved by: Duprey

Supported by: Persinger

MOTION CARRIED unanimously

OLD BUSINESS

NONE.

NEW BUSINESS

A. SOUTHFIELD/FORT CORRIDOR STUDY

The Southfield Studies were presented for the Final Draft for Adoption.

Moved by: Persinger

Supported by: Kissel

Yay's: Kissel, Horvath, Persinger, Hernandez

Nay's: Duprey

Motion Approved

SOUTHFIELD/FORT CORRIDOR STUDY

The Fort Street Studies were presented for the Final Draft for Adoption.

Moved by: Persinger

Supported by: Kissel

ADJOURNMENT

Moved by: Persinger

Supported by: Duprey

MOTION CARRIED unanimously

Meeting adjourned at 7:54 p.m.



MICHAEL HORVATH, Secretary

Fort Street – Vacant Lot – Car Wash

Site Plan Review

Applicant	Kyle Wrentmore
Project	Car Wash
Address	Fort Street Lincoln Park, MI 48146 (45-009-99-0010-702)
Date	June 14, 2023
Request	Site Plan Review

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial View

The proposed project is a car wash, to include a car wash facility with associated parking, vacuum areas, driveways, and utilities. The site is currently vacant.

Site Conditions

The 1.16-acre site is located on the west side of Fort Street between Mill Street to the north and Champaign Road to the south. The site is served by Fort Street (east), Mill Street (north), and Fort Park Boulevard (west). There are existing public sidewalks along all three rights of way. The south side of the site abuts a property containing a drug store and associated parking facilities.

Master Plan

Future Land Use Classification

The future land use classification for the site is Downtown Commercial.

Intent, Desirable Uses, and Elements

The Downtown Commercial future land use is intended to support experiential businesses (boutique shopping, entertainment, restaurants etc.) which encourage walkability and offer strong physical presence through attractive storefronts and intense landscaping. The proposed car wash project doesn't align with the future land use designation. However, given that adjacent properties, also designated as "downtown commercial" future land use, contain uses such a drug store (west) and auto service (east) the proposed project aligns with the existing context.

Land Use and Zoning

Zoning

The site is zoned Municipal Business District (MBD). "Automobile and other vehicle wash establishments" are permitted after special land use approval in the district per §1278.03(b) of the Lincoln Park Zoning Ordinance.

Proposed and Existing Uses

Site	Vacant Commercial – Municipal Business District (MBD)
North	ROW, then Commercial & Residential – Municipal Business District (MBD) + Single Family Residential District (SFRD)
East	ROW, then Commercial – Municipal Business District (MBD)
South	Commercial – Municipal Business District (MBD)
West	ROW, then Residential – Single Family Residential District (SFRD)



Figure 2: Zoning Map

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
C000	Cover Sheet	11/11/2022	05/11/2023
C001	General Details	11/11/2022	–
C002	Machine Sound Details	11/11/2022	–
C200	Preliminary Site Plan	11/11/2022	–
C300	Preliminary Grading Plan	11/11/2022	–
C310	Soil Erosion and Sedimentary Control Plan	11/11/2022	–
C311	Soil Erosion and Sedimentary Control Details	11/11/2022	–
C400	Preliminary Utility Plan	11/11/2022	–
L100	Preliminary Landscape Plan	11/11/2022	–
L101	Landscape Notes & Details	11/11/2022	–
E1	Lighting Details	11/11/2022	–
A1-1	Floor Plan	07/21/2022	–
A2-1	Exterior Elevations	07/21/2022	–
A4-1	Wall Sections	04/05/2022	–
A6-1	Site Details	05/05/2022	–

Dimensional Standards

The dimensional requirements of the Municipal Business District (MBD) district are described in the chart below. (§1294.32, except where noted)

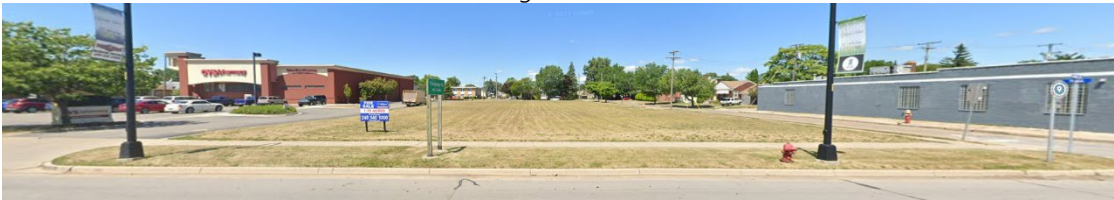

	Required	Provided	Compliance
Lot Width	Min. 40	~147 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls maximum 2 ½' < height < 8'	Deciduous trees and shrubs proposed but should not affect visibility.	Met
Lot Area	Min. 4,000 sq. ft.	~50,535 sq. ft.	Met
Lot Coverage	Max. 50%	~3,677 / 50,535 = 7.2%	Met
Height	2-Story Building; 25 ft	1 story	Met
Setback – Front	0	Fort St.: ~120 ft. Mill St.: ~24 ft. Fort Park Blvd: ~99 ft.	Met
Setback – Sides	0	N/A	N/A
Setback – Rear	0	~42 ft.	Met

Items to be addressed.

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> • Building mass, height, bulk, and width-to-height ratio within 50-150% of buildings within 500' 	<p>Met</p>
<ul style="list-style-type: none"> • Architectural variety • Similar materials and entrances to buildings within 500'  <p>1 block south on Fort Street – single-story, square, flat roofs, auto-oriented.</p>  <p>1 block north on Fort Street – single-story, square, flat roofs, auto-oriented.</p>	<p>Met</p>
<ul style="list-style-type: none"> • Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) <p><u>North Elevation (front on Mill St.): 97% masonry (1,531/1,571)</u></p> <ul style="list-style-type: none"> ○ CMU: ~933 sf ○ Nichiha panels: ~598 sf ○ Metal awning: ~40 sf ○ Glass windows/doors (exempt): ~597 sf ○ Total Area: ~2,168 sf <p><u>South Elevation (rear): 100% masonry (1,488 / 1,488)</u></p> <ul style="list-style-type: none"> ○ CMU: ~1,488 sf ○ Plexiglass overhead door (exempt): ~78 sf ○ Glass windows (exempt): ~388 sf ○ Total Area: ~1,954 sf <p><u>East Elevation (front on Fort St.): 99% masonry (413 / 419)</u></p> <ul style="list-style-type: none"> ○ CMU: ~294 sf ○ Nichiha panels: ~119 sf ○ Aluminum awning: ~6 sf ○ Plexiglass overhead door (exempt): ~111 sf ○ Glass windows (exempt): ~70 sf ○ Total Area: ~600 sf <p><u>West Elevation (front on Fort Park Blvd.): 90% masonry (411 / 457)</u></p> <ul style="list-style-type: none"> ○ CMU: ~244 sf 	<p>Met</p>

Required	Compliance
<ul style="list-style-type: none"> ○ <i>Nichiha panels: ~167 sf</i> ○ <i>Metal doors: ~45 sf</i> ○ <i>Plexiglass overhead door (exempt): ~78 sf</i> ○ <i>Total Area: ~535 sf</i> ● 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block) ● Natural colors (bright for decorative features only) 	
<ul style="list-style-type: none"> ● Façade: <100' uninterrupted ● If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches ● All sides similar 	Met
<ul style="list-style-type: none"> ● Windows: vertical, recessed, visually obvious sills ● Spaces between windows = columns, mullions, or material found elsewhere on the façade ● Front facades > 25% windows <i>Mill St.: 27.5% (597 / 2,168)</i> <i>Fort St.: 30% (181 / 600)</i> <i>Fort Park Blvd.: 15% (78 / 535)</i> ● Size, shape, orientation, spacing to match buildings within 500' 	NOT MET
<ul style="list-style-type: none"> ● Main entrances: doors larger ● Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) 	Met
<ul style="list-style-type: none"> ● Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 <i>Flat roof</i> ● Rooflines >100' = roof forms, parapets, cornice lines ● Roof-top mechanical equipment screened by roof form. 	Partially Met

The proposed building is a new construction and meets the material requirements in the Ordinance. Because the building fronts three streets (Fort St., Mill St., and Fort Park Blvd.), it must meet the 25% transparency requirement on all three streets. The proposed facades for Fort and Mill Streets meet the transparency requirement; however, the Fort Park Blvd façade does not meet the requirement.

Items to be addressed.

- *Applicant shall revise the Fort Park Boulevard façade to meet the 25% transparency requirement.*

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed.

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The site is served by a 6-ft wide public sidewalk on Fort Street, and a 5-ft wide public sidewalk on Mill Street and Fort Park Boulevard, which provides pedestrian circulation separated from vehicular circulation. There are no bicycle lanes on the ROW or bicycle parking facilities proposed. Any broken, cracked, or unsafe sidewalks in the right-of-way must be repaired.

Items to be addressed.

- Applicant shall ensure that concrete sidewalks are brought up to City standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Automobile wash establishments (automatic)	Two (2), plus one (1) for each employee and manager, plus a minimum of sixteen (16) for cars waiting to be washed for each conveyor system, plus one (1) upon exiting each conveyor system, plus two (2) for post-wash detailing. <i>Total employees = 7</i> <i>Required parking spaces = 2 + (7 * 1) + 1 + 2 = 12 spaces</i> <i>Required stacking spaces = 16</i>	35 parking spaces and 26 stacking spaces provided.	Met

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Two entrances to the facility proposed via Mill Street and Fort Park Boulevard; A right-out exit lane is proposed on site for vehicles that are unable to move into the car wash tunnel.	Met

	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Concrete pavement proposed for all parking areas and asphalt pavement proposed for driveways. Grading and drainage indicated along all driveways and parking facilities.	Met
	Concrete curbs and gutters	Concrete curbs and gutters proposed.	Met
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	A 6' solid masonry screening wall west of Mill St. ingress/egress proposed; Screening with 5' tall evergreen trees proposed on Fort Park Blvd.	Met
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking Areas; Residential Districts Adjoining Business or Industrial Districts.	A 6' solid masonry screening wall west of Mill St. ingress/egress proposed; Screening with 5' tall evergreen trees proposed on Fort Park Blvd.	Met
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	There is ample space for maneuvering.	Met
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	Screening wall or curb proposed along parking facility abutting public sidewalk on Mill Street.	Met

Items to be addressed.

None

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 to 25	1	1	Met

Items to be addressed.

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
2,001 to 5,000	1	1 loading space indicated east of Mill St. ingress/egress; however, the loading and unloading space is proposed over proposed parking.	NOT MET

The proposed 50’ x 10’ loading space is indicated over 5 proposed parking spaces. Given the proposed number of parking spaces is more than the requirement (35 spaces provided, only 12 spaced required), the proposed 5 parking spaces space east of Mill St. ingress/egress could be replaced with the required loading space.

Items to be addressed.

- Applicant shall revise parking layout to provide the required loading and unloading space in accordance with §1290.09.*

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Rd., Fort St., Dix Ave., and Outer Dr.

There is no vehicular access to this site from any of these routes (vehicular access is via Mill Street and Fort Park Boulevard), therefore the standards of this section do not apply.

Items to be addressed.

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via Mill Street or Fort Park Boulevard.

Items to be addressed.

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed.

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	Existing 10' greenbelt along Fort St. and Fort Park Blvd., existing 4' greenbelt Mill Street.	Met as possible
	1 tree and 4 shrubs per 40' of street frontage <i>147' frontage on Fort St. + 342' on Mill St. + 149' on Fort Park Blvd. = 638' frontage = 16 trees and 64 shrubs</i>	40 trees and ~26 shrubs proposed along the three-street frontage combined. There are additional shrubs in the interior of the site that count toward street landscaping requirement.	Met
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	Parking is provided along Mill Street; The portion west of the ingress/egress of the parking is screened by a 6' wall. Landscaping with evergreen shrubs proposed along the parking area east of the ingress/egress.	Met
Interior Landscaping	10% of total lot area landscaped, including groundcover. <i>(50,535 sf *0.1) = 5,053 sf landscaping</i>	>5,053 sf of landscaped or grass area.	Met
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Interior landscaping grouped near entrances and walkways.	Met

	Required	Proposed	Compliance
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping. $5,053/400 + 5,053/250 = 13 \text{ trees} + 20 \text{ shrubs}$	21 trees and >20 shrubs	Met
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces < 10 parking spaces Total 35 parking space Required trees = $35 / 10 = 3.5 = 4 \text{ trees}$	5 trees proposed; >100 sf of planting area.	Met
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	7'4" wall made of 8" CMU wall with 8" quick-brik proposed; proposed cedar gate doors.	Met
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive), and/or solid 6' masonry wall ornamental on both sides	Proposed 6' solid masonry screening wall west of Mill St. ingress/egress; 8' greenbelt with 5' evergreens proposed on Fort Park.	Met

The proposed project is a new development on a vacant site; therefore, it must meet all landscaping requirements.

Items to be addressed.

None

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed.

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site. Engineering comments state that if the existing sanitary sewer is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realizes this existing sanitary service is old and

may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. If the existing water service is being reused, it is important that the developer realize this existing water service is also old and may have reached its life expectancy. If the existing service is a lead-type service or undersized, it will be required to be removed and replaced. The design professional must verify the existing water service type, size, and lead capacity and should verify that the existing service is adequate to handle the required flows.

Items to be addressed.

- *Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- *It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County.

Items to be addressed

- *Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

Proposed lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

Items to be addressed.

None

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts is anticipated from the development.

Items to be addressed.

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

Sheet L100 notes evergreen screening will be provided for mechanical equipment will be screened.

Items to be addressed.

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance.

Items to be addressed.

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

Car washes have the potential to generate some quantity of hazardous materials or waste. Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal.

Items to be addressed.

- Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal of hazardous materials and waste.*

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

	Required	Proposed	Compliance
Setback	Building >20' from street lot line	Fort St.: ~120 ft. Mill St.: ~24 ft. Fort Park Blvd: ~99 ft.	Met

	Required	Proposed	Compliance
<i>Stacking Spaces</i>	<ul style="list-style-type: none"> • Number: 16 per wash line, plus 1 upon exit • Size: 10 ft. wide x 24 ft. long • Do not include use of any public space, street, alley, or sidewalk 	<ul style="list-style-type: none"> • 26 stacking spaces indicated. • Proposed size: 10 ft. wide x 24 ft. long • Does not include use of any public space, street, alley, or sidewalk 	Met

Items to be addressed.

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed.

- Work in the Fort Street right-of-way requires a permit from the Wayne County Road Commission.*
- Applicant to secure all appropriate agency reviews as needed.*

VARIANCES

No variances are anticipated from this proposal.

Items to be addressed.

None

RECOMMENDATIONS

Findings

The information submitted with this proposal is substantially in compliance with §1296.01, Site Plan Review.

Conditions

Conditions to be Addressed Before Approval Letter is Issued:

- Applicant shall revise the Fort Park Boulevard façade to meet the 25% transparency requirement.
- Applicant shall revise parking layout to provide the required loading and unloading space in accordance with §1290.09.

Conditions of Approval

- Applicant shall ensure that concrete sidewalks are brought up to City standards.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.
- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Applicant shall provide documentation of compliance with State and Federal standards for storage, use, handling, and disposal of hazardous materials and waste.
- Work in the Fort Street right-of-way requires a permit from the Wayne County Road Commission.
- Applicant to secure all appropriate agency reviews as needed.

Proposed Motion

I move that the City of Lincoln Park Planning Commission [**approve / deny / table**] the site plan numbered PPC23-0005, proposing a car wash at the vacant lot on Fort Street, parcel #45-009-99-0010-702, and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

Fort Street – Vacant Lot – Car Wash
Special Land Use Review

Applicant	Kyle Wrentmore
Project	Car Wash
Address	Fort Street Lincoln Park, MI 48146 (45-009-99-0010-702)
Date	June 14, 2023
Request	Special Land Use

REQUEST

The proposed Special Land Use approval would permit an automatic automobile wash facility (car wash) on a currently vacant lot. The site is served by Fort Street (east), Mill Street (north), and Fort Park Boulevard (west). The proposed use of an automatic automobile wash facility is permitted within the Municipal Business District (MBD) after Special Land Use approval under §1278.03 of the Lincoln Park Zoning Code, and subject to §1296.02.

The property is legally described as:

JB FM72 TO 78 PART OF PRIVATE CLAIM 119 AND FORT ST SCHOOL SUB L53 P29 WCR BEG N 18D 14M 18 S E 221.00 FT FROM SW COR LOT 1 OF SAID SUBDIVISION TH N 18D 14M 18S E 148.97 FT; TH S 70D 55M 23S E 342.20 FT; TH S 18D 45M 52S W 146.99 FT; TH N 71D 15M 11S W 340.83 FT POB; SUBJECT TO EASEMENTS OF RECORD.

CRITERIA FOR REVIEW

The following conditions are all required to be met before a Special Land Use approval may be granted:

- 1) The special use will promote the use of land in a socially and economically desirable manner for persons who will use the proposed land use or activity, for landowners and residents who are adjacent thereto and for the City as a whole;

This condition is MET.

- 2) The special use is compatible and in accordance with the goals, objectives and policies of the City's Comprehensive Development Plan;

The Future Land Use classification for the site is Downtown Commercial.

The Downtown Commercial future land use is intended to support experiential businesses (boutique shopping, entertainment, restaurants etc.) which encourage walkability and offer strong physical presence through attractive storefronts and intense landscaping. The proposed car wash project doesn't align with the future land use designation. However, given that adjacent properties, also designated as "downtown commercial" future land use, contain uses such a drug store (west) and auto service (east) the proposed project aligns with the existing context.

This condition is PARTIALLY MET.

- 3) The special use is necessary for the public convenience at that location;

This condition is MET.

- 4) The special use is compatible with adjacent uses of land, and can be constructed, operated and maintained so as to continue to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed;

Adjacent commercial uses are auto-oriented, and adjacent residential properties will be adequately screened.

This condition is MET.

- 5) The special use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected;

The proposed car wash facility will develop an existing vacant lot to meet the City's standards.

This condition is MET.

- 6) The special use can be adequately served by public services and facilities without diminishing or adversely affecting public services and facilities to existing land uses in the area;

This condition is MET.

- 7) The special use will not cause injury to the value of other property in the neighborhood in which it is to be located;

This condition is MET.

- 8) The special use will protect the natural environment, help conserve natural resources and energy, and will not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance;

This condition is MET.

- 9) The special use is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located, and meets applicable site design standards for use in Section 1296.02; and

The site design as proposed conforms with the Site Design Standards for Uses Permitted After Special Approval listed in section 1296.02.

This condition is MET.

- 10) The special use is related to the valid exercise of the City's police power and purposes which are affected by the proposed use or activity.

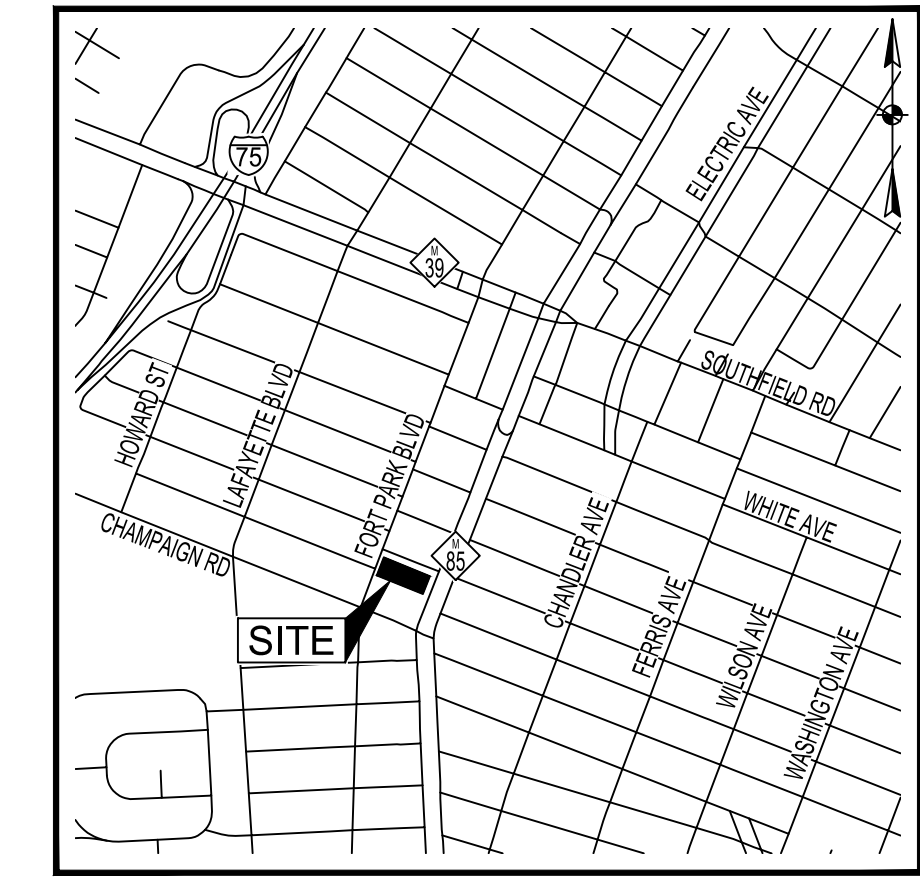
This condition is MET.

PROPOSED MOTION

I move that the Lincoln Park Planning Commission [**Approve / Deny / Table**] the request for a Special Land Use for a car wash facility at the property along Fort Street with parcel number 45-009-99-0010-702, as requested in PPC 23-005, based on an affirmative finding of compliance with the criteria set forth in Section 1262.08 of the Lincoln Park Zoning Code.

CONCEPTUAL PLAN FOR CLEAN EXPRESS CAR WASH

MILL STREET AND FORT STREET LINCOLN PARK, MI 48416



VICINITY MAP
NOT TO SCALE

PROJECT DESCRIPTION

DEVELOPMENT OF A VACANT LOT INTO A CAR WASH FACILITY WITH ASSOCIATED PARKING, VACUUM AREAS, DRIVEWAYS, AND UTILITIES. THE TWO ENTRANCES TO THE FACILITY WILL BE ON MILL STREET AND FORT PARK BOULEVARD, AND A RIGHT-OUT EXIT LANE WILL BE PROVIDED WITHIN THE SITE FOR VEHICLES THAT ARE UNABLE TO MOVE INTO THE CAR WASH TUNNEL. THE PROPOSED STORM SEWER SYSTEM WILL INCLUDE AN UNDERGROUND DETENTION BASIN AND DISCHARGE INTO A CATCH BASIN ON FORT PARK BOULEVARD. THE PROPOSED SANITARY SEWER LEAD WILL CONNECT TO AN EXISTING SANITARY SEWER LINE WITH THE SITE. THE PROPOSED WATER SERVICE LEAD WILL CONNECT TO AN EXISTING WATER MAIN WITHIN THE MILL STREET.

LEGAL DESCRIPTION

PART OF PRIVATE CLAIM 119 AND FORT ST SCHOOL SUB L53 P29 WCR, FROM SW COR LOT 1 OF SAID SUBDIVISION N18°14'18"E 221.00 FT TO POINT OF BEGINNING THENCE N18°14'18"E 148.97 FT; THENCE S70°55'23"E 342.20 FT; THENCE S18°45' 52"W 146.99 FT; THENCE N71°15'11"W 340.83 FT TO POINT OF BEGINNING

UTILITY CONTACTS

SANITARY SEWER
CITY OF LINCOLN PARK
500 SOUTHFIELD
LINCOLN PARK, MI 48146
JOHN KOZUH
313-386-9000

WATERMAIN
CITY OF LINCOLN PARK
500 SOUTHFIELD
LINCOLN PARK, MI 48146
JOHN KOZUH
313-386-9000

STORM SEWER
WAYNE COUNTY DRAIN COMMISSIONER
400 MONROE, SUITE 400
DETROIT, MI 48226
WARREN EVANS
313-224-3620

COMMUNICATIONS
AT&T
2031 DIX HWY
LINCOLN PARK, MI 48146
DEREK BUKLEY
313-240-5480

GAS
DTE ENERGY
1 ENERGY PLZ
DETROIT, MI 48226
SARA A KIPP
313-235-4000

FLOOD ZONE

THE PROPERTY SHOWN HEREIN LIES WITHIN ZONE X, WHICH ARE AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD HAZARD ZONE, PER NFIP FLOOD INSURANCE RATE MAP 26163C0406E, EFFECTIVE FEBRUARY 2, 2012

SITE DATA

EXISTING PARCEL 45-009-99-0010-702

LEASE PARCEL SIZE 1.16 ACRES - 50,535 SQ. FT.

ZONING: SITE - MUNICIPAL BUSINESS DISTRICT
NORTH - MUNICIPAL BUSINESS DISTRICT & SINGLE FAMILY RESIDENTIAL
SOUTH - MUNICIPAL BUSINESS DISTRICT
EAST - MUNICIPAL BUSINESS DISTRICT
WEST - SINGLE FAMILY RESIDENTIAL

EXISTING USE VACANT

PROPOSED USE CAR WASH - 1-UNIT

PARKING REQUIRED 2 SPACES, PLUS 1 SPACE FOR EACH EMPLOYEE, PLUS 16 WAITING SPACES FOR ENTERING CARS PLUS 1 WAITING SPACE FOR EXITING CARS, 2 SPACES FOR POST WASH DETAILING

PARKING PROVIDED 37 SPACES (1ADA, 2 STANDARD, 34 VACUUM STALLS)

STACKING PROVIDED 26 SPACES

MINIMUM LOT LENGTH 40'

MINIMUM LOT AREA 4000 SQ. FT.

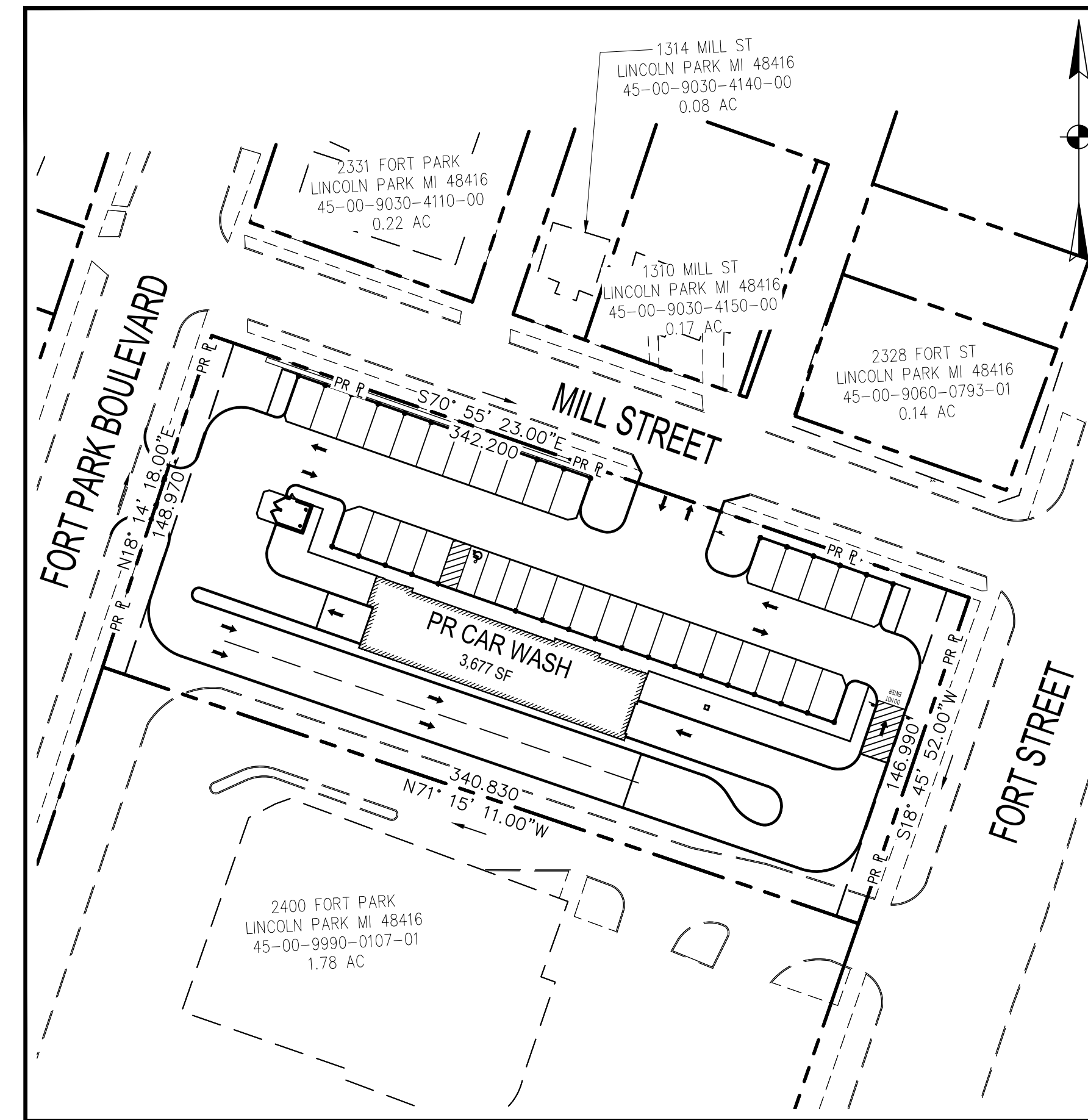
MAXIMUM BUILDING HEIGHT 25'

FRONT BUILDING SETBACK AS SE BY ADJACENT BUILDING AND B LOCKS

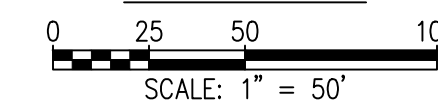
SIDE BUILDING SETBACK 0'

REAR BUILDING SETBACK 0' FROM PRIVATE ALLEY

PARKING SETBACK 2' FROM PUBLIC SIDEWALK



INDEX MAP



INDEX OF SHEETS

COVER SHEET	C000
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MACHINE SOUND DETAILS	C002
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PRELIMINARY GRADING PLAN	C300
SOIL EROSION AND SEDIMENTARY CONTROL PLAN	C310
SOIL EROSION AND SEDIMENTARY CONTROL DETAILS	C311
PRELIMINARY UTILITY PLAN	C400
PRELIMINARY LANDSCAPE PLAN	L100
LANDSCAPE NOTES & DETAILS	L101
LIGHTING DETAILS	E1
FLOOR PLAN	A1-1
EXTERIOR ELEVATIONS	A2-1
WALL SECTIONS	A4-1
SITE DETAILS	A6-1

DESIGN CONSULTANT

THE MANNIK & SMITH GROUP, INC.
607 SHELBY ST, SUITE 300
DETROIT, MI 48226
CONTACT: KYLE WRENTMORE, P.E.
PHONE: 614-441-4222
EMAIL: KWRENTMORE@MANNIKSMITHGROUP.COM

OWNER/DEVELOPER

EXPRESS WASH CONCEPTS
13375 NATIONAL ROAD, SUITE D
ETNA, OHIO 43068
CONTACT: JEFF GILGER
PHONE: (614) 751-9274
EMAIL: JEFF@EXPRESSWASHCONCEPTS.COM

APPROVALS

SIGNATURES BELOW SIGNIFY CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE PROPOSED PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE DESIGN ENGINEER PREPARING THE PLANS.

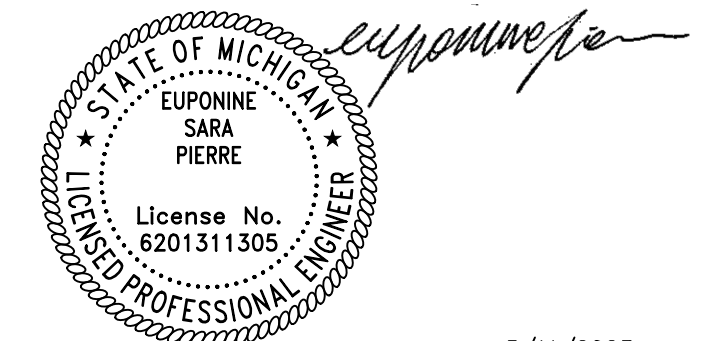
TITLE	DATE
TITLE	DATE
TITLE	DATE
TITLE	DATE
TITLE	DATE

ENGINEER OF RECORD



CONTACT: EUPONINE PIERRE, P.E.
ADDRESS: 607 SHELBY ST, SUITE 300
DETROIT, MI 48226
PHONE: 269-363-9748
EMAIL: EPIERRE@MANNIKSMITHGROUP.COM

TECHNICAL SKILL.
CREATIVE SPIRIT.



REGISTERED PROFESSIONAL ENGINEER
DATE 5/11/2023

**PRELIMINARY
NOT FOR CONSTRUCTION**

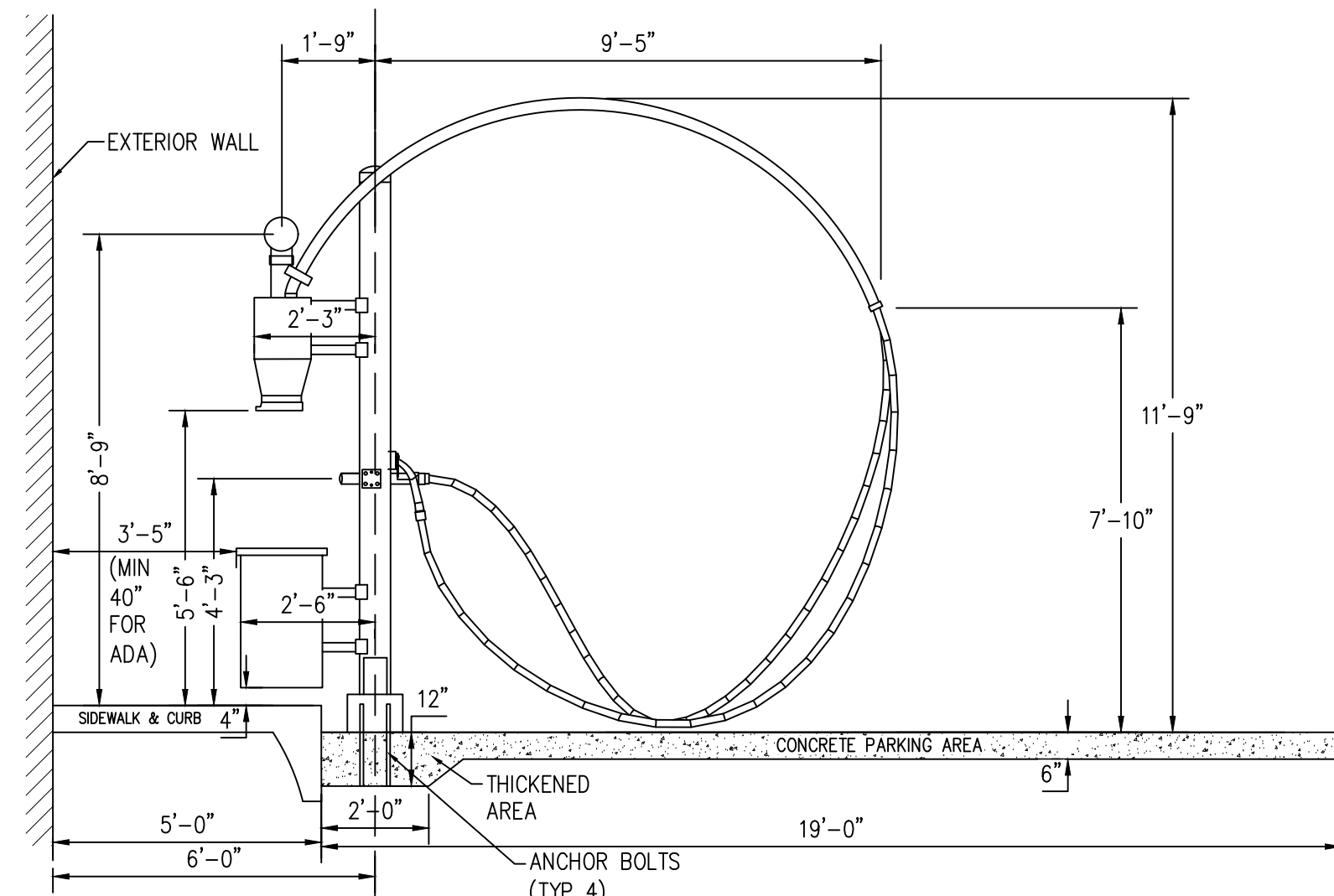
DATE	BY	REVISION DESCRIPTION

PROJECT DATE: 5/11/2023
PROJECT NO.: M3900022
C000

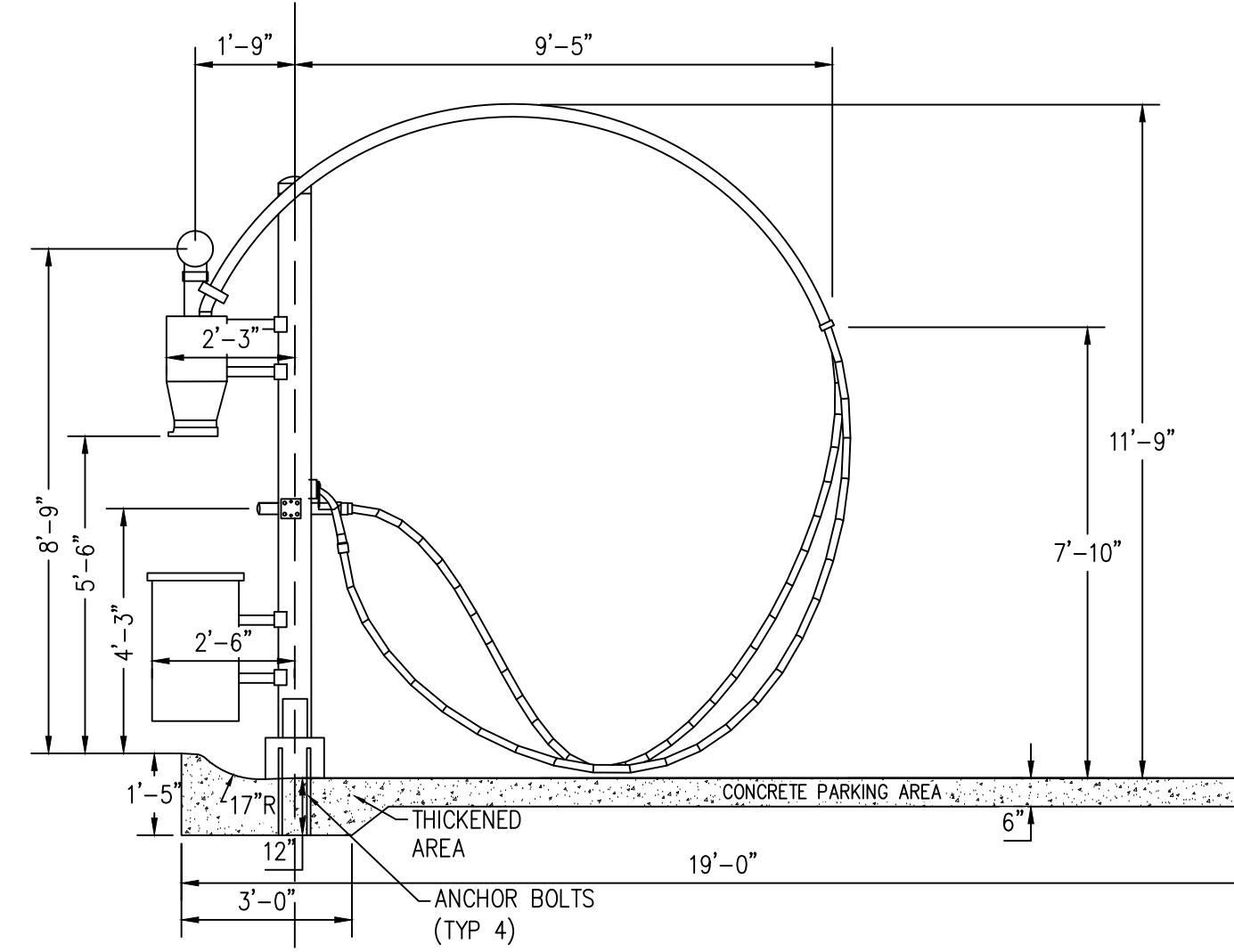
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**MICHIGAN
Utility Notification
CENTER**

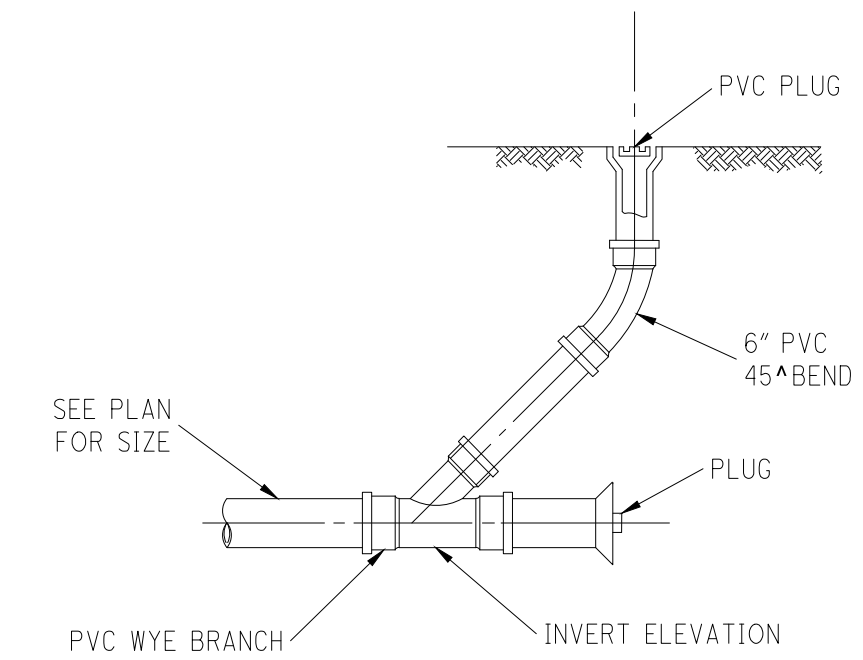
811 or
1-800-482-7171
Know What's Below. Call Before You Dig.



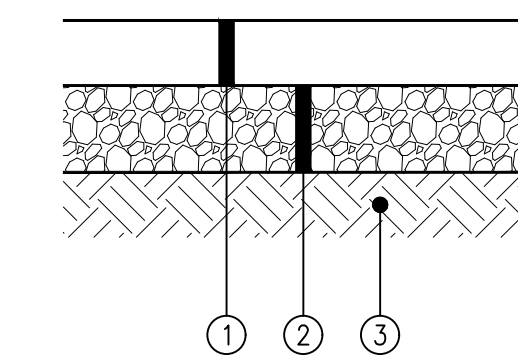
BUILDING SIDE SWEEPER ARM
NOT TO SCALE



ROLL CURB SWEEPER ARM
NOT TO SCALE

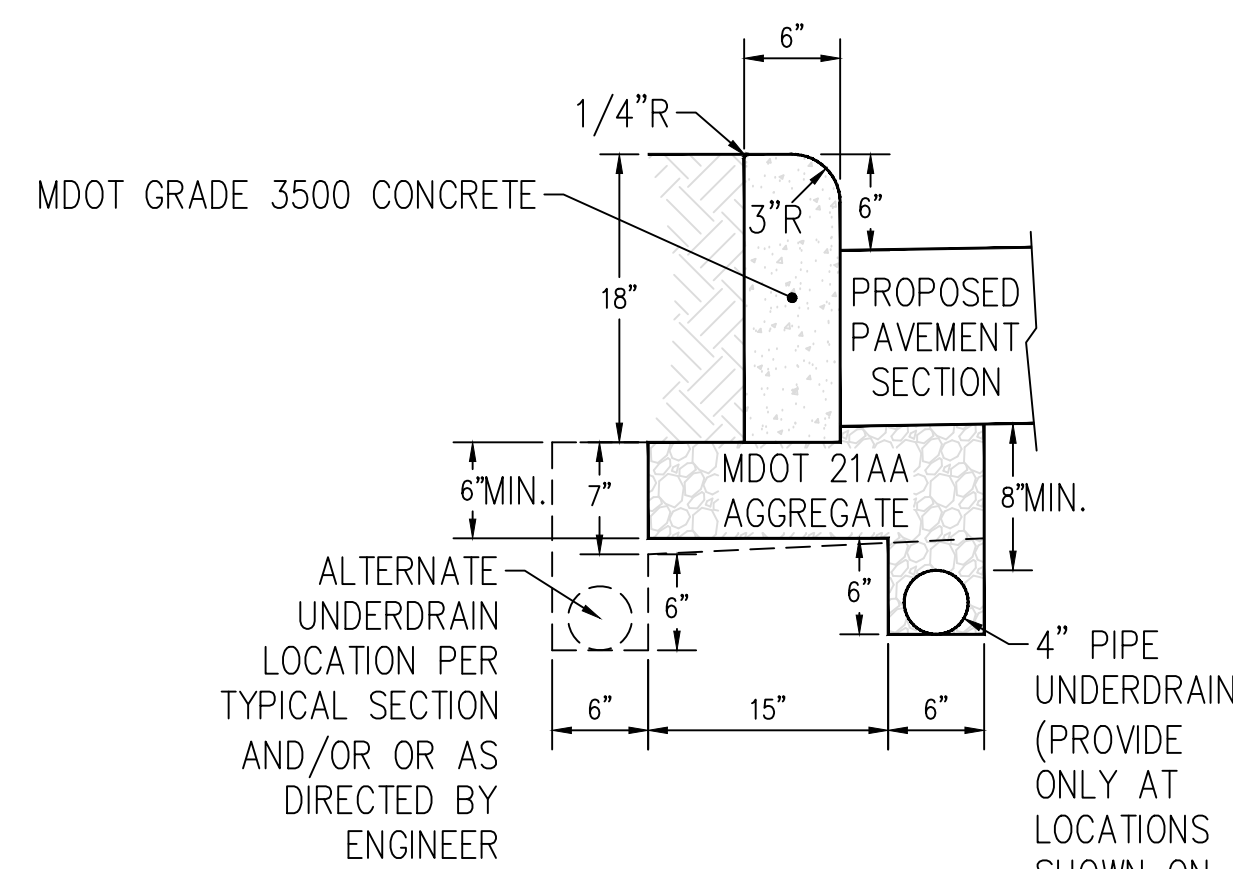


CLEANOUT DETAIL
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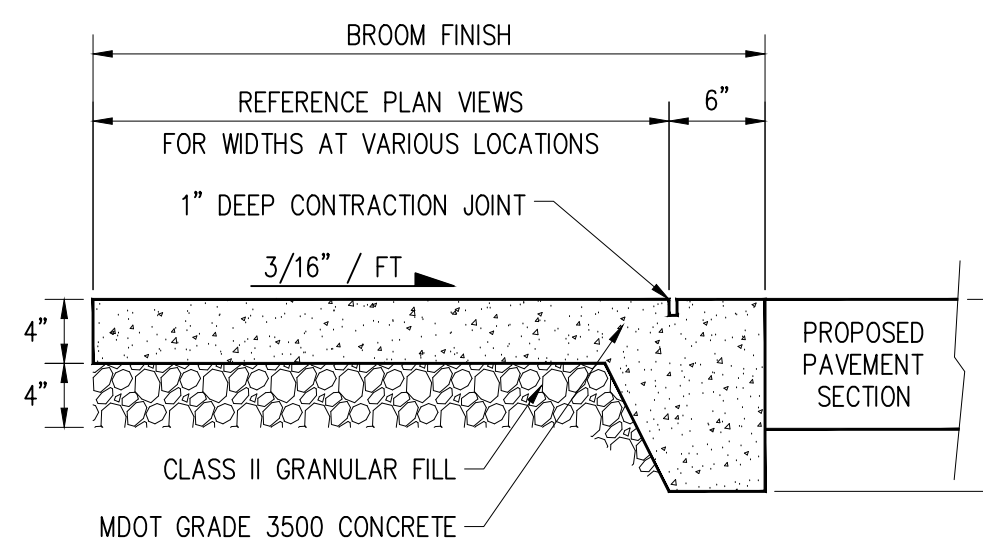


CONCRETE SECTION

- ① MDOT GRADE 3500 CONCRETE PAVEMENT, 8"
- ② MDOT 21AA AGGREGATE BASE, 8" - EXTEND 1' MIN BEYOND THE PAVED EDGE
- ③ SUBGRADE COMPACTION

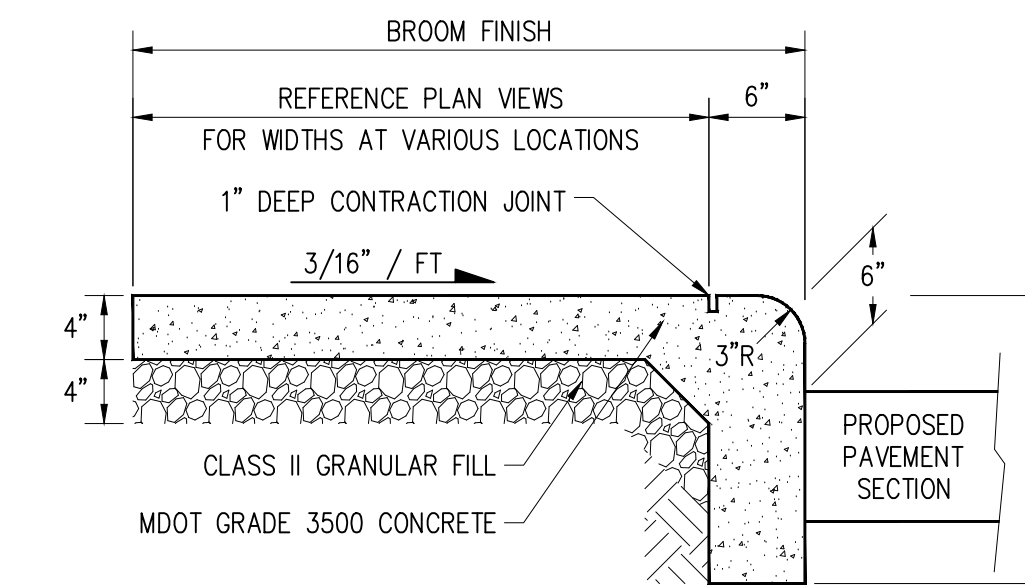


18" STRAIGHT CONCRETE CURB
NOT TO SCALE



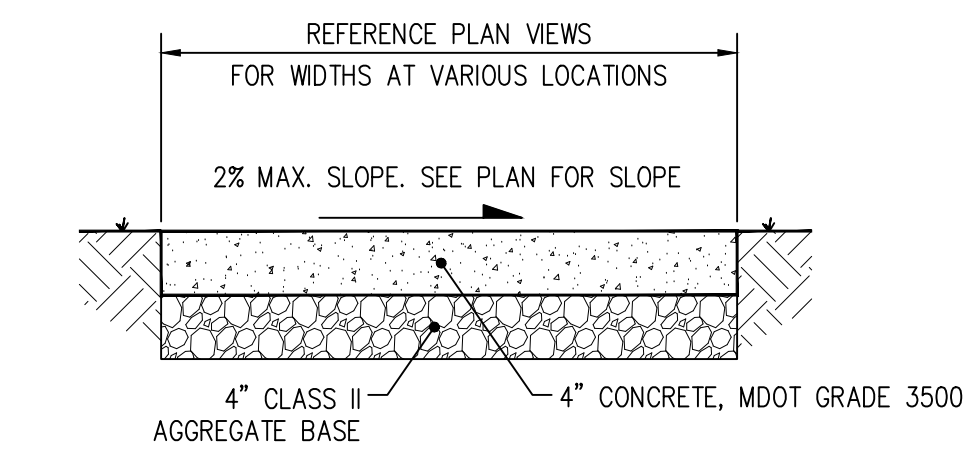
FLUSH WALK AND PAVEMENT
NOT TO SCALE

NOTE: SIDEWALK JOINTS SHALL BE EQUALLY SPACED UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.
OPTION: CONTRACTOR MAY POUR CURB AND WALK SEPARATELY. SEE DETAIL FOR 18" STRAIGHT CURB.

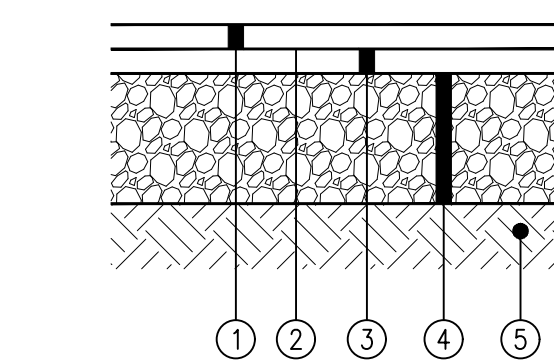


INTEGRAL WALK AND CURB
NOT TO SCALE

NOTE: SIDEWALK JOINTS SHALL BE EQUALLY SPACED UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.
OPTION: CONTRACTOR MAY POUR CURB AND WALK SEPARATELY. SEE DETAIL FOR 18" STRAIGHT CURB.



TYPICAL SIDEWALK SECTION
NOT TO SCALE

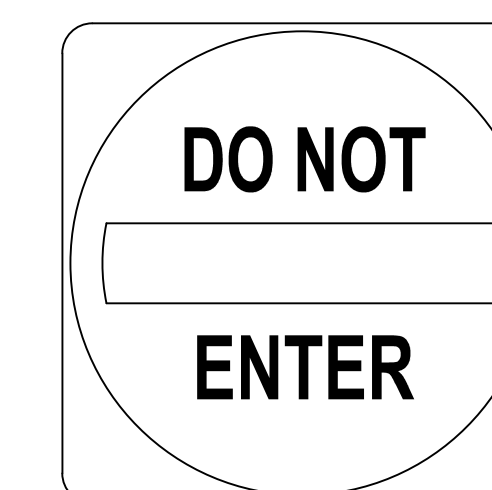


ASPHALT PAVEMENT SECTION

- ① MDOT 13A HMA, 1-1/2", PG58-28, MAX. 15% RAP, 3% AIR VOIDS
- ② BITUMINOUS BOND COAT (0.1 GAL./SQ. YD.)
- ③ MDOT 3C HMA, 1-1/2", PG58-28, MAX. 30% RAP, 3% AIR VOIDS
- ④ MDOT 21AA AGGREGATE BASE, 6" - EXTEND 1' MIN BEYOND THE PAVED EDGE
- ⑤ SUBGRADE COMPACTION

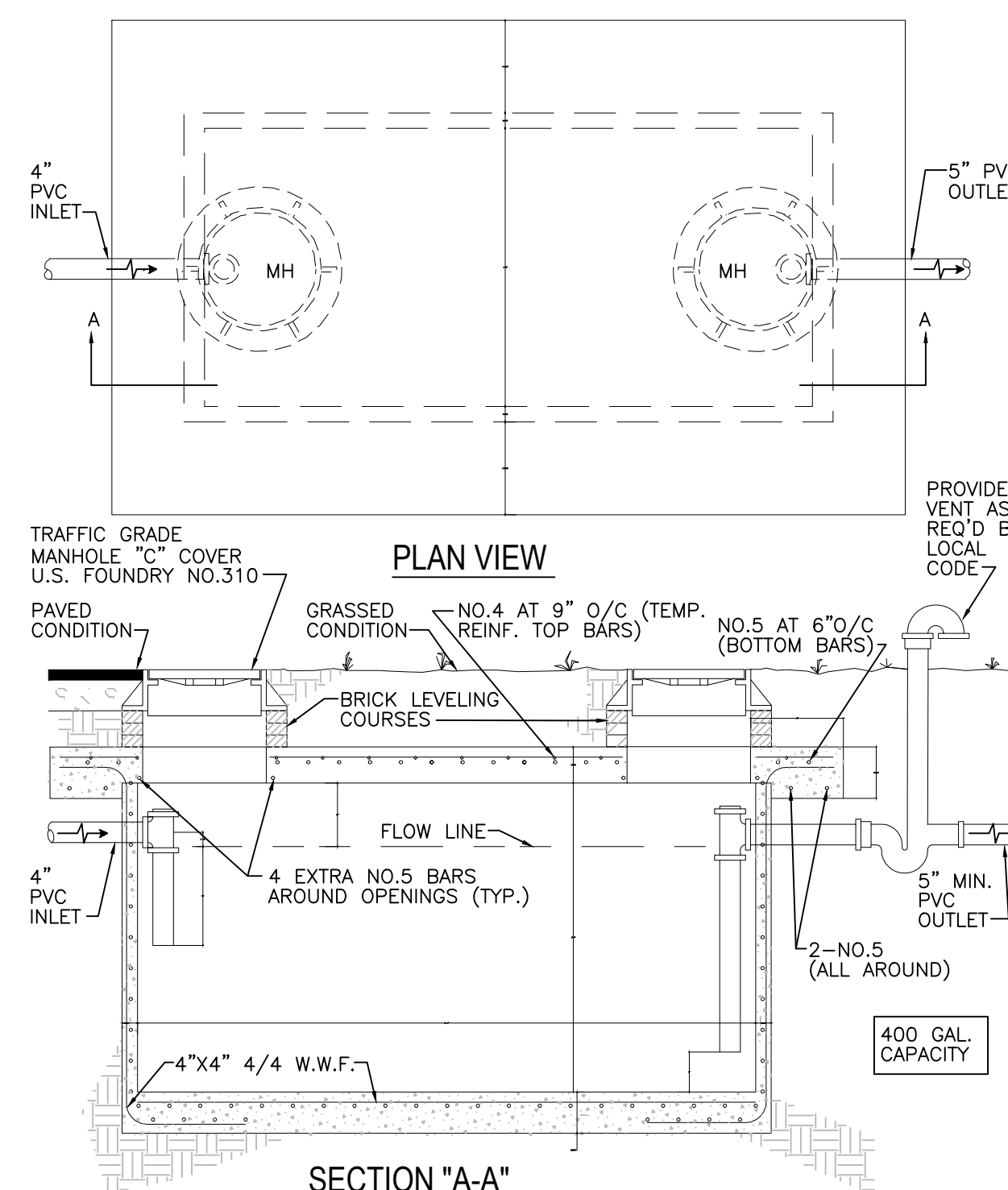
ALL PAVEMENT MATERIALS SHALL CONFORM TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.

TYPICAL PAVEMENT SECTIONS
NOT TO SCALE



DO NOT ENTER SIGN
NOT TO SCALE

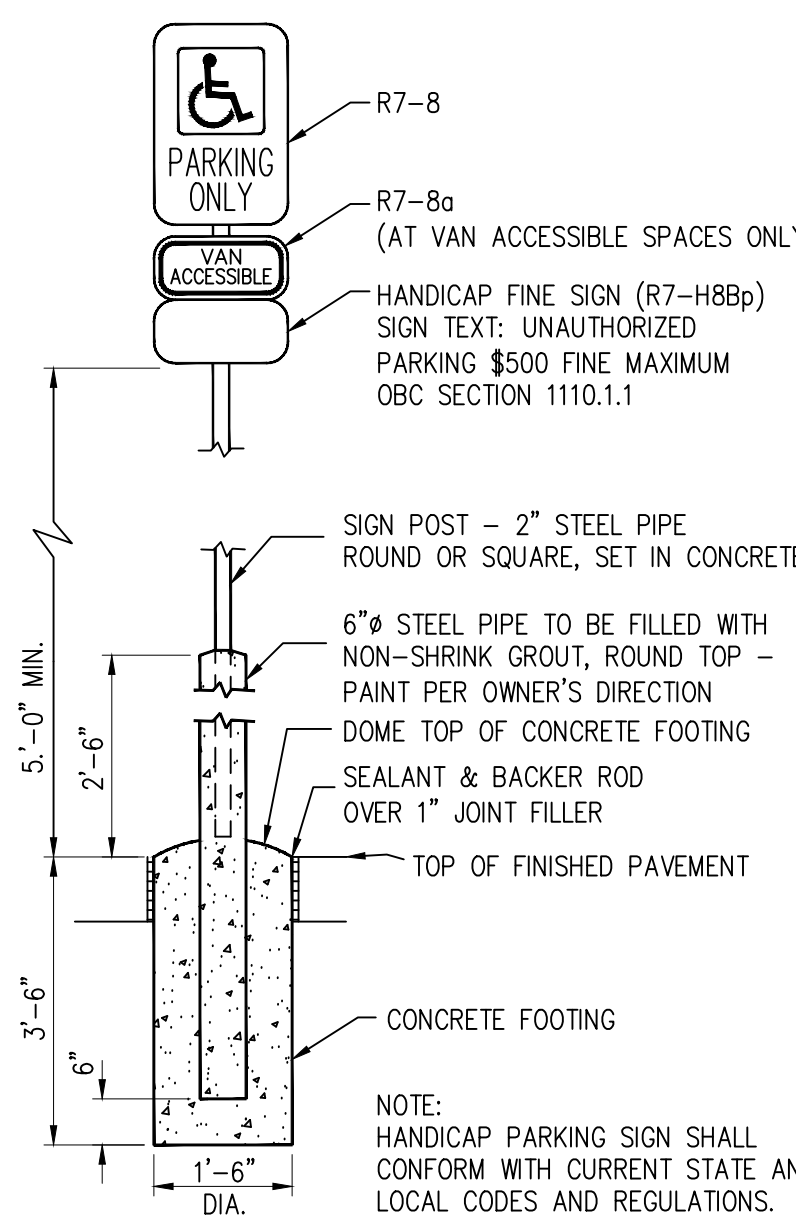
- NOTES:
1. SIGN TO MATCH MUTCD R5-1
 2. MATERIALS MATCH THOSE WITHIN NOTE OF REGULATORY & WARNING SIGNS ON WOOD POSTS STANDARD, THIS SHEET.



SECTION "A-A"

- NOTES:
1. PRECAST UNITS ARE APPROVED FOR USE PER ABOVE DESIGN AND DIMENSIONS
 2. BITUMASTIC COATING ON BOTTOM AND ALL SIDES (EXTERIOR ONLY)
 3. LOCAL STANDARD CODE SHALL APPLY IF REQUIREMENTS EXCEED THIS STANDARD DETAIL.

TYPICAL GREASE INTERCEPTOR
NOT TO SCALE



ADA ACCESSIBLE PARKING SIGN & POST
NOT TO SCALE

MICHIGAN Utility Notification CENTER 811
811 or 1-800-482-7171
Know What's Below. Call Before You Dig.

PRELIMINARY NOT FOR CONSTRUCTION

DESCRIPTION: CLEAN EXPRESS CAR WASH
NO. DATE: 11/11/2022
DRAWN BY: ESP
CHECKED BY: MJM

PROJECT NO: M390022
PROJECT DATE: 11/11/2022

DESIGNED BY: GUY SHELBY
DRAWN BY: GUY SHELBY
CHECKED BY: GUY SHELBY
DATE: 11/11/2022
TEL: 313.961.9600
FAX: 313.961.9608

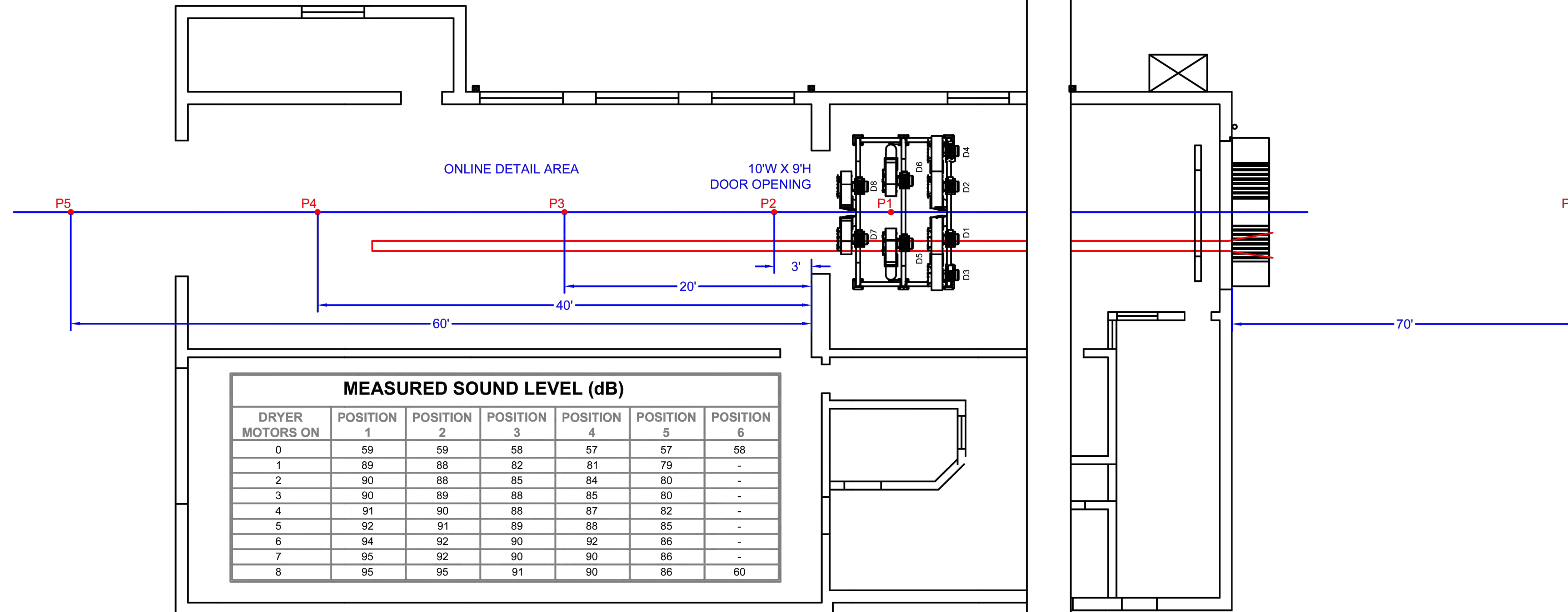
TECHNICAL SKILL. CREATIVE SPIRIT.
Mannik Smith GROUP
www.MannikSmithGroup.com

PREPARED FOR: EXPRESS CONCEPTS
13375 NATIONAL ROAD SW
ETNA, OHIO 43088

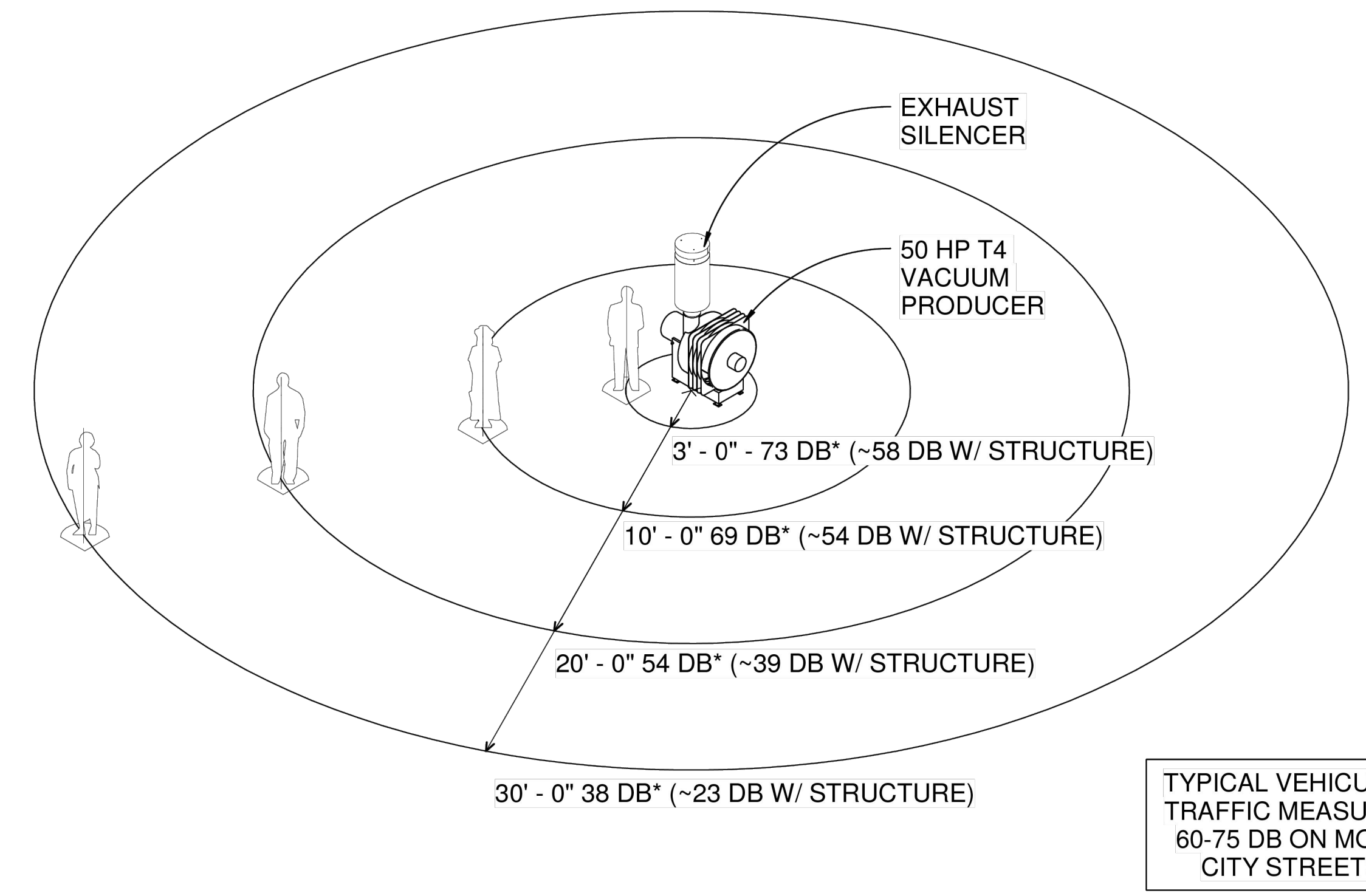
CONCEPTUAL PLAN FOR
CLEAN EXPRESS CAR WASH
MILL STREET AND FORT STREET
LINCOLN PARK, MI 48146

GENERAL DETAILS

C001



MEASURED SOUND LEVEL (dB)						
DRYER MOTORS ON	POSITION 1	POSITION 2	POSITION 3	POSITION 4	POSITION 5	POSITION 6
0	59	59	58	57	57	58
1	89	88	82	81	79	-
2	90	88	85	84	80	-
3	90	89	88	85	80	-
4	91	90	88	87	82	-
5	92	91	89	88	85	-
6	94	92	90	92	86	-
7	95	92	90	90	86	-
8	95	95	91	90	86	60



TYPICAL VEHICULAR TRAFFIC MEASURES 60-75 DB ON MOST CITY STREETS

*BASED ON READINGS TAKEN OUTDOORS, UNOBSTRUCTED, ON A CONCRETE SURFACE

TURBINE SOUND INTENSITY - 50 HP



MICHIGAN Utility Notification CENTER **811**
 811 or 1-800-482-7171
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CONCEPTUAL PLAN FOR
CLEAN EXPRESS CAR WASH
 MILL STREET AND FORT STREET
 LINCOLN PARK, MI 48146

MACHINE SOUND DETAILS

C002

PREPARED FOR:
EXPRESS WASH CONCEPTS
 13375 NATIONAL ROAD SW
 ETNA, OHIO 43088

TECHNICAL SKILL. CREATIVE SPIRIT.
Mannik Smith GROUP
 www.MannikSmithGroup.com

607 SHELBY ST
 DETROIT, MI 48226
 TEL: 313.961.9600
 FAX: 313.961.9608

PROJECT DATE: 11/11/2022
 PROJECT NO: M300022
 DRAWN BY: ESP
 CHECKED BY: MJM

NO. DATE BY DESCRIPTION

PRELIMINARY NOT FOR CONSTRUCTION

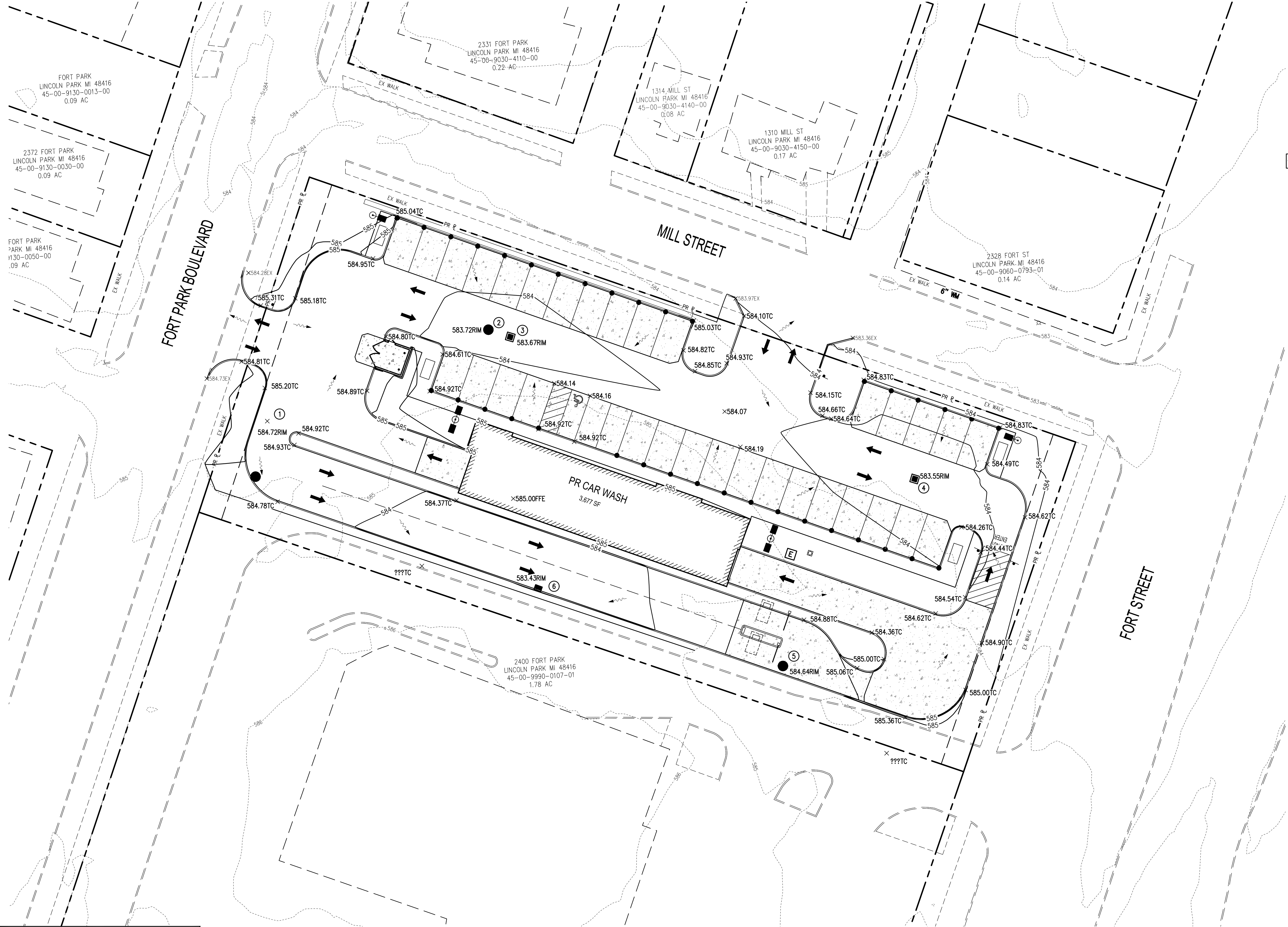
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MICHIGAN
Utility Notification
CENTER

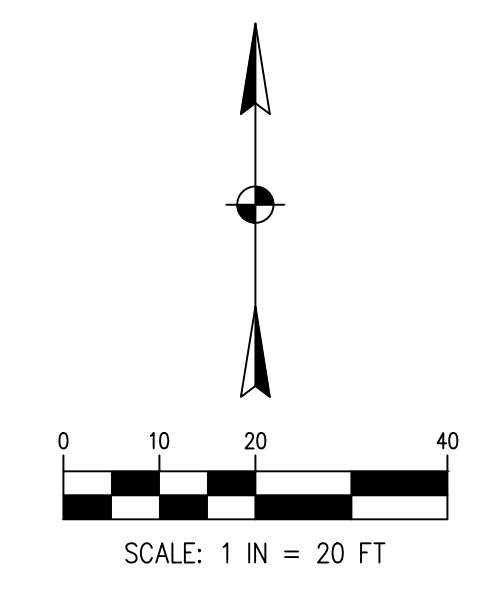




811 or
1-800-482-7171
Know What's Below. Call Before You Dig.



LEGEND

--- 1008 ---	EX CONTOUR
- - - 1008 - - -	PR CONTOUR
⊙	EX STORM MANHOLE
⊞	EX CATCH BASIN
⊞	EX CURB AND GUTTER INLET
→	PR FLOW DIRECTION
●	PR MANHOLE
⊞	PR CATCH BASIN
⊞	PR CURB AND GUTTER INLET
①	PR STORM STRUCTURE NUMBER
×	PR PAVEMENT ELEVATION
×	PR TOP OF CURB ELEVATION
⊞	CONCRETE PAVEMENT



NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
GDT/SHEBY/ST 607 SHELBY ST DETROIT MI 48226 TEL: 313.961.9600 FAX: 313.961.9608					
PROJECT NO: M390022 PROJECT DATE: 11/11/2022 DRAWN BY: ESP CHECKED BY: MJM					
TECHNICAL SKILL. CREATIVE SPIRIT.  www.MannikSmithGroup.com					
PREPARED FOR:  EXPRESS WASH CONCEPTS 13375 NATIONAL ROAD SW ETNA, OHIO 43088					
CONCEPTUAL PLAN FOR CLEAN EXPRESS CAR WASH MILL STREET AND FORT STREET LINCOLN PARK, MI 48146					
PRELIMINARY GRADING PLAN					
C300					

SESC NOTES

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF WAYNE COUNTY LAND RESOURCE MANAGEMENT DIVISION AND IN ACCORDANCE WITH PART 91 OF ACT 451 OF PUBLIC ACTS 1994 AS AMENDED.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION CONTROL AND SEDIMENT CONTROL MEASURES AND ANY NECESSARY REPAIRS AND MODIFICATIONS SHALL BE MADE WITHOUT DELAY.
- EROSION AND ANY SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFFSITE AREAS OR WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE DITCHES, STREAMS, DRAINS, PONDS, AND LAKES.
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OR SILT OFF THE SITE.
- THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AS REQUIRED AND AS DIRECTED ON THESE PLANS. HE SHALL REMOVE TEMPORARY DEVICES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL SESC MEASURES ARE MAINTAINED UNTIL THE SITE IS COMPLETELY STABILIZED.
- DEBRIS FROM THE PROJECT SHALL REMAIN ON THE SITE BY DELIVERY AND CONSTRUCTION VEHICLES THROUGH THE USE OF A CLEAN STONE EXIT. SHOULD THE STONE BECOME LESS EFFECTIVE, IT SHALL BE REPLACED. ALL CONSTRUCTION TRAFFIC SHALL USE A SINGLE EXIT.
- DUST CONTROL SHALL BE EXERCISED AT ALL TIMES AND ESPECIALLY DURING DRY PERIODS. WATER SPRINKLING TANK TRUCKS SHALL BE EMPLOYED IF DUST BECOMES A PROBLEM.
- VEGETATION SHALL BE ESTABLISHED WITH 5 DAYS ON FINAL GRADE OR WHENEVER DISTURBED AREAS REMAIN UNCHANGED FOR 30 DAYS OR GREATER. ALL DISTURBED AREAS SHALL BE RESTORED WITH MDOT "ROADSIDE" SEED MIX (40% CREEPING RED FESCUE, 20% PERENNIAL RYE GRASS, 10% KENTUCKY BLUE GRASS, 30% HARD FESCUE). IMMEDIATELY AFTER SEEDING, COVER ALL SEEDED AREAS WITH STRAW MULCH BLANKETS (FOLLOWING MANUFACTURER'S INSTALLATION RECOMMENDATIONS).
- ALL MUD, DIRT, AND DEBRIS TRACKED FROM THIS SITE ONTO EXISTING ROADS ADJOINING THIS SITE OR PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- ALL CONTRACTORS ARE TO KEEP EXCAVATED MATERIAL ON SITE. PARTICULAR CARE SHALL BE OBSERVED WHEN WORKING ALONG THE PERIMETER OF THE SITE. IN NO EVENT SHALL THE WORK AREA EXTEND BEYOND THE LIMITS INDICATED ON THE PLANS.
- NO PERMANENT STOCKPILING OF MATERIAL IS PERMITTED.
- THE PLAN DESCRIBES THE MINIMUM EROSION CONTROL MEASURES NEEDED TO PREVENT SILT AND SEDIMENT FROM LEAVING THE SITE. ADDITIONAL SESC MEASURES MAY BE REQUIRED AS CONDITIONS IN THE FILED WARRANT.

SESC MAINTENANCE NOTES

- SILT SACK SEDIMENT FILTERS - EFFECTIVE FILTERS WILL COLLECT SEDIMENT, PARTICULARLY WHEN THE SOIL IS SANDY. THESE FILTERS MUST BE CLEANED PERIODICALLY, SO THEY DON'T BECOME CLOGGED AND CAUSE FLOODING CONDITIONS, PIPING, OR OVER-TOPPING OF THE CONTROL STRUCTURES. MAINTENANCE OF THESE ITEMS REQUIRE INSPECTION WEEKLY OR AFTER EACH RAIN EVENT.
- FABRIC SILT FENCE - SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS. IF THE FENCE IS SAGGING OR THE SOIL HAS REACHED ONE HALF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC MUST BE REMOVED AND DISPOSED OF IN A STABLE UPLAND SITE. THE SOIL CAN BE ADDED TO THE SOIL PILE. IF THE FABRIC IS BEING UNDERCUT (I.E. IF THE WATER IS SEEPING UNDER THE FENCE), THE FENCE SHOULD BE REMOVED AND REINSTALLED FOLLOWING THE GIVEN PROCEDURES. FABRIC WHICH DECOMPOSES, OR OTHERWISE BECOMES INEFFECTIVE SHOULD BE REMOVED AND REPLACED WITH NEW FILTER FABRIC IMMEDIATELY. FILTER FENCES SHOULD BE REMOVED ONCE VEGETATION IS WELL ESTABLISHED AND THE UP-SLOPE AREA IS FULLY STABILIZED OR UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- CONSTRUCTION ENTRANCE - PROPER MAINTENANCE MAY INCLUDE ADDITIONAL SWEEPING OF THE PAVEMENT WHEN THE ORIGINAL PAVEMENT BECOMES COVERED WITH MUD. AFTER EACH STORM EVENT, INSPECT THE ROAD FOR EROSION AND MAKE ANY NECESSARY REPAIRS. IT IS ALSO IMPORTANT TO CHECK AND MAINTAIN ANY BMP'S WHICH ARE USED IN CONJUNCTION WITH THIS BMP. ESPECIALLY THOSE FOR DRAINAGE. ALL SEDIMENT DROPPED OR ERODED ONTO PUBLIC RIGHT-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY SWEEPING.
- SEEDING - INSPECT WEEKLY AND WITHIN 24 HOURS FOLLOWING EACH RAIN EVENT IN THE FIRST FEW MONTHS FOLLOWING INSTALLATION TO BE SURE SEED HAS GERMINATED AND PERMANENT VEGETATION COVER IS BEING ESTABLISHED. ADD SUPPLEMENTAL SEED AS NECESSARY.
- MULCH - INSPECT MULCHED AREAS PERIODICALLY AND AFTER ANY STORM EVENT. REPAIR DAMAGED AREAS, RESEED OR REPLACE VEGETATION (IF NECESSARY), AND REPLACE LOST MULCH IMMEDIATELY. KEEP ERODED SOIL, VEHICULAR AND PEDESTRIAN TRAFFIC, AND CONCENTRATED RUNOFF AWAY FROM THE MULCHED AREA.
- MULCH BLANKET - CHECK AFTER RAIN EVENTS TO ENSURE THE BLANKET IS STILL IN PLACE. KEEP ERODED SOIL, VEHICULAR AND PEDESTRIAN TRAFFIC, AND CONCENTRATED RUNOFF AWAY FROM THE BLANKETED AREA.

SEQUENCE OF EARTH CHANGES AND SESC MEASURES

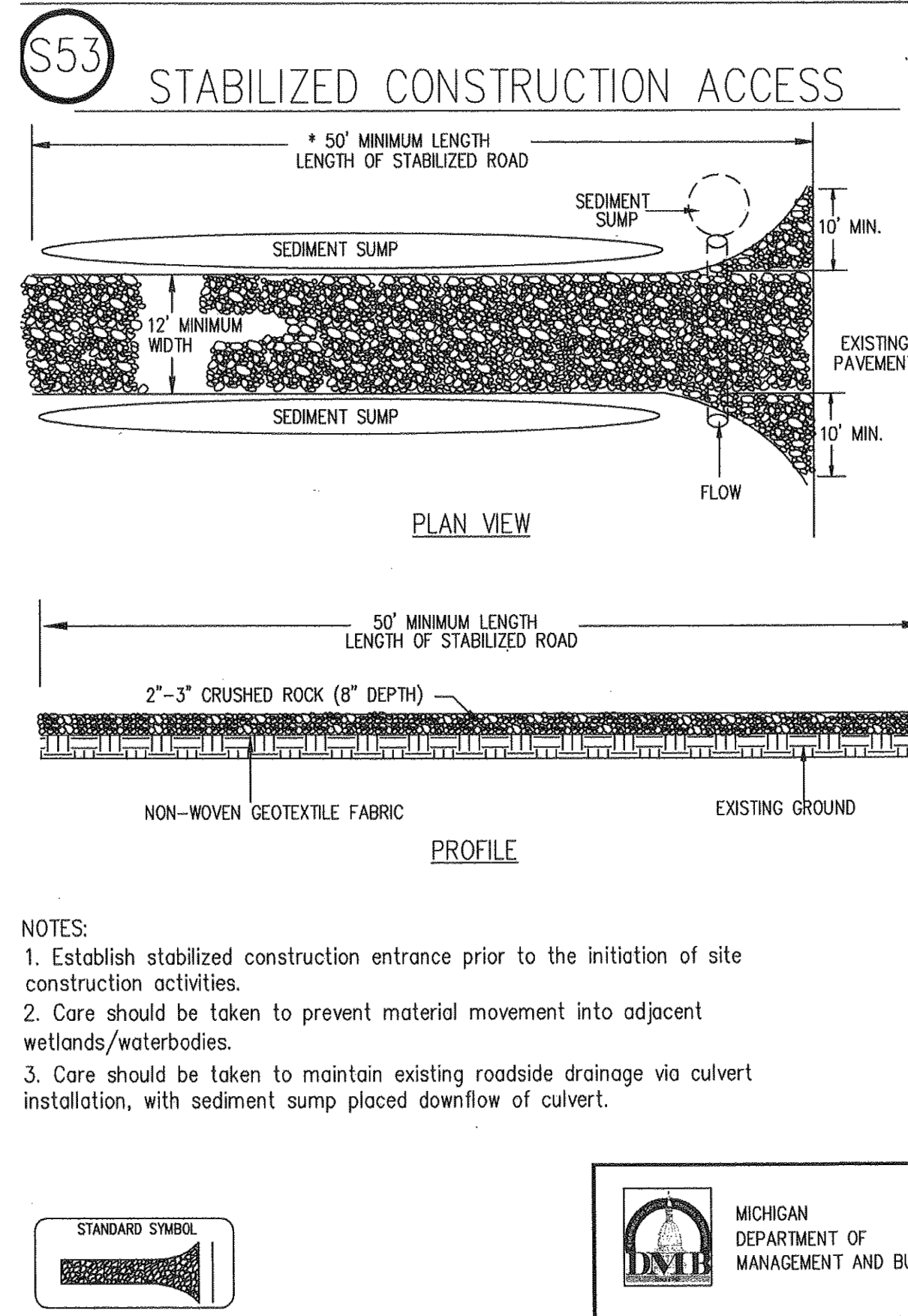
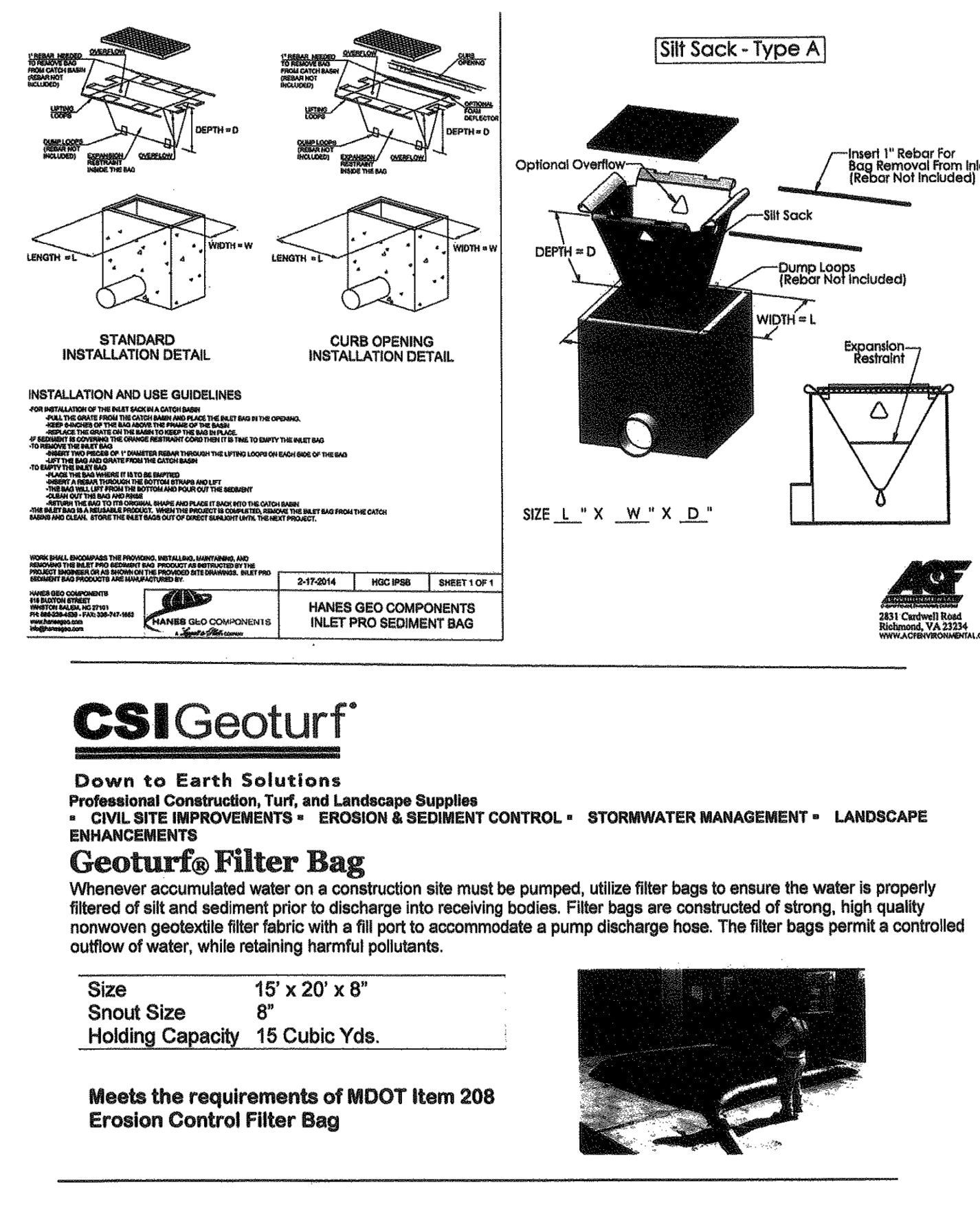
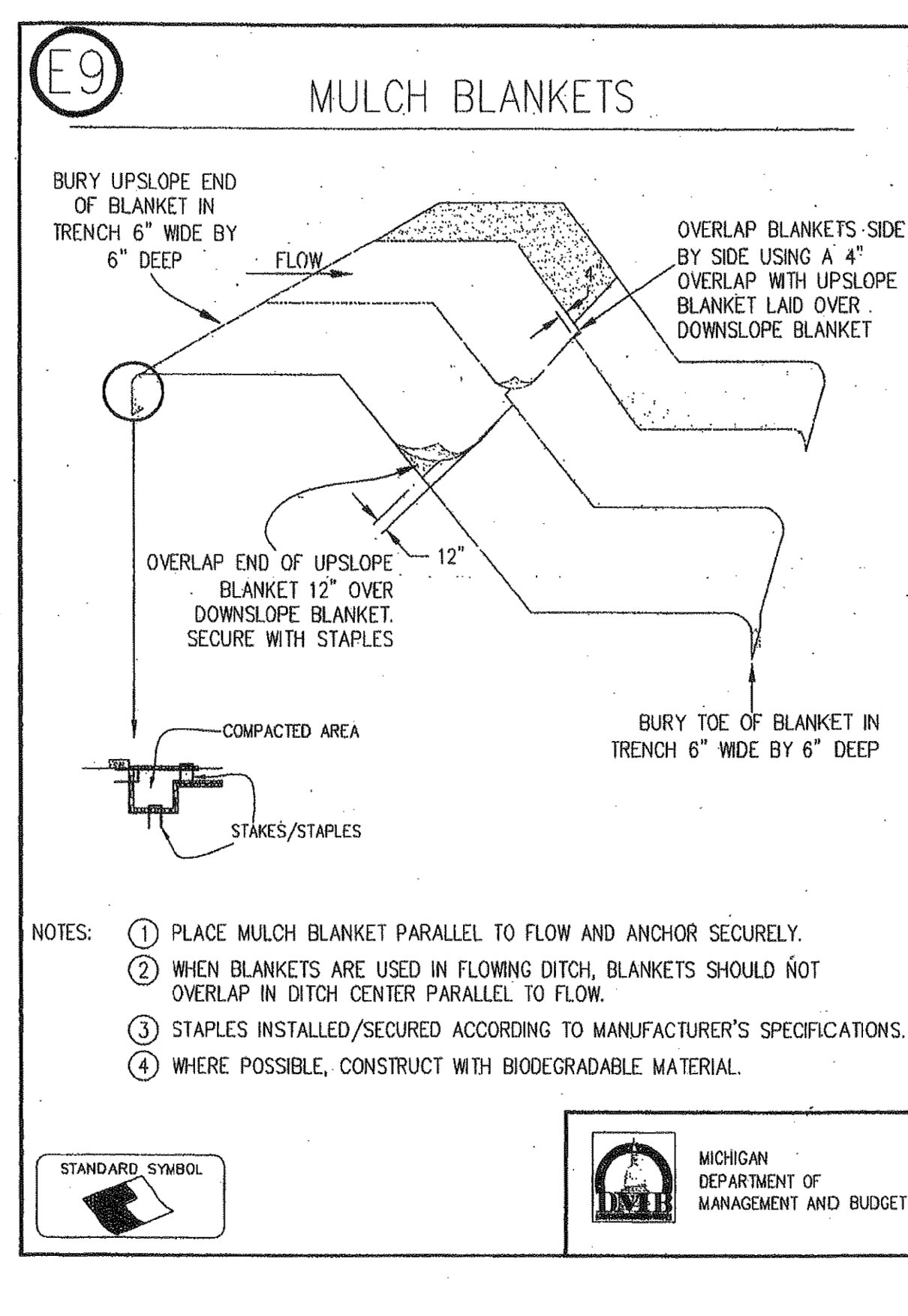
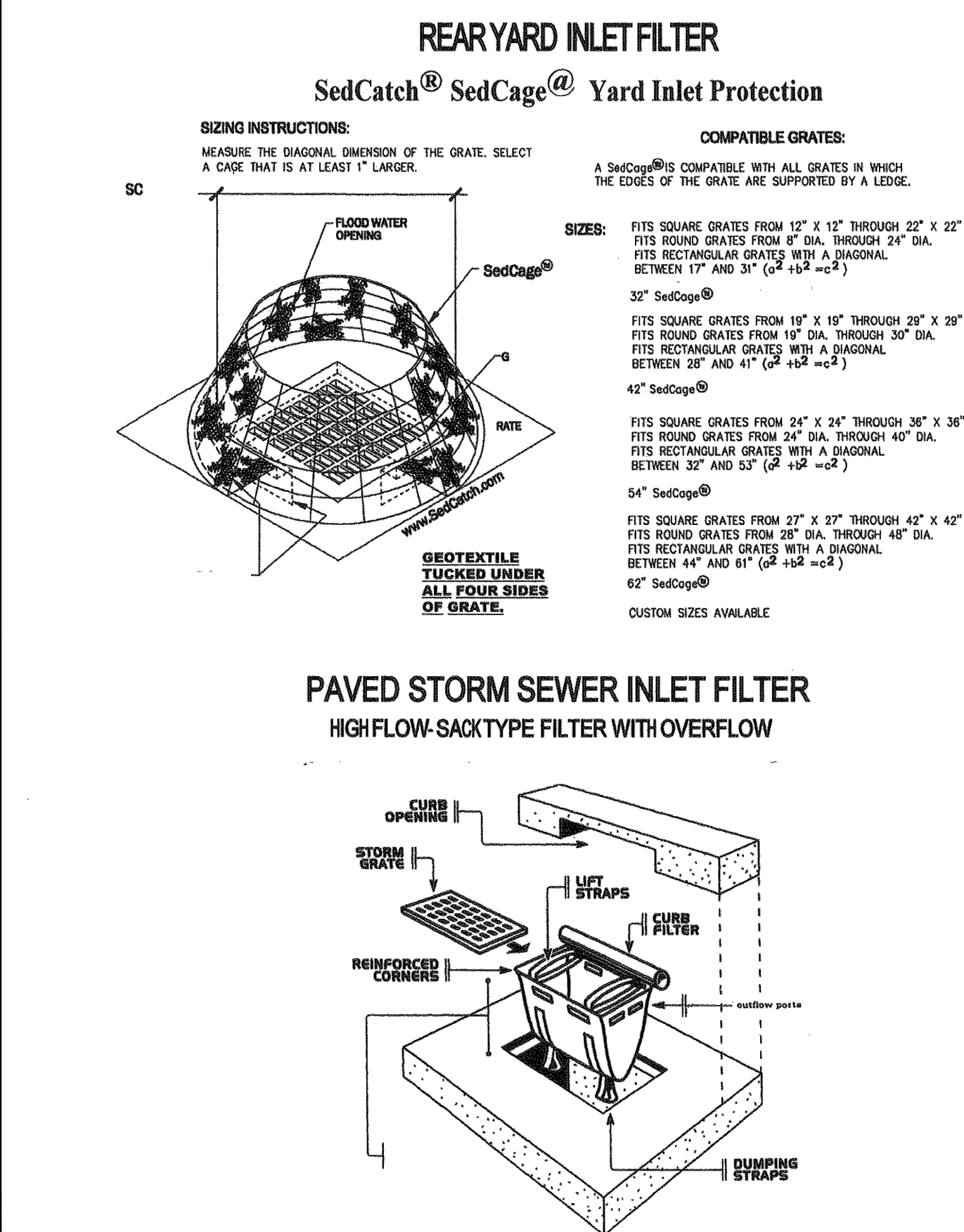
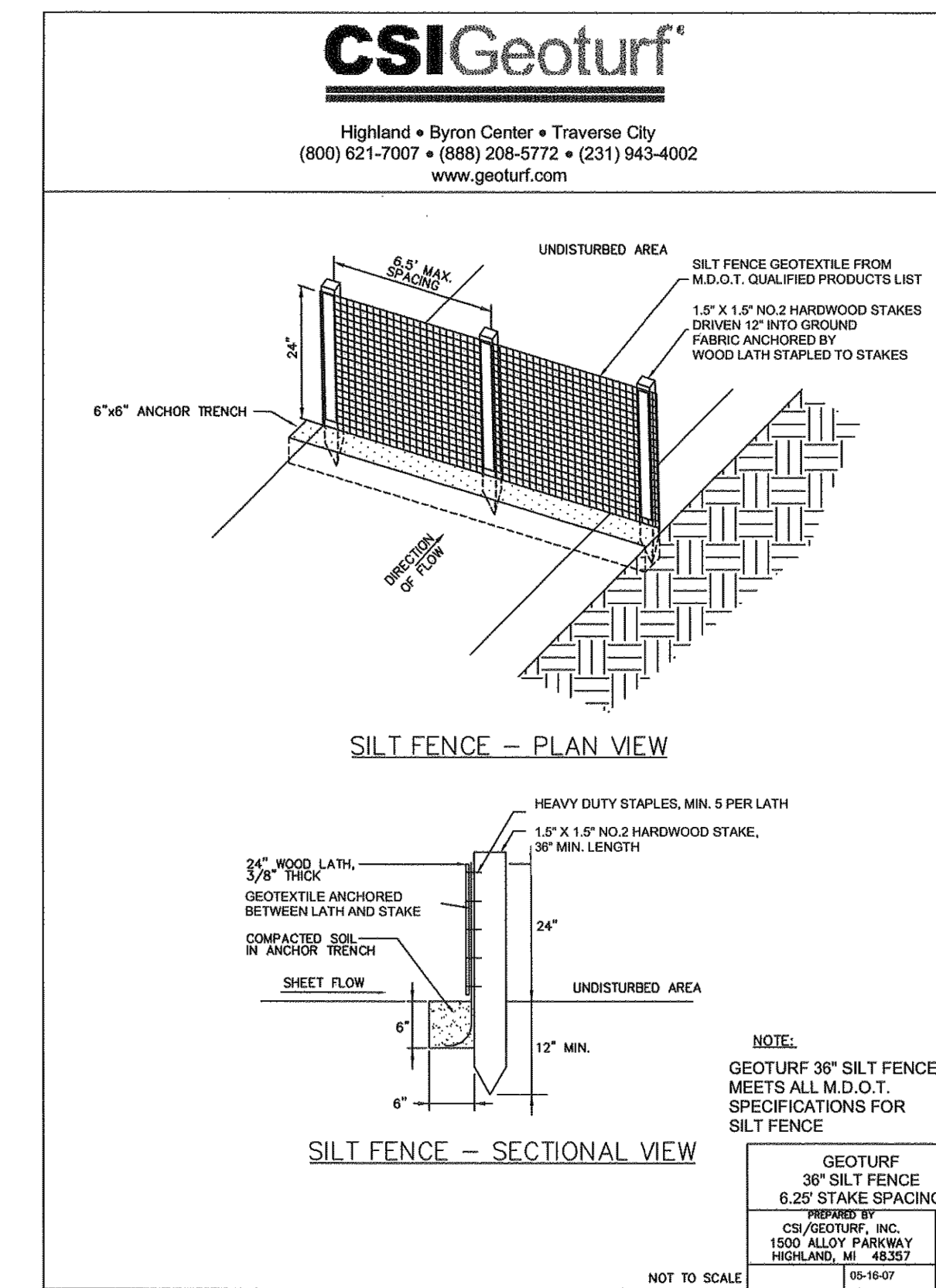
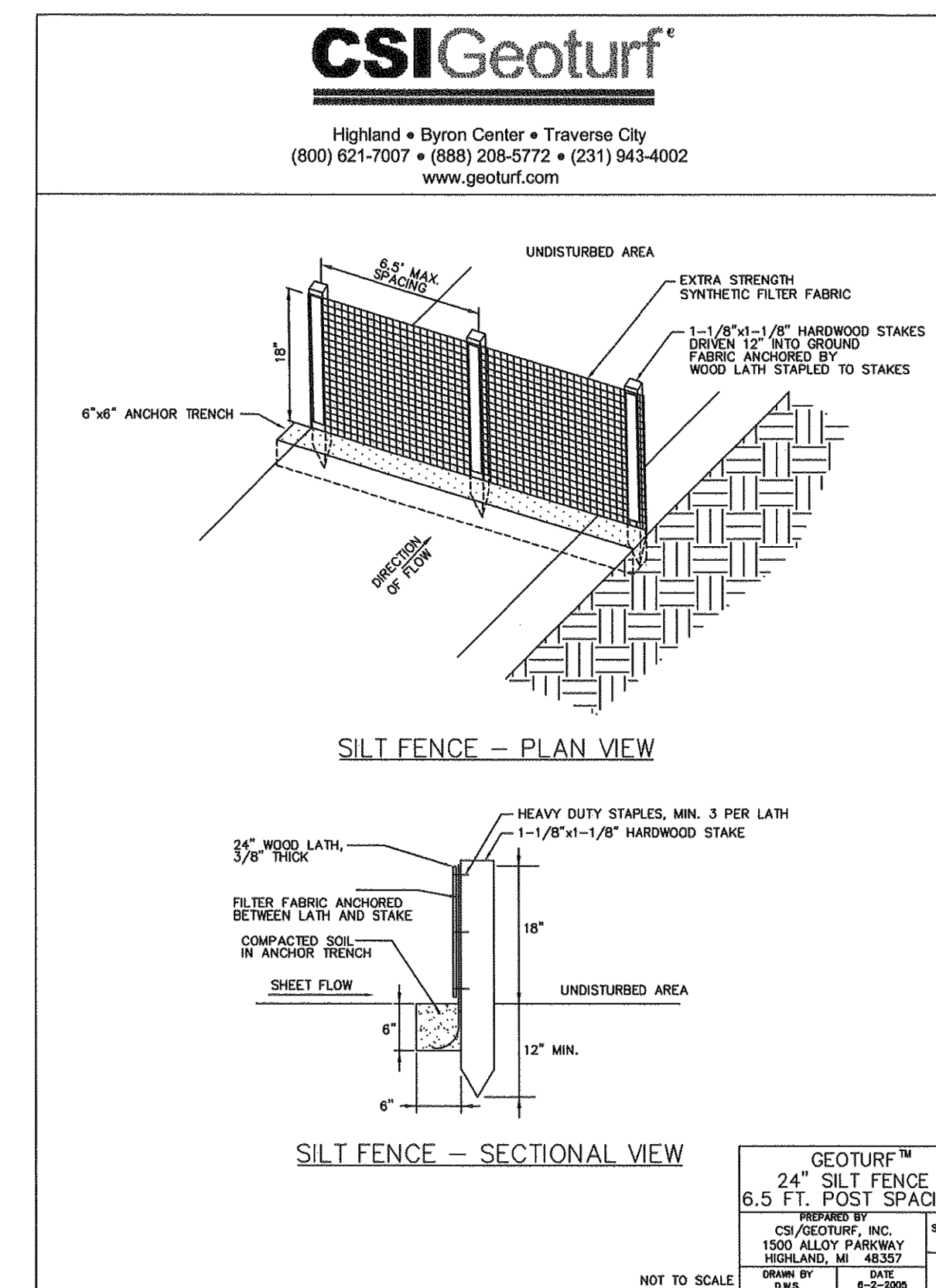
START DAY	END DAY	DESCRIPTION OF ACTIVITY
1	1	INSTALL SILT FENCE, INLET PROTECTION, & STABILIZED CONSTRUCTION ACCESS
1	40	DAILY STREET SCRAPING AND WEEKLY STREET SWEEPING
1	40	WEEKLY INSPECTION AND MAINTENANCE OF SILT FENCE & INLET PROTECTION
1	30	SITE DEMOLITION
31	35	FINAL SITE GRADING
31	40	SEED AND MULCH WITHIN 5 DAYS OF ESTABLISHING FINAL GRADE. INSTALL MULCH BLANKET ON 3:1 (H:V) SLOPES OR GREATER
40	54	MAINTAIN SEEDED AND MULCHED AREAS
54	54	REMOVE SILT FENCE & INLET PROTECTION UPON FINAL SITE STABILIZATION

STREET CLEANING SCHEDULE

	SCRAPE STREETS	SWEEP STREETS
SUNDAY		
MONDAY	X	
TUESDAY	X	
WEDNESDAY	X	
THURSDAY	X	
FRIDAY	X	X
SATURDAY		

WAYNE COUNTY SESC NOTES

- A TEMPORARY CRUSHED ROCK TRACKING PAD WILL BE INSTALLED AT THE CONSTRUCTION EXIT. THIS TRACKING PAD WILL BE MAINTAINED WITH FRESH STONE. CONSTRUCTION TRAFFIC WILL BE LIMITED TO THE DESIGNATED CRUSHED ROCK ENTRANCE AND EXIT.
- CONTRACTOR TO KEEP PAVEMENT CLEAN AND CLEAR OF MUD AND DIRT DURING CONSTRUCTION TO PREVENT DIRT/MUD TRACKING ONTO ADJACENT PAVEMENT SURFACES. CONTRACTOR SHALL SWEEP ALL EXISTING PAVEMENT AREAS USED FOR CONTRACTOR STAGING/ENTRANCES ON A REGULAR BASIS IN ORDER TO REDUCE THE AMOUNT OF DIRT/MUD TRACKED OUT OF THE SITE.
- PAVED STORM SEWER INLETS SHALL BE PROTECTED BY A HIGH FLOW SACK TYPE INLET FILTER CONFORMING TO SILT SACK- HIGH FLOW BY ACF ENVIRONMENTAL OR INLET PRO-HIGH FLOW SEDIMENT BAG BY HANES GEO COMPONENTS OR CATCH-ALL INLET FILTERS BY MARATHON MATERIALS INC. OR DANDY CURB SACK BY DANDY PRODUCTS, INC.
- REAR YARD (BEEHIVE-TYPE) STORM SEWER INLETS SHALL BE PROTECTED BY A SEDCAGE YARD INLET PROTECTION MANUFACTURED BY SEDCATCH ENVIRONMENTAL PRODUCTS, OR A BOX FILTER FABRIC FENCE CONFORMING TO CSI GEOTURF 36 INCH MDOT SPEC SILT FENCE SECURELY FIXED TO 2" X 2" HARDWOOD STAKES SPACED NO MORE THAN 8.5 FEET ON CENTER, TIED TO 4 FT. STEEL POSTS AT ALL FOUR CORNERS AND TRENCHED A MINIMUM OF 10 INCHES INTO THE GROUND.
- ALL EXPOSED EARTH SHALL BE STABILIZED WITH SEED AND MULCH OR SOD WITHIN 5 DAYS OF FINAL GRADE. SEDIMENT BASINS SHALL BE STABILIZED WITH SEED AND STRAW MULCH BLANKETS. STRAW MULCH BLANKETS SHALL BE STAKED INTO THE GROUND 5 DAYS AFTER THE CONSTRUCTION OF THE SEDIMENT BASIN.
- AN UNDISTURBED, VEGETATIVE BUFFER STRIP OF AT LEAST 25 FEET SHALL BE RETAINED AROUND RIVERS, CREEKS, STREAMS, WETLANDS, DRAINS, AND OTHER SENSITIVE AREAS.
- STRAW MULCH BLANKETS SHALL BE USED ON SLOPES 3:1 OR GREATER. (THREE FOOT HORIZONTAL, ONE FOOT VERTICAL).
- DITCHES, SWALES, AND OTHER AREAS THAT WILL CHANNEL CONCENTRATED RUNOFF MUST BE STABILIZED WITHIN 15 DAYS OF CONSTRUCTION. TEMPORARY ROCK CHECK DAMS WILL BE REQUIRED TO SLOW WATER TO NON-EROSIVE VELOCITIES IN AREAS OF CONCENTRATED FLOW.
- ROAD RIGHT-OF-WAYS MUST BE STABILIZED A MINIMUM WIDTH OF 15 FT. BACK OF CURB WITH SEED AND MULCH WITHIN 5 DAYS OF COMPLETING UTILITY WORK IN THE RIGHT OF WAY.
- AREAS OF EARTH CHANGE THAT ARE DISTURBED BEYOND THE FALL SEEDING DEADLINE (NOV. 1) MAY REQUIRE DORMANT SEEDING AND STRAW MULCH SECURELY CRIMPED TO THE GROUND.
- RIP RAP WILL BE PLACED IMMEDIATELY FOLLOWING INSTALLATION OF POND OUTLETS AND CULVERTS.



PRELIMINARY NOT FOR CONSTRUCTION

DESCRIPTION: _____
 BY: _____
 NO. _____ DATE: _____
 607 SHELBY ST. DETROIT, MI 48226
 TEL: 313.961.9500 FAX: 313.961.9509
 PROJECT NO: M390022 ESP
 DRAWN BY: _____ CHECKED BY: _____

TECHNICAL SKILL, CREATIVE SPIRIT.

Mannik Smith GROUP
 www.MannikSmithGroup.com

PREPARED FOR: **EXPRESS** WASH CONCEPTS
 13375 NATIONAL ROAD SW
 ETNA, OHIO 43088

CONCEPTUAL PLAN FOR **CLEAN EXPRESS CAR WASH**
 MILL STREET AND FORT STREET
 LINCOLN PARK, MI 48146

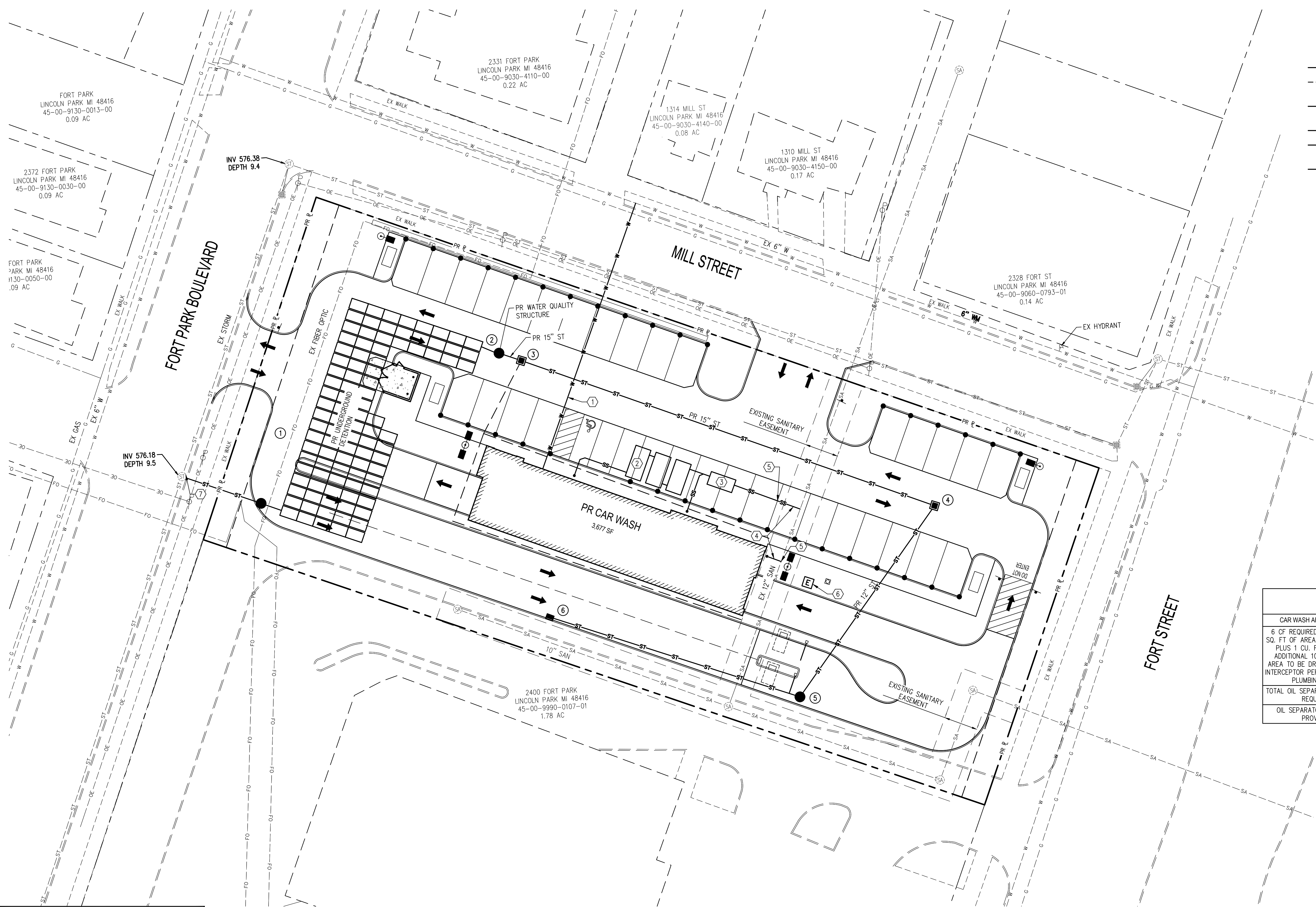
SOIL EROSION AND SEDIMENTARY CONTROL DETAILS

C311

W:\piped\parks\K\04080022\C400\CONCEPTUAL PLAN\M00022_C400\UTILITY PLAN\garcia\james\9/20/23\1037.dwg (P:\parks\james\9/20/23\1037.dwg)

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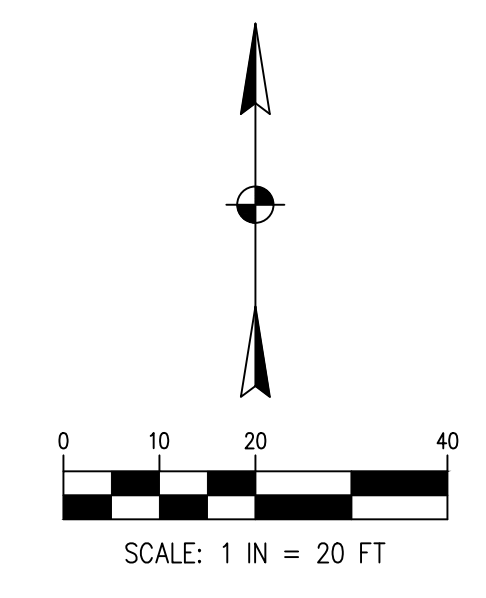



- LEGEND**
- OE--- EX OH ELECTRIC LINE
 - SA--- EX SANITARY LINE
 - FO--- EX FIBER OPTIC LINE
 - W--- EX WATER LINE
 - ST--- EX STORM LINE
 - ⊙ SA EX SANITARY MANHOLE
 - ⊙ ST EX STORM MANHOLE
 - ⊙ HV EX HYDRANT & VALVE
 - ⊙ UP EX UTILITY POLE
 - ⊙ CI EX STORM CURB INLET
 - ST--- PR STORM
 - SD--- PR 6" ROOF DRAIN @ 1.0% MIN SLOPE
 - W--- PR WATER SERVICE SEE WSP XXXX
 - SS--- PR SANITARY SERVICE
 - E--- PR UNDERGROUND ELECTRIC
 - G--- PR GAS SERVICE
 - PR CATCH BASIN
 - PR CURB AND GUTTER INLET
 - ⊙ CO PR CLEANOUT
 - ① PR STORM STRUCTURE NUMBER
 - ⊙ PR LIGHT POLE SEE PHOTOMETRIC PLANS

- CODED NOTES**
- ① PR 2" DOMESTIC WATER SERVICE.
 - ② PR WATER RECLAMATION TANKS, 1500 GALLONS CAPACITY EACH
 - ③ PR GREASE INTERCEPTOR, 400 GALLONS CAPACITY
 - ④ PR 6" SANITARY LEAD AT MIN 1.00% SLOPE
 - ⑤ CONNECT SANITARY LEAD TO EX MAIN VIA RISER, PER CITY OF LINCOLN PARK STANDARDS
 - ⑥ PR TRANSFORMER, CONTRACTOR TO COORDINATE SIZE, LOCATION, AND SERVICE WITH UTILITY PROVIDER.
 - ⑦ CONNECT TO EXISTING STORM MANHOLE. ELEVATION AND LOCATION TO BE CONFIRMED BY CONTRACTOR PRIOR TO INSTALLATION

- UTILITY NOTES**
1. EXISTING ON-SITE SANITARY TO BE EVALUATED PRIOR TO ENGINEERING APPROVAL

GREASE INTERCEPTOR SIZING	
CAR WASH AREA: 2,077 SF	2,077 SF
6 CF OF AREA TO BE DRAINED PLUS 1 CU. FT. FOR EACH ADDITIONAL 100 SQ. FT. OF AREA TO BE DRAINED INTO THE INTERCEPTOR PER 2018 MICHIGAN PLUMBING CODE	2,077-100=1,977 SQ. FT. / 100 SF. FT. = 19.77 CF 19.77 CF + 6 CF = 25.77 CF TOTAL OIL
TOTAL OIL SEPARATOR CAPACITY REQUIRED	25.77 CF * 7.48 GAL/CF = 193 GAL
OIL SEPARATOR CAPACITY PROVIDED	400 GAL




PRELIMINARY
 NOT FOR CONSTRUCTION

NO.	DATE	BY	DESCRIPTION

GET SHEET BY ST: M390022
 DATE: 11/11/2022
 TEL: 313.981.9600
 FAX: 313.981.9609
 PROJECT NO: M390022
 DRAWN BY: ESP
 CHECKED BY: MJM

**TECHNICAL SKILL.
 CREATIVE SPIRIT.**



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PREPARED FOR:

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 WASH CONCEPTS
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 ETNA, OHIO 43088

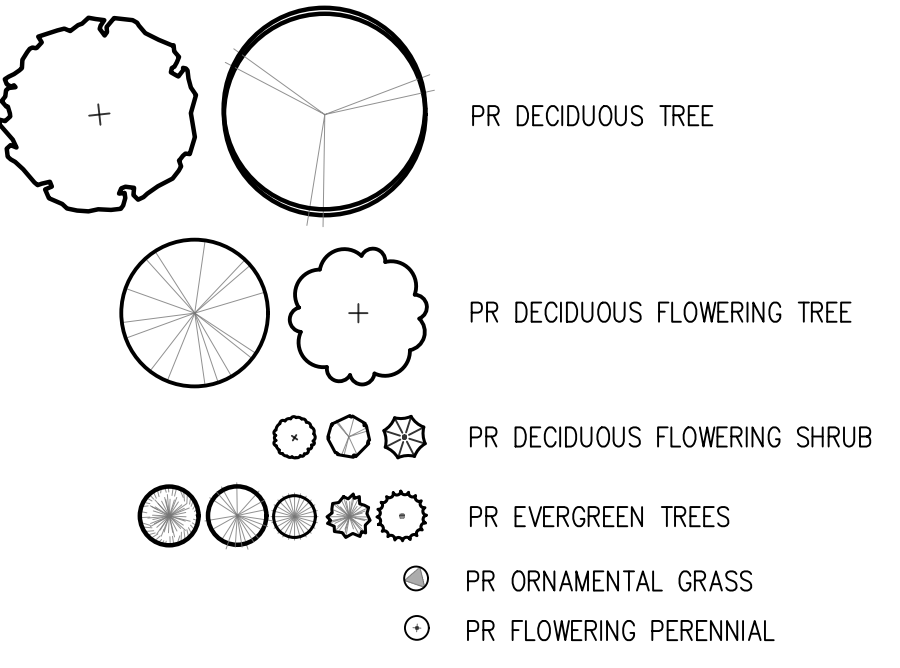
CONCEPTUAL PLAN FOR
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 MILL STREET AND FORT STREET
 LINCOLN PARK, MI 48146

**PRELIMINARY
 UTILITY PLAN**

C400

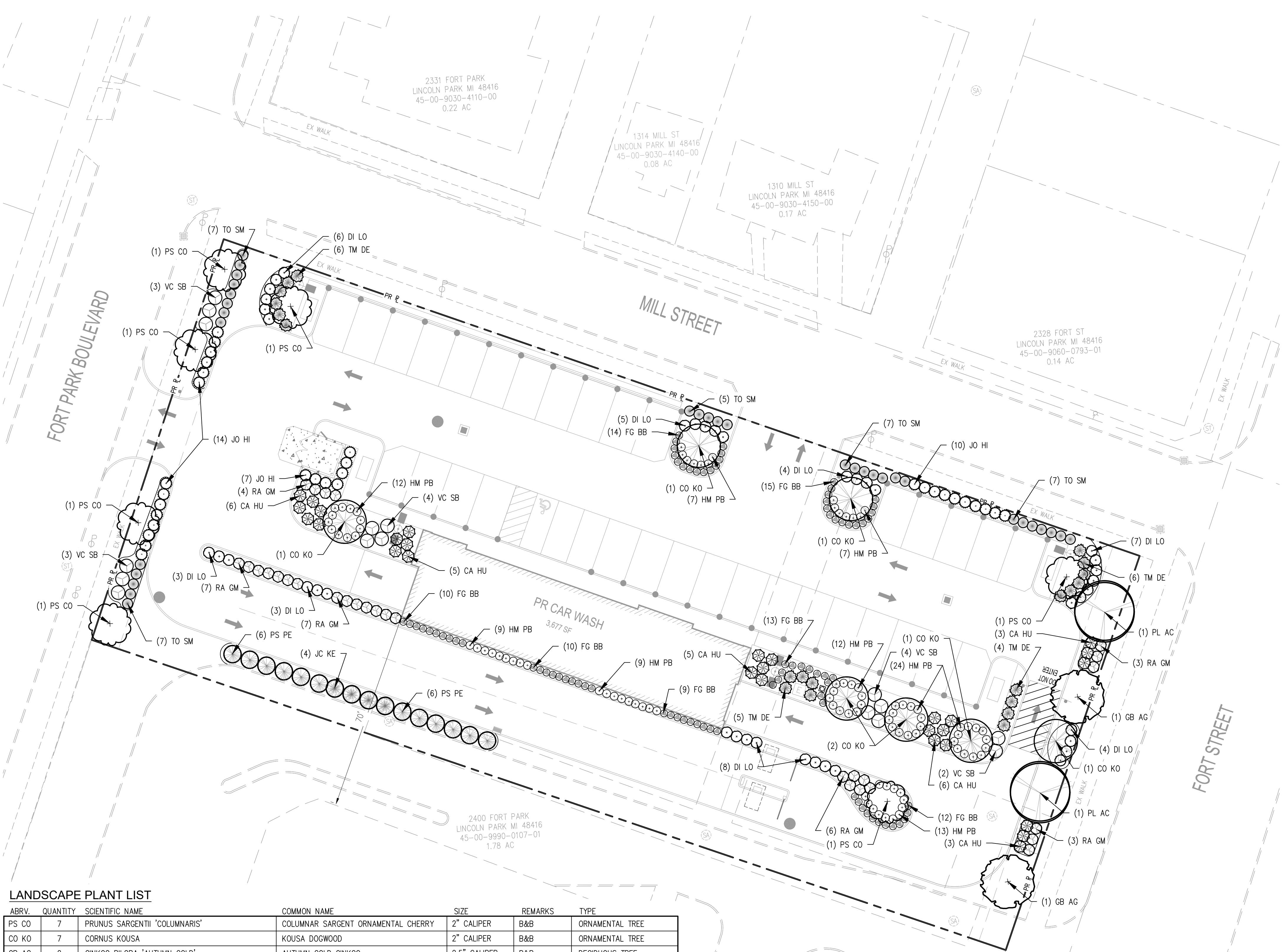
**PRELIMINARY
NOT FOR CONSTRUCTION**

LEGEND



LANDSCAPE CODE REQUIREMENTS

REQUIRED:	PROVIDED:
CODIFIED ORDINANCES OF LINCOLN PARK, MI – SECTION 1296.03 d.1. A GREENBELT IS REQUIRED ALONG PUBLIC RIGHT-OF-WAYS. 1 DECIDUOUS TREE AND 4 SHRUBS SHALL BE PLANTED PER EACH 40' OF STREET FRONTAGE. FORT STREET FRONTAGE = 130' = 4 TREES REQUIRED AND 16 SHRUBS REQUIRED	4 DECIDUOUS TREES AND 16 SHRUBS PROVIDED ALONG FORT STREET.
d.3. A BUFFER STRIP MAY BE REQUIRED, PARTICULARLY WHERE USES ACROSS THE STREET ARE RESIDENTIAL IN NATURE. EVERGREEN TREES SHALL BE PLANTED.	WALL AND EVERGREEN TREES PLANTED ALONG MILL STREET AT A 3' MINIMUM SPACING. EVERGREEN TREES PLANTED ALONG MILL STREET AT A 3' MINIMUM SPACING. EVERGREEN TREES PLANTED ALONG FORT PARK BOULEVARD.
e. INTERIOR LANDSCAPING AREAS ARE REQUIRED, EXCLUSIVE OF ANY OTHER REQUIRED LANDSCAPING CONSISTING OF AT LEAST 10% OF THE TOTAL LOT AREA. ONE TREE SHALL BE PROVIDED FOR EVERY 400 SF OF REQUIRED AREA. ONE SHRUB SHALL BE PROVIDED FOR EVERY 250 SF OF REQUIRED AREA. TOTAL LOT AREA = 45,000 / 10 = 4,500 SF OF INTERIOR LANDSCAPING AREAS REQUIRED. 12 TREES REQUIRED AND 18 SHRUBS REQUIRED	4,900 SF OF INTERIOR LANDSCAPING AREAS PROVIDED. 5 ORNAMENTAL TREES, 16 EVERGREEN TREES AND 70 SHRUBS PROVIDED.
f. 1 DECIDUOUS OR ORNAMENTAL TREE AND 100 SF OF PLANTING AREA SHALL BE REQUIRED FOR EVERY 10 PARKING SPACES. 35 PARKING SPACES / 10 = 4 TREES AND 400 SF OF PLANTING AREA REQUIRED.	4 ORNAMENTAL TREES AND 1,400 SF OF PLANTING AREA PROVIDED.
g. WASTE RECEPTACLES SHALL BE SCREENED WITH A DECORATIVE MASONRY WALL OF AT LEAST 6' IN HEIGHT WITH A SOLID OR IMPERVIOUS GATE. GROUND-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED WITH PLANT MATERIALS OR A WALL.	WASTE RECEPTACLE IS SCREENED BY MASONRY WALL. EVERGREEN SHRUBS ARE PROVIDED TO SCREEN MECHANICAL EQUIPMENT.



LANDSCAPE PLANT LIST

ABRV.	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
PS CO	7	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT ORNAMENTAL CHERRY	2" CALIPER	B&B	ORNAMENTAL TREE
CO KO	7	CORNUS KOUSA	KOUSA DOGWOOD	2" CALIPER	B&B	ORNAMENTAL TREE
GB AG	2	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	2.5" CALIPER	B&B	DECIDUOUS TREE
PL AC	2	PLATANUS X ACERIFOLIA	LONDON PLANETREE	2.5" CALIPER	B&B	DECIDUOUS TREE
JC KE	4	JUNIPERUS CHINENSIS 'KETELEERI'	KETELEERI UPRIGHT JUNIPER	5' HEIGHT	B&B	EVERGREEN TREE
PS PE	12	PINUS STROBUS 'PENDULA'	EASTERN WHITE PINE 'PENDULA'	5' HEIGHT	B&B	EVERGREEN TREE
JO HI	31	JUNIPERUS COMMUNIS 'HIBERNICA'	IRISH JUNIPER 'HIBERNICA'	8' HEIGHT	B&B	EVERGREEN TREE
TO SM	32	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	8' HEIGHT	B&B	EVERGREEN TREE

ABRV.	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
TM DE	21	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	2' HEIGHT	CONTAINER	EVERGREEN SHRUB
DI LO	40	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	2' HEIGHT	CONTAINER	DECIDUOUS SHRUB
RA GM	30	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	2' HEIGHT	CONTAINER	DECIDUOUS SHRUB
VC SB	16	VIBURNUM CARLESII 'SPICE BABY'	KOREAN SPICE VIBURNUM 'SPICE BABY'	2' HEIGHT	CONTAINER	DECIDUOUS SHRUB
CA HU	28	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SUMMERSWEET 'HUMMINGBIRD'	2' HEIGHT	CONTAINER	DECIDUOUS SHRUB
FG BB	83	FESTUCA GLAUCA 'BEYOND BLUE'	FESTUCA GLAUCA 'BEYOND BLUE'	1 GALLON	CONTAINER	ORNAMENTAL GRASS
HE PB	93	HEMEROCALLIS 'PRAIRIE BLUE EYES'	DAYLILY 'PRAIRIE BLUE EYES'	1 GALLON	CONTAINER	FLOWERING PERENNIAL



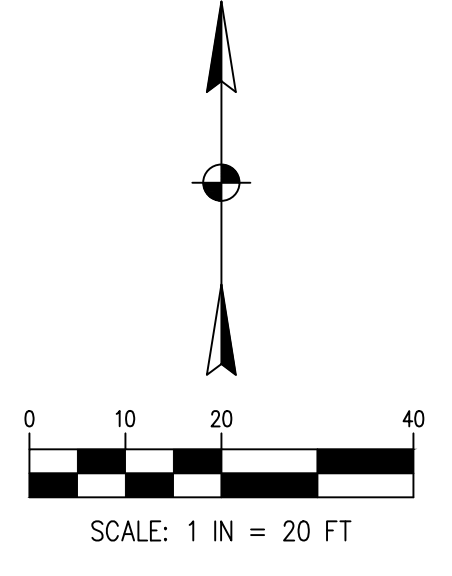
CLEAN EXPRESS CAR WASH
MILL STREET AND FORT STREET
LINCOLN PARK, MI 48146

**PRELIMINARY
LANDSCAPE PLAN**

L100

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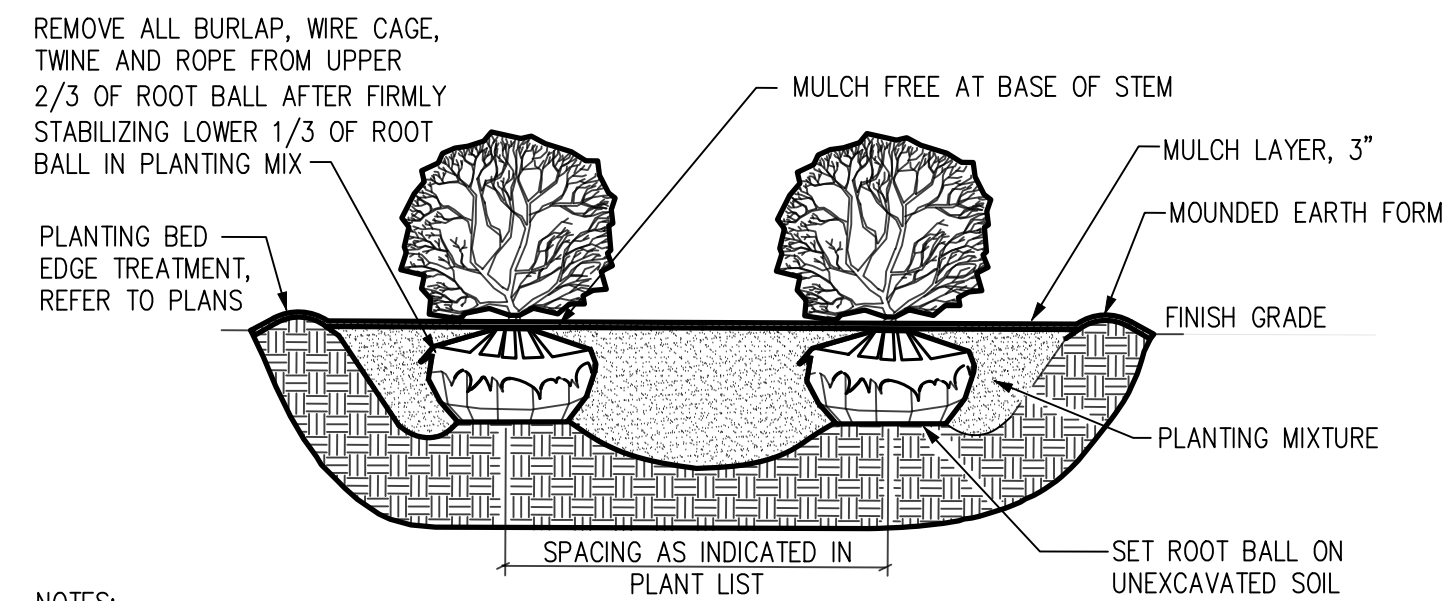


LANDSCAPE PLANTING NOTES

1. THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANTS AND VEGETATION PLANTED ON THE LANDSCAPING PLAN. ANY TREES, SHRUBS, GROUND COVER OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DO NOT SURVIVE ONE YEAR FROM PLANTING SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES THREE WORKING DAYS IN ADVANCE OF ANY DIGGING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF ANY UTILITIES.
3. REFER TO THE LANDSCAPE PLAN FOR ADDITIONAL NOTES. LANDSCAPE IMPROVEMENTS SHALL CONFORM TO THE LATEST EDITION OF MDOT CONSTRUCTION SPECIFICATIONS (2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION).
4. ALL PLANTING MATERIALS: SHALL BE PLANTED PER MDOT SPECIFICATIONS. EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE BROKEN, LOW HANGING AND OTHER UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.
5. PLANTING BEDS: ONE MONTH BEFORE CULTIVATION AND AFTER DAYTIME TEMPERATURES HAVE WARMED TO 60° CONSISTENTLY, TREAT ALL PLANTING BEDS THAT ARE TO BE DEVELOPED IN AREAS OF EXISTING TURF WITH PRE-EMERGENT AND POST-EMERGENT TYPE HERBICIDES. USE A STATE-LICENSED PESTICIDE APPLICATOR TO APPLY THE HERBICIDE. REPEAT HERBICIDE APPLICATION TWO WEEKS LATER AND UNTIL ALL HERBACEOUS MATERIALS HAVE BEEN KILLED. BEFORE PLANTING, TOP DRESS ALL PLANTING BEDS WITH A MINIMUM OF 6 INCHES OF BACKFILL MIX, THEN CULTIVATE PLANTING AREA TO A DEPTH OF 6 INCHES USING A PLOW, DISC, OR ROTO-TILLER.
6. BACKFILL MIX: FOR ALL PLANTINGS, USE BACKFILL MIX CONSISTING OF THE FOLLOWING:
 - A. ONE PART EXCAVATED SOIL.
 - B. ONE PART TOPSOIL.
 - C. ONE PART EPA RATED CLASS IV COMPOST.
 - D. A SLOW RELEASE COMMERCIAL FERTILIZER (0-20-20 OR EQUAL) ADDED AT A RATE OF 5 POUNDS PER CUBIC YARD TO THE BACKFILL MIX.
 - E. IF SOIL AREAS ARE OF HIGH PH (GREATER THAN 6.5), APPLY 1.25 POUNDS OF ELEMENTAL SULFUR PER CUBIC YARD OF BACKFILL MIX.

NOTE: CONTRACTOR SHALL SUPPLY A DETAILED SOIL ANALYSIS PRIOR TO ALL PLANT BED PREPARATION. ANALYSIS SHALL INDICATE SOIL PH, TEXTURE, MAJOR NUTRIENTS, SALTS, ETC. SOIL ANALYSIS SHALL BE FROM A REPUTABLE, INDEPENDENT LAB. SOIL AMENDMENTS SHALL BE INCORPORATED INTO BACKFILL/PLANT MIX AS RECOMMENDED BY THE INDEPENDENT LAB.
7. MULCH: SMOOTH AND SHAPE THE BACKFILL MIX TO FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE. MULCH ALL PLANTING AREAS WITH A LAYER OF FINELY SHREDDED HARDWOOD BARK OF UNIFORM TEXTURE & SIZE. PLANTS GROUPED IN MASSES SHALL HAVE THE ENTIRE CONTIGUOUS PLANTING BED OR ISLAND MULCHED. USE SHREDDED HARDWOOD BARK AGED MIN. ONE YEAR. RAKE AND SMOOTH THE ENTIRE AREA OF THE PLANTING BEDS, MULCH TO A DEPTH OF 3 INCHES. AFTER MULCHING AND BEFORE WATERING, ADD A SLOW RELEASE COMMERCIAL FERTILIZER (12-12-12 OR EQUAL), IN GRANULAR FORM, TO THE TOP OF THE MULCH AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET. DO NOT ALLOW FERTILIZER TO CONTACT THE STEMS, BRANCHES, ROOTS OR LEAVES.
8. PERIOD OF ESTABLISHMENT: BEFORE FINAL INSPECTION, PLACE ALL PLANTS AND CARE FOR THEM FOR A PERIOD OF ESTABLISHMENT. THE PERIOD OF ESTABLISHMENT BEGINS IMMEDIATELY UPON COMPLETION OF THE PLANTING OPERATIONS AND CONTINUES UNTIL OCTOBER 1. THE MINIMUM PERIOD OF ESTABLISHMENT IS ONE GROWING SEASON, JUNE 1 THROUGH OCTOBER 1. DURING THE PERIOD OF ESTABLISHMENT, FOLLOW STANDARD HORTICULTURAL PRACTICES TO ENSURE THE VIGOR AND GROWTH OF THE TRANSPLANTED MATERIAL. WATER, REMULCH, RESTAKE, GUY, AND CULTIVATE AS NECESSARY. PERFORM AT LEAST TWO WEEDING AND MOWING PROGRAMS (AROUND TREES, GUY STAKES, SHRUBS, AND BED EDGES) OF SUCH INTENSITY AS TO COMPLETELY RID THE PLANTED AND MULCHED AREAS OF WEEDS AND GRASSES. BEGIN THE FIRST PROGRAM ON OR ABOUT JUNE 15 AND THE SECOND APPROXIMATELY 8 WEEKS LATER. ON OR ABOUT AUGUST 15, THE ENGINEER WILL INSPECT THE PLANTING AND SUPPLY THE CONTRACTOR WITH A LIST OF MISSING AND DEAD PLANTS AND THOSE THAT HAVE DIED BACK BEYOND NORMAL PRUNING LINES. REPLANT AS REQUIRED ACCORDING TO THE SPECIFICATIONS OF THE ORIGINAL MATERIAL. REPLACEMENT PLANTS ARE SUBJECT TO A NEW PERIOD OF ESTABLISHMENT. IMMEDIATELY REPLACE PLANTS PLANTED INITIALLY IN THE FALL THAT HAVE DIED BEFORE THE SPRING PLANTING SEASON. CARE FOR THE REPLACEMENT PLANTS DURING THE NEW ESTABLISHMENT PERIOD.
9. RESTORATION OF DISTURBED AREAS FOR NEW LAWN:
 - ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT OR LANDSCAPE PLANTING BEDS SHALL BE SHALL BE PREPARED FOR GRASS SEED AND SEEDED. LOOSEN RUTS AND WORK THE SOIL AREAS TO A MINIMUM OF 6" DEEP PRIOR TO FINE GRADING AND SEEDING WORK. AREAS TO RECEIVE GRASS SEED SHALL HAVE A MIN. 4" TOPSOIL PLACED, SEEDED AND A STRAW/MULCH BLANKET COVER PLACED OVER THE SEEDED AREAS PER MDOT SPECIFICATIONS. FERTILIZE WITH ONE POUND OF ACTUAL NITROGEN PER 1000 SQUARE FEET WITH A SLOW RELEASE COMMERCIAL STARTER FERTILIZER (LESCO 18-24-12 OR EQUAL).
10. LANDSCAPE TREES, SHRUBS AND PERENNIAL WATERING:
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, DELIVERING, APPLYING, MEASURING AND SCHEDULING A SUFFICIENT AMOUNT OF WATER NECESSARY TO KEEP EACH PLANT IN A HEALTHY GROWING CONDITION THROUGHOUT THE PERIOD OF ESTABLISHMENT. THE CONTRACTOR SHALL APPLY 1" OF WATER PER WEEK TO ALL NEW PLANTS. THE CONTRACTOR SHALL INSTALL & MAINTAIN SUPPLEMENTAL DRIP WATERING TREE BAGS (SUCH AS 20 GALLON TREE GATOR WATER BAG) TO PROVIDE ADEQUATE, SLOW RELEASE OF WATER. WATER BAGS SHALL BE REMOVED AT THE END OF THE SECOND GROWING SEASON.
11. TURF GROUNDCOVER (SODDING, SEEDING AND SEED MULCHING):
 - ALL SEEDING INSTALLATION SHALL CONFORM TO MDOT SPECIFICATIONS AND NOTE 9 ABOVE. SEED AT 5 LBS/1000 SF (220 LB/AC) WITH THE FOLLOWING SEED MIXTURE (CSI GEOTURF SUN & SHADE MIX):

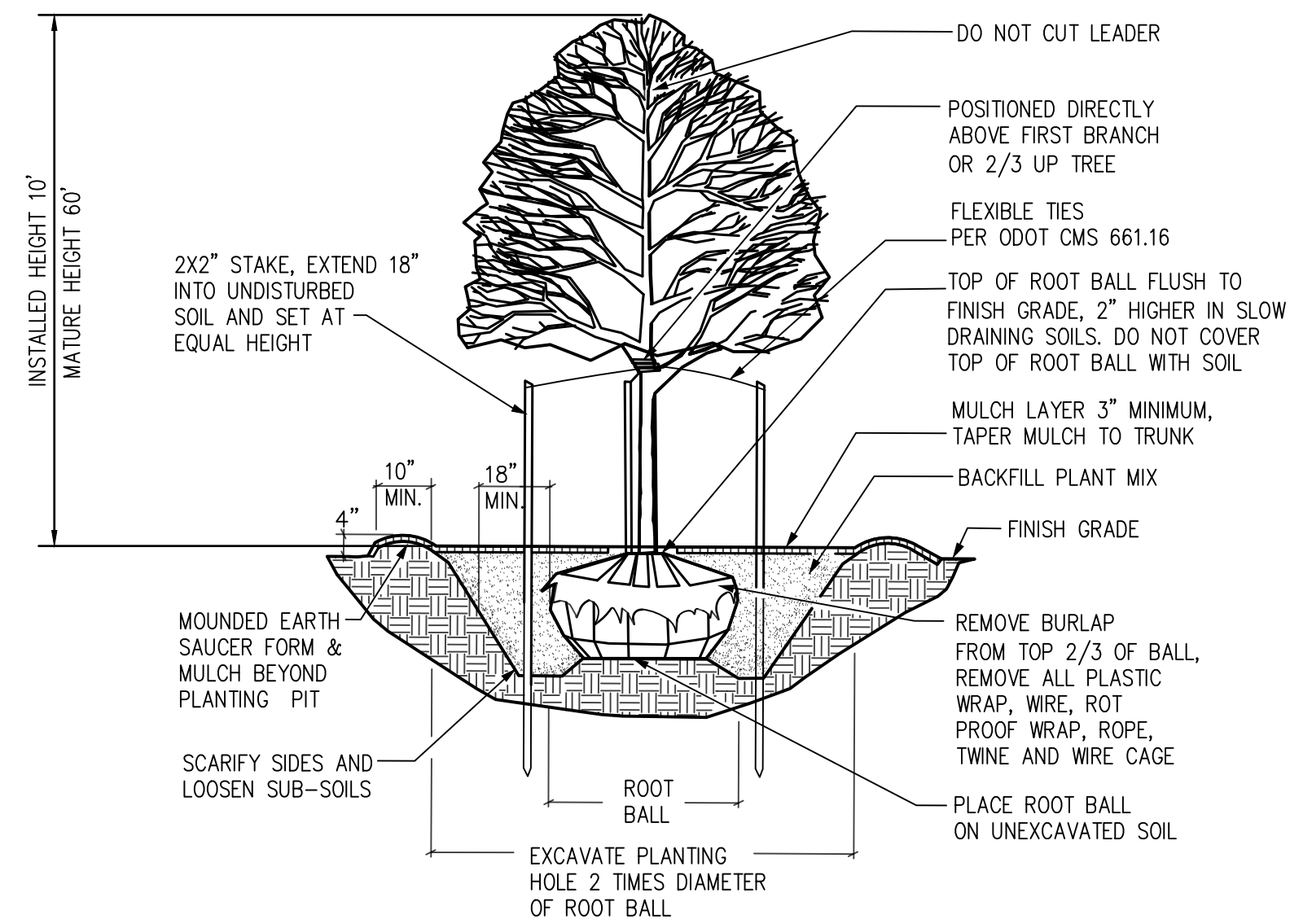
KENTUCKY BLUEGRASS	20%
HARD FESCUE	20%
CHEWING FESCUE	20%
PERENNIAL RYEGRASS	40%



NOTES:
 ALL SHRUBS PLANTED IN ROWS OR MASSES SHALL BE MATCHED IN SIZE AND FORM.
 SHRUBS SHALL BEAR SAME RELATION TO FINISH GRADE AS THEY BORE TO EXISTING GRADE IN THE PREVIOUSLY PLANTED CONDITION.

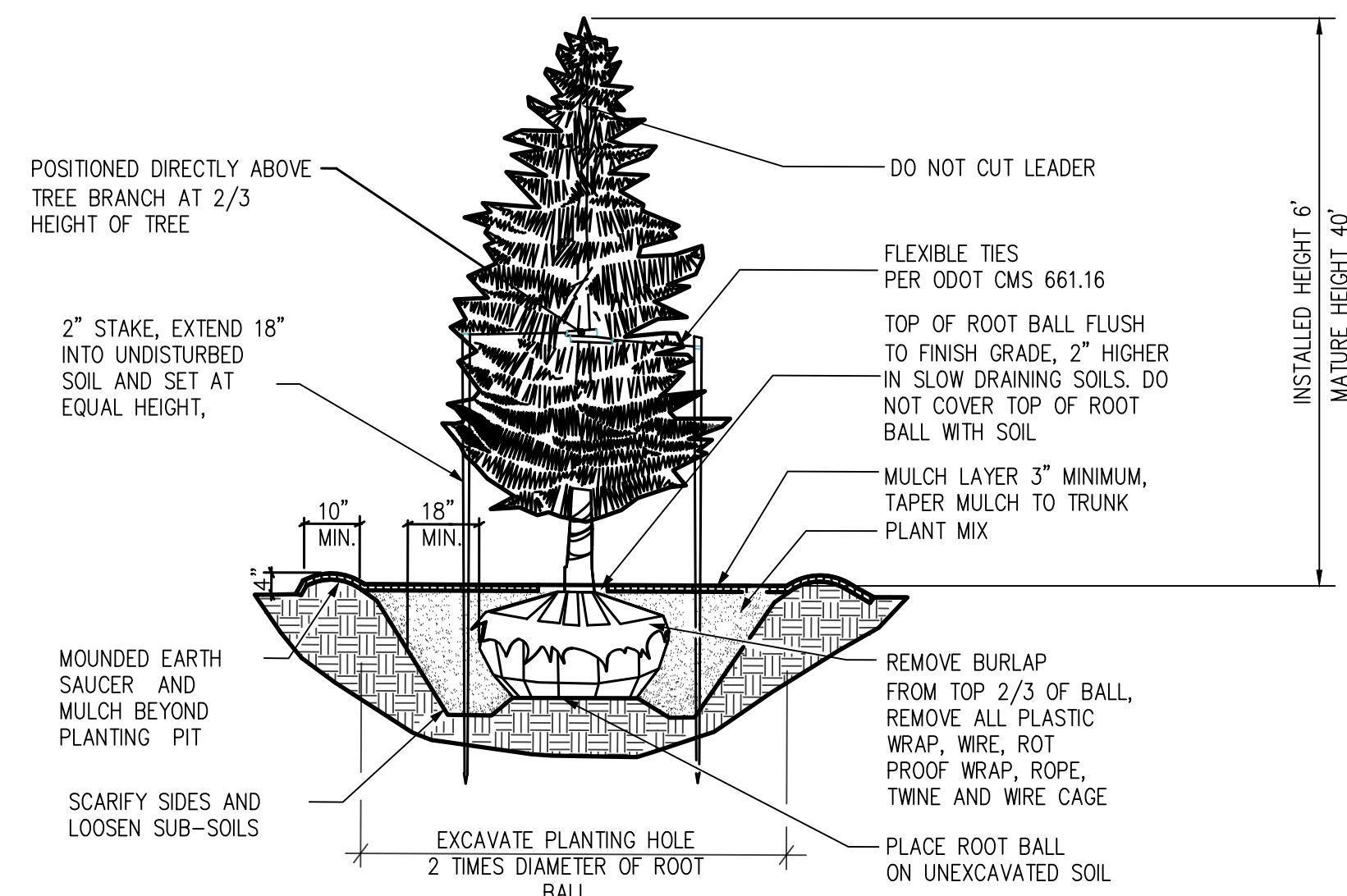
MASS SHRUB PLANTING DETAIL (B&B OR CONTAINER)

NO SCALE



DECIDUOUS TREE PLANTING DETAIL

NO SCALE



EVERGREEN TREE PLANTING DETAIL

NO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

607 SHELBY ST
 DEPT. OF PUBLIC WORKS
 TEL: 313.981.9500
 FAX: 313.981.9509

PROJECT DATE: 11/11/2022
 PROJECT NO: M390022
 DRAWN BY: ESP
 CHECKED BY: MUM

TECHNICAL SKILL.
 CREATIVE SPIRIT.

Mannik Smith GROUP
 www.MannikSmithGroup.com

PREPARED FOR:

 EXPRESS Wash Concepts
 13375 NATIONAL ROAD SW
 ETNA, OHIO 43088

CONCEPTUAL PLAN FOR
CLEAN EXPRESS CAR WASH
 MILL STREET AND FORT STREET
 LINCOLN PARK, MI 48146

LANDSCAPE NOTES & DETAILS

L101

W:\Project\p0214\K12\0600022\02\02\02\CONCEPTUAL LANDSCAPE PLAN.dwg (last saved: 4/20/2023 10:53 AM) by EPhim, jordan 11/10/2023 12:28 PM

MICHIGAN Utility Notification CENTER

811 or 1-800-482-7171
 Know What's Below. Call Before You Dig.



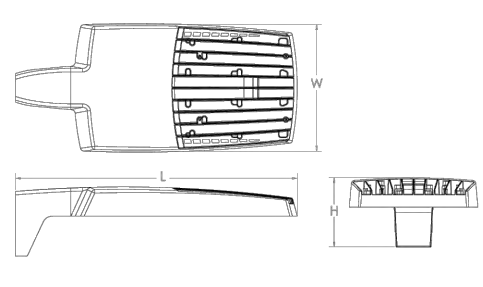
RSX2 LED Area Luminaire



Color Number	
Notes	
Type	

Specifications

EPA (HxØ): 0.69 ft (0.06 m)
Length: 29.3" (74.4 cm) (SPA mount)
Width: 13.4" (34.0 cm)
Height: 3.0" (7.6 cm) Main Body, 7.2" (18.3 cm) Arm
Weight (SPA mount): 30.0 lbs (13.6 kg)



Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX2 delivers 11,000 to 31,000 lumens allowing it to replace 250W to 1000W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

Ordering Information

EXAMPLE: RSX2 LED P6 40K R3 MVOLT SPA DDBXD

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX2 LED	P1	30K	R2	MVOLT	SPA
	P2	40K	R3	WVOLT	RPA
	P3	50K	R4	XVOLT	MA
	P4	60K	R5	IS	IS
	P5	70K	R6	WBAS	WBAS
	P6	80K	R7	AASP	AASP
				ARBRO	ARBRO
				ARF90	ARF90

Options

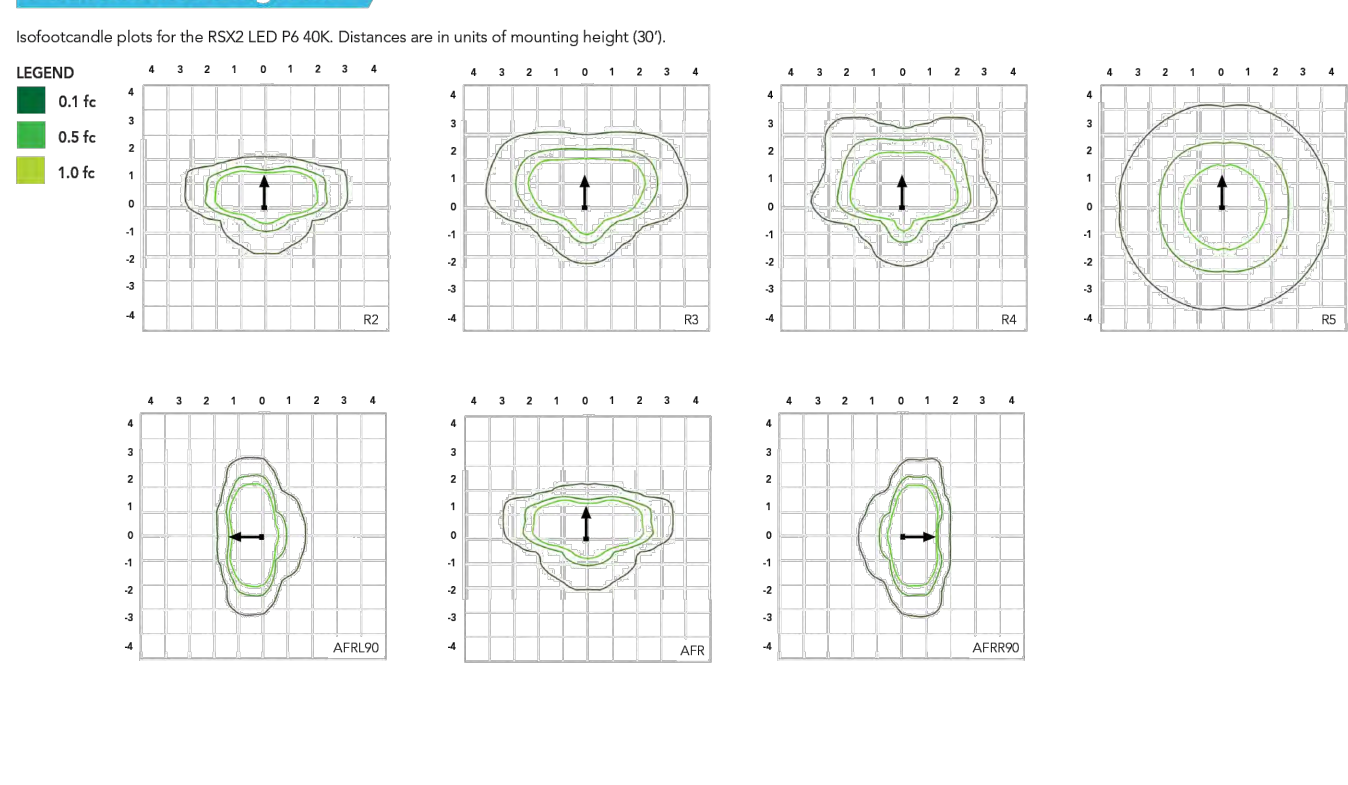
Option	Finish
IS	House-side shield ¹
PH	Photoacoustic, bottom style ¹
PE	Photoacoustic, external, adjustable ^{1,2}
PHZ	Seven-wire back lock receptacle only (no controls) ^{1,2,3,4}
CE34	Conduit entry 3/4" NPT (Qty 2)
SF	Single fuse (120, 277, 347) ¹
DF	Double fuse (240, 240, 480) ¹
SPD5KV	20KV surge protector (10KV standard)
FAO	Field adjustable output ¹
DIMG	0-10V dimming, external out back of housing for external control (control ordered separately) ^{1,2}
DS	Dual switching ^{1,2}

Shipped Installed

Dark Bronze, Black, Natural Aluminum, White, Textured Dark Bronze, Textured Black, Textured Natural Aluminum, Textured White.

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Photometric Diagrams



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Ambient	Multiplier
0°C	1.05
5°C	1.04
10°C	1.03
15°C	1.02
20°C	1.01
25°C	1.00
30°C	0.99
35°C	0.98
40°C	0.97
45°C	0.96
50°C	0.95

Electrical Load

Performance Package	System Watts (W)	120V	208V	240V	277V	347V	480V
P1	11W	0.99	0.34	0.30	0.26	0.20	0.15
P2	16W	1.23	0.70	0.61	0.53	0.42	0.31
P3	147W	1.55	0.90	0.78	0.68	0.53	0.38
P4	30W	1.75	1.01	0.87	0.76	0.60	0.44
P5	24W	2.03	1.17	1.01	0.88	0.70	0.51

Projected LED Luminaire Maintenance

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>=0.97	>=0.95	>=0.92



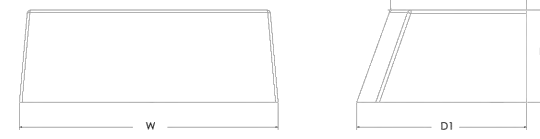
ARC2 LED Architectural Wall Luminaire



Color Number	
Notes	
Type	

Specifications

Depth (D1): 9.25"
Depth (D2): 7.5"
Weight: 5"
Width: 14"
 (without options) 11 lbs



Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC2 delivers up to 6,500 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. It offers integrated emergency battery backup options, including an 0V cold temperature option, making it suitable for pedestrian scale applications in any environment.

ARC LED Family Overview

Luminaire	Standard EM, 4°C	Gold EM, 20°C	P1	P2	P3	P4	P5
ARC1 LED	4W	—	1,500	2,000	3,000	—	—
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

Ordering Information

EXAMPLE: ARC2 LED P2 40K MVOLT PE DDBXD

Series	Package	Color Temperature	Voltage	Options	Finish
ARC2 LED	P1	30K	3000K	MVOLT	DDBD
	P2	40K	4000K	EMW	DRXD
	P3	50K	5000K	PE	DNATD
	P4	60K	6000K	DIMG	DNWTD
	P5	6500 Lumens		SPOBKV	DRBTD

Accessories

W02W DDBD0: Surface-mounted base box (operty fit).

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Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	30K (1000K, 80 CRI)								40K (4000K, 80 CRI)								50K (5000K, 80 CRI)							
		Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G									
P1	11W	1,502	142	0	0	1	1,587	150	0	0	1	1,598	151	0	0	1	1,598	151	0	0	1				
P2	16W	2,250	140	0	0	1	2,377	147	0	0	1	2,393	148	0	0	1	2,393	148	0	0	1				
P3	24W	3,206	135	0	0	1	3,387	143	0	0	1	3,410	144	0	0	1	3,410	144	0	0	1				
P4	30W	3,903	128	1	0	1	4,124	136	1	0	1	4,152	136	1	0	1	4,152	136	1	0	1				
P5	51W	6,260	122	1	0	1	6,615	129	1	0	1	6,659	130	1	0	1	6,659	130	1	0	1				

Electrical Load

Performance Package	System Watts	120V	208V	240V	277V	347V
P1	11W	0.090	0.055	0.049	0.046	0.045
P2	16W	0.141	0.081	0.072	0.064	0.059
P3	24W	0.202	0.117	0.103	0.091	0.079
P4	30W	0.280	0.162	0.144	0.128	0.095
P5	51W	0.471	0.272	0.239	0.212	0.158

Lumen Output in Emergency Mode (400K, 80 CRI)

Option	Lumens
EMW	893
EMW	1,413

Lumen Ambient Temperature (LAT) Multipliers

Ambient	Multiplier
0°C	1.04
10°C	1.03
20°C	1.01
25°C	1.00
30°C	0.99
40°C	0.97

Projected LED Luminaire Maintenance

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>=0.96	>=0.93	>=0.88



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Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	30K (1000K, 80 CRI)								40K (4000K, 80 CRI)								50K (5000K, 80 CRI)							
		Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G									
P1	11W	1,502	142	0	0	1	1,587	150	0	0	1	1,598	151	0	0	1	1,598	151	0	0	1				
P2	16W	2,250	140	0	0	1	2,377	147	0	0	1	2,393	148	0	0	1	2,393	148	0	0	1				
P3	24W	3,206	135	0	0	1	3,387	143	0	0	1	3,410	144	0	0	1	3,410	144	0	0	1				
P4	30W	3,903	128	1	0	1	4,124	136	1	0	1	4,152	136	1	0	1	4,152	136	1	0	1				
P5	51W	6,260	122	1	0	1	6,615	129	1	0	1	6,659	130	1	0	1	6,659	130	1	0	1				

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FEATURES & SPECIFICATIONS

INTENDED USE — These specifications are for USA standards only. Square Straight Steel is a general purpose light pole for up to 39-foot mounting heights. This pole provides a robust yet cost effective option for mounting area light and floodlights.

CONSTRUCTION — Pole Shaft: The pole shaft is of uniform dimension and wall thickness and is made of a weldable, grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 55 KSI (11-gauge, 1196", or 50 KSI 1-gauge, 799"). Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5" and 6".

Pole Top: A flush non-metallic black top cap is provided for all poles that will receive drilling patterns for side-mount luminaire arm assemblies or when ordered with PF option.

Handhole: A reinforced handhole with grounding provision is provided at 18" from the base on side A. Positioning the handhole lower may not be possible and requires engineering review; consult Tech Support Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole has a nominal dimension of 2.5" x 5".

Base Cover: A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with each pole assembly. Additional base cover options are available upon request.

Anchor Base/Bolts: Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standards grade 55, 55 KSI minimum yield strength and tensile strength of 75-95 KSI. Top threaded portion (nominal 1.75") is hot-dipped galvanized per ASTM A-153.

HARDWARE — All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

FINISH — Extra durable standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Emerald Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to Hot-dipped Galvanized, Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-primed primer paint finish is available for customer field-paint applications.

BUY AMERICAN — Product with the BAA option is assembled in the USA and meets the Buy America (a) government procurement requirements under FAR, DFARS and DOD. Please refer to www.acybrands.com/usa-americ for additional information.

INSTALLATION — Do not erect poles without having fixtures installed. Factory-supplied templates must be used when drilling anchor bolts. Lithonia Lighting will not accept claims for incorrect anchor placement due to failure to use Lithonia Lighting factory templates. If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage. Lithonia Lighting is not responsible for the foundation design.

WARRANTY — 1-year limited warranty. Complete warranty terms located at: www.acybrands.com/support/warranty-terms-and-conditions

NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Color Number	
Notes	
Type	



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W:\Product\pdm\K:\2020\02\24\9846\ES\CONCEPTUAL PLAN\ARC2020_01_13\2023_12_24 PM

PRELIMINARY NOT FOR CONSTRUCTION

DESCRIPTION BY NO. DATE

DRY SHELBY ST. TEL: 313.981.9600 FAX: 313.981.9608

PROJECT NO: M930002

DATE: 11/11/2022

ESP

DRIVEN BY: MUM

checked BY:

PREPARED FOR:

EXPRESS CONCEPTS

13375 NATIONAL ROAD SW ETNA, OHIO 43086

CONCEPTUAL PLAN FOR

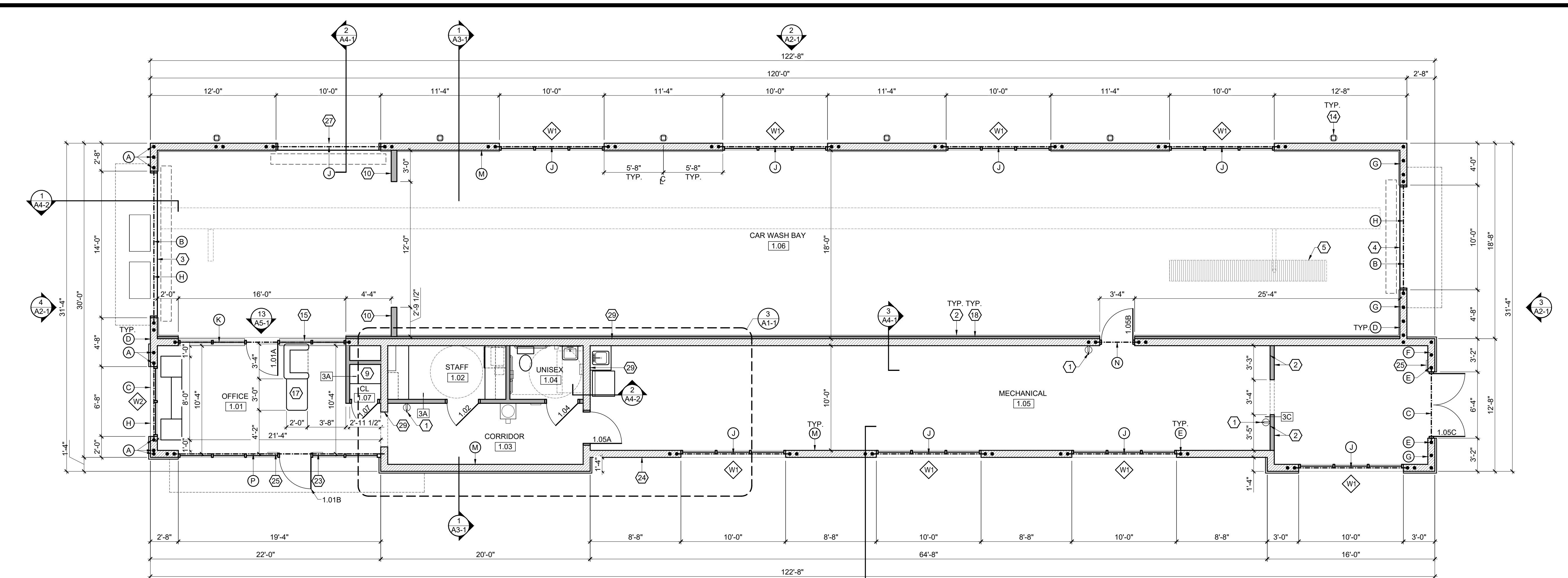
CLEAN EXPRESS CAR WASH

MILL STREET AND FORT STREET LINCOLN PARK, MI 48146

LIGHTING DETAILS

SEE NOTES PAGE 9.

POLE-SS5



PROVIDE MASONRY CONTROL JOINTS PER MANUFACTURER'S INSTRUCTIONS

PROVIDE HORIZONTAL JOINT REINFORCING AT 16" O.C. MIN. W/ 1.7 BAR SIZE TYP. LAP MIN. 12", TYP.

ALL EXTERIOR DIMENSIONS ARE TO MASONRY UNITS / MASONRY OPENINGS, TYP.

PROVIDE (2) L4 x 3 1/2 x 5/16" LINTEL OVER 36"x24" LOUVERS AND @ LONG WALL OF BUILDING

WINDOW TYPES SCHEDULE	
W1	10'-0" WIDE BY 10'-0" TALL ALUMINUM STOREFRONT WINDOW HEAD HEIGHT = 10'-8" A.F.F.
W2	6'-8" WIDE BY 10'-8" TALL ALUMINUM STOREFRONT WINDOW HEAD HEIGHT = 10'-8" A.F.F.
ALL GLAZING SHALL HAVE A SHGC OF .40 MIN.	

CAR WASH GENERAL NOTES

- CENTERLINE OF EQUIPMENT DOES NOT EQUAL CENTERLINE OF TRENCH
- CENTERLINE OF EQUIPMENT DOES NOT EQUAL CENTERLINE OF ENTRY DOOR
- CENTERLINE OF EQUIPMENT DOES EQUAL CENTERLINE OF EXIT DOOR
- CENTERLINE OF EQUIPMENT DOES EQUAL CENTERLINE OF TUNNEL BAY
- COORDINATE LOCATION OF TRENCH WITH CAR WASH MANUFACTURER'S DRAWINGS

PLAN GENERAL NOTES

- ALL DOORS TO BE 6" FROM ADJACENT WALL U.N.O.
- ALL SIGNS THAT DESIGNATE PERMANENT ROOMS AND SPACES SHALL HAVE RAISED AND BRAILED CHARACTERS AND PICTORIAL SYMBOL SIGNS, FINISH AND CONTRAST, AND MOUNTED 60 INCHES ABOVE THE FINISH FLOOR TO CENTERLINE OF THE SIGN PER ANSI
- ALL INTERIOR STUD WALLS TO BE WALL TYPE "3B", U.N.O.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL TOILET ROOMS

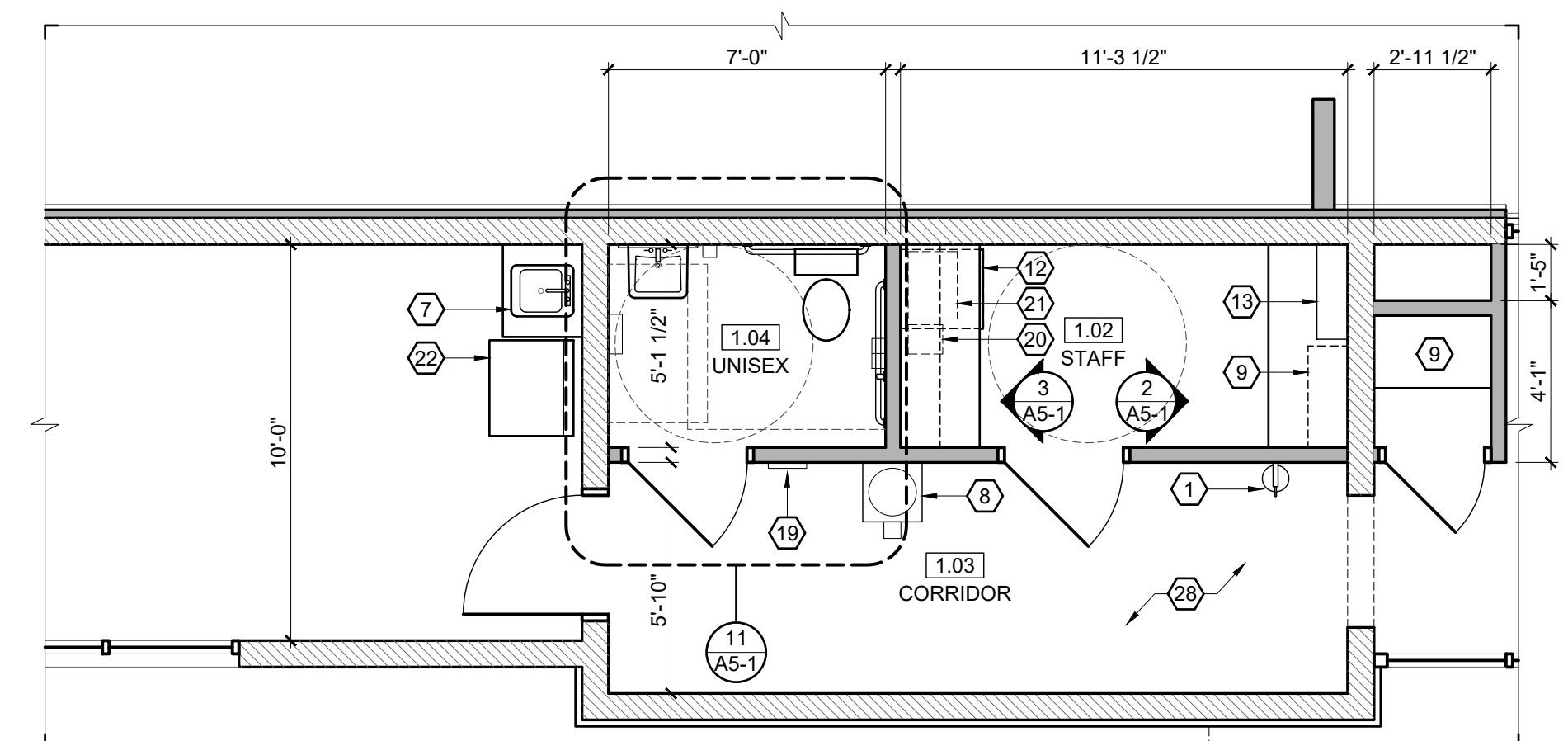
- FLOOR PLAN CODED NOTES**
- WALL MOUNTED FIRE EXTINGUISHER. EXTINGUISHER TO BE: RED ENEMELED FINISH HEAVY DUTY STEEL CYLINDER. UL AND FM APPROVED. ABC MULTI PURPOSE DRY CHEMICAL, 10 LB CAPACITY UL RATED 4A 60B: C. HOSE TYPE, UPRIGHT, SQUEEZE GRIP OPERATION
 - INTERIOR WALL LINER PANEL
 - 14'-0" x 8'-0" OVERHEAD DOOR
 - 10'-0" x 8'-0" OVERHEAD DOOR
 - CAR WASH TRENCH, SEE MANUFACTURER'S DRAWINGS
 - DECORATIVE AWNING W/ BRACKETS, CENTER OVER WINDOWS / DOORS
 - DEDICATED COMMERCIAL GRADE SINK FOR UTILITY SINK
 - ANSI COMPLIANT BOTTLED WATER COOLER WITH CUP DISPENSER
 - 12" DEEP SHELVING W/ STANDARDS AND BRACKETS
 - WIND WALL, P.T. 2x6 WALL W/ 7/16" OSB SHEATHING & LINER PANEL BOTH SIDES
 - NOT USED
 - UNDER COUNTER REFRIGERATOR
 - SERVER RACK, SEE SHEET AS-1
 - DOWNSPOUT
 - ALUMINUM STOREFRONT SYSTEM, WINDOW HEAD HEIGHT = 8'-0", SEE ELEVATION 13/AS-1, PROVIDE 1" INSULATED GLASS
 - NOT USED
 - RECEPTIONIST DESK BY OTHERS. ANSI COMPLIANCE IS THE RESPONSIBILITY OF THE DESK DESIGNER
 - PROVIDE 2 1/2" METAL Z-FURRING STRIPS @ 24" HORIZONTAL W/ MIN R-13 RIGID INSULATION IN FURRING CAVITIES W/ 5 MIL VAPOR BARRIER
 - ANSI COMPLIANT SIGNAGE DESIGNATING UNISEX TOILET ROOM
 - COFFEE MAKER, SEE INTERIOR ELEVATION
 - MICROWAVE, SEE INTERIOR ELEVATION
 - STACKABLE WASHER / DRYER
 - ANSI COMPLIANT SIGNAGE DESIGNATING MAXIMUM OCCUPANCY OF 15 PERSONS
 - QUICK-BRICK MASONRY CONSTRUCTION
 - ANSI COMPLIANT EXIT SIGNAGE, SEE 9/AS-1
 - STORAGE CABINETRY, SEE INTERIOR ELEVATION ON SHEET AS-1
 - 10'-0" x 8'-0" OVERHEAD DOOR
 - HVAC PLATFORM ABOVE, SEE DETAILS ON SHEET A1-3
 - 8" CMU WALL

- STRUCTURAL CODED NOTES**
- #5 VERTICAL EACH CELL
 - W8x28 W/ 5/16" PLATE, FASTEN TO WALL PER DETAIL 7/A4-2
 - (2) L5x3-1/2x5/16 LLV
 - PROVIDE HORZ. JOINT REINF. @ EACH COURSE IN END WALL
 - (2) #5 VERT. TYP. @ ALL MASONRY OPENINGS
 - PROVIDE HORIZONTAL JOINT REINFORCING @ EACH COURSE IN 18'-4" TALL WALLS
 - #5 @ CORNERS AND 16" O.C. MAX @ END WALL
 - PROVIDE #5 VERT. @ 48" O.C. IN WALL ABOVE OPENINGS
 - NOT USED
 - W8x24 W/ 5/16" PLATE
 - W16x31 W/ 5/16" PLATE, FASTEN TO WALL PER DETAIL 7/A4-2
 - W8x28 LINTEL W/ 5/16" PLATE
 - PROVIDE #5 @ 48" O.C. VERT. & HORIZONTAL JOINT REINFORCING PER PLAN NOTES FOR ENTIRE WALL, TYP.
 - (2) L3 1/2x3 1/2x5/16
 - W12x30 W/ 5/16" PLATE

WALL TYPES SCHEDULE

#	ASSEMBLY DESCRIPTION	HR	NOTES
3A	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD		FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD @ UNDERSIDE OF JOISTS. ASSEMBLY THICKNESS = 4 3/4"
3B	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD 3" SOUND BATT		FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD @ UNDERSIDE OF JOISTS. ASSEMBLY THICKNESS = 4 3/4"
3C	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD 3" SOUND BATT		FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD @ BOTTOM OF DECK. ASSEMBLY THICKNESS = 4 3/4"

4 FLOOR PLAN



NO.	ROOM NAME	SIZE	ELEV	MAT	RATING	GLASS	HDWR	FRAME	ELEV	MAT	REMARKS
1.01A	OFFICE	3070	02	AL/GS	0-HR	TEMP	SET 01	A	AL		CLOSER
1.01B	OFFICE	3070	02	AL/GS	0-HR	TEMP	SET 05	B	AL		CLOSER, ENTRY KEY
1.02	STAFF	3070	03	H.M.	0-HR	TEMP	SET 02	A	H.M.		
1.04	UNISEX	3070	01	H.M.	0-HR	N/A	SET 03	A	H.M.		
1.05A	MECHANICAL	3070	04	H.M.	0-HR	TEMP	SET 04	A	H.M.		
1.05B	MECHANICAL	3070	02	ALUM.	0-HR	N/A	SET 04	B	ALUM.		
1.05C	MECHANICAL	(2) 3070	05	AL/GS	0-HR	TEMP	SET 05	B	H.M.		
1.06	WASH BAY	3070	02	AL/GS	0-HR	TEMP	SET 05	B	ALUM.		
1.07	CLOSET	2670	01	WD	0-HR	N/A	SET 02	N/A	N/A		CUSTOM SLAT WALL DOOR

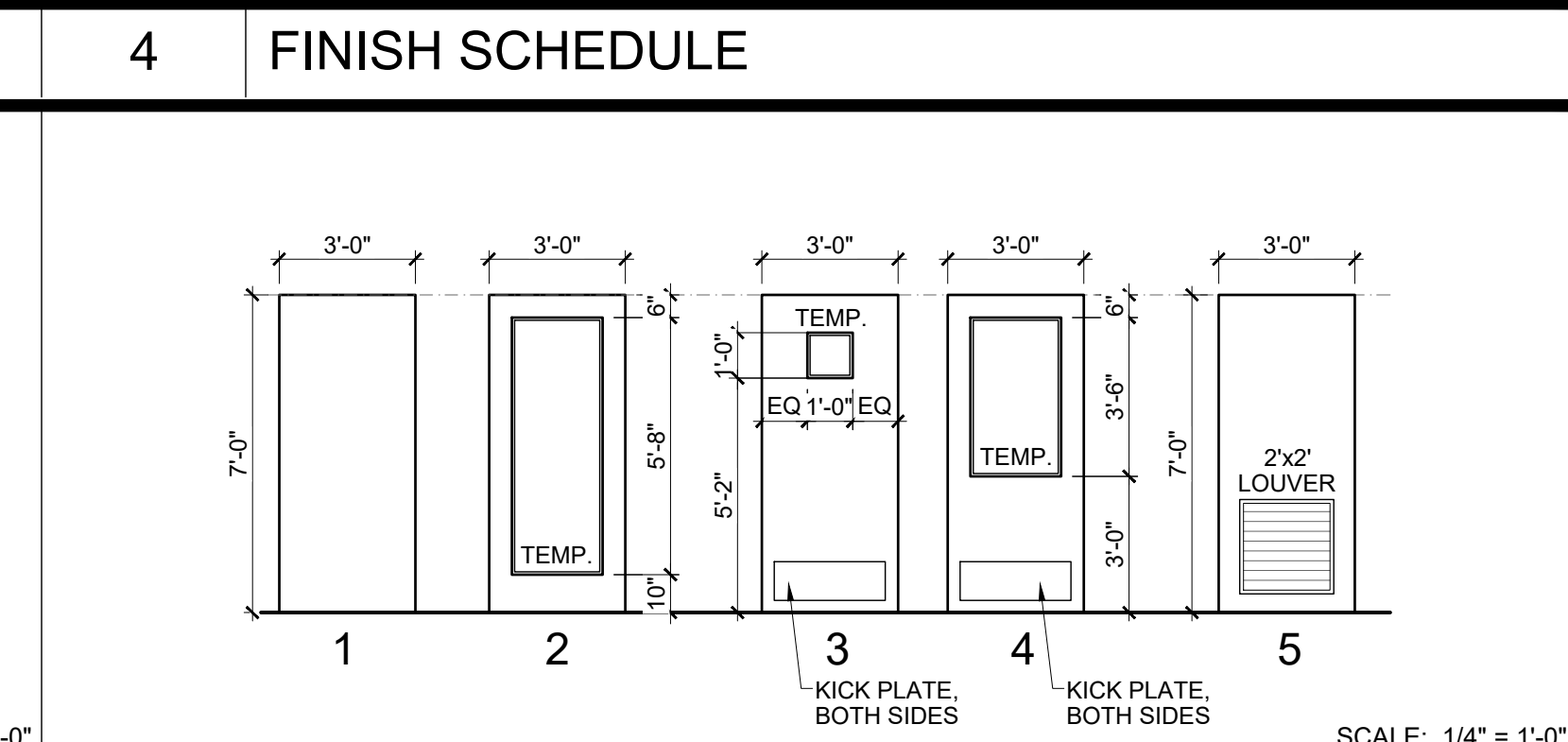
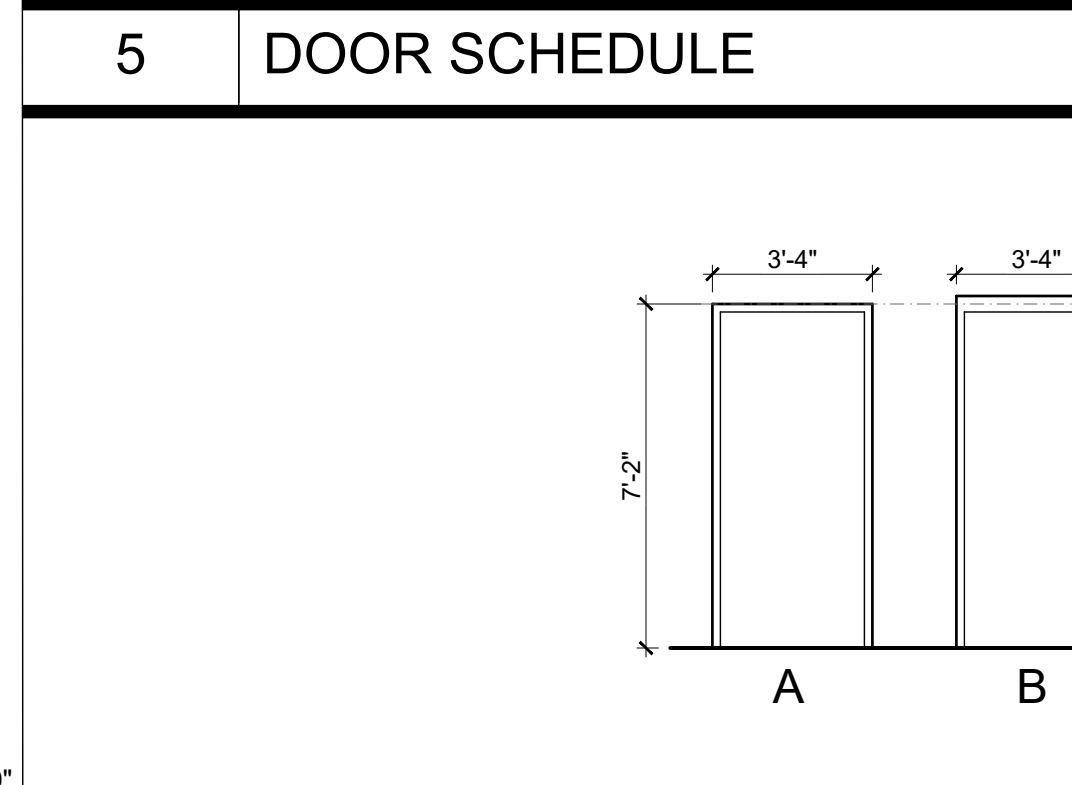
DOOR GENERAL NOTES

- ALL DOOR HARDWARE TO BE ANSI COMPLIANT LEVER STYLE
- ALL DOOR HARDWARE TO BE MOUNTED BETWEEN 34" - 48" A.F.F.
- ALL GLAZING IN NEW DOORS TO BE TEMPERED
- ALL DOORS TO RECEIVE (3) HINGES
- ALL DOORS TO RECEIVE (3) SILENCERS
- ALL DOORS TO RECEIVE DOOR STOP
- ALL EXTERIOR DOORS TO RECEIVE CLOSER
- ALL EXTERIOR DOORS TO HAVE ANIS COMPLIANT THRESHOLD (1/4" MAX)
- ALL EGRESS DOORS SHALL UNLATCH WITH ONLY ONE OPERATION OF THE DOOR HARDWARE, READILY OPERABLE FROM EGRESS SIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. 2017 OBC 1010.1.9/1010.1.9.1/1010.1.9.5.

DOOR HARDWARE SETS

SET 01: OFFICE LOCKSET
 SET 02: STORAGE LOCKSET
 SET 03: PRIVACY LOCKSET
 SET 04: PASSAGE LOCKSET
 SET 05: EXIT LOCKSET
 SET 06: PUSH / PULL

KEY ALL DOORS ALIKE



3 ENLARGED FLOOR PLAN

2 FRAME ELEVATIONS

1 DOOR ELEVATIONS

#	DATE	ISSUED WITH: CHANGE DESCRIPTION



SCALE: 3/16" = 1'-0" (U.N.O.)

SHEET # / DESCRIPTION

FLOOR PLAN

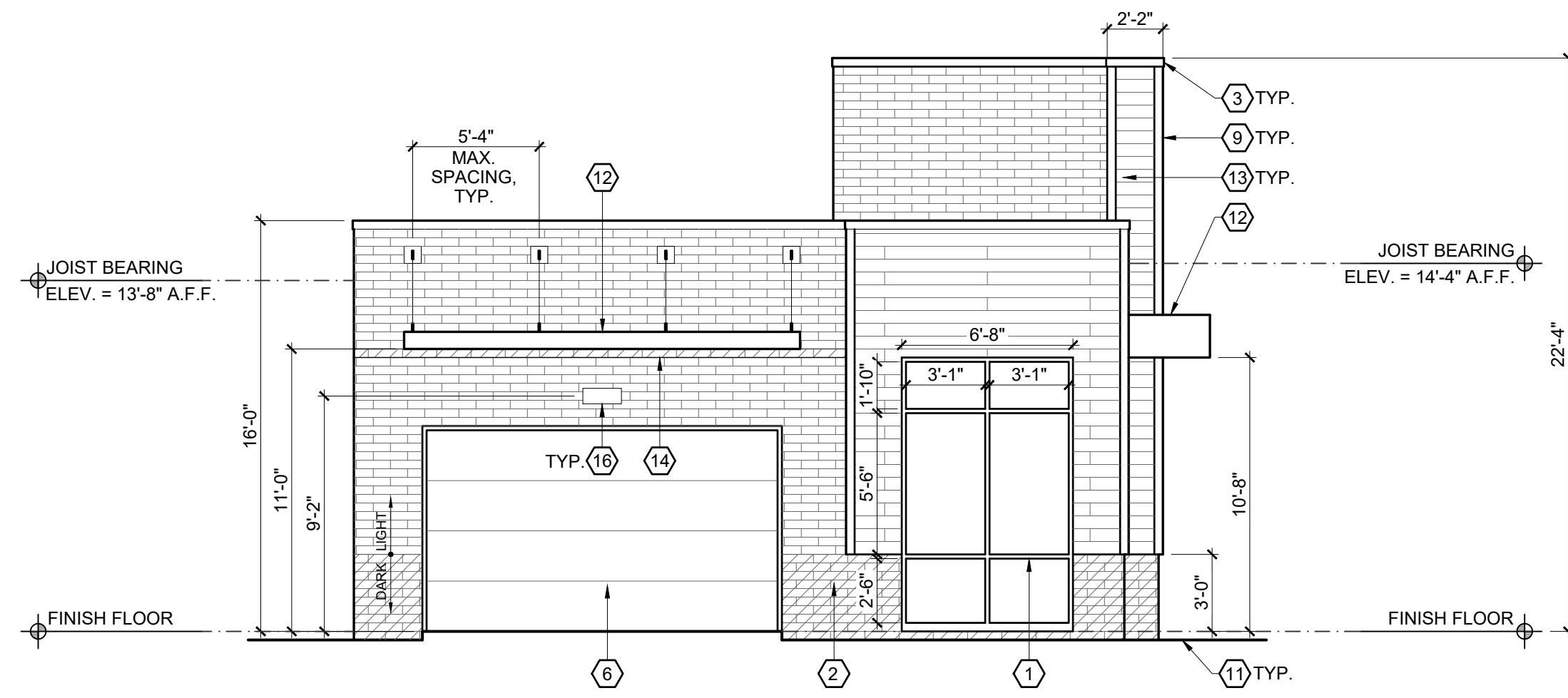
A1-1

DATE: 07.21.2022

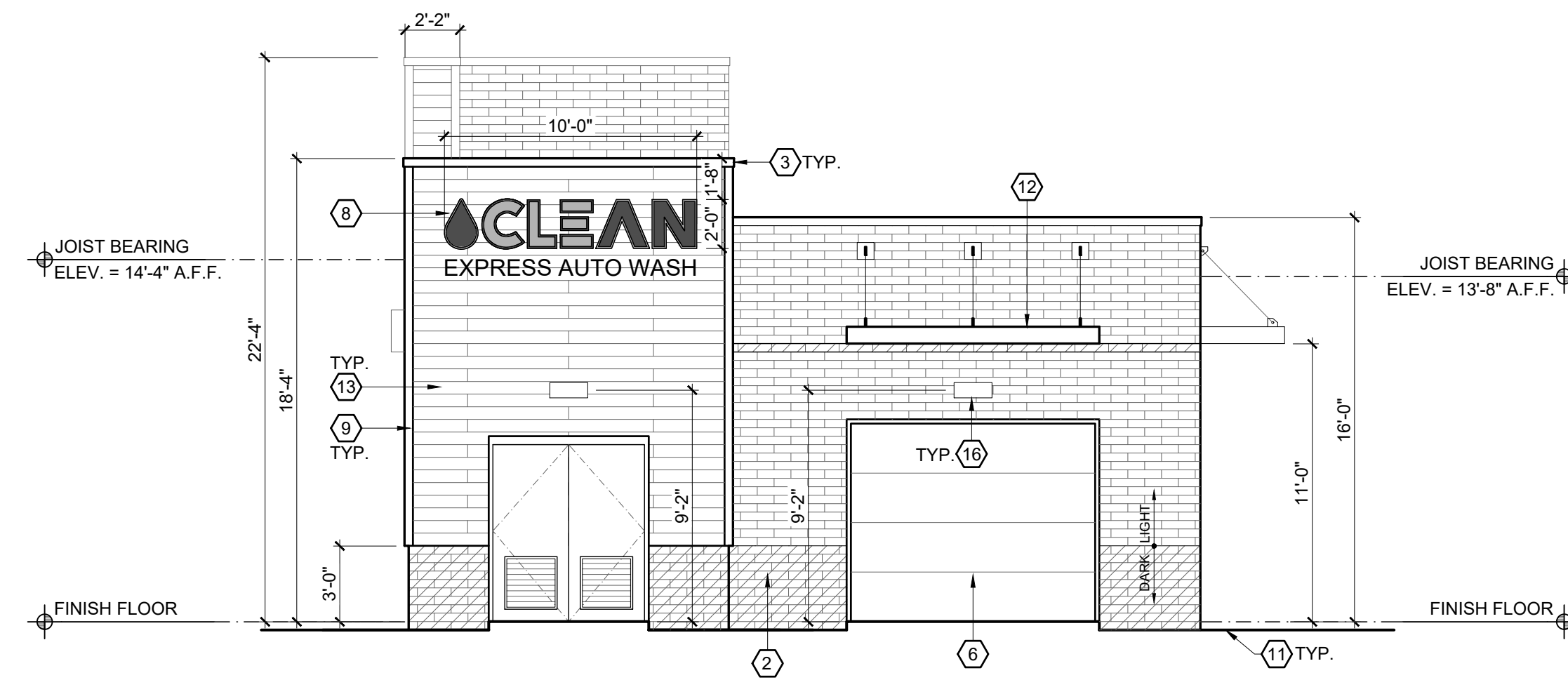
DESIGN REVIEW

SCOTT S. BAKER, LICENSE #14654
 EXPIRATION DATE 12/31/2023

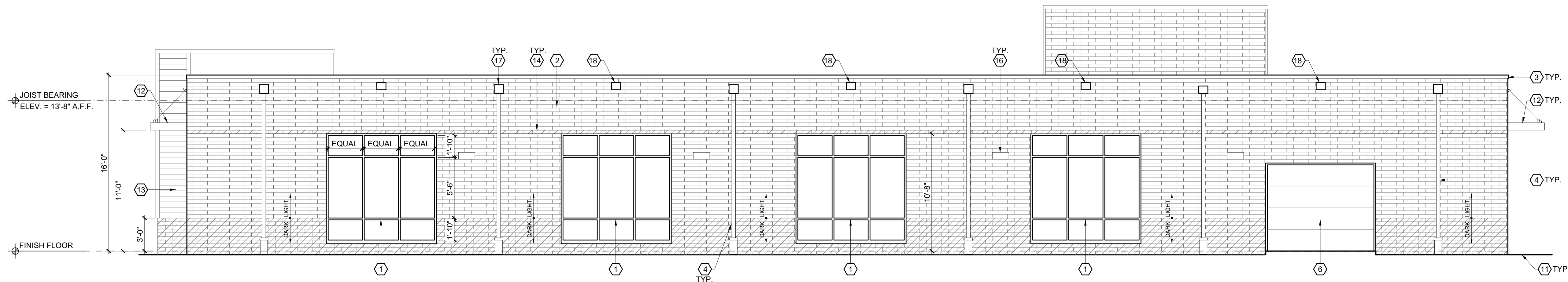
SBA STUDIOS PROJECT # 2022-000



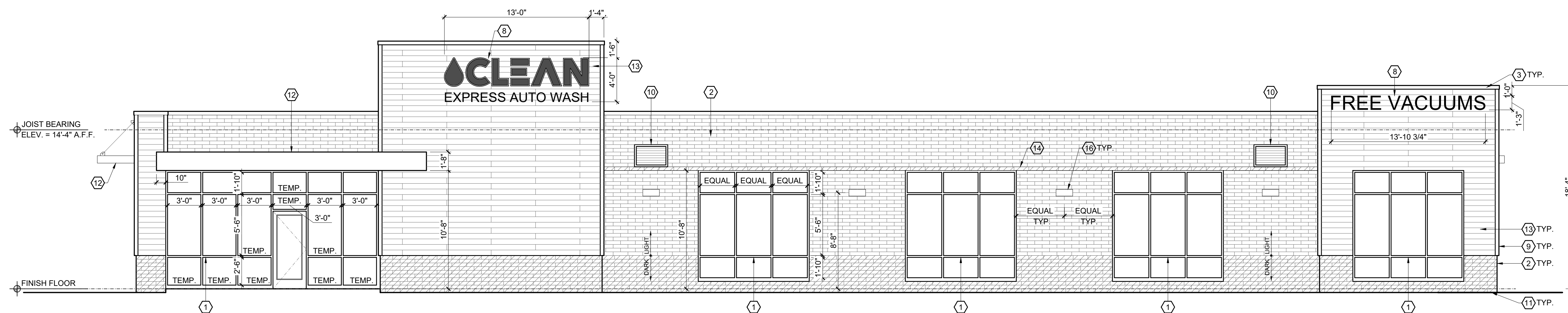
4 ENTRY ELEVATION



3 EXIT ELEVATION



2 SIDE ELEVATION



1 SIDE ELEVATION

ELEVATION CODED NOTES

1. ALUMINUM STOREFRONT GLAZING SYSTEM. MANUFACTURER TO DESIGN FOR WIND LOAD REQUIREMENTS PER CODE.
2. QUIK-BRIK CMU CONSTRUCTION. SEE MATERIALS LEGEND. INSTALL CONTROL JOINTS PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
3. CONTINUOUS METAL COPING, TYP.
4. 4" METAL DOWNSPOUT
5. NOT USED
6. OVERHEAD DOOR
7. NOT USED
8. SIGNAGE PROVIDED BY OWNER.
9. 1x4 COMPOSITE CORNER TRIM, TYP.
10. 36"x24" METAL WALL LOUVER W/ 2" FRAME. SEE HVAC DRAWINGS. LOCATE SUCH THAT OPENING IS NOT DIRECTLY BENEATH A ROOF JOIST
11. GRADE. COORDINATE W/ CIVIL DRAWINGS.
12. PRE-MANUFACTURED ALUMINUM AWNING. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
13. NICHHA FIBER CEMENT AWP181 HORIZONTAL SIDING.
14. MASONRY BAND IN DARK FINISH TO MATCH BASE OF WALL
15. NOT USED
16. DECORATIVE LIGHT FIXTURE
17. SCUPPER & DOWNSPOUT COLLECTION BOX
18. EMERGENCY OVERFLOW SCUPPER

ELEVATION MATERIAL LEGEND

- QUIK-BRIK (LIGHT FINISH)
- QUIK-BRIK (DARK FINISH)
- NICHHA FIBER CEMENT AWP181 HORIZONTAL SIDING

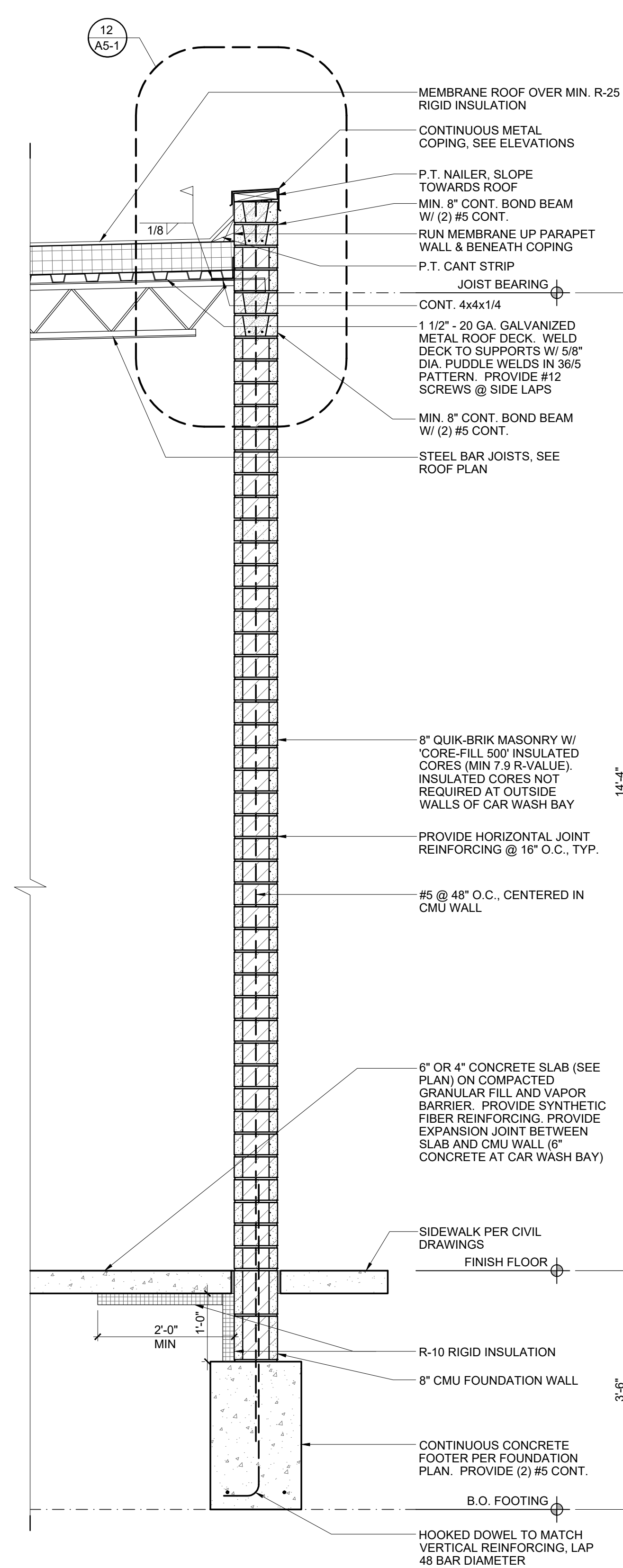
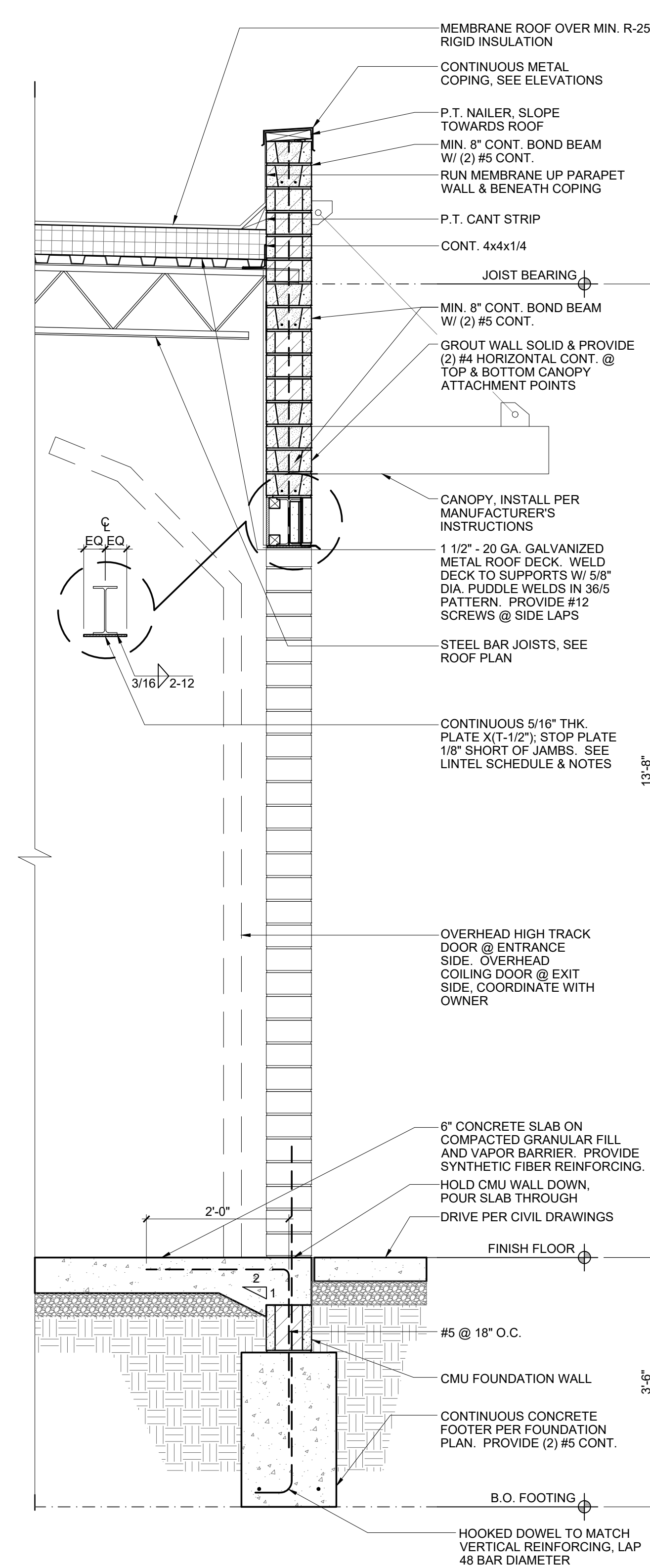
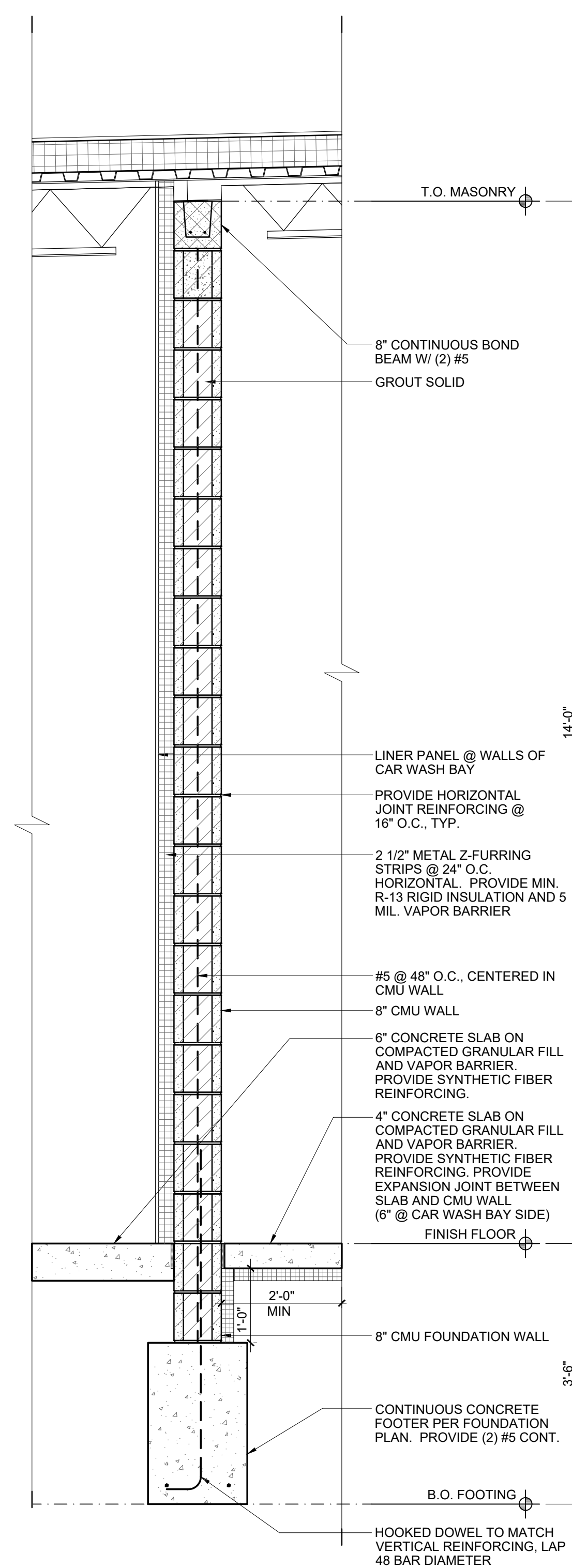
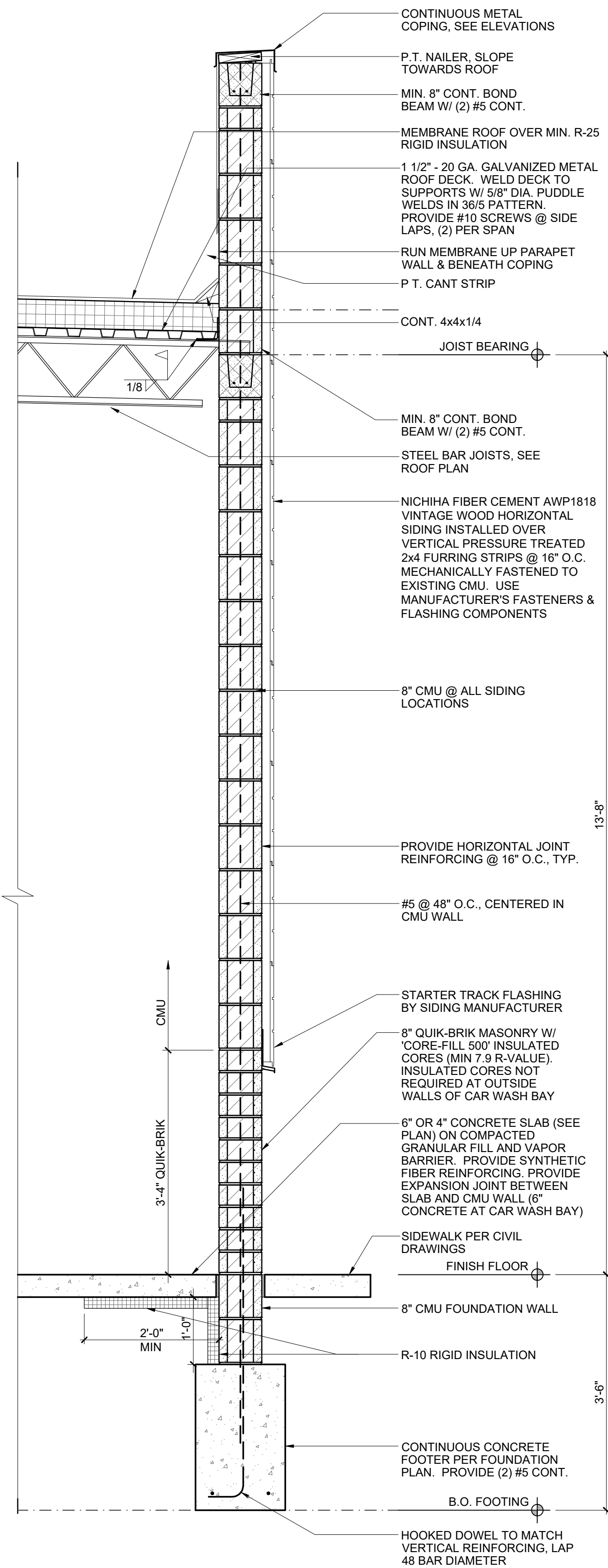
EXTERIOR MATERIAL NOTES:
1. COLOR OF METAL COPING TO MATCH STOREFRONT SYSTEM COLOR

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

CLEAN
EXPRESS AUTO WASH

SBA STUDIOS
ARCHITECTURAL DESIGN
614.562.7761 WWW.SBA-STUDIOS.COM

SCALE: 3/16" = 1'-0"
SHEET # / DESCRIPTION
EXTERIOR ELEVATIONS
A2-1
DATE: 07.21.2022
DESIGN REVIEW
SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2023
SBA STUDIOS PROJECT # 2022-000



WALL SECTION NOTES

- ALL MATERIALS ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, INDUSTRY STANDARD AND APPLICABLE CODES
- SEE TRUSS / RAFTER PROFILES FOR TRUSS AND RAFTER BEARING HEIGHTS.
- ANY CONFLICTS WITH MATERIALS AND INSTALLATION SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY IN WRITING FOR CORRECTION OR CLARIFICATION.
- GRADE TO SLOPE 6" MIN. FOR THE FIRST 10' AWAY FROM THE BUILDING.
- APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PREVENTION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM RE-ENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:
 - AT TOP OF ALL EXTERIOR DOOR AND WINDOW OPENINGS IN SUCH A MANNER AS TO BE LEAK-PROOF.
 - AT THE INTERSECTION OF CHIMNEYS OR ANY OTHER MASONRY WITH FRAME OR STUCCO WALLS, W/ PROJECTING LIPS.
 - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
 - AT ALL WALL AND ROOF INTERSECTIONS
 - ALL EXTERIOR PENETRATIONS INCLUDING BUT NOT LIMITED TO, EXHAUSTS / VENTS, INTAKES, CONDUITS, WIRES, PLUMBING, & CONDENSER LINES
 - LOCATIONS WHERE DISSIMILAR MATERIALS ABUT, CARE IS BE TAKING TO FLASH, CAULK, OR OTHERWISE SEAL TO PREVENT PENETRATION AT JOINTS

#	DATE	ISSUED WITH: CHANGE DESCRIPTION



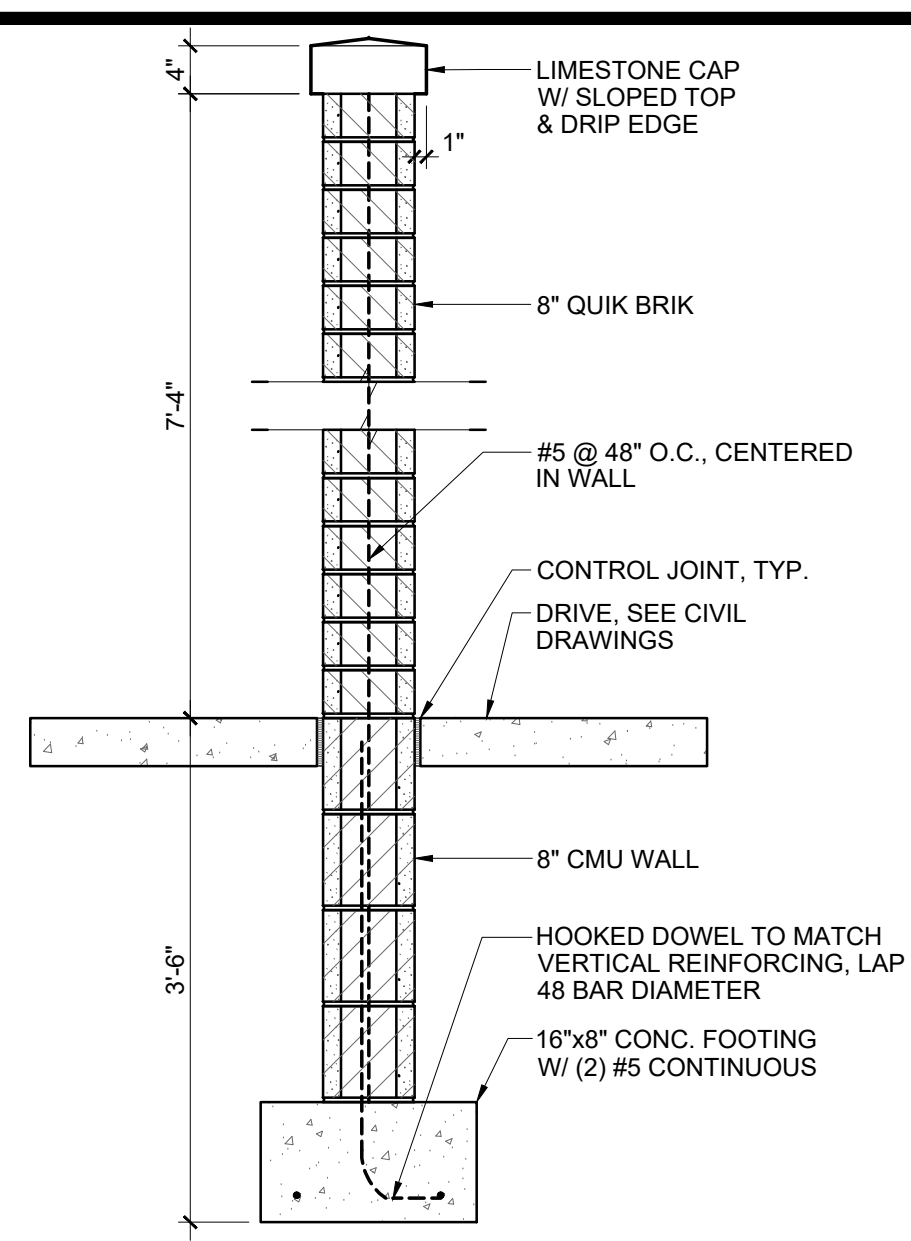
SCALE: 3/4" = 1'-0"
 SHEET # / DESCRIPTION
 WALL SECTIONS
A4-1
 DATE: 04.05.2022
 PLANNING REVIEW
 SCOTT B. BAKER, LICENSE #14654
 EXPIRATION DATE 12/31/2023
 SBA STUDIOS PROJECT # 2022-000

4 WALL SECTION @ EXT. SIDING LOCATIONS

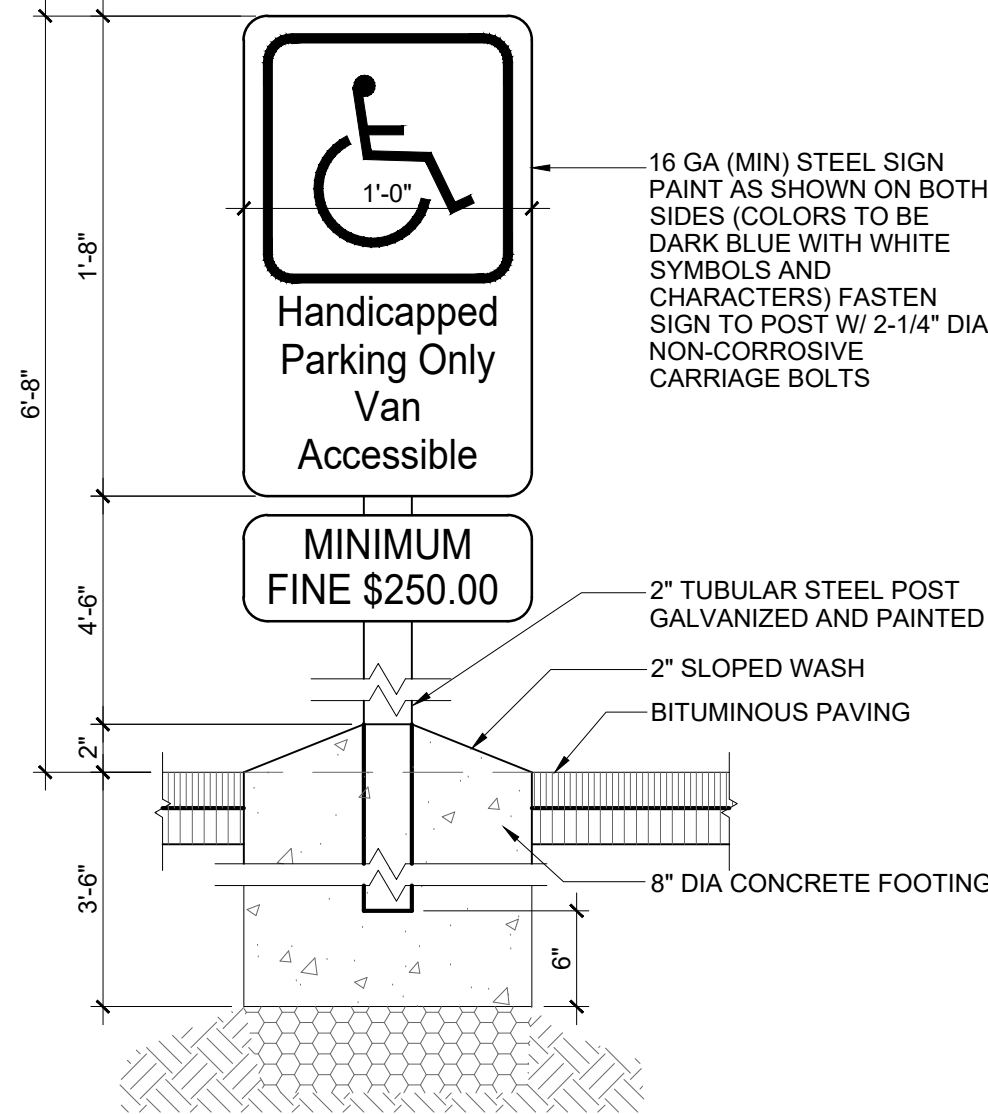
3 INTERIOR WALL SECTION

2 WALL SECTION @ OVERHEAD DOOR

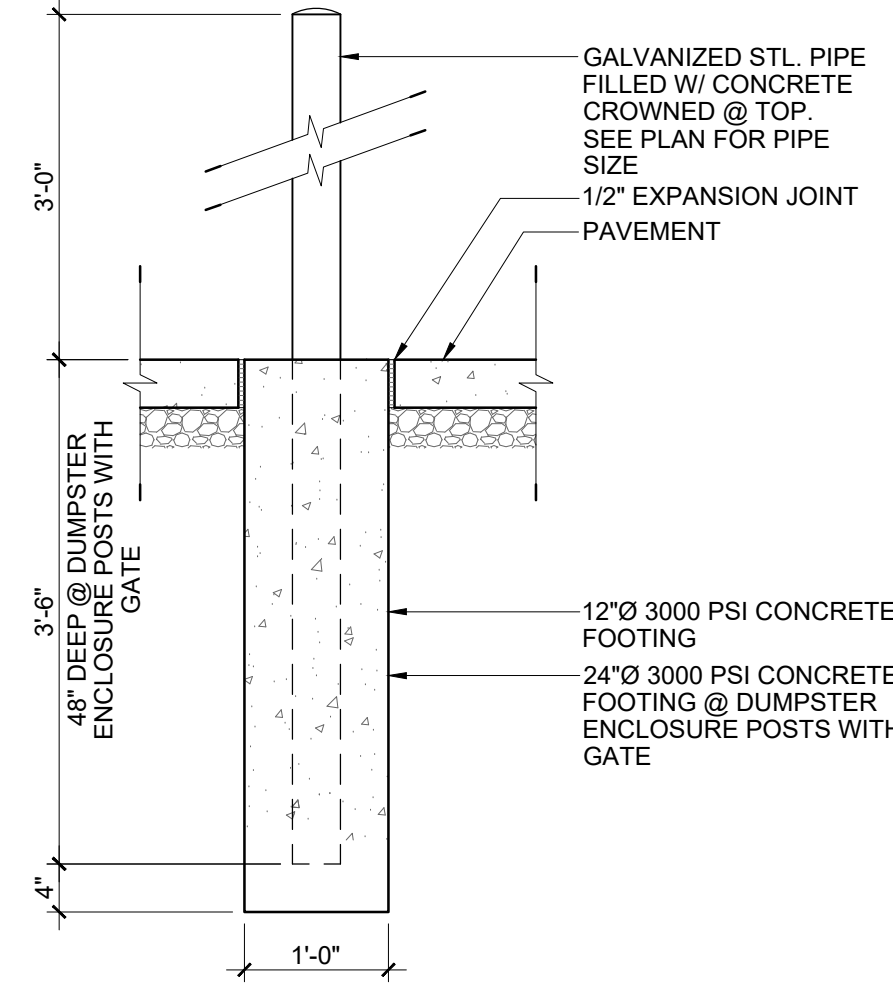
1 WALL SECTION



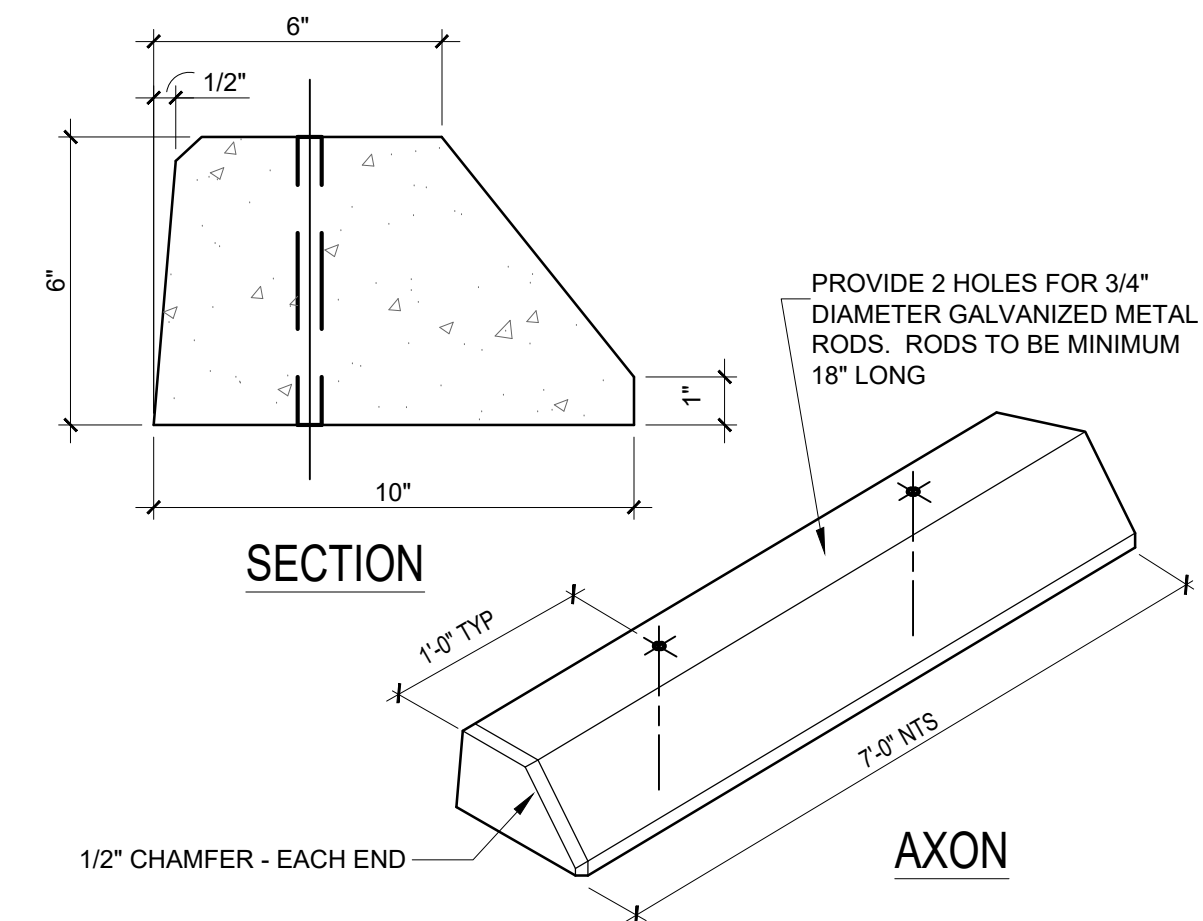
10 DUMPSTER ENCLOSURE SECTION



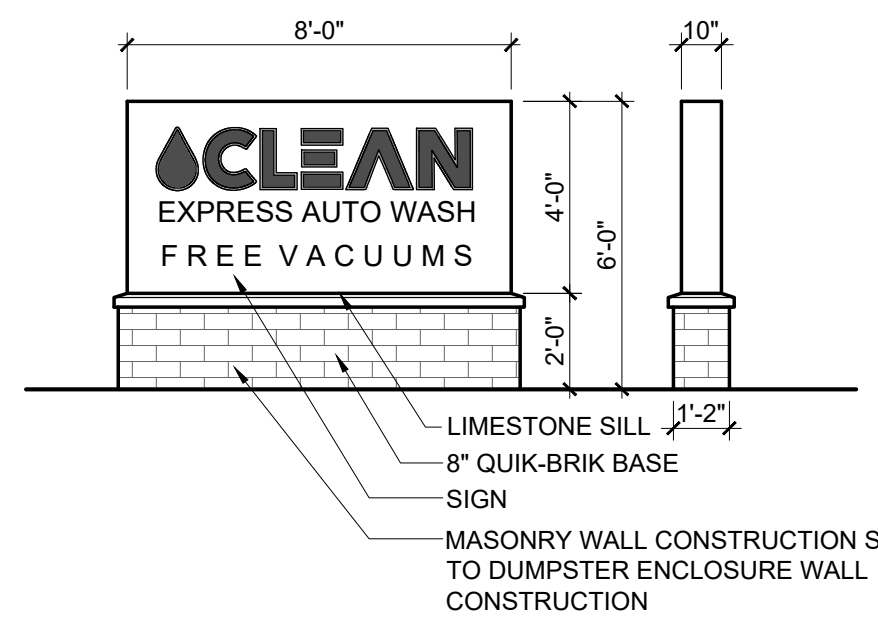
9 ACCESSIBLE PARKING SIGNAGE



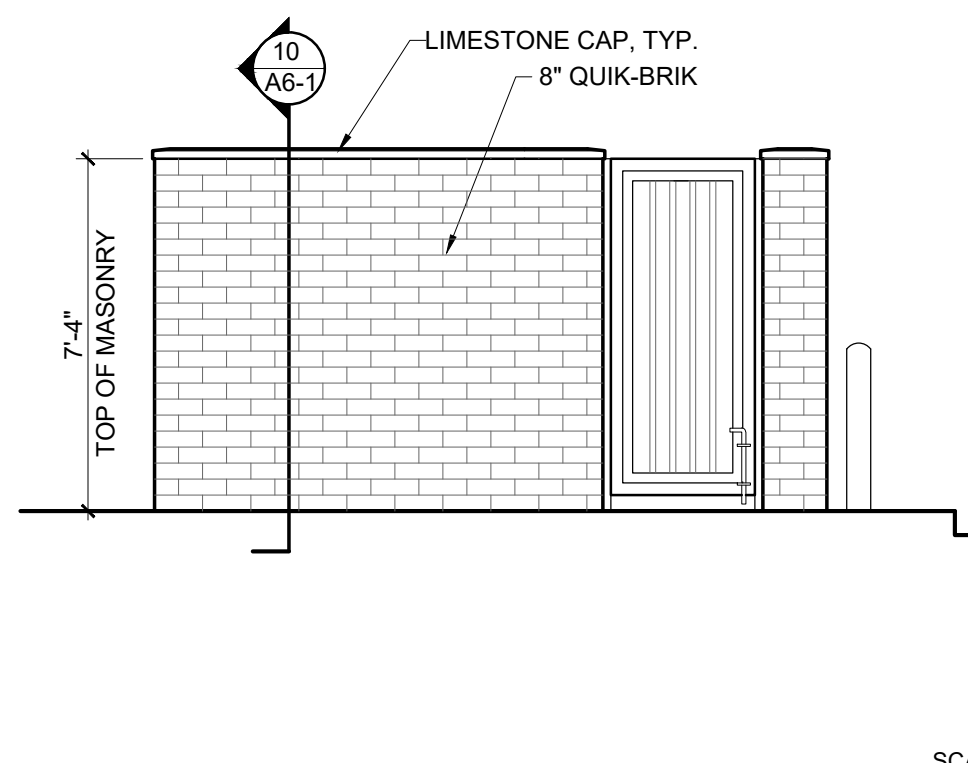
5 PIPE BOLLARD DETAIL



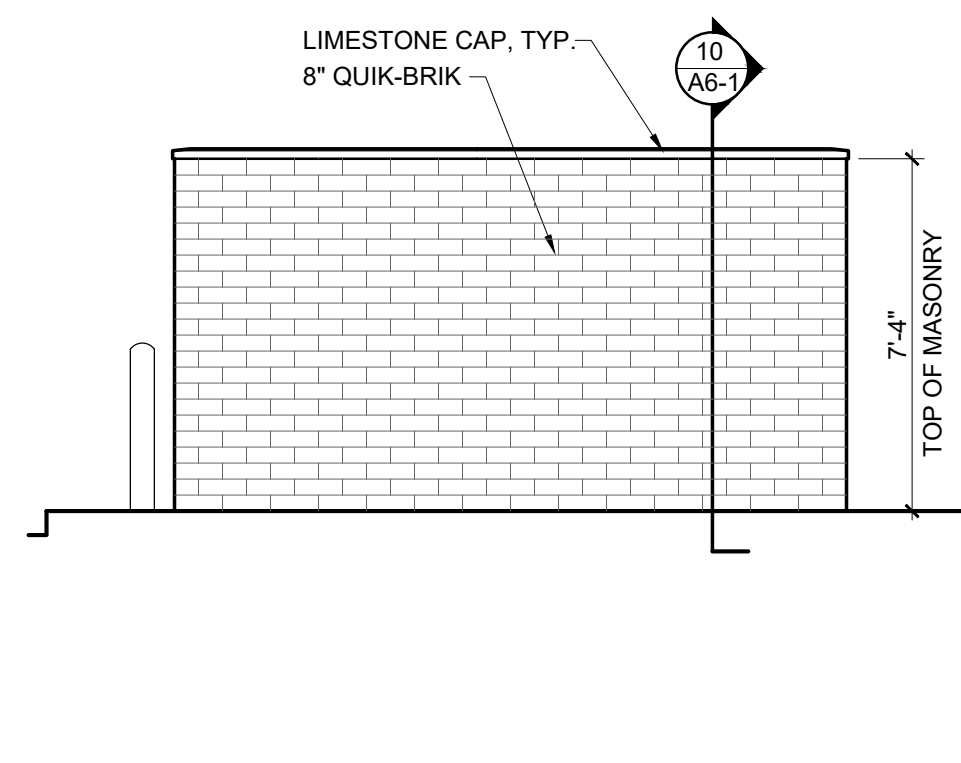
4 PARKING BLOCK DETAIL



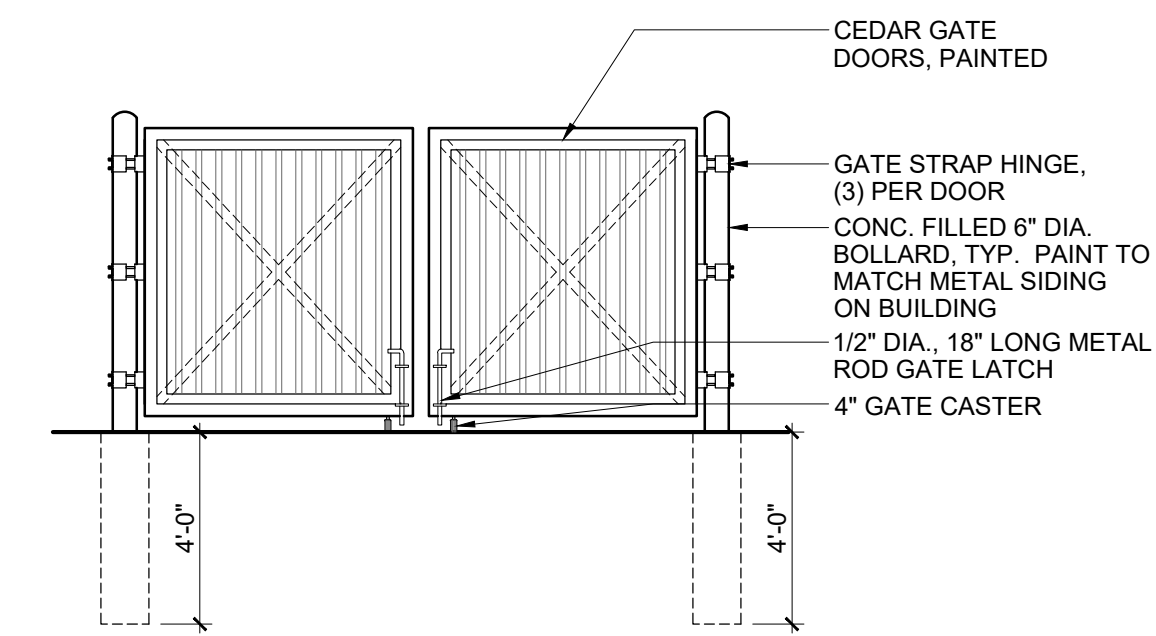
8 EXTERIOR MONUMENT SIGNAGE



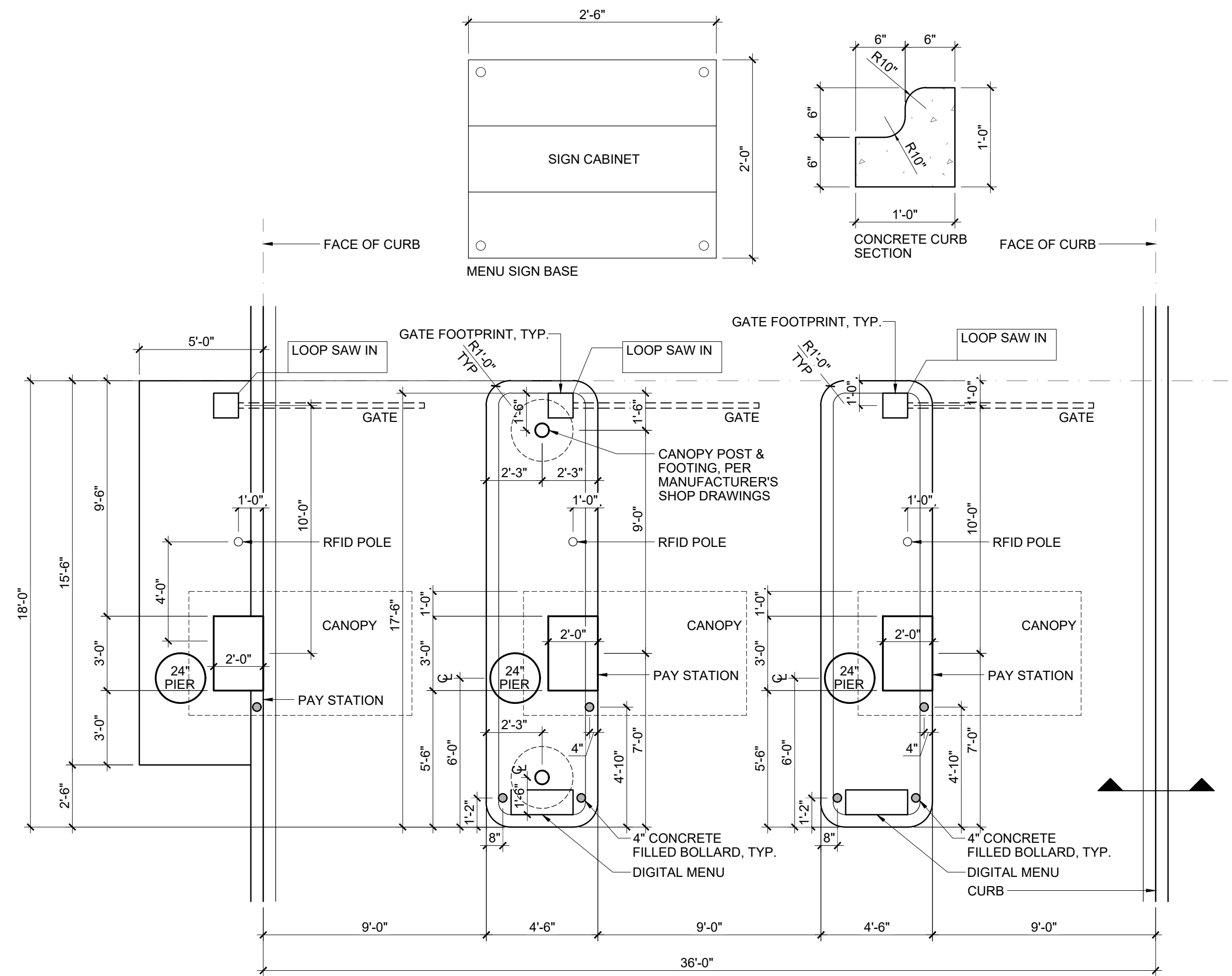
7 DUMPSTER ENCLOSURE - ELEVATIONS



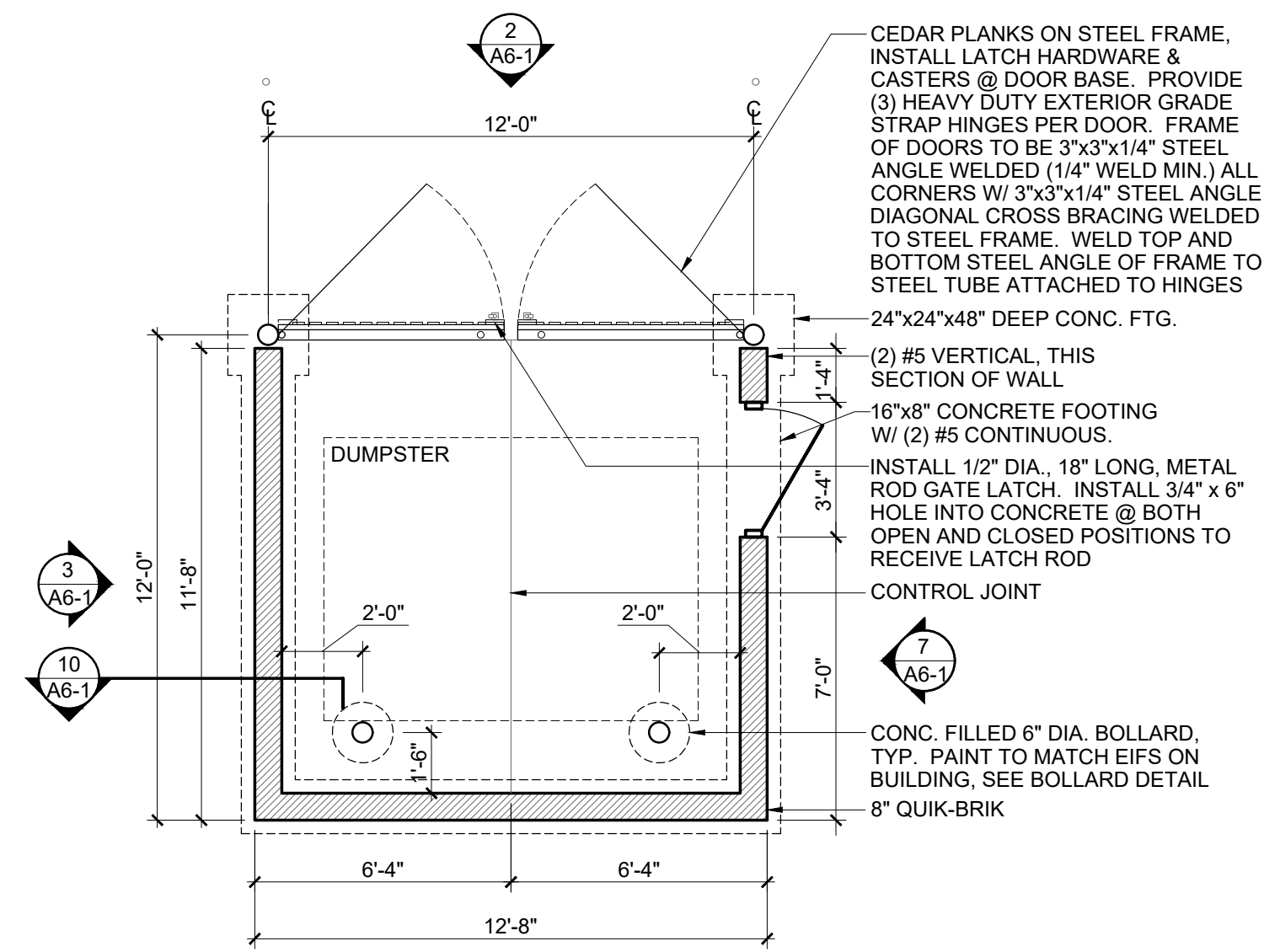
3 DUMPSTER ENCLOSURE - ELEVATIONS



2 DUMPSTER ENCLOSURE - ELEVATIONS



6 PAY STATION LAYOUT



1 DUMPSTER PLAN

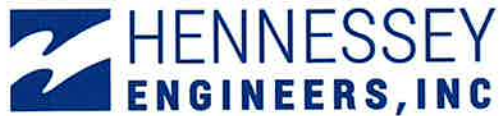
#	DATE	ISSUED WITH: CHANGE DESCRIPTION

CLEAN
EXPRESS AUTO WASH

SBA STUDIOS
ARCHITECTURAL DESIGN
614.562.7761 WWW.SBA-STUDIOS.COM

PRELIMINARY
CONSTRUCTION

SCALE: VARIES
SHEET # / DESCRIPTION
A6-1
DATE: 04.05.2022
CONSTRUCTION DOCUMENTS
SBA STUDIOS PROJECT # 2022-157



March 30, 2023

Ms. Liz Gunden, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI 48103-4978

Re: Clean Express Car Wash-Fort at Mill Street
City of Lincoln Park, MI
Hennessey Engineers Project #72196

Dear Ms. Gunden:

Hennessey Engineers, Inc. completed our first review of the plans for the Planning Commission review for the above-mentioned project.

The project consists of a new development on the west side of Fort Street at Mill Street building and a proposed parking lot. Listed below are some comments which are recommended to be addressed in the Preliminary Plan approval but would not be grounds for a reason for denial from an engineering feasibility standpoint:

1. Based on the site plan submitted, the existing utilities and utility leads for the commercial site are being reused. It is important that the developer realize these existing utilities are old and may have reached their life expectancy. It is our strong recommendation for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the service lead needs to be replaced the installation of the new service will need to be inspected by our office.
2. The developer should verify with the City the existing water service type and size. If the water service is a lead service, it will have to be replaced. The developer's engineer or architect shall determine the water service lead type and capacity.
3. Any work proposed in the Fort Street right-of-way will require a permit from the Michigan Department Transportation (MDOT). This would include any utility connections and pavement repairs.
4. Any pavement, including sidewalk, adjacent to this site that is poor condition must be replaced/repaired.

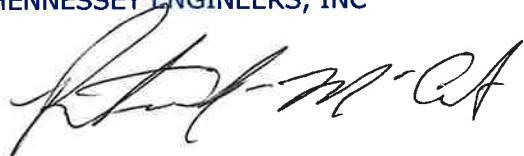
5. A permit from the Wayne County Department of Public Services (WCDPS) will be required for storm water management.

From an engineering feasibility standpoint, our office has no objection to the preliminary site plan. Therefore, it's our recommendation for preliminary site plan approval. Prior to the start of any construction, a permit from the City must be obtained. **A detailed engineering review and approval will be required prior to permit issuance.**

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC

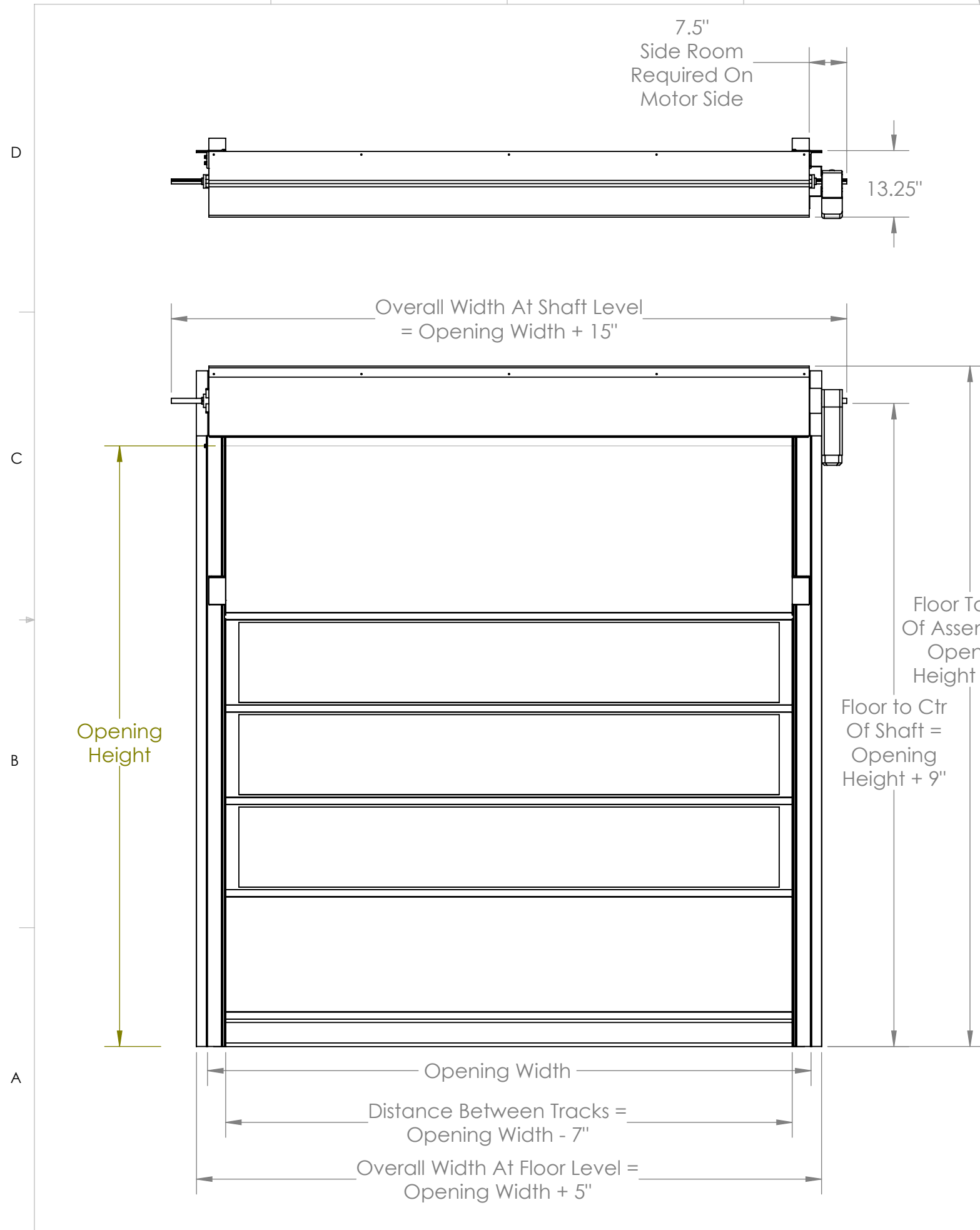


Richard J. McCarty, P.E.
Project Manager

RJM/rjm

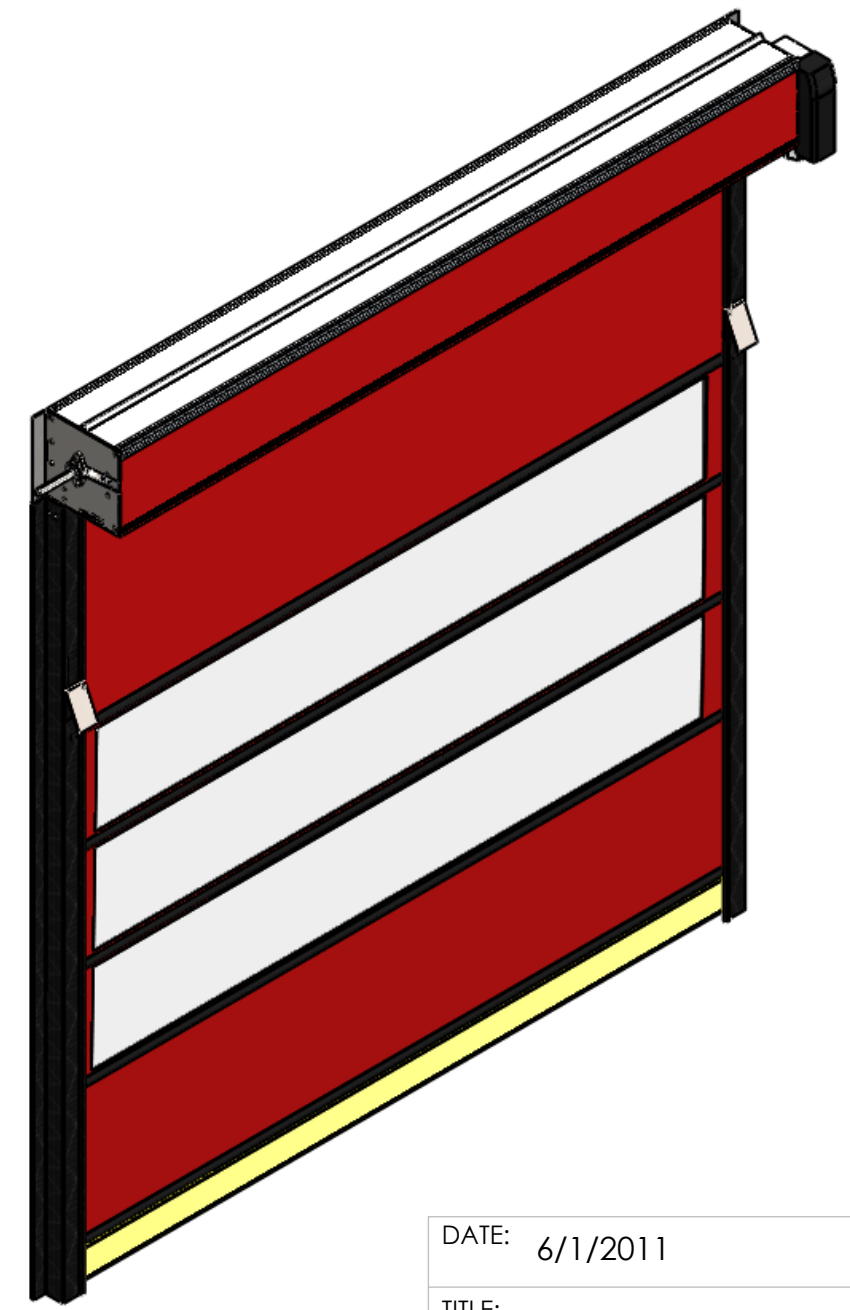
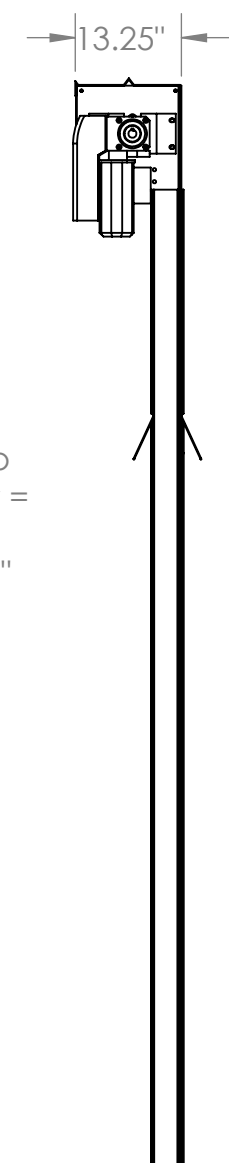
cc: John Kozuh, DPW Director, City of Lincoln Park
John Meyers, Building Official, City of Lincoln Park
Laura Passalacqua (D'Onofrio), Commercial Business Assistant, City of Lincoln Park
Monserrat Contreras, Permit Clerk, City of Lincoln Park
James Hollandsworth, Lincoln Park Project Manager, Hennessey Engineers

R:\Municipalities\70000's Lincoln Park\72000's\72196 Clean Express Car Wash - Fort at Mill Street\2023-3-30_Clean Express Car Wash)-1st PC Review_72196.docx



NOTES

- Number of Clear Full Vision Sections vary with opening height and/or ceiling height. Consult factory for exact section layout.
- Door motor may be mounted on either side of the door.



DATE: 6/1/2011		
TITLE: General Specifications for XRS Elite Model Door		
SIZE B	DWG. NO.	REV
SCALE: 1:48		SHEET 1 OF 1



INSTALL GUIDE

**Alaska Polycarbonate Door
With Strapeze[®] Counterbalance**

&

**Alaska Polycarbonate Door
With Torsion Springs**



AIRLIFT DOORS, INC.
TOLL FREE: 888-368-4403
WWW.AIRLIFTDOORS.COM



IMPORTANT

1. Before you begin installation, read instructions thoroughly. Failure to comply with these instructions may void product warranties.
2. Make sure to check all measurements before beginning installation.
3. Check for any missing pieces. If your door is missing any pieces, call the toll free number on the front of this manual immediately.
4. This manual was designed for installation with two people.
5. All instructions are given from the point of view inside the structure looking out.
6. We recommend that installation and or repair of garage doors be performed by a qualified garage door installer.



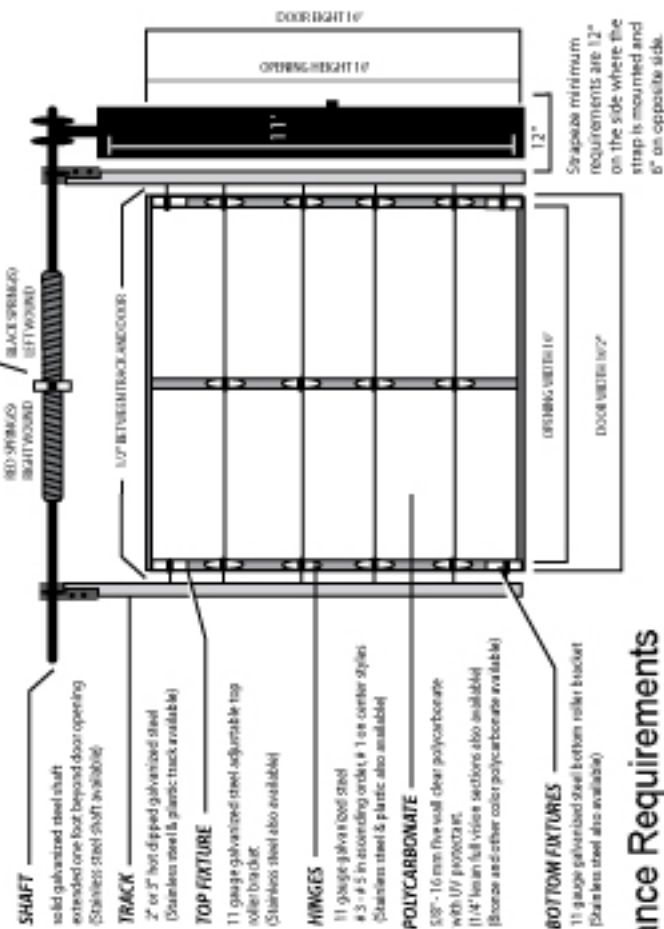
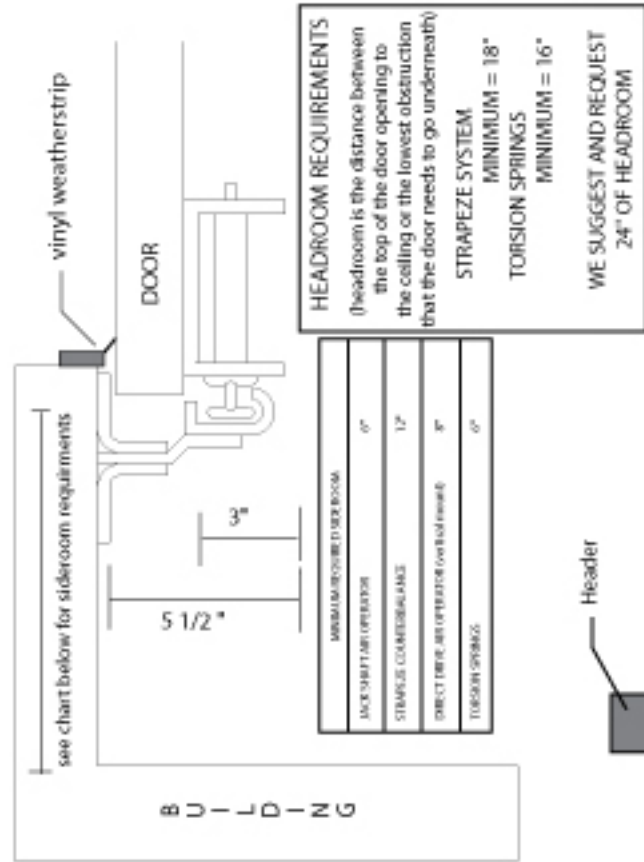
SAFETY INFORMATION

To avoid injury read the following safety guidelines carefully. Be sure to follow the installation steps very closely throughout the guide.

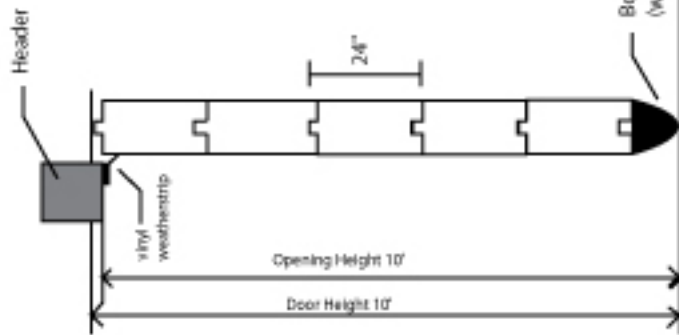
1. Two people are required to install this door.
2. If removing an existing door, be sure to contact the manufacturer of the existing door and get instructions on how to safely remove the torsion springs or counterbalance system and properly remove the door.
3. Only the supplied hardware should be used when installing this door. Do not substitute without written consent from the manufacturer.
4. Many parts have sharp edges. Use caution when handling all parts to avoid cuts or punctures.
5. A bolt or bumper must be installed at the back of the horizontal tracks to keep the door from rolling off the back of the tracks.
6. The horizontal track must be supported properly to keep the door weight from pulling the track down from the ceiling and keep the track from spreading which may allow the door to fall and cause severe damage or injury.
7. Follow instructions carefully when working with the counterbalance system. Failure to do so may result in uncontrolled release of the torsion spring or uncontrolled release of the counterweights causing serious or fatal injury.
8. By undertaking the installation of this door, the installer understands the dangers associated with the installation. Airlift Doors, Inc. is not responsible for any and all liability resulting in injury and/or death derived from improper or careless installation.

Door Clearance Measurements

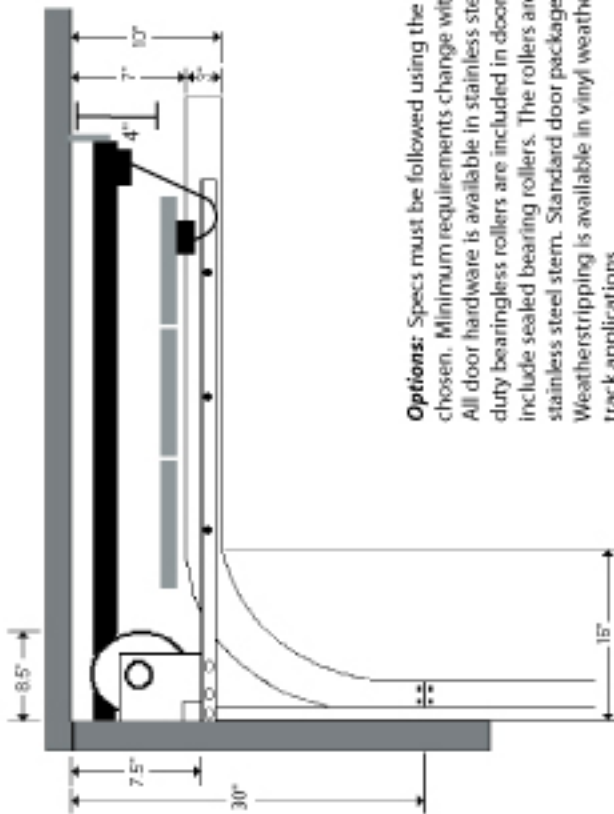
GENERIC SHOP DRAWING-DEPICTS BOTH STRAPEZE COUNTERBALANCE OPTION AND TORSION SPRING COUNTERBALANCE OPTIONS



Minimum Door Clearance Requirements



SIDE ELEVATION



GENERAL NOTES:
















Stiles and Rails: Side rails shall be .080 inch aluminum, top and bottom rails shall be .080, reinforced to 0.25 inches thick at all stress points, and sloped to eliminate water accumulation.

Mounting: Recommend mounting 2"X8" treated wood to wall then tracks to wood. This creates a thermal break between wall and tracks, which will help with any icing problems.

Options: Specs must be followed using the appropriate measurements for the options chosen. Minimum requirements change with counterbalance and operator options.














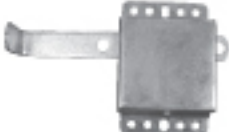
All door hardware is available in stainless steel, plastic, or nickel plated options. Heavy duty bearingless rollers are included in door packages up to 14' X 10'. Doors over this size include sealed bearing rollers. The rollers are U.H.M.W. polyethylene plastic and have a 7/16" stainless steel stem. Standard door packages also include 1" solid keyed galvanized shaft. Weatherstripping is available in vinyl weatherstrip or clip seal weatherstrip for reverse angle track applications.

Hardware for 10X 10 Door (Quantities will vary with door size)

 <p>Polycarbonate Bottom Section</p>	1	 <p>Standard 400-144 RH Drum</p>	1
 <p>Polycarbonate Intermediate Section</p>	4	 <p>Standard 400-144 LH Drum</p>	1
 <p>Galvanized Springs With Winding Hubs</p>	1	 <p>Galvanized #1 Hinge</p>	4
 <p>Galvanized Shaft</p>	1	 <p>Galvanized #3 Hinge</p>	2
 <p>Galvanized Face Hardware Fastener Kit</p>	1	 <p>Galvanized #4 Hinge</p>	2
 <p>Galvanized Shaft Fastner Kit</p>	1	 <p>Galvanized #5 Hinge</p>	2
 <p>Galvanized Track Fastner Kit</p>	1	 <p>Galvanized #6 Hinge</p>	2
 <p>Galvanized Vertical Track</p>	2	 <p>Galvanized Bottom LH Bracket</p>	1
 <p>Horizontal Vertical Track</p>	2	 <p>Galvanized Bottom RH Bracket</p>	1
 <p>S.S. Cable 5/32</p>	1	 <p>Galvanized Top Fixture</p>	2

Note: Material of parts may change based on model of door 1

Hardware for 10x10 door (Quantities will vary with door size)

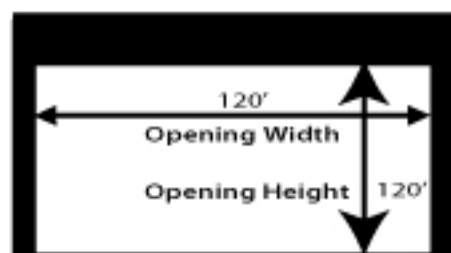
 Galvanized Lift Handle	1	 5 Pound Weight (Strapeze Doors Only)	1
 Yellow Rope	1	 18.9 Pound Weight (Strapeze Doors Only)	6
 3" Bearingless Roller	12	 Strapeze Rod (Strapeze Doors Only)	1
 Galvanized LH Center Bearing Plate	1	 Strapeze Guide Tube (Strapeze Doors Only)	1
 Galvanized RH Center Bearing Plate	1	 Strap (Strapeze Doors Only)	1
 Galvanized RH & LH Bearing Plates w/Std Bearings	1	 Strapeze Kit (Strapeze Doors Only)	1
 1" Standard Freeway Bearing (Spring Doors Only)	1		
 Side Lock	1		

Note: Material of parts may change based on model of door or upgrades chosen.

STEP 1 - MEASURE OPENING

1-1: Measure the door opening width and height to ensure the door you received will fit properly.

****NOTE**** Generally the width of the door panels will be 2" wider than the door opening. A 10'0" wide opening will have a 10'2" wide door.



STEP 2 - MEASURE VERTICAL TRACK LENGTH

2-1: As a general rule of thumb, the length of the vertical track will be 30" less than the ceiling height. However, in special applications this measurement may vary. Consult factory if your measurement results are different than stated.

2-2: Measure from the floor to the ceiling and subtract 30".

2-3: Measure from the bottom of the vertical track to the end of the vertical track rail. The rail is where the door rollers will actually roll in. (FIG. 2-B & FIG. 2-C)

2-4: If your ceiling height minus 30" does not equal the length of the vertical track please consult the factory before proceeding.

EXAMPLE 1

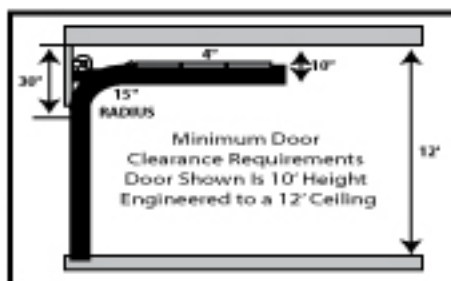
- Ceiling Height = 144"
- Ceiling Height - 30" = 114"
- Vertical Track Length = 114"

OK TO PROCEED

EXAMPLE 2

- Ceiling Height = 146"
- Ceiling Height - 30" = 116"
- Vertical Track Length = 114"

TRACK IS MOST LIKELY OKAY, BUT CONSULT FACTORY BEFORE PROCEEDING TO MAKE SURE.



Open the hardware boxes and organize hardware in groups so that you can easily locate them. Place all of your door sections onto saw horses, with the bottom section on the top. (FIG. 3-A)

- ⚠** All sections are identical except for the bottom section which has the Black Astragal and Retainer on the bottom. This section will be the first to be assembled.



Continue with step 3 if you have galvanized hinges. Skip to step 6 on page 6 if you have stainless steel or plastic hinges.

STEP 3 - INSTALLING BOTTOM BRACKETS

Step 3-1: Take the right hand bottom bracket and place the cable loop in between the two bracket holes. (FIG. 3-B)

FIG. 3-A

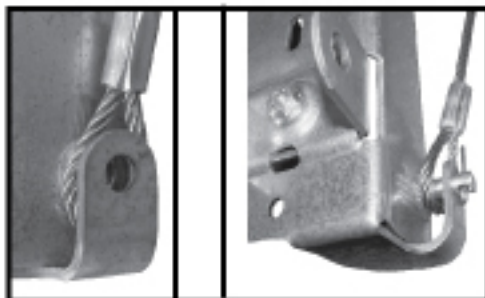


FIG. 3-B

FIG. 3-C

Step 3-2: Insert clevis pin through both holes to hold cable in place. Insert the cotter key through the hole in the end of the clevis pin. (FIG. 3-C)

Repeat steps 3-2 & 3-3 for the left hand bottom bracket.



FIG. 3-D



Cotter Key



Clevis Pin



Self-Tapping Screw

Step 3-3: Next screw bottom fixtures to bottom section with a self-tapping screw. Slide the bottom fixture onto the bottom of the bottom section. Align the pre-drilled hole in bracket with the pre-drilled hole in the section to ensure correct placement of the bracket. (FIG. 3-D)

****Note:** The edge of the bottom bracket should be flush with the bottom of the section

Step 3-4: Screw in the remaining screws to fasten the bracket securely to the section



FIG. 3-E

Repeat step 3-3 and 3-4 for the Left Bottom Bracket

Note: Continue with step 4 if you are installing galvanized hinges. If you are installing Stainless Steel or plastic hardware please refer to step 6 of the manual on page 6.

STEP - 4 INSTALLING HINGES ON BOTTOM SECTION

Step 4-1: Place two # 3 hinges on the end stiles of the bottom section and a # 1 hinge on the center stile and screw the hinges onto the section with the hinge screws provided. Doors with more than one center stile will require a # 1 hinge on each center stile. (Fig. 4-A)

NOTE: For hinge placement on door, see (Fig. 4-C). If using 2" track instead of 3" track, you should start with a # 1 hinge on the ends instead of a # 3 and continue sequentially.

When installing hinges, make sure the number on the hinge is on the bottom facing up. Hinges should be installed on the top of each section as shown in (FIGs. 4-A & 4-B).



FIG. 4-A



FIG. 4-C

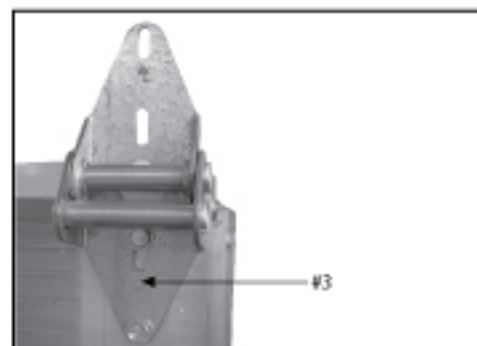


FIG. 4-B

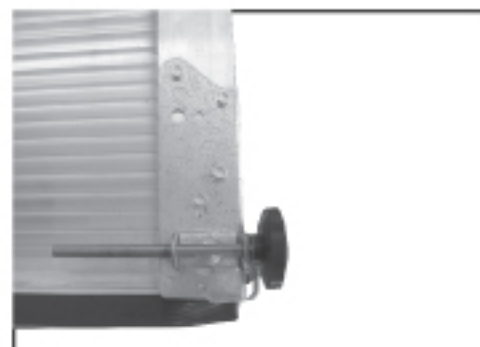


FIG. 5-A

Step 5-1: Insert roller in bottom bracket. (Fig. 5-A)

Step 5-2: Install roller in the # 3 hinges outside hole farthest from the door section.

Once the bottom brackets, hinges, and rollers are fastened to the bottom section, stop and proceed to step # 8 on page 8.

SKIP TO STEP 8



FIG. 5-B

Continue with step 6 if you have stainless steel or plastic hinges. Skip to step 8 if you have galvanized hinges and have already installed the bottom brackets.

STEP 6 - STAINLESS STEEL BOTTOM BRACKET INSTALLATION (Stainless steel bottom brackets are used with plastic hinges)

Step 6-1: Take the right hand bottom bracket and place the cable loop in between the two bracket holes. (FIG. 6-A)

Step 6-2: Insert the clevis pin through both holes and the the cable loop to hold the cable in place. Insert the cotter key through the hole in the end of the clevis pin. (FIG 6-A)

Step 6-3: Repeat with left side



Step 6-4: Place the right hand stainless steel bottom bracket on the section. The bottom of the bracket should line up with the bottom of the section and the center hole on the bottom bracket should line up with a pre-drilled hole in the end stile of the section. The other holes will not be pre-drilled. Use self tapping screws to fasten the bottom bracket to the section. See (FIG. 6-B) Repeat with left side.

Step 6-5: Add two more self tapping screws at the top of each bottom fixture. (FIG. 6-C)

Step 6-6: Place " U " Roller Bracket on top of bottom bracket, align holes, and attach with four self tapping screws. (FIG. 6-C) Note: Place the U-Bracket on the bottom bracket with the pre-drilled holes towards the top. Repeat with left side.

There are two holes in the stainless steel bottom fixtures in which to put rollers.

Step 6-7: Insert roller in the hole farthest from door section for 3" track (FIG. 6-D & 6-E)

Note: Insert roller in the hole closest from the door for 2" track (FIG. 6-D & 6-E)

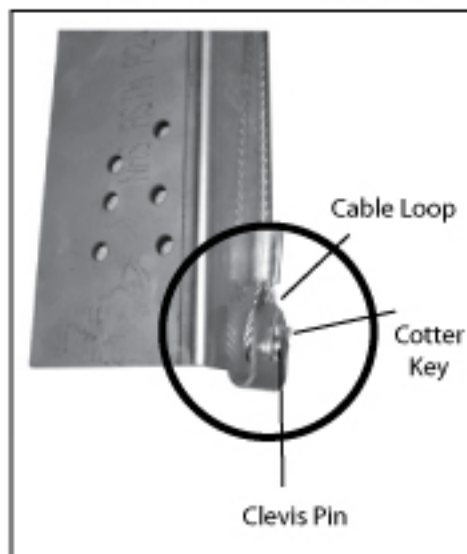
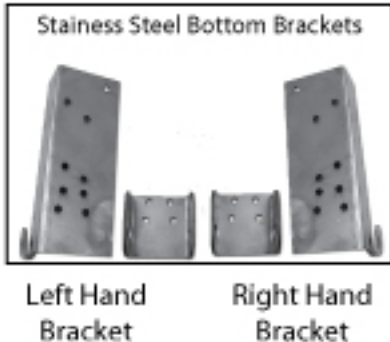


FIG. 6-A

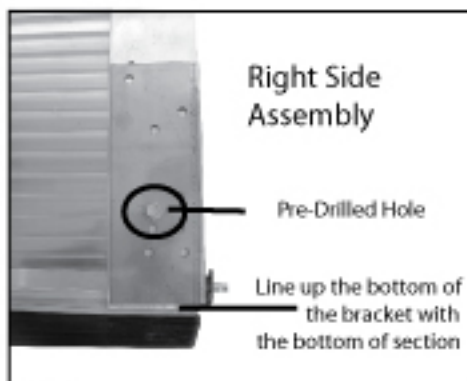


FIG. 6-B

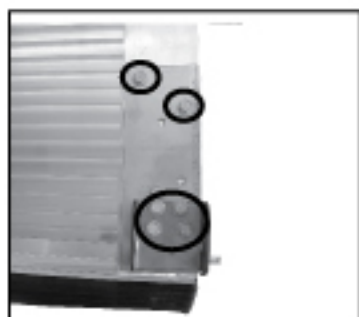


FIG. 6-C



FIG. 6-D

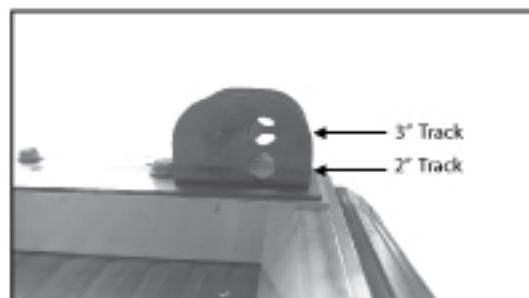


FIG. 6-E

STEP - 7 INSTALLING STAINLESS STEEL HINGES ON BOTTOM SECTION

Step 7-1: Place two # 3 hinges on the end stiles of the bottom section and a # 1 hinge on the center stile and screw the hinges onto the section with the hinge screws provided. Doors with more than one center stile will require a # 1 hinge on each center stile. (Fig. 7-A)

For hinge placement on door see (FIG. 7-C)

NOTE: If using 2" track instead of 3" track, you should start with a # 1 hinge on the ends instead of a # 3 and continue sequentially.

When installing hinges, make sure the number on the hinge is on the bottom facing up. Hinges should be installed on the top of each section as shown in (FIGs. 7-A & 7-B).



FIG. 7-A



FIG. 7-C

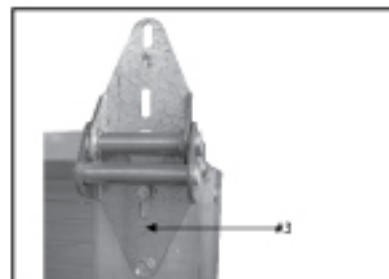


FIG. 7-B



FIG. 7-D

Step 7-2: Install a roller in the # 3 hinges in the outside hole farthest from the door section. (Fig. 7-D)

STEP - 7 ALTERNATE INSTRUCTIONS IF INSTALLING PLASTIC HINGES

Step 7-1: If using plastic hinges follow the instructions above and refer to (FIG. 7-E) for roller placement. Start with the slot for a #3 hinge on the bottom section. Refer to (Fig. 7-F) for hinge placement.

Once the bottom brackets, hinges, and rollers are fastened to the bottom section, stop and proceed to step # 8 on page 8.



FIG. 7-F

Top of Hinges



Bottom of Hinges

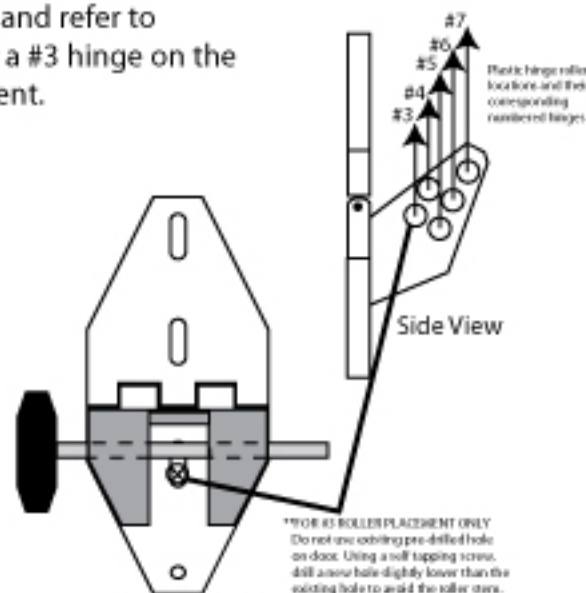


FIG. 7-E (Left Hand End Hinge)

STEP 8 -INSTALLING VERTICAL TRACK

Step 8-1: Place bottom section in the opening. Center the bottom Section with equal overlap on each side. Use a level to make sure the section is level. Use shims if need be to make sure that the door section is level. (Fig. 8-A)

Note: Make sure your cables are behind the rollers before the next step.

Step 8-2: Position vertical track around the rollers of the bottom section. Vertically align the track so there is approximately 3/4" gap between the edge of the section and the edge of the track. (FIG. 8-B)

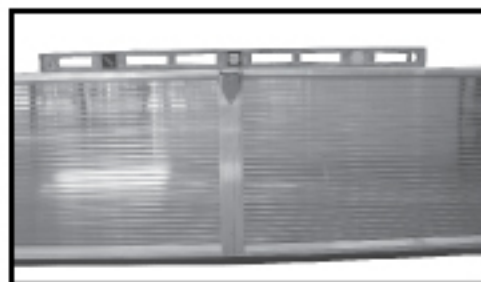


FIG. 8-A

Rollers will have a small amount of play when track is aligned correctly. Make sure that the vertical track is plumb and level before attaching to the wall on a level floor.

A) Angle mount track for wood jamb: Place vertical track (the straight track with no curve) in position up one side of door. Using 5/16" x 1-1/2" wood lags to hold track to wood. This track must be level. Next install other vertical track using the same method. (FIG. 8-B)

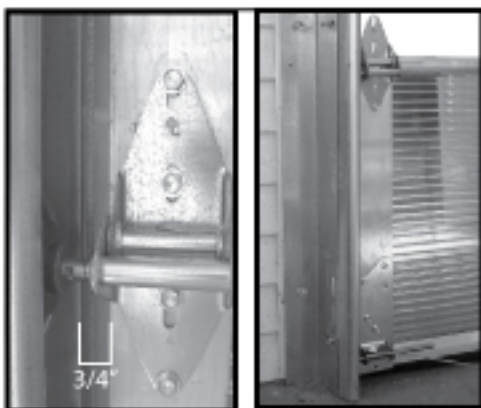


FIG. 8-B

B) Angle mount track for Steel Jamb: Same procedure as wood installation, except angle of track faced in towards door. Weld to jamb.

C) Angle mount track for cement jamb: Same as steel procedure except use 1-7/8" x 3/8" cement anchors to hold track.

STEP 9 - INSTALLING THE OTHER SECTIONS

Note: Doors are tongue in groove design. The male end of the section faces up and the female end faces down.

Step 9-1: Install # 4 hinges on the next panel on the saw horses. The # 4 hinges go on the end stiles and the # 1 hinge goes on the center stile.

Step 9-2: Take the section with the # 4 hinges and install the rollers in the hole that is furthest from the section (For plastic hinges, refer to the roller placement guide on page 7).

Step 9-3: Lift the section up in the opening and lower down with the rollers going into the vertical track. Lower it down and set it on top of the bottom section. Center the section with the bottom section. (Fig. 9-A & 9-B)

Step 9-4: Continue assembling the sections. Install the end hinges onto the sections in ascending order with the # 1 hinges remaining in the center. Stop when you have one section remaining. This will be your top section.



FIG. 9-A



FIG. 9-B

STEP 10 - INSTALLING VERTICAL TRACK TO HORIZONTAL TRACK

Step 10-1: Using two people, have one person hold the back of the horizontal track and have the other install the horizontal track to the vertical track using two 1/4" track bolts and nuts and one 3/8" x 1" carriage bolt. See (Fig. 10-A)

Note: Use a temporary support on the back of the horizontal track to hold the weight of the door. Horizontal track should be level or slightly pitched up. (Fig. 10-B)



FIG. 10-A (Right Side Assembly)

STEP 11 - INSTALLING TOP FIXTURES

Step 11-1: Dis-assemble the top fixtures and attach them to the top section as shown in Fig. 11-A. Install the top section in the opening. Then re-attach the top fixtures with the roller in the fixture. Tighten the bolts so that the top section is in line with the rest of the sections. Be sure that you do not push the section too tight against the wall as the door will bind.

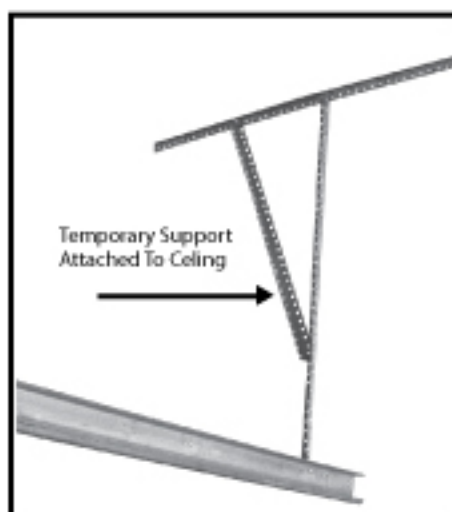


FIG. 10-B

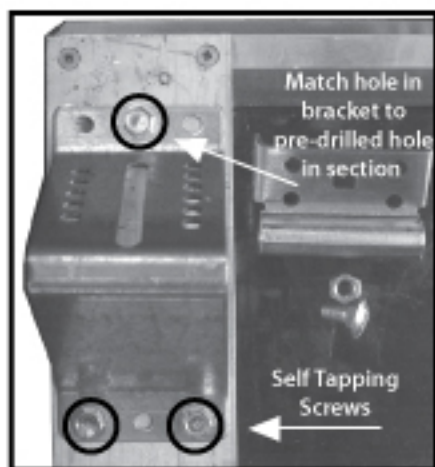


FIG. 11-A

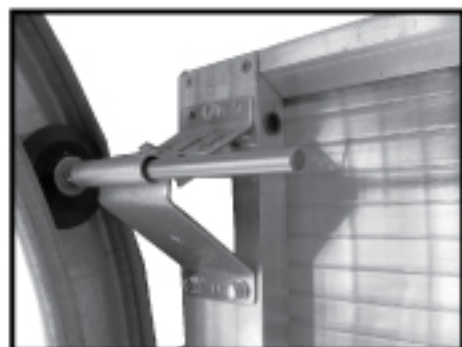


FIG. 11-B

STEP 12 - FASTEN HINGES TO DOOR

Step 12-1: Screw all of the sections together by fastening all of the hinges to the panels using the supplied screws.

****STOP****

If installing Torsion Springs, see steps 13 through 16

If installing Strapeze Counterbalance System, see steps 17 through 23

STEP 13 - SPRING ASSEMBLY (1 Piece Solid Shaft)

****If installing a 2 piece split shaft, skip to step 15****



TORSION SPRINGS ARE EXTREMELY DANGEROUS. DO NOT PROCEED UNLESS YOU ARE A TRAINED DOOR INSTALLER AND HAVE THE PROPER TOOLS TO INSTALL TORSION SPRINGS. IMPROPER INSTALLATION OF TORSION SPRINGS CAN CAUSE SEVERE BODILY INJURY OR DEATH.

- 13-1:** Slide the freeway bearing onto the shaft and position it in the center of the shaft.
- 13-2:** Slide the left hand spring (Red Cone) onto the left end of the shaft with the Red painted end away from the bearing. (FIG. 13-A)
- 13-3:** Slide the right hand spring (Black Cone) onto the right end of the shaft with the Black painted end away from the bearing. (FIG. 13-A)
- 13-4:** Slide the freeway bearing into the end of either spring. Which spring the freeway bearing goes into will be determined by which direction you put the bearing on the shaft. Either spring is okay. (FIG. 13-B)
- 13-5:** With the left hand spring (RED) to your left and the right hand spring (BLACK) to your right, place the center bearing plate against the spring with the freeway bearing in it as shown. (FIG. 13-C)
- 13-6:** Using the 3/8" bolts and nuts provided, bolt both springs and the bearing plate together as shown in FIG. 13-D. Do not tighten the nuts yet.
- 13-7:** Slide the right hand cable drum (BLACK) onto the right end of the shaft making sure the set screws on the drum are towards the center of the shaft. Next, place a white PVC spacer on the right end of the shaft. (FIG. 13-E)
- 13-8:** Slide the right hand end bearing plate onto the right end of the shaft as shown. (FIG 13-F)
- 13-9:** Repeat steps 13-7 and 13-8 for the left side of the shaft.

****ONCE YOU HAVE PERFORMED ALL THE ABOVE STEPS CONTINUE WITH STEP 14****



FIG. 13-A

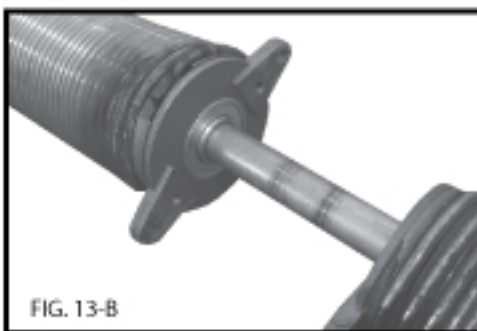


FIG. 13-B

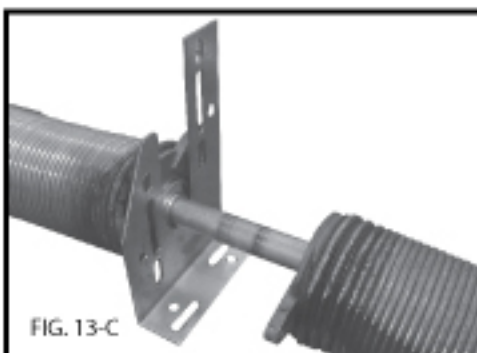


FIG. 13-C

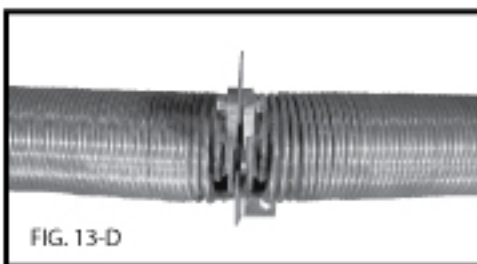


FIG. 13-D

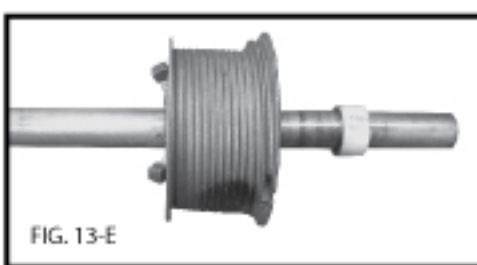


FIG. 13-E

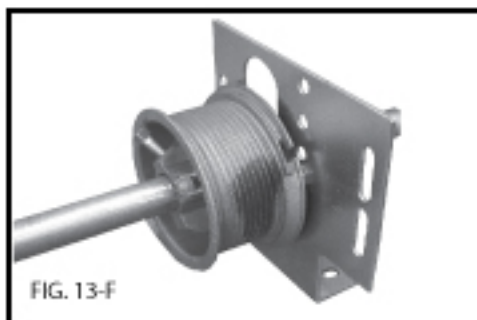


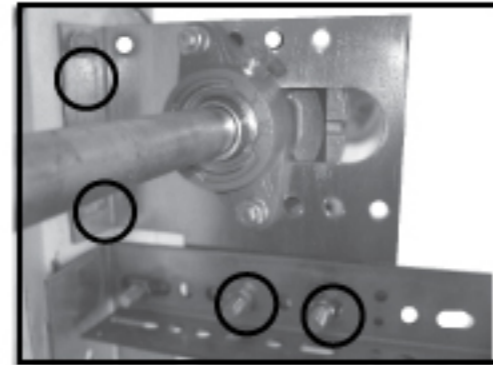
FIG. 13-F

STEP 14 - INSTALLING 1 PIECE SOLID SHAFT SPRING ASSEMBLY
****IF INSTALLING 2 PIECE SOLID SPLIT SHAFT SEE STEPS 15 & 16**

14-1: Using two people, lift entire shaft assembly on top of horizontal tracks as shown in FIG. 14-A.



14-2: Attach the end bearing plates to the horizontal track using the 3/8" carriage bolts and nuts provided. (FIG. 14-B)



14-3: Screw the end bearing plates to the wall using the wood lags provided. (If mounting to concrete, use concrete anchors (not provided).) (FIG. 14-B)

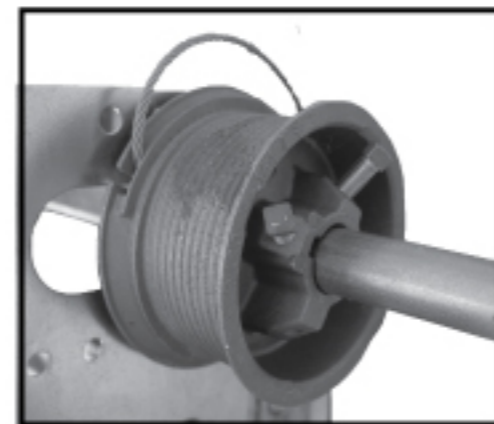
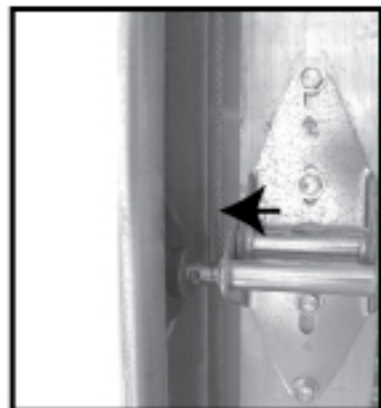
14-4: Level the shaft and attach the center bearing plate to the wall using the wood lags provided. (If mounting to concrete, use concrete anchors) See Fig. 14-C.

Next, make sure the shaft is the same distance from the wall along the entire length. Adjust the bearing on the center plate as needed to achieve this and tighten the 3/8" bolts on the spring to the center bearing plate. (FIG's. 14-C)

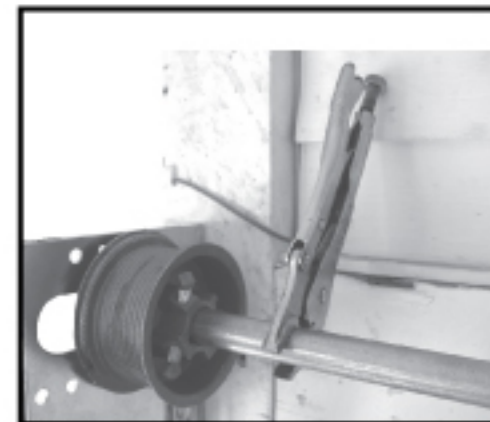


14-5: Pull the cable attached to the left hand bottom bracket up to the shaft by running it behind each roller stem. (FIG. 14-D)

14-6: Run the cable on the back side of the left hand (RED) cable drum and hook the cable bead into the slot on the drum. (FIG. 14-E)



14-7: Rotate the cable drum until the cable is tight, and tighten the set screws on the cable drum.



STEP 14 - INSTALLING 1 PIECE SOLID SHAFT SPRING ASSEMBLY CONTINUED

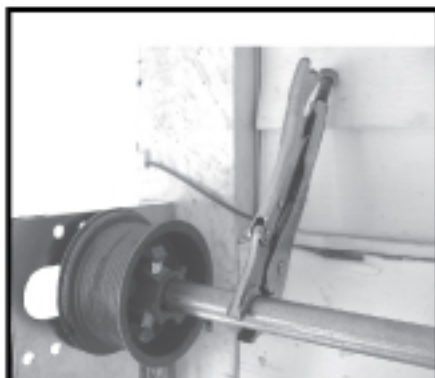
****IF INSTALLING 2 PIECE SOLID SPLIT SHAFT SEE STEPS 15 & 16.**

14-8: While holding the drum so the cable is tight, place a vice grip on the shaft and let it rest against the wall to keep the cable tight. Be sure the vice grip is securely locked. (FIG. 14-F)

14-9: Repeat steps 14-5 through 14-7 for the right hand cable and drum.

14-10: Find the spring tag attached to one of the springs. This tag will tell you how many complete turns to wind each spring.

14-11: Attach a vice grip to the vertical track just above one of the rollers to prevent the door from moving after you wind the springs. (FIG. 14-G)



14-F



14-G

14-12: Using two winding bars, wind the springs one at a time according to the following steps.

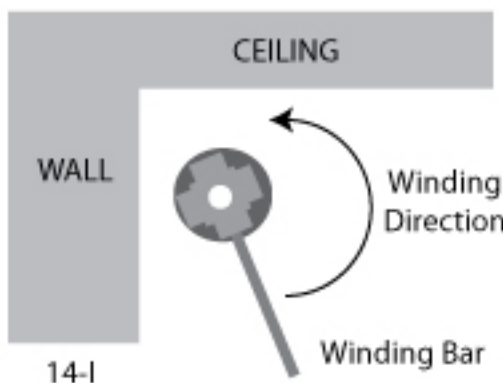
1. Place the first winding bar in the winding cone of the spring. (FIG. 14-H)
2. Pull the bar away from the wall and lift towards the ceiling. ****See diagram (14-I) for winding direction****
3. While holding the first bar up, place the second bar in the winding hub and let it rest against the wall.
4. Repeat the previous 3 steps, winding the spring 1/4 turn at a time until you reach the # of turns specified on the spring tag.
5. Once the correct # of turns is reached, tighten the set screws on the spring and remove the winding bar.



14-H

14-13: Repeat step 14-12 for the remaining spring.

14-14: Once both springs are wound and you have tightened the set screws on both springs, remove the vice grip from the shaft.



14-I

****LEAVE VICE GRIP ON THE VERTICAL TRACK AND SKIP TO STEP 23 ON PAGE 23 ****

STEP 15 - SPRING ASSEMBLY (2 Piece Solid Split Shaft)

****If installing a 1 piece solid shaft, go back to step 13****



TORSION SPRINGS ARE EXTREMELY DANGEROUS. DO NOT PROCEED UNLESS YOU ARE A TRAINED DOOR INSTALLER AND HAVE THE PROPER TOOLS TO INSTALL TORSION SPRINGS. IMPROPER INSTALLATION OF TORSION SPRINGS CAN CAUSE SEVERE BODILY INJURY OR DEATH.

****We will assemble the right side of the shaft first then the left.****

- 15-1:** Slide a freeway bearing onto one of the shafts and position it approx. 6" from the left end. *Note the flange on the bearing should be facing left. (FIG. 15-A)
- 15-2:** Slide the right hand spring (Black Cone) onto the right end of the shaft with the Black painted end away from the bearing. (FIG. 15-B)
- 15-3:** Slide the freeway bearing into the end of the spring. Position the right hand center bearing plate against the spring and bearing. (FIG. 15-C)
- 15-4:** Using the 3/8" bolts and nuts provided, bolt the spring and the bearing plate together as shown in FIG. 15-C. Do not tighten the nuts yet.
- 15-5:** Slide the right hand cable drum (BLACK) onto the right end of the shaft making sure the set screws on the drum are towards the spring. Next, place a white PVC spacer on the right end of the shaft. (FIG. 15-D)
- 15-6:** Slide the right hand end bearing plate onto the right end of the shaft as shown. (FIG 15-E)
- 15-7:** Separate the shaft coupler into two halves and set the bolts and nuts aside for now.
- 15-8:** Place one 1/4" key into the key way on the left end of the shaft. The end of the key should be flush with the end of the shaft. (FIG. 15-F)
- 15-9:** Slide one half of the coupler onto the shaft and over the key. Position the coupler half so it is flush with the end of the shaft. (FIG. 15-G)
- 15-10:** Tighten the set screws on the coupler to hold it in place.
- 15-11:** Repeat steps 15-1 through 15-10 for the left side of the shaft.

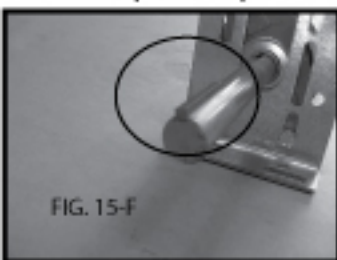


FIG. 15-F



FIG. 15-G

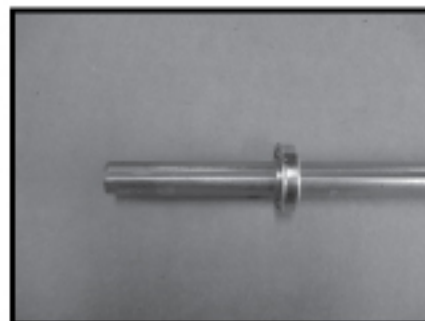


FIG. 15-A

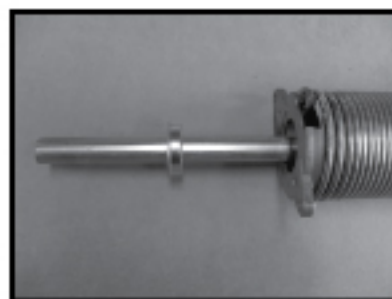


FIG. 15-B

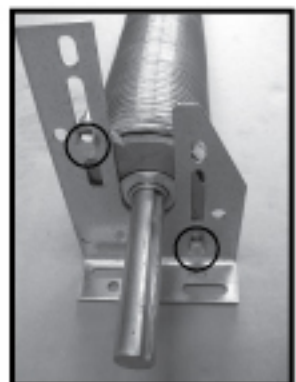


FIG. 15-C

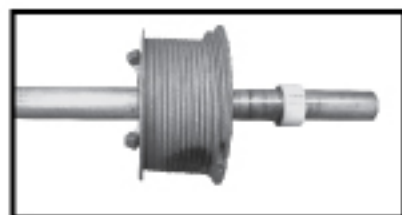


FIG. 15-D

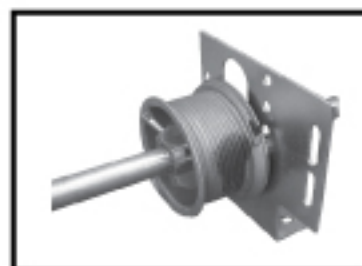


FIG. 15-E

****ONCE YOU HAVE PERFORMED ALL THE ABOVE STEPS
PROCEED TO STEP 16****

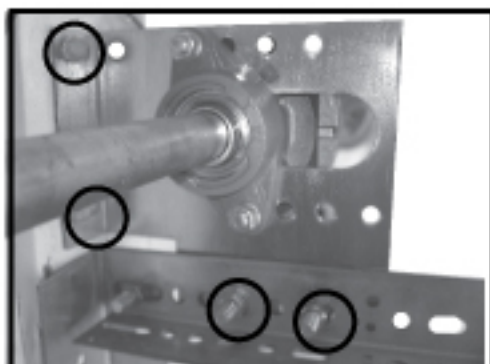
STEP 16 - INSTALLING 2 PIECE SOLID SPLIT SHAFT SPRING ASSEMBLY CONTINUED

16-1: Using two people, lift one of the shaftline halves onto the horizontal track. (FIG. 16-A)



16-A

16-2: Attach the end bearing plate to the horizontal track using the 3/8" carriage bolts and nuts provided. (FIG. 16-B)



16-B

16-3: Screw the end bearing plates to the wall using the wood lags provided. (If mounting to concrete, use concrete anchors (not provided.) (FIG. 16-B)

16-4: Level the shaft and attach the center bearing plate to the wall using the wood lags provided. (If mounting to concrete, use concrete anchors (not provided.) (FIG's. 16-C)

16-5: Slide shaft so that the coupler is directly in the center of the door.

16-6: Lift remaining half of the shaftline onto horizontal track.

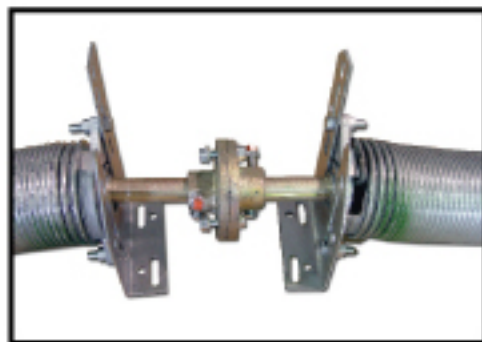


16-C

16-7: Bolt end bearing plate to horizontal track and lag to wall. (FIG. 16-B)

16-8: Bolt the two halves of the coupler together using the bolts that came with the coupler. (FIG. 16-D)

16-9: Attach the second center bearing plate to the wall using the wood lags provided.



16-D

16-10: Check that the shaft is the same distance from the wall throughout the entire length. Tighten bolts that attach the bearing plates to the springs.

****STEP 16 CONTINUED ON NEXT PAGE****

STEP 16 - INSTALLING 2 PIECE SOLID SPLIT SHAFT SPRING ASSEMBLY CONTINUED

16-11: Pull the cable attached to the left hand bottom bracket up to the shaft by running it behind each roller stem. (FIG. 16-E)

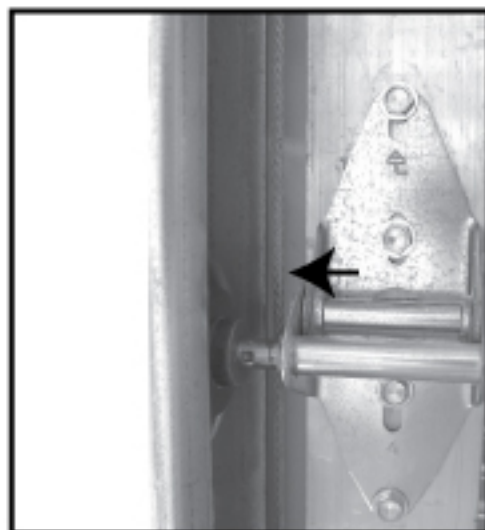
16-12: Run the cable on the back side of the left hand (RED) cable drum and hook the cable bead into the slot on the drum. (FIG. 16-F)

16-13: Rotate the cable drum until the cable is tight, and tighten the set screws on the cable drum.

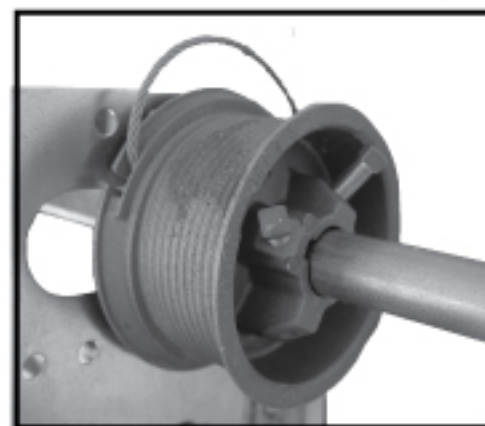
16-14: While holding the drum so the cable is tight, place a vice grip on the shaft and let it rest against the wall to keep the cable tight. (FIG. 16-G)

16-15: Repeat steps 16-11 through 16-13 for the right hand cable and drum.

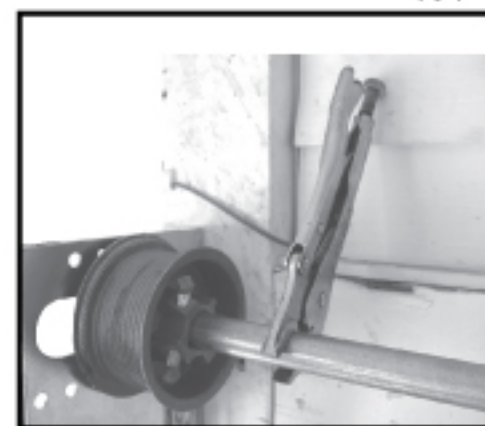
16-16: Find the spring tag attached to one of the springs. This tag will tell you how many complete turns to wind each spring.



16-E



16-F



16-G

****STEP 16 CONTINUED ON NEXT PAGE****

STEP 16 - INSTALLING 2 PIECE SOLID SPLIT SHAFT SPRING ASSEMBLY CONTINUED

- 16-17:** Attach a vice grip to the vertical track just above one of the rollers to prevent the door from moving while you wind the springs. (FIG. 16-H)



WINDING SPRINGS IS EXTREMELY DANGEROUS AND CAN CAUSE SEVERE BODILY INJURY OR DEATH AND SHOULD ONLY BE PERFORMED BY A TRAINED DOOR INSTALLER WITH THE APPROPRIATE TOOLS.

- 16-18:** Using two winding bars, wind the springs one at a time according to the following steps.

1. Place the first winding bar in the winding cone of the spring. (FIG. 16-I)
2. Pull the bar away from the wall and lift towards the ceiling.
See FIG. 16-J below for winding direction
3. While holding the first bar up, place the second bar in the winding hub and let it rest against the wall.
4. Repeat the previous 3 steps, winding the spring 1/4 turn at a time until you reach the # of turns specified on the spring tag.
5. Once the correct # of turns is reached, tighten the set screws on the spring and remove the winding bar.

- 16-19:** Repeat step **16-18** for the remaining spring.

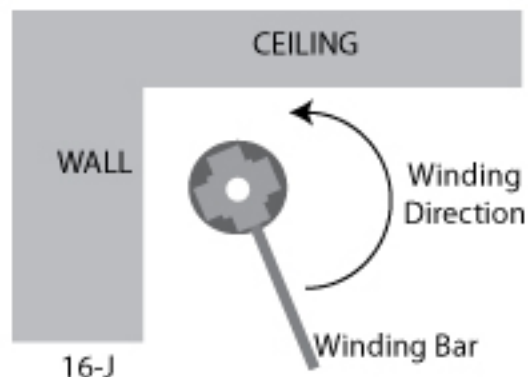
- 16-20:** Once both springs are wound and you have tightened the set screws on both springs, remove the vice grip from the shaft.



16-H



16-I



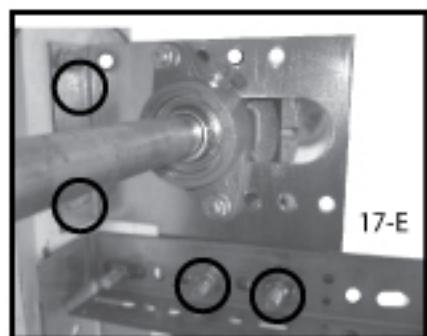
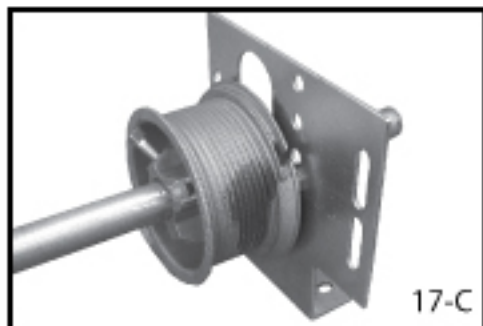
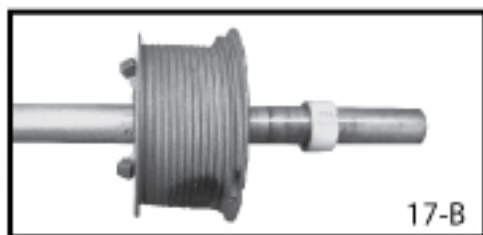
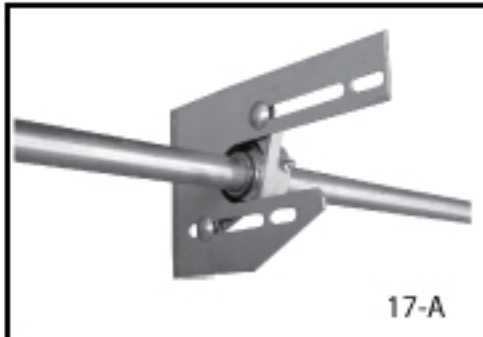
16-J

**** LEAVE THE VICE GRIP ON THE VERTICAL TRACK AND SKIP TO STEP 24 ON PAGE 23**

STEP 17 - ASSEMBLING STRAPEZE SHAFTLINE

****NOTE** All references to Left and Right are viewed from the inside of the bay looking out.**

- 17-1:** Slide one of the center adjustable bearing plates onto the shaft and position it roughly in the center of the shaft. (FIG. 17-A)
- 17-2:** Slide the right hand (Black) cable drum onto the right end of the shaft with the set screws towards the center. (FIG. 17-B)
- 17-3:** Slide one 1-1/2" white PVC spacer onto the right end of the shaft. (FIG. 17-B)
- 17-4:** Slide the right hand end bearing plate onto the right end of the shaft. (FIG. 17-C)
- 17-5:** Repeat steps 17-2 through 17-4 for the left side of the shaft.
- 17-6:** With two people lift entire shaftline assembly and place on top of the horizontal track against the wall. (FIG. 17-D)
- 17-7:** Fasten end bearing plates to the horizontal angle using two 3/8" x 1" carriage bolts per plate. (FIG. 17-E)
- 17-8:** Fasten end bearing plates to the wall using two 1-7/8" wood lags per plate, or concrete anchors if attaching to concrete (FIG. 17-E)
- 17-9:** Slide the center bearing plate to the center of the shaft so that it lines up with the center of the door. Level the shaft and fasten the center bearing plate to the wall using two 1-7/8" wood lags, or concrete anchors if attaching to concrete. (FIG. 17-F)
- 17-10:** Make sure the shaft is the same distance from the wall along the entire length. Adjust the bearing on the center plate as necessary to achieve this.
- 17-11:** Determine on what side of the door you will be installing the counterbalance system. Keep in mind you should have 12" min. of clear space from the edge of the door opening.
- 17-12:** Slide the shaft so that you leave 6" of shaft exposed outside the bearing on the side opposite to where you will install the counterbalance system. This will leave approx. 12" - 18" of shaft exposed on the counterbalance side.



CONTINUE WITH STEP 18

STEP 18 - INSTALLING THE STRAPEZE SYSTEM CONTINUED

18-1: Slide one of the strapeze winding hubs on the shaft with the set screws towards the end bearing plate. Position the winding hub approximately 4-1/2" from the end bearing plate. (FIG. 18-A)

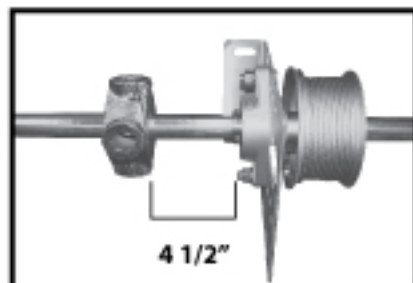


FIG. 18-A

18-2: Slide one of the black plastic guide disks on the shaft with the smooth side facing away from the winding hub. (FIG. 18-B)

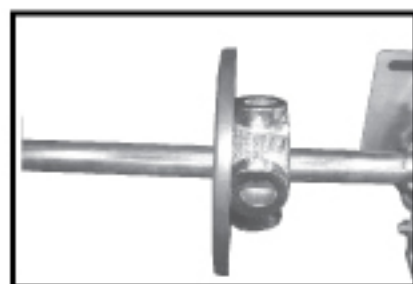


FIG. 18-B

18-3: Slide the black start spacer onto the shaft with the thicker portion on top of the shaft. (FIG. 18-C & 18E)

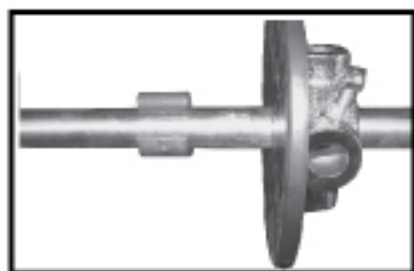


FIG. 18-C



FIG. 18-D

18-4: While standing on a ladder, remove the strap from the bag and unroll the strap towards the floor. When the strap is completely unwound you will have a single strap in your hand with two separate loops hanging towards the floor. (FIG. 18-D)

18-5: Hang the single part of the strap on the black start spacer. (FIG. 18-E)

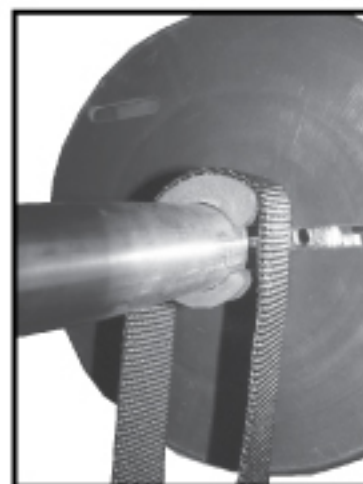


FIG. 18-E

18-6: Adjust the strap according to the strap label that came with the strap. SEE FOLLOWING EXAMPLE & FIG'S 18-F & 18-G

STRAP TAG EXAMPLE

STRAP#: AW-B-115-013-037
FIRST START: 013
SECOND START: 037
COLOR: BLACK

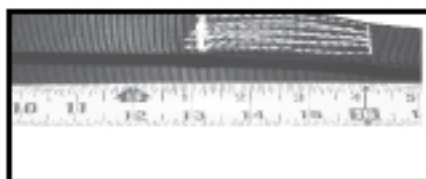


FIG. 18-G

- 1: Adjust the strap so that the white stitching on the side of the strap away from the wall matches the first start. (In example this is 13")
- 2: Once the first start is set, the white stitching on the wall side of the strap will match the second start. (In example this is 37")

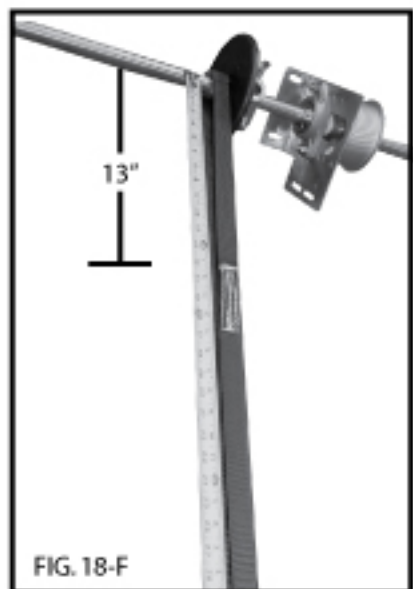


FIG. 18-F

STEP 18 - INSTALLING THE STRAPEZE SYSTEM CONTINUED

- 18-7:** Slide the remaining guide disk on the shaft with the smooth side towards the strap. Slide remaining winding hub on the shaft with the set screws away from the guide disk. (FIG. 18-H)
- 18-8:** Install strap 1/4" strap pin through the pre-drilled hole in the outer winding hub. Continue pushing the pin through the strap assembly so it runs through the slots in both winding hubs, through both guide disks and **over** the strap. (FIG. 18-I)
- 18-9:** Once the strap pin has been installed, the strapeze assembly will resemble FIG. 18-J.
- 18-10:** Tighten all set screws on the winding hubs. (3 ea., 6 total)
- 18-11:** Add a center bearing plate to the end of the shaft outside of the strapeze assembly. Fasten to wall to help support the weight stack. (See Fig 18-K)

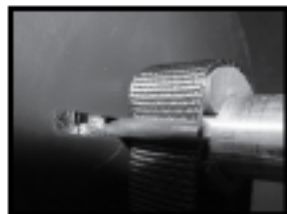


FIG. 18-I

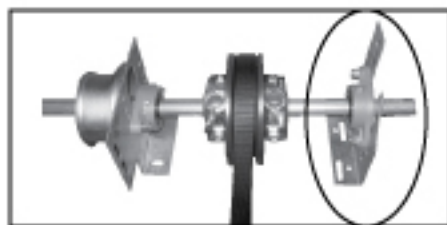


Fig. 18-K

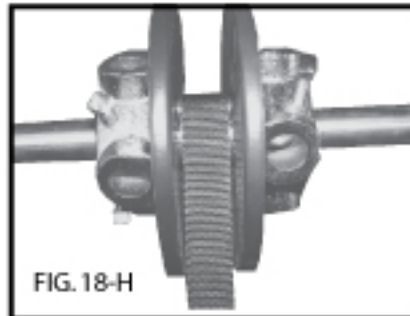


FIG. 18-H

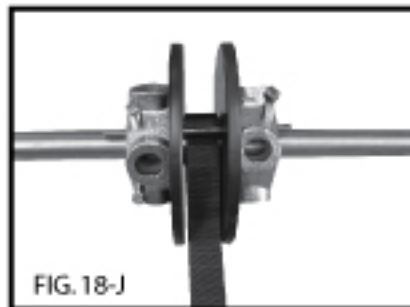


FIG. 18-J

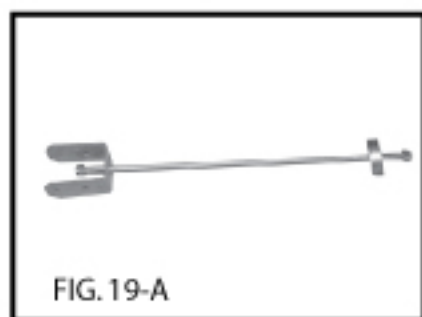


FIG. 19-A

STEP 19 - ASSEMBLE WEIGHT BRACKET & ROD

- 19-1:** Thread one 3/8" lock nut onto the threaded rod so that the end of the rod is flush with the nut.
- 19-2:** Slide all 1-1/2" washers provided onto the rod.
- 19-3:** Slide strap bracket onto the rod so that the flat bottom portion of the bracket is towards the washers and nut.
- 19-4:** Thread a 3/8" lock nut onto the opposite end of the rod. FINAL ASSEMBLY WILL RESEMBLE FIG. 19-A
- 19-5:** Place a strap spool on each bottom loop as shown. (FIG. 19-B)
- 19-6:** Insert the 3/8"x3" bolts through the holes in the strap bracket and through each spool. (FIG. 19-C)
- 19-7:** Thread a 3/8" lock nut on each bolt and tighten only until the end of the bolt is flush with the nut.



FIG. 19-B

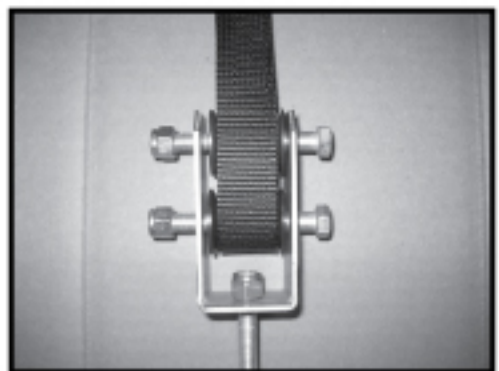


FIG. 19-C

**Nuts must not be overtightened. The bolts must have enough play to allow the spools to spin.

STEP 20 - STACKING THE WEIGHTS

- 20-1:** Slide the washers on the strap rod to the top leaving two washers at the bottom.
- 20-2:** Place one of the larger 18.9lb weights on the rod so it rests on the bottom two washers.
- 20-3:** Lower one of the washers onto the first weight and stack another 18.9lb weight on top of the first one. ****Rotate the second weight 180 deg. so the gaps in the weights are facing opposite directions.**
- 20-4:** Continue stacking the large weights in the same way as described above. Make sure to place one washer between each weight and rotate every other weight 180 deg. (FIG. 20-A)
- 20-5:** Finish by stacking any small 5lb weights on top of the larger weights, still placing a washer in between each weight.



FIG. 20-A

STEP 21 - WINDING THE WEIGHTS



WINDING COUNTERWEIGHTS IS EXTREMELY DANGEROUS AND CAN CAUSE SEVERE BODILY INJURY OR DEATH AND SHOULD ONLY BE PERFORMED BY A TRAINED DOOR INSTALLER WITH THE APPROPRIATE TOOLS.

- 21-1:** Insert 5/8" winding bar into either winding hub.
- 21-2:** While facing the wall, pull the bar towards you and lift towards the ceiling. This is the direction the weights need to be wound.
- 21-3:** While holding the first winding bar up, insert the other winding bar into the winding hub and let it rest against the wall.
- 21-4:** Repeat steps 21-2 and 21-3 winding the weights 1/4 turn at a time until the strap bracket is approximately one inch from the black guide disks. (FIG. 21-B)

****IMPORTANT****

Weights must be wound to their full height at approximately one inch from the guide disks in order for the door to balance correctly.

- 21-5:** Once the weights are wound. Insert one winding bar into the winding hub and let the bar rest against the wall to prevent the weights from falling.

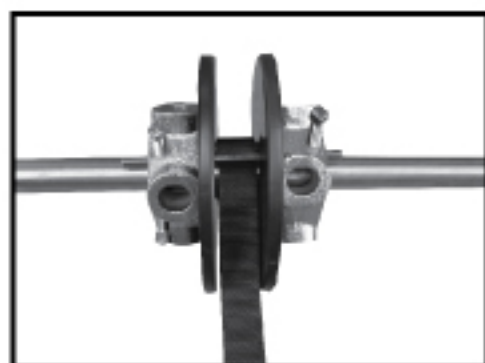


FIG. 21-A

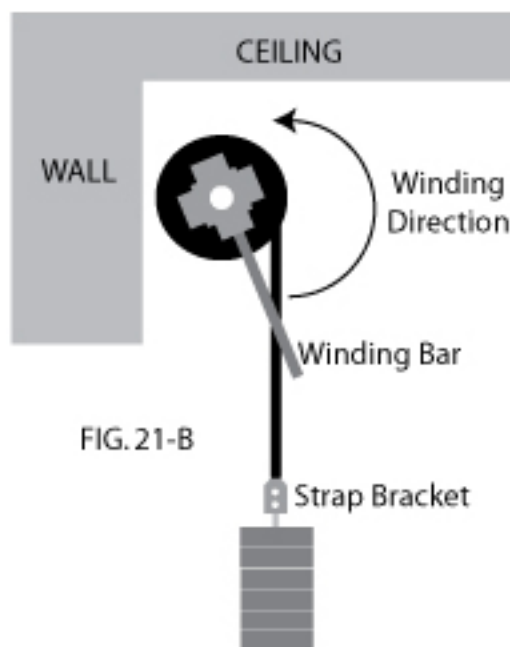


FIG. 21-B

STEP 22- SETTING CABLES AND CABLE DRUMS



WARNING--THE WEIGHT STACK IS ONLY HELD BY THE WINDING BAR AGAINST THE WALL. USE CAUTION IN THE FOLLOWING STEPS TO ENSURE THE WINDING BAR DOES NOT RELEASE FROM THE WINDING HUB WHICH COULD RESULT IN THE WEIGHTS FREE FALLING.

- 22-1:** Pull the cable attached to the left hand bottom bracket up to the shaft by running it behind each roller stem. (FIG. 22-A)
- 22-2:** Run the cable on the back side of the left hand (RED) cable drum and hook the cable bead into the slot on the drum. (FIG. 22-B)
- 22-3:** Rotate the cable drum until the cable is tight, and tighten the set screws on the cable drum.
- 22-4:** With the cable tight, attach a vice grip to the shaft so the handle of the vice grip rests against the wall. This will keep the cable tight while you set the other cable drum. (FIG. 22-C)
- 22-5:** Repeat steps 22-1 through 22-3 for the right hand cable and cable drum.
- 22-6:** Double check that all set screws on the cable drums are tight and both cables have approximately the same tension.
- 22-7:** Remove the vice grip from the shaft and attach it to either of the vertical tracks just above one roller. This will prevent the door from moving when you release the strap winding bar. (FIG. 22-D)



USE CAUTION ON STEP 22-8 AS THE DOOR IS NOW UNDER TENSION.

- 22-8:** Once you have attached a vice grip to the vertical track, remove the winding bar from the strapeze assembly by inserting the other bar into the winding hub and lifting up slightly. (FIG. 22-E)

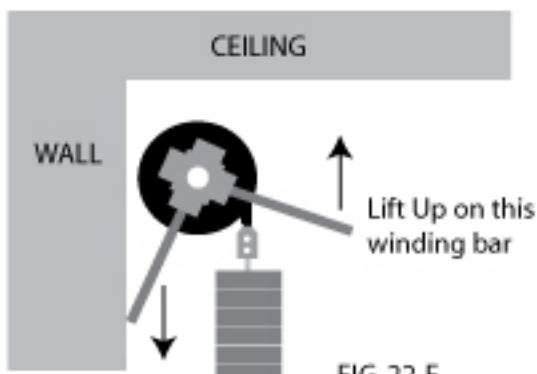


FIG. 22-E

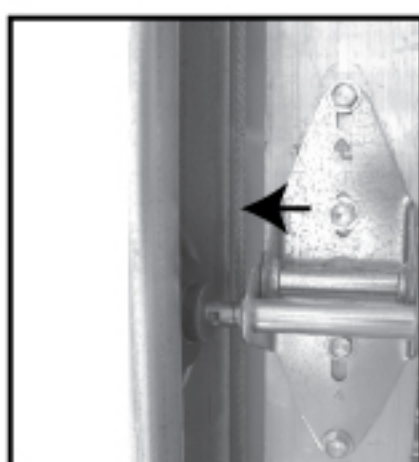


FIG. 22-A

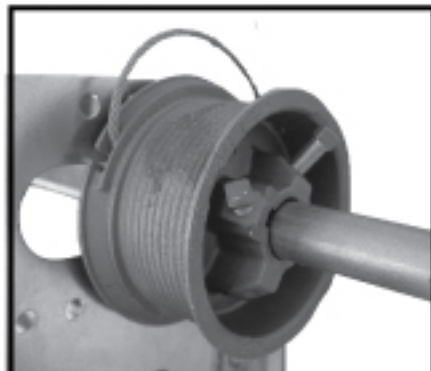


FIG. 22-B

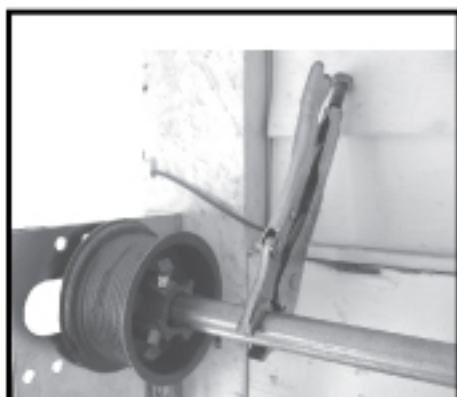


FIG. 22-C



FIG. 22-D

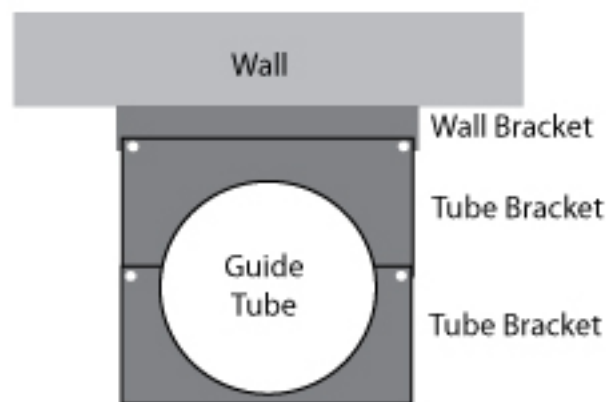
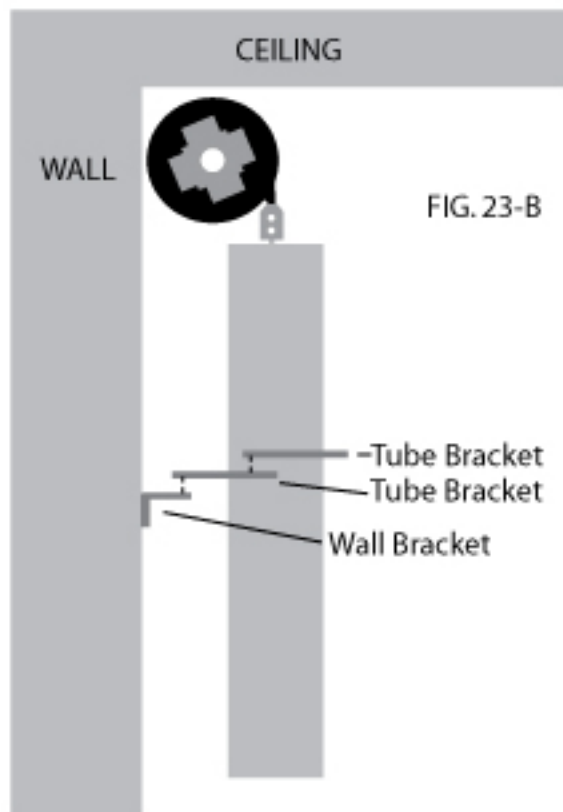
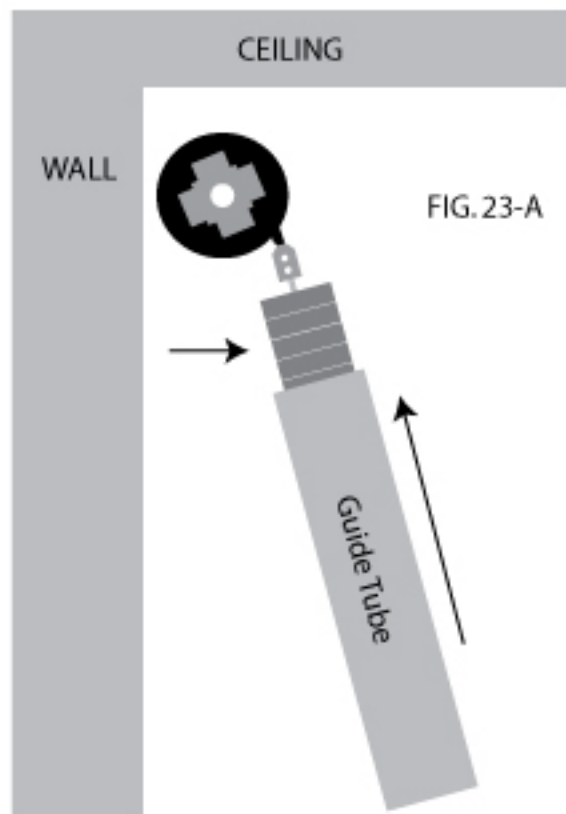
STEP 23 - INSTALLING GUIDE TUBE

- 23-1:** Push PVC guide tube onto the weight stack from underneath. You will need to pull the weights away from the wall slightly while pushing the tube up and over the weights. (FIG. 23-A)



BE SURE TO USE TWO PEOPLE TO SLIDE THE GUIDE TUBE ONTO THE WEIGHT STACK. ONE PERSON SHOULD SUPPORT THE WEIGHTS WHILE THE OTHER HANDLES THE TUBE.

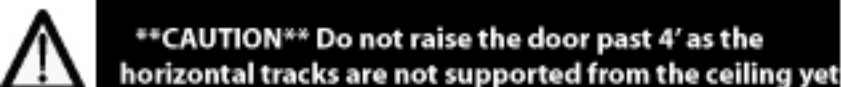
- 23-2:** Mount the guide tube wall bracket to the wall in the center of the guide tube. Make sure the bracket is in line with the guide tube. (FIG 23-B, 23-C)
- 23-3:** Attach one of the guide tube brackets to the wall bracket using the 1/4" bolts and nuts provided. (FIG 23-B, 23-C)
- 23-4:** Position the remaining guide tube bracket around the tube and attach it to the other bracket using the 1/4" bolts and nuts provided. (FIG 23-B, 23-C)



STEP 24 - INSTALL TRACK BACK HANGS

24-1: Remove vice grip from the vertical track.

24-2: Raise door approximately 4' off the ground.



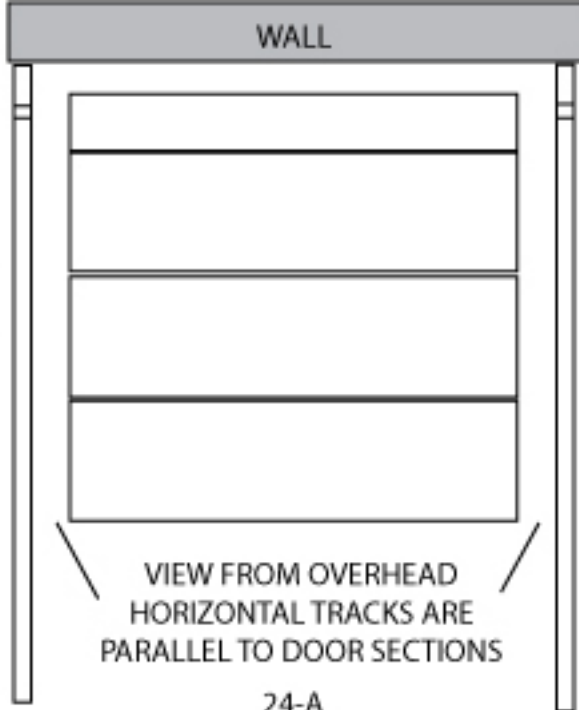
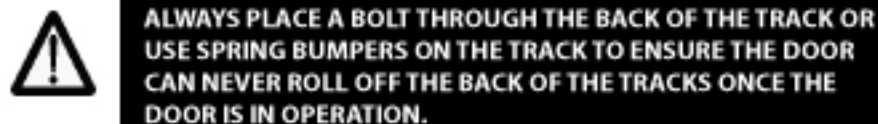
24-3: Place vice grip on vertical track to keep door at 4' off the ground.

24-4: Position horizontal tracks so that both tracks run parallel to the door sections. (FIG. 24-A)

24-5: Use punched angle to support each horizontal track from the ceiling as shown. (FIG. 24-B)

NOTE

Horizontal tracks should be level or slightly pitched up when supported from ceiling.



STEP 25 - TESTING DOOR OPERATION

25-1: Remove vice grip from vertical track and close door.

25-2: Run the door open and closed to make sure no components are binding.

25-3: To check the balance of the door, raise the door to approximately chest height. The door should balance at this position and not creep upwards or downwards.

FIRST AMENDMENT TO REAL PROPERTY PURCHASE AGREEMENT

This FIRST AMENDMENT TO REAL PROPERTY PURCHASE AGREEMENT (this “**Amendment**”) is made and entered into as of April ^{Apr 23, 23}, 2023 (“**Effective Date**”), by and between WOODWARD DETROIT CVS, L.L.C., a Michigan limited liability company (“**Seller**”), and CLEAN EXPRESS AUTO WASH, LLC, an Ohio limited liability company (together “**Buyer**”).

RECITALS

A. Seller and Buyer are parties to that certain Real Property Purchase Agreement dated March 10, 2023 (the “**Purchase Agreement**”), governing the purchase and sale of the “Property” described therein.

B. Buyer has requested Seller’s execution of that certain Application for Special Use Approval, which Buyer intends to submit to the City of Lincoln Park, Michigan in the form attached hereto as **Exhibit A** (“**Application**”).

C. Seller has agreed to sign the Application, subject to the terms and conditions contained in this Amendment.

D. The parties now desire to amend and modify the Purchase Agreement as more particularly set forth below.

NOW THEREFORE, in consideration of the mutual covenants contained herein (which by incorporation are deemed to include the foregoing Recitals as if fully restated below) and of other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Seller and Buyer hereby amend the Purchase Agreement as follows:

AGREEMENT

1. **Defined Terms**. Each capitalized term used herein that is not otherwise defined or modified herein shall have the meaning ascribed to it in the Purchase Agreement.

2. **Execution of Application**. Subject to the terms and conditions contained in this Amendment, Seller shall sign the Application upon full execution of this Amendment.

3. **Buyer’s Representations & Warranties**. Buyer represents and warrants to Seller that (a) the statements and information contained in the Application are true and correct to Buyer’s knowledge and belief; and (b) the City’s approval of any matters contained in the Application will not be binding on the Property prior to the Closing.

4. **Indemnification**. Buyer shall indemnify, defend, and hold Seller harmless from and against any claims, demands, liabilities, losses, and damages, including attorneys’ fees, arising out of Buyer’s pursuit of any entitlements affecting the Property, including without limitation, the Application and any third-party challenges related to the Application. The

provisions of this paragraph shall survive the Closing or the earlier termination of the Agreement.

5. Counterparts; Signatures. This Amendment may be executed and delivered by PDF email or DocuSign signatures and in several or separate counterparts, and each counterpart, when so executed and delivered, shall constitute an original agreement, and all such separate counterparts shall constitute but one and the same agreement.

6. Entire Agreement. Except as specifically amended hereby, the Purchase Agreement remains unmodified and in full force and effect. In the event that any of the terms or conditions of the Purchase Agreement conflict with this Amendment, the terms and conditions of this Amendment shall control. Any references to the "Agreement" or "Purchase Agreement" in the Purchase Agreement or any document delivered in connection therewith shall be deemed to mean the Purchase Agreement as amended by this Amendment. The parties hereto hereby ratify and approve the Purchase Agreement, as amended by this Amendment.

IN WITNESS WHEREOF, the parties hereto have caused this Amendment to be executed by their duly authorized representatives as of the day and year first hereinabove written.

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SIGNATURE PAGE
FOR
AMENDMENT OF REAL PROPERTY PURCHASE AGREEMENT
BY AND BETWEEN

WOODWARD DETROIT CVS, L.L.C., SELLER

AND

CLEAN EXPRESS AUTO WASH, LLC, BUYER

SELLER:

WOODWARD DETROIT CVS, L.L.C.,
a Michigan limited liability company

By: Michael A Colabella
Name: MAC
Title: Assistant Secretary

CVS Legal Approval: ATM
Aaron May
Gould & Ratner LLP

BUYER:

CLEAN EXPRESS AUTO WASH, LLC,
an Ohio, ~~limited~~ liability company

By: Craig Van Bremen
Name: Craig Van Bremen
Title: CDO Chief Development Officer

EXHIBIT A

Application

[see attached]

4883-8533-5383, v. 1

Case No. _____

Date Submitted _____

City of Lincoln Park
APPLICATION FOR SPECIAL USE APPROVAL

NOTICE TO APPLICANT: Applications for Special Use review by the Planning Commission must be submitted to the City *in substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by six (6) individual folded copies of the site plan, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

Special Uses shall comply with the standards in Section 1262.08 of the Zoning Ordinance. Accordingly, a public hearing shall be held by the Planning Commission before a decision is made on any Special Use request. Furthermore, a site plan shall be required, which shall be prepared in accordance with Section 1294.01 of the Ordinance.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned do hereby respectfully request Special Use Review and provide the following information to assist in the review:

Applicant: Kyle Wrentmore

Mailing Address: 607 Shelby St, Suite 300, Detroit, MI 48226

Email Address: kwrentmore@manniksmithgroup.com

Telephone: 614-441-4222 Fax: _____

Property Owner(s) (if different from Applicant): Woodward Detroit CVS, LLC.

Mailing Address: _____

Telephone: _____ Fax: _____

Applicant's Legal Interest in Property: Redeveloper

Location of Property: Street Address: SWC of Fort St & Mill St

Nearest Cross Streets: Fort Street & Mill Street

Sidwell Number: 45-009-99-001-0702

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., "acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

Property Size (Square Ft): 50,535 (Acres): 1.16

Present Use of Property: Vacant Lot

Proposed Use of Property: Car Wash

Existing Zoning (please check):

- | | |
|---|-----------------------------------|
| G SFRD Single Family Residential District | G RBD Regional Business District |
| G MFRD Multiple Family Residential District | G CBD Central Business District |
| G MHRD Mobile Home Park District | G GID General Industrial District |
| G NBD Neighborhood Business District | G LID Light Industrial District |
| G MBD Municipal Business District | G CSD Community Service District |
| G PUD Planned Unit Development District | |

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1	3677 sq. ft.	7
Industrial			
Other			


ATTACH THE FOLLOWING:

- Six (6) individually folded copies of the site plan, sealed by a registered architect, engineer, landscape architect or community planner.
- Proof of property ownership.
- A brief written description of the proposed use.

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this application.


 Signature of Applicant _____ Date 3/10/2023

Signature of Applicant _____ Date April 19, 2023
Michael A Colabella

Signature of Property Owner Authorizing this Application _____ Date _____
 Michael A. Colabella

To be completed by City:

Date Submitted: _____ Fee Paid: _____

Received By: _____ Date of Public Hearing: _____

PLANNING COMMISSION ACTION (RECOMMENDATION)

To Approve: _____ To Deny: _____ Date of Action: _____

Reasons for Action Taken: _____

CITY COUNCIL ACTION

Approved: _____ Denied: _____ Date of Action: _____

Reasons for Action Taken: _____

Case No. _____

Date Submitted _____

City of Lincoln Park

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan Review by the Planning Commission must be submitted to the City in *substantially complete form* at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: Kyle Wrentmore

Mailing Address: 607 Shelby St, Suite 300, Detroit, MI 48226

Email: kwrentmore@manniksmithgroup.com

Telephone: 614-441-4222 Fax: _____

Property Owner(s) Name (if different from Applicant): Woodward Detroit CVS, LLC.

Mailing Address: _____

Telephone: _____ Fax: _____

Applicant(s) Explanation of Legal Interest in Property:
Redeveloper

Location of Property: Street Address: Southwest Corner of Mill St & Fort St

Nearest Cross Streets: Fort St & Mill St

Sidwell Number (Parcel ID#): 45-009-99-0010-702

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

PART OF PRIVATE CLAIM 119 AND FORT ST SCHOOL SUB L53 P29 WCR FROM SW CR LOT 1 OF SAID SUBDIVISION N18°14'18"E 221.00 FT TO POINT OF BEGINNING THENCE N18°14'18"E 148.97 FT; THENCE S70°55'23"E 342.20 FT; THENCE S18°45'52"W 146.99 FT; THENCE N71°15'11"W 340.83 FT TO POINT OF BEGINING.

Property Size (Square Ft): 50,535 (Acres): 1.16

Existing Zoning (please check):

- SFRD Single Family Residential District
- MFRD Multiple Family Residential District
- MHRD Mobile Home Park District
- NBD Neighborhood Business District
- MBD Municipal Business District
- PUD Planned Unit Development District

- RBD Regional Business District
- CBD Central Business District
- GID General Industrial District
- LID Light Industrial District
- CSD Community Service District

Present Use of Property: VACANT LOT

Proposed Use of Property: A CAR WASH FACILITY WITH ASSOCIATED PARKING,
 VACUUM AREAS, DRIVEWAYS AND UTILITIES

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1	3677 sq. ft.	7
Industrial			
Other			

Professionals Who Prepared Plans:

A. Name: Euponine Pierre

Mailing Address: 607 Shelby St, Suite 300, Detroit, MI 48226

Email Address: epierre@manniksmithgroup.com

Telephone: 269-363-9748 Fax: _____ Primary Design Responsibility: Drafter & Designer

B. Name: Michael McAvoy

Mailing 607 Shelby St, Suite 300, Detroit, MI 48226 Address: _____

Email mmcavoy@manniksmithgroup.com

Address: _____

Telephone: 740-541-3584 Fax: _____ Primary Design Responsibility: Backchecker & Designer

C. Name: _____

Mailing Address: _____

Email Address: _____

Telephone: _____ Fax: _____ Primary Design Responsibility: _____

ATTACH THE FOLLOWING:

1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. **A brief written description** of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:

- | | |
|---|--|
| G Wayne County Road Commission | G Wayne County Drain Commission |
| G Wayne County Health Division | G Michigan Department of Natural Resources |
| G Michigan Department of Transportation | G Michigan Department of Environmental Quality |

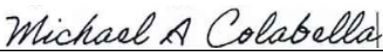
PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

APPLICANT 'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

 _____	3/10/2023 _____
Signature of Applicant	Date

_____	_____
Signature of Applicant	Date
 _____	April 19, 2023 _____
Signature of Property Owner Authorizing this Application	Date

TO BE COMPLETED BY THE CITY

Case No. _____

Date Submitted: _____	Fee Paid: _____
By: _____	Date of Public Hearing: _____

PLANNING COMMISSION ACTION

Approved: _____ Denied: _____ Date of Action: _____

10

**MICHIGAN DEPARTMENT OF LABOR & ECONOMIC GROWTH
BUREAU OF COMMERCIAL SERVICES**

Date Received
DEC 19 2008

(FOR BUREAU USE ONLY)

FILED

DEC 22 2008

This document is effective on the date filed, unless a subsequent effective date within 90 days after received date is stated in the document.

Administrator
BUREAU OF COMMERCIAL SERVICES

Name Olga Hinkel		
Address CT Corporation System, 155 Federal Street, Suite 700		
City Boston	State MA	ZIP Code 02110

EFFECTIVE DATE: January 1, 2009 @ 12:03 AM
 Expiration date for new assumed names: December 31, ..
 Expiration date for transferred assumed names appear in Item 6

Document will be returned to the name and address you enter above. If left blank document will be mailed to the registered office.

**CERTIFICATE OF MERGER
Cross Entity Merger for use by Profit Corporations, Limited Liability Companies
and Limited Partnerships**

Pursuant to the provisions of Act 284, Public Acts of 1972 (profit corporations), Act 23, Public Acts of 1993 (limited liability companies) and Act 213, Public Acts of 1982 (limited partnerships), the undersigned entities execute the following Certificate of Merger:

1. The Plan of Merger (Consolidation) is as follows:

a. The name of each constituent entity and its identification number is:

Arbor Drugs, Inc.	102424
Woodward Detroit CVS, L.L.C.	B2007H

b. The name of the surviving (new) entity and its identification number is:

Woodward Detroit CVS, L.L.C.	B2007H
------------------------------	--------

Corporations and Limited Liability Companies provide the street address of the survivor's principal place of business:
 c/o CVS Pharmacy, Inc., One CVS Drive, Woonsocket, RI 02895, Attention: General Counsel

2. (Complete only if an effective date is desired other than the date of filing. The date must be no more than 90 days after the receipt of this document in this office.)

The merger (consolidation) shall be effective on the 1st day of January, 2009 at 12:03 a.m.

200-00 116838 cc/sbl

FC # 150⁰² VS/TLJ 116345

3. Complete for Profit Corporations only

For each constituent stock corporation, state:

Name of corporation	Designation and number of outstanding shares in each class or series	Indicate class or series of shares entitled to vote	Indicate class or series entitled to vote as a class
Arbor Drugs, Inc.	Common - 100	Common	N/A
_____	_____	_____	_____

If the number of shares is subject to change prior to the effective date of the merger or consolidation, the manner in which the change may occur is as follows:

The manner and basis of converting shares are as follows:

SEE EXHIBIT A ATTACHED HERETO

The amendments to the Articles, or a restatement of the Articles, of the surviving corporation to be effected by the merger are as follows: N/A

The Plan of Merger will be furnished by the surviving profit corporation, on request and without cost, to any shareholder of any constituent profit corporation.

The merger is permitted by the state or country under whose law it is incorporated and each foreign corporation has complied with that law in effecting the merger.

(Complete either Section (a) or (b) for each corporation)

a) The Plan of Merger was approved by unanimous consent of the incorporators of _____, a Michigan corporation which has not commenced business, has not issued any shares, and has not elected a Board of Directors.

_____ (Signature of Incorporator)	_____ (Type or Print Name)	_____ (Signature of Incorporator)	_____ (Type or Print Name)
_____ (Signature of Incorporator)	_____ (Type or Print Name)	_____ (Signature of Incorporator)	_____ (Type or Print Name)

b) The plan of merger was approved by:
 the Board of Directors of _____, the surviving Michigan corporation, without approval of the shareholders in accordance with Section 703a of the Act.

the Board of Directors and the shareholders of the following Michigan corporation(s) in accordance with Section 703a of the Act.
 Arbor Drugs, Inc.

By _____
 (Signature of Authorized Officer of Agent)
 Melanie K. Luker, Assistant Secretary

 (Type or print name)
 ARBOR DRUGS, INC.

 (Name of Corporation)

By _____
 (Signature of Authorized Officer of Agent)

 (Type or print name)

 (Name of Corporation)

4. Complete for any Limited Liability Companies only

Check one of the following if Limited Liability Company is the survivor.

- There are no changes to be made to the Articles of Organization of the surviving limited liability company.
- The amendments to the Articles, or a restatement of the Articles, of the surviving limited liability company to be effected by the merger are as follows:

The manner and basis of converting the membership interests are as follows:

SEE EXHIBIT A ATTACHED HERETO


The Plan of Merger was approved by the members of each constituent limited liability company in accordance with section 702(1).

The Plan of Merger was approved by the members of each domestic limited liability company in accordance with section 705a(5) and by each constituent business organization in the manner provided by the laws of the jurisdiction in which it is organized.

For each limited liability company involved in the merger, this document is signed in accordance with Section 103 of the Act.

Signed this 10th day of December, 2008

By



(Signature of Member, Manager or Authorized Agent)

Melanie K. Luker, Assistant Secretary of CVS Pharmacy, Inc., Sole Member of

(Type or Print Name and Capacity)

WOODWARD DETROIT CVS, L.L.C.

(Name of Limited Liability Company)

Signed this _____ day of _____,

By

(Signature of Member, Manager or Authorized Agent)

(Type or Print Name and Capacity)

(Name of Limited Liability Company)

EXHIBIT A
TO
MICHIGAN CERTIFICATE OF MERGER
OF
ARBOR DRUGS, INC.
INTO
WOODWARD DETROIT CVS, L.L.C.

3. Complete for Profit Corporations only

The manner and basis of converting shares are as follows:

Each share of the Common Stock of the Merged Corporation issued and outstanding at the Effective Time of the merger shall be canceled, and no payment shall be made to the holder thereof with respect thereto.

4. Complete for any Limited Liability Companies only

The manner and basis of converting the membership interest are as follows:

All of the membership interests of the Surviving Company outstanding at the Effective Time of the merger shall remain outstanding.

Complete for Corporations and Limited Liability Companies only

The assumed names being transferred to continue for the remaining effective period of the Certificate of Assumed Name on file prior to the merger are:

Assumed name	Corporation and/or LLC Transferred from	Expiration date
CVS/PHARMACY #8240	Arbor Drugs, Inc.	12-31-2013
CVS/PHARMACY #8231	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8212	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8211	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8213	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8184	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8159	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8186	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8187	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8170	Arbor Drugs, Inc.	12-31-2009

SEE ADDITIONAL ASSUMED NAMES ON EXHIBIT B ATTACHED HERETO

Nonsurvivor name to be used as assumed name of survivor:

N/A

EXHIBIT B

TO

MICHIGAN CERTIFICATE OF MERGER

OF

ARBOR DRUGS, INC.

INTO

WOODWARD DETROIT CVS, L.L.C.

Complete for Corporations and Limited Liability Companies only (cont.)

The assumed names being transferred to continue for the remaining effective period of the Certificate of Assumed Name on file prior to the merger are (cont.):		
Assumed Name	Corporation and/or LLC Transferred From	Expiration Date
CVS/PHARMACY #8172	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8173	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8174	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8233	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8020	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8019	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8118	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8119	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8178	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8179	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8180	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8181	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8183	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8216	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8218	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8208	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8221	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8222	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8206	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8209	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8210	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8126	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8127	Arbor Drugs, Inc.	12-31-2009

The assumed names being transferred to continue for the remaining effective period of the Certificate of Assumed Name on file prior to the merger are (cont.):

Assumed Name	Corporation and/or LLC Transferred From	Expiration Date
CVS/PHARMACY #8023	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8021	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8128	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8129	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8130	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8114	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8117	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8030	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8136	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8137	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8138	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8139	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8140	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8141	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8029	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8028	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8214	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8197	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8198	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8199	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8200	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8202	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8204	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8189	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8190	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8071	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8069	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8068	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8040	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8039	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8038	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8067	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8066	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8095	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8037	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8036	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8035	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8094	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8093	Arbor Drugs, Inc.	12-31-2009

The assumed names being transferred to continue for the remaining effective period of the Certificate of Assumed Name on file prior to the merger are (cont.):

Assumed Name	Corporation and/or LLC Transferred From	Expiration Date
CVS/PHARMACY #8092	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8065	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8064	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8063	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8091	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8090	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8177	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8062	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8061	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8060	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8059	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8058	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8057	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8176	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8056	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8055	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8054	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8053	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8052	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8078	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8003	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8002	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8017	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8016	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8015	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8014	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8013	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8012	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8011	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8010	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8009	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8008	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8007	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8005	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8004	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8133	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8132	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8131	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8158	Arbor Drugs, Inc.	12-31-2009

The assumed names being transferred to continue for the remaining effective period of the Certificate of Assumed Name on file prior to the merger are (cont.):

Assumed Name	Corporation and/or LLC Transferred From	Expiration Date
CVS/PHARMACY #8157	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8156	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8155	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8154	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8153	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8152	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8151	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8149	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8148	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8147	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8146	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8168	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8167	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8166	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8165	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8164	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8163	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8162	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8161	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8160	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8089	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8088	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8087	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8086	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8085	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8083	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8082	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8081	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8080	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8105	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8104	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8103	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8102	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8101	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8100	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8099	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8098	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8097	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8096	Arbor Drugs, Inc.	12-31-2009

The assumed names being transferred to continue for the remaining effective period of the Certificate of Assumed Name on file prior to the merger are (cont.):

Assumed Name	Corporation and/or LLC Transferred From	Expiration Date
CVS/PHARMACY #8113	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8112	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8111	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8018	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8110	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8234	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8051	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8050	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8049	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8235	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8241	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8109	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8107	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8106	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8229	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8048	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8047	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8046	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8077	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8076	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8075	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8045	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8044	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8041	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8074	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8073	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8072	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8159	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8034	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8033	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8196	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8175	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8194	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8121	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8122	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8191	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8232	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8230	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8225	Arbor Drugs, Inc.	12-31-2009

The assumed names being transferred to continue for the remaining effective period of the Certificate of Assumed Name on file prior to the merger are (cont.):

Assumed Name	Corporation and/or LLC Transferred From	Expiration Date
CVS/PHARMACY #8134	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8135	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8032	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8031	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8027	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8143	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8144	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8026	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8025	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8024	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8123	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY #8125	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY 8115	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY 8006	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY 8227	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY 8084	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY 8108	Arbor Drugs, Inc.	12-31-2009
CVS/PHARMACY 8042	Arbor Drugs, Inc.	12-31-2009

ERIC R. SABREE
WAYNE COUNTY TREASURER
400 Monroe - 5th Floor
Detroit MI 48226-2942



Make checks payable to:
Wayne County Treasurer

Taxpayer Information:
(313) 224-5990

Office Hours:
8:00 a.m. - 4:30 p.m.
Monday through Friday

Web: treasurer.waynecounty.com
Email: taxinfo@waynecounty.com

Mailing Arbor Drugs, Inc Cvs# 8131-03
Address: 1 CVS DRIVE, MC 2320
STORE ACCOUNTING
WOONSOCKET RI 02895

Tax Statement

Number: 2023 - 102195

Date: 04/28/2023



Lincoln Park Real Property Description:	Property Classification:(202) Commerical DDA	
Parcel ID: 45009990010702	SEV Amt: \$140,000 - 2022	HSTD VAL: \$0
Address: 0 Fort	PRE: 0%	NON HSTD VAL: \$105,502

Lincoln Park, MI 48146

Legal

Description:

JB FM72 TO 78 PART OF PRIVATE CLAIM 119 AND FORT ST SCHOOL SUB L53 P29 WCR BEG N 18D 14M 18 S E 221.00 FT FROM SW COR LOT 1 OF SAID SUBDIVISION TH N 18D 14M 18S E 148.97 FT; TH S 70D 55M 23S E 342.20 FT; TH S 18D 45M 52S W 146.99 FT; TH N 71D 15M 11S W 340.83 FT POB; SUBJECT TO EASEMENTS OF RECORD. Area = 1.16 Acres

No outstanding taxes for this parcel.

Created by:3803

Page 1 of 1

RECEIVED

MAR 13 2023

Case No. PPC23-05

Date Submitted MAR. 13, 2023

City of Lincoln Park

CITY OF LINCOLN PARK BUILDING DEPARTMENT

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan Review by the Planning Commission must be submitted to the City in substantially complete form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Applicant: Kyle Wrentmore
Mailing Address: 607 Shelby St, Suite 300, Detroit, MI 48226
Email: kwrentmore@manksmithgroup.com
Telephone: 614-441-4222 Fax:

Property Owner(s) Name (if different from Applicant): Woodward Detroit CVS, LLC.
Mailing Address:
Telephone: Fax:

Applicant(s) Explanation of Legal Interest in Property:
Redeveloper

Location of Property: Street Address: Southwest Corner of Mill St & Fort St
Nearest Cross Streets: Fort St & Mill St
Sidwell Number (Parcel ID#): 45-009-99-0010-702

Property Description:
If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., Acreage parcel"), provide metes and bounds description. Attach separate sheets if necessary.

PART OF PRIVATE CLAIM 119 AND FORT ST SCHOOL SUB L53 P29 WCR FROM SW CR LOT 1 OF SAID SUBDIVISION N18°14'18"E 221.00 FT TO POINT OF BEGINNING THENCE N18°14'18"E 148.97 FT; THENCE S70°55'23"E 342.20 FT; THENCE S18°45'52"W 146.99 FT; THENCE N71°15'11"W 340.83 FT TO POINT OF BEGINING.

Property Size (Square Ft): 50,535 (Acres): 1.16

Existing Zoning (please check):

- G SFRD Single Family Residential District
G MFRD Multiple Family Residential District
G MHRD Mobile Home Park District
G NBD Neighborhood Business District
G MBD Municipal Business District
G PUD Planned Unit Development District
G RBD Regional Business District
G CBD Central Business District
G GID General Industrial District
G LID Light Industrial District
G CSD Community Service District

Present Use of Property: VACANT LOT

Proposed Use of Property: A CAR WASH FACILITY WITH ASSOCIATED PARKING,
 VACUUM AREAS, DRIVEWAYS AND UTILITIES

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1	3677 sq. ft.	7
Industrial			
Other			

Professionals Who Prepared Plans:

A. Name: Euponine Pierre

Mailing Address: 607 Shelby St, Suite 300, Detroit, MI 48226

Email Address: epierre@manniksmithgroup.com

Telephone: 269-363-9748 Fax: _____ Primary Design Responsibility: Drafter & Designer

B. Name: Michael McAvoy

Mailing 607 Shelby St, Suite 300, Detroit, MI 48226 Address: _____

_____ Email mmcavoy@manniksmithgroup.com

Address: _____

Telephone: 740-541-3584 Fax: _____ Primary Design Responsibility: Backchecker & Designer

C. Name: _____

Mailing Address: _____

Email Address: _____

Telephone: _____ Fax: _____ Primary Design Responsibility: _____

ATTACH THE FOLLOWING:

1. Eight (8) individually folded copies of the site plans, sealed by a registered architect, engineer, landscape architect or community planner as well as ONE (1) Electronic copy.
2. **A brief written description** of the existing and proposed uses, including but not limited to: hours of operation, number of employees on largest shift, number of company vehicles, etc.
3. Proof of property ownership.
4. Review comments or approval received from county, state, or federal agencies that have jurisdiction over the project, including but not limited to:


- | | |
|---|--|
| G Wayne County Road Commission | G Wayne County Drain Commission |
| G Wayne County Health Division | G Michigan Department of Natural Resources |
| G Michigan Department of Transportation | G Michigan Department of Environmental Quality |

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted subsequent to site plan approval.

APPLICANT ' SENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application.

 _____ Signature of Applicant	3/10/2023 _____ Date
_____ Signature of Applicant	_____ Date
_____ Signature of Property Owner Authorizing this Application	_____ Date

TO BE COMPLETED BY THE CITY

Case No. _____

Date Submitted: _____

Fee Paid: _____

By: _____

Date of Public Hearing: _____

PLANNING COMMISSION ACTION

Approved: _____ Denied: _____ Date of Action: _____

PROJECT DESCRIPTION

The site of the project is located in the southwest corner of Mill Street and Fort Street. The proposed project is the development of a vacant lot into a car wash facility with associated parking, vacuum areas, driveways, and utilities. The facility is to operate between the hours of 7:00 AM to 8:00 PM Monday through Saturday and 9:00 AM to 6:00 PM on Sundays. The number of employees on the largest shift is 7 employees. The two entrances to the facility will be on Mill Street and Fort Park Boulevard, and a right-out exit lane will be provided within the site for vehicles that are unable to move into the car wash tunnel. The proposed storm sewer system will include an underground detention basin and discharge into a catch basin on Fort Park Boulevard. The proposed sanitary sewer lead will connect to an existing sanitary sewer within the site. The proposed water service lead will connect to an existing water main with Mill Street.

RECEIVED

MAR 13 2023

Case No. PPC23-0005

Date Submitted MAR. 13, 2023

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

City of Lincoln Park
APPLICATION FOR SPECIAL USE APPROVAL

NOTICE TO APPLICANT: Applications for Special Use review by the Planning Commission must be submitted to the City *in substantially complete form* at least thirty (30) days prior to the Planning Commission’s meeting at which the proposal will be considered. The application must be accompanied by six (6) individual folded copies of the site plan, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

Special Uses shall comply with the standards in Section 1262.08 of the Zoning Ordinance. Accordingly, a public hearing shall be held by the Planning Commission before a decision is made on any Special Use request. Furthermore, a site plan shall be required, which shall be prepared in accordance with Section 1294.01 of the Ordinance.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned do hereby respectfully request Special Use Review and provide the following information to assist in the review:

Applicant: Kyle Wrentmore

Mailing Address: 607 Shelby St, Suite 300, Detroit, MI 48226

Email Address: kwrentmore@manniksmithgroup.com

Telephone: 614-441-4222 Fax: _____

Property Owner(s) (if different from Applicant): Woodward Detroit CVS, LLC.

Mailing Address: _____

Telephone: _____ Fax: _____

Applicant’s Legal Interest in Property: Redeveloper

Location of Property: Street Address: SWC of Fort St & Mill St

Nearest Cross Streets: Fort Street & Mill Street

Sidwell Number: 45-009-99-001-0702

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., “acreage parcel”), provide metes and bounds description. Attach separate sheets if necessary.

Property Size (Square Ft): 50,535 (Acres): 1.16

Present Use of Property: Vacant Lot

Proposed Use of Property: Car Wash

RECEIVED

Existing Zoning (please check):

- | | |
|---|--|
| <input type="checkbox"/> SFRD Single Family Residential District | <input type="checkbox"/> RBD Regional Business District |
| <input type="checkbox"/> MFRD Multiple Family Residential District | <input type="checkbox"/> CBD Central Business District |
| <input type="checkbox"/> MHRD Mobile Home Park District | <input type="checkbox"/> GID General Industrial District |
| <input type="checkbox"/> NBD Neighborhood Business District | <input type="checkbox"/> LID Light Industrial District |
| <input checked="" type="checkbox"/> MBD Municipal Business District | <input type="checkbox"/> CSD Community Service District |
| <input type="checkbox"/> PUD Planned Unit Development District | |

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1	3677 sq. ft.	7
Industrial			
Other			

ATTACH THE FOLLOWING:

- Six (6) individually folded copies of the site plan, sealed by a registered architect, engineer, landscape architect or community planner.
- Proof of property ownership.
- A brief written description of the proposed use.

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this application.

3/10/2023

Signature of Applicant

Date

Signature of Applicant

Date

Signature of Property Owner Authorizing this Application

Date

To be completed by City:

Date Submitted: _____ Fee Paid: _____

Received By: _____ Date of Public Hearing: _____

PLANNING COMMISSION ACTION (RECOMMENDATION)

To Approve: _____ To Deny: _____ Date of Action: _____

Reasons for Action Taken: _____

CITY COUNCIL ACTION

Approved: _____ Denied: _____ Date of Action: _____

Reasons for Action Taken: _____

972 Dix – Retail

Site Plan Review

Applicant	Joseph Mugan
Project	Retail
Address	972 Dix Highway, Lincoln Park, MI 48146
Date	June 14, 2023
Request	Site Plan Review

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial View

The proposed project is a retail store for musical instruments, which falls under the category of “retail businesses” in the Lincoln Park Zoning Ordinance. The proposed use also includes an e-commerce component, so the proposed floor plan includes inventory and staging areas. The existing building is currently vacant and was previously used as a bar.

Site Conditions

The 0.23-acre site is located on the corner of Dix Highway and Council Avenue. There is an existing public sidewalk along both rights-of-way, and the rear (west) side of the property abuts

a public alley. Access to the site is via Dix Highway and the rear public alley. The entire site is impervious surface, which includes the building and the parking area to the south.

Master Plan

Future Land Use Classification

The future land use classification for the site is General Commercial. The proposed retail use is consistent with the designation.

Intent, Desirable Uses, and Elements

The General Commercial land use is intended to provide retail goods and services on a city-wide scale as well as a regional scale that draw customers from within and outside the City. This is a suitable location for automobile-oriented uses that are not appropriate in pedestrian-oriented City areas such as the downtown, including as restaurants with car service, gas stations with or without convenience stores, minor auto repair shops, and car washes that comply with special design standards.

Land Use and Zoning

Zoning

The site is zoned Municipal Business District (MBD). “Retail businesses” and “e-commerce establishments” are principally permitted in the district.

Proposed and Existing Uses

Site	Commercial (vacant building) – Municipal Business District (MBD)
North	Commercial – Municipal Business District (MBD)
East	ROW, then Commercial – Municipal Business District (MBD)
South	ROW, then Commercial – Neighborhood Business District (NBD)
West	ROW, then Residential – Single Family Residential District (SFRD)



Figure 2: Zoning Map

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
T101	Proposed Arch Site Plan, Site Details	05/02/2023	–
A101	Floor Plan	05/02/2023	–
A201	Elevations	05/02/2023	–

Dimensional Standards

The dimensional requirements of the Municipal Business District (MBD) district are described in the chart below. (§1294.32, except where noted)

	Required	Provided	Compliance
Lot Width	Min. 40	~123 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls maximum 2 ½' < height < 8'	Proposed planter box, no height provided.	INQUIRY
Lot Area	Min. 4,000 sq. ft.	~10,209 sq. ft.	Met
Lot Coverage	Max. 50%	6,468/10,209 = ~63%	NOT MET
Height	2-Story Building; 25 ft	1 story	Met
Setback – Front	0	~15.5'	Met
Setback – Sides	0	0' (north) 44.25' (south)	Met
Setback – Rear	0	~18'	Met

The existing site meets all dimensional standards except for the lot coverage (which exceeds the standard by 13%). Because this is an existing site, the City has historically permitted these conditions to remain. No height details of shrubbery in the proposed planter box have been provided.



Items to be addressed

- Applicant shall provide height details on the proposed planter box and shrubbery.

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> • Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' 	Met

Required	Compliance
<ul style="list-style-type: none"> Architectural variety Similar materials and entrances to buildings within 500'  <p>1 block north on Dix Hwy – single-story, square, flat roofs, auto-oriented.</p>  <p>1 block south on Dix Hwy – single-story, square, pitched roofs, auto-oriented.</p>	<p>Met</p>
<ul style="list-style-type: none"> Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) <p><u>West Elevation (Rear): 96% Masonry (1,063/1,111)</u></p> <ul style="list-style-type: none"> CMU Block: ~1,063 sf Metal doors: ~48 sf Total Area: ~1,111 sf <p><u>South Elevation (front on Council Ave.): 90% Masonry (1,033/1,149)</u></p> <ul style="list-style-type: none"> Metal doors: ~116 sf CMU Block: ~1,008 sf Brick: ~25 sf Total Area: ~1,149 sf <p><u>East Elevation (Front on Dix Hwy.): 94% Masonry (1,141/1,217)</u></p> <ul style="list-style-type: none"> Metal door frame: ~7 sf Metal door: ~24 sf Aluminum trim pieces: ~45 sf CMU Block: ~61 sf Brick: ~1,080 sf Glass (exempt): ~71 sf Total Area: ~1,288 sf <p>25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block)</p> <ul style="list-style-type: none"> Natural colors (bright for decorative features only) <i>Natural brick and block</i> 	<p>Met</p>
<ul style="list-style-type: none"> Façade: <100' uninterrupted If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches All sides similar 	<p>Met</p>

Required	Compliance
<ul style="list-style-type: none"> • Windows: vertical, recessed, visually obvious sills • Spaces between windows = columns, mullions, or material found elsewhere on the façade • Front facades > 25% windows <i>Dix Hwy: 71/1,288 = ~5.5%, Council Ave: 0/1,149 = 0%</i> • Size, shape, orientation, spacing to match buildings within 500' 	NOT MET
<ul style="list-style-type: none"> • Main entrances: doors larger • Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) 	Met
<ul style="list-style-type: none"> • Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 • Rooflines >100' = roof forms, parapets, cornice lines • Roof-top mechanical equipment screened by roof form. 	Met

The existing building meets all building materials requirements except for the transparency/window requirement on Council Ave. and Dix Hwy. The proposed work notes state that there will be an addition of new windows to the exterior façade along Dix Hwy. which brings the building closer into compliance with the Lincoln Park Zoning Code. Because the building sits on the corner, it has two building fronts that must meet the 25% transparency requirement.

Items to be addressed

- Applicant shall add windows on the south side and additional windows on the east side to meet the 25% transparency requirement for a façade facing a public right-of-way.*

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The site is served by a public sidewalk on Dix Highway and Council Avenue, which provides pedestrian circulation separated from the vehicular circulation. There are no bicycle lanes on the ROW or bicycle parking facilities proposed. Any broken, cracked, or unsafe sidewalks in the right-of-way must be repaired.

Items to be addressed

- Applicant shall ensure that concrete sidewalks are brought up to City standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Retail Stores	One (1) for every two-hundred-fifty (250) square feet of gross floor area. <i>1,100 GFA / 250 = 4.4 = 4 spaces</i>	8 parking spaces	Met
E-Commerce Establishments	One (1) for every employee on peak shift, plus retail space requirements if included. <i>4 employees = 4 spaces</i>		
Total	8 spaces		

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Existing ingress and egress via Dix Ave. and rear alley.	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Parking area has existing concrete. Engineering comments indicate that applicant will need to resurface and restripe of the existing parking lot.	NOT MET
	Concrete curbs and gutters	Existing concrete curbs and gutters	Met
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	Parking area does not adjoin residential property, street, or alley.	N/A
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	Parking area does not adjoin residential property, street, or alley.	N/A
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	There is ample space for maneuvering.	Met

	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	Parking blocks are placed at the end of each parking space.	Met
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Items to be addressed

- Applicant shall resurface and restripe the existing parking lot to bring the parking lot up to current City standards.*

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 to 25	1	1	Met

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
5,0001 to 20,000	1	No loading space provided	NOT MET

Items to be addressed

- Applicant shall provide the required loading and unloading space in accordance with §1290.09 of Lincoln Park Zoning Code.*

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Rd., Fort St., Dix Ave., and Outer Dr.

Required	Provided	Compliance
<ul style="list-style-type: none"> • Single two-way driveway or pair of one-way driveways • Two-way: 25' < throat width < 30' (face to face of curb). One-way paired: each 20' measured perpendicularly. May be separated by 10' median; sidewalks shall be continued or maintained • 25' radii; 30' radii where daily truck traffic expected • Corner lots: one access point per street with >100' frontage • If frontage >300' and documented need (ITE), may allow additional access with design restrictions 	<ul style="list-style-type: none"> • One-way driveway provided on Dix Hwy, no directional details provided. • ~20 ft.; sidewalks continue. • No radii details provided • One access point. • Frontage not > 300' 	<p>INQUIRY</p> <p>Met</p> <p>INQUIRY</p> <p>Met</p> <p>N/A</p>
<ul style="list-style-type: none"> • Shared access: driveways along property lines, connecting parking lots, on-site frontage roads, rear service drives. Encouraged and may be required for sites within 1/4 mile of major intersections; having dual frontage; with <300' frontage; with sight distance problems; along congested or accident-prone roadway segments • Connection to adjacent facilities may be required; site accommodation may be required for future connection to undeveloped adjacent property • Letters of agreement or access easements required 	Not applicable	N/A
<ul style="list-style-type: none"> • Triangular unobstructed view areas: from corner of two ROWs, 25' along each; from corner of ROW and driveway, 10' along driveway and 5' along ROW • Grass / groundcover only in 3' strip abutting driveway and ROW • Trees permitted if trimmed between 30" and 6' from ground level 	Proposed planter box, no height provided	INQUIRY
<ul style="list-style-type: none"> • May require drive to be located on the far side of the property from congested intersections • >150' from signalized intersection or 4-way stop, or right-turn-only at 75' from intersection • >100' otherwise • >200' from centerline of I-75 access ramps 	Not applicable	N/A
<ul style="list-style-type: none"> • Same side of street: Driveway spacing determined by speed limits in §1290.10 <i>40 mph = 185' driveway spacing</i> • Across the street: Driveways directly aligned or >150' offset (excludes right-turn-only) • Directional driveways, divided driveways, and deceleration tapers and/or by-pass lanes may be required by the Planning Commission where they will reduce congestion and accident potential 	<ul style="list-style-type: none"> • Southwest: ~216', northeast: ~170'. • Driveway across the street directly aligned • Existing site 	<p>Partially Met</p> <p>Met</p> <p>N/A</p>

The parking area and one-way drive aisle are existing; therefore, the City has traditionally allowed these conditions to remain.

Items to be addressed

- Applicant shall provide directional details on ingress/egress.
- Applicant shall provide radii details.
- Applicant shall provide height details on the proposed planter box and shrubbery.

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via Dix Highway or the rear alley.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	No greenbelt along Dix Hwy., existing 3-ft. greenbelt along Council Ave.	NOT MET
	1 tree and 4 shrubs per 40' of street frontage 120' on Dix Ave. + 100' on Council Ave = 220' frontage = 5.5 trees and 22 shrubs 30% redevelopment standard = 2 trees + 7 shrubs	There is space in the grass area along Council Ave. to add the required street landscaping. No details provided on shrubbery in proposed.	INQUIRY

	Required	Proposed	Compliance
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	Parked vehicles face Council Ave.	NOT MET
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>(10,209 sf * 0.1) = 1,021 sf landscaping</i> <i>30% redevelopment standard = 306 sf</i>	Planter box is ~43 sf.	NOT MET
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Proposed planter box near walkway.	Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>30% redevelopment standard = 0 trees + 1 shrub</i>	Shrubs to be planted in landscape planter box – number of shrubs not provided.	INQUIRY
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces < 10 parking spaces	Not applicable	N/A
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Engineer notes state that the owner does not need a dumpster for business needs – most waste is recycled and roll out bins are available for other trash needs. Bins will be stored in the receiving/trash storage area until garbage day.	Met
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive), and/or solid 6' masonry wall ornamental on both sides	Not abutting residential	N/A

Because the proposed project is a redevelopment of an existing site, it must only meet 30% of the landscaping standards. There is space in the existing greenbelt along Council Ave. to provide street landscaping; otherwise, the entire site is completely impervious with limited opportunity to provide landscaping.

Items to be addressed

- Planning Commission waiver requested for the greenbelt and interior landscaping requirements due to limited space on the site.*
- Applicant shall provide the required street landscaping to include two (2) trees and seven (7) shrubs.*
- Applicant shall provide shrubbery details in the proposed planter box.*

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.*
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.*

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site. Engineering comments state that if the existing sanitary sewer is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. If the existing water service is being reused, it is important that the developer realize this existing water service is also old and may have reached its life expectancy. If the existing service is a lead-type service or undersized, it will be required to be removed and replaced. The design professional must verify the existing water service type, size, and lead capacity and should verify that the existing service is adequate to handle the required flows.

Items to be addressed

- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County.

Items to be addressed

- *Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

There does not appear to be new lighting proposed at this time. If new lighting is proposed, details must be provided.

Items to be addressed

- *If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

There does not appear to be existing or proposed mechanical equipment. Should the equipment be added, it would need to be screened in accordance with Ordinance requirements.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance.

Items to be addressed

- *Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

The proposed use is not expected to generate hazardous materials or waste.

Items to be addressed

None

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

Retail and e-commerce establishments are principally permitted in the district.

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- Work in the Dix Hwy. right-of-way requires a permit from the Wayne County Road Commission.*
- Applicant to secure all appropriate agency reviews as needed.*

VARIANCES

No variances are anticipated from this proposal.

Items to be addressed

None

RECOMMENDATIONS

Findings

The information submitted with this proposal is substantially in compliance with §1296.01, Site Plan Review.

Conditions & Waivers

Waiver

- Planning Commission waiver requested for the greenbelt and interior landscaping requirements due to limited space on the site.

Conditions to be Addressed Before Approval Letter is Issued

- Applicant shall provide height details on the proposed planter box and shrubbery.
- Applicant shall add windows on the south side and additional windows on the east side to meet the 25% transparency requirement for a façade facing a public right-of-way.
- Applicant shall resurface and restripe the existing parking lot to bring the parking lot up to current City standards.
- Applicant shall provide the required loading and unloading space in accordance with §1290.09 of Lincoln Park Zoning Code.
- Applicant shall provide directional details on ingress/egress.
- Applicant shall provide radii details.
- Applicant shall provide the required street landscaping to include two (2) trees and seven (7) shrubs.
- Applicant shall provide shrubbery details in the proposed planter box.
- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

Conditions of Approval

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.
- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Work in the Dix Hwy. right-of-way requires a permit from the Wayne County Road Commission.
- Applicant to secure all appropriate agency reviews as needed.

Proposed Motion

I move that the City of Lincoln Park Planning Commission **[approve / deny / table]** the site plan numbered PPC23-0007, proposing a retail and e-commerce establishment at 972 Dix Highway and consisting of the

pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

PROJECT DATA

PROPOSED WORK:

- INFILL/RENOVATION OF THE INTERIOR OF THE EXISTING BUILDING.
- RESURFACE AND RESTRIPE THE EXISTING PARKING LOT.
- ADDITION OF NEW WINDOWS TO THE EXTERIOR FACADE. PAINT EXTERIOR FACADE.
- NO DUMPSTER ENCLOSURE IS PROPOSED.

• THE PREVIOUS USE WAS A BAR AND THE NEW USE IS A MUSIC RETAIL STORE WITH STOCK / E-COMMERCE PACKAGING AND SHIPPING AREA

• ALL - MECHANICAL - ELECTRICAL - PLUMBING - SIGN WORK REQUIRE SEPARATE PERMITS.

SITE ZONING: = MBD (MUNICIPAL BUSINESS DISTRICT)

USE GROUP: = M MERCANTILE

CONSTRUCTION TYPE: = TYPE 3-B

FIRE SPRINKLER SYSTEM: = NO

BUILDING HEIGHT: = 16'-10"

GROSS BUILDING AREA: = 6,468 SF

PROPERTY AREA: = 10,209 SF

LOT COVERAGE: = 6,468 SF / 10,209 SF = 63.3%

OCCUPANT LOAD:

RETAIL SPACE = 1,110 / 60 = 18

STOCK SPACE = 5488 / 300 = 18

TOTAL = 36

MEANS OF EGRESS:

REQUIRED 36 PERSONS X .2 = 7.2"

REQUIRED = 2 EMERGENCY EGRESS ROUTES + 2 EXITS

REQUIRED = TRAVEL DISTANCE < 200'

PROVIDED = 192.0"

PROVIDED = 5 EGRESS ROUTES + 5 EXITS

PROVIDED = TRAVEL DISTANCE MAX IS 35'

PARKING:

REQUIRED = RETAIL STORE:
1 SPACE PER 250 SQ. FT. OF GROSS FLOOR AREA:
1,100 SF / 250 = 4 SPACES
E-COMMERCE / STOCK AREA:
1 SPACE PER EMPLOYEE @ PEAK WORK HOURS:
4 EMPLOYEES = 4 SPACES
8 REQUIRED

PROVIDED = 8 SPACES PROVIDED (INCLUDING 1 VAN ACCESSIBLE)

PLUMBING FIXTURES:

- WATER CL. REQ. = 1 REQUIRED / 2 PROVIDED (UNISEX)

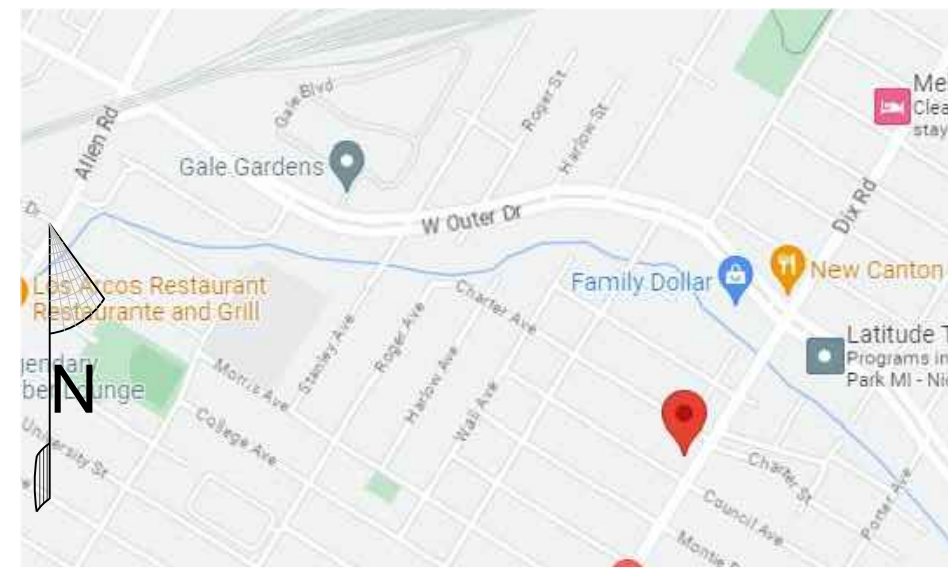
- LAVATORY REQ. = 1 REQUIRED / 2 PROVIDED

- DRINKING FOUNTAIN REQ. = 1 REQUIRED / 1 PROVIDED (HI-LOW)

- SERVICE SINK REQ. = 1 REQUIRED / 1 PROVIDED

TRASH REQUIREMENTS:

THE OWNER DOES NOT NEED A DUMPSTER FOR THEIR BUSINESS NEEDS. THEY RECYCLE MOST OF THEIR WASTE (CARDBOARD) AND WILL USE ROLL OUT BINS FOR THE OTHER TRASH NEEDS. THE BINS WILL BE STORED IN THE RECEIVING / TRASH STORAGE AREA UNTIL GARBAGE DAY.



LOCATION MAP
N.T.S.

APPLICABLE CODES:

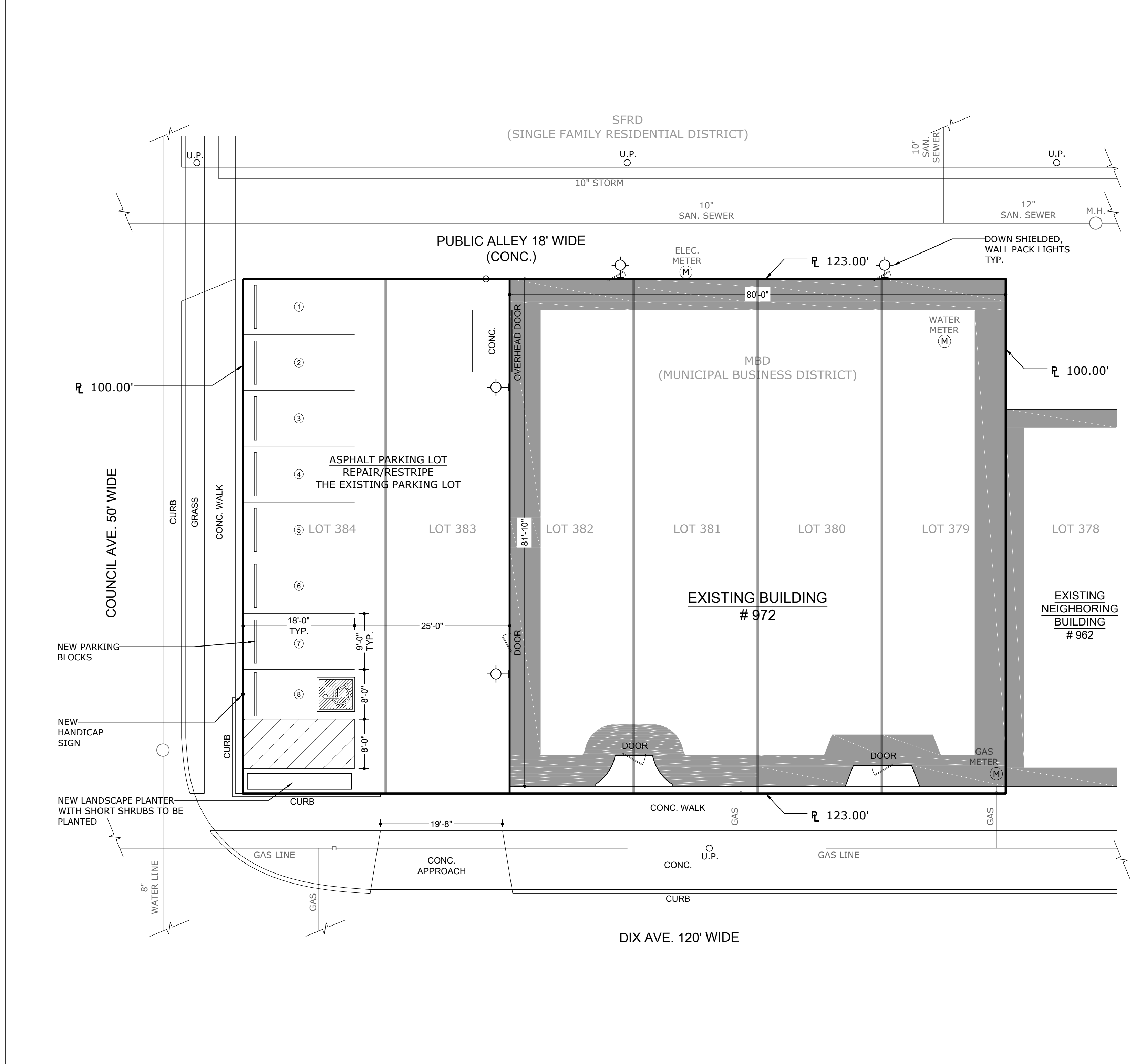
- 2015 MICHIGAN BUILDING CODE
- 2015 MICHIGAN REHABILITATION CODE
- 2015 MICHIGAN ENERGY CODE
- 2015 MICHIGAN PLUMBING CODE
- 2015 MICHIGAN MECHANICAL CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2017 MICHIGAN ELECTRIC CODE
- 2015 INTERNATIONAL FIRE CODE
- ASHRAE 90.1 2013 ENERGY CODE
- ICC/ANSI A117.1-2009 (ACCESSIBILITY)
- LINCOLN PARK ZONING ORDINANCE

MUGAN MUSIC GROUP
972 DIX HWY, LINCOLN PARK, MI 48146

TAX PARCEL I.D.#: 45 004 03 0193 001
ASSESSOR LEGAL DESCRIPTION:
DC193A TO 198A LOTS 193 TO 198 INCL EXC THE ELY 17 FT THEREOF DIX BOULEVARD VILLAS SUB PC 59, 51 L49 P42 WCR

SITE PLAN NOTES

- ONLY A BOUNDARY SURVEY CAN DETERMINE THE EXACT SIZE AND/OR LOCATION OF THE PROPERTY LINES, THE EXACT BUILDING LOCATION, AND FENCE / SCREEN WALL LOCATIONS.
- ALL DIMENSIONS ON THIS SITE PLAN MUST BE VERIFIED IN ORDER TO BE DEEMED ACCURATE.
- ALL CONDITIONS SHOWN ON THIS SITE PLAN ARE EXISTING UNLESS SPECIFICALLY STATED ON THE PLAN AS NEW OR PROPOSED.



PROPOSED - ARCH SITE PLAN
SCALE: 3/32"=1'-0"

SHEET INDEX

ARCHITECTURAL	
T101	• TITLE PAGE • ARCHITECTURAL SITE PLAN • SITE DETAILS
A101	• PROPOSED - FLOOR PLAN
A201	• PROPOSED - ELEVATIONS

MUGAN MUSIC GROUP

ADDRESS: 972 DIX HWY, LINCOLN PARK, MI 48146

COMMISSION: COMMERCIAL INFILL / RENOVATION



15244 Michigan Avenue
Dearborn MI 48126
Phone: 313-492-5347
Fax: 313-908-7645
mhadla@hadladesign.com
www.hadladesign.com

Architecture
Engineering
Construction

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DATE: 05.02.2023
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ISSUE

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PROJ. MGR. M. HADLA
PROJ. TEAM M. HADLA

CHECKED BY M. HADLA

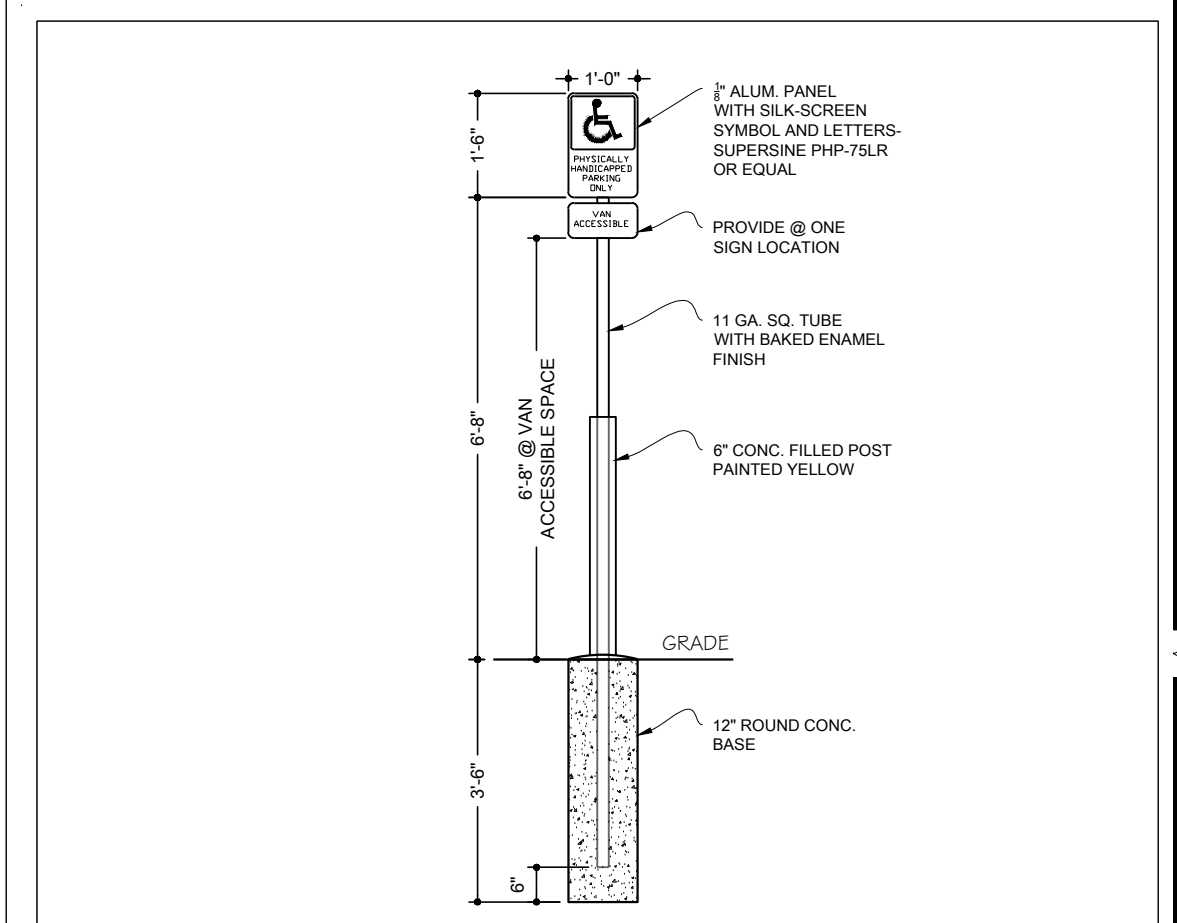
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TITLE SHEET

- PROPOSED ARCH SITE PLAN
- SITE DETAILS

PROJECT #
DRAWING DIRECTION

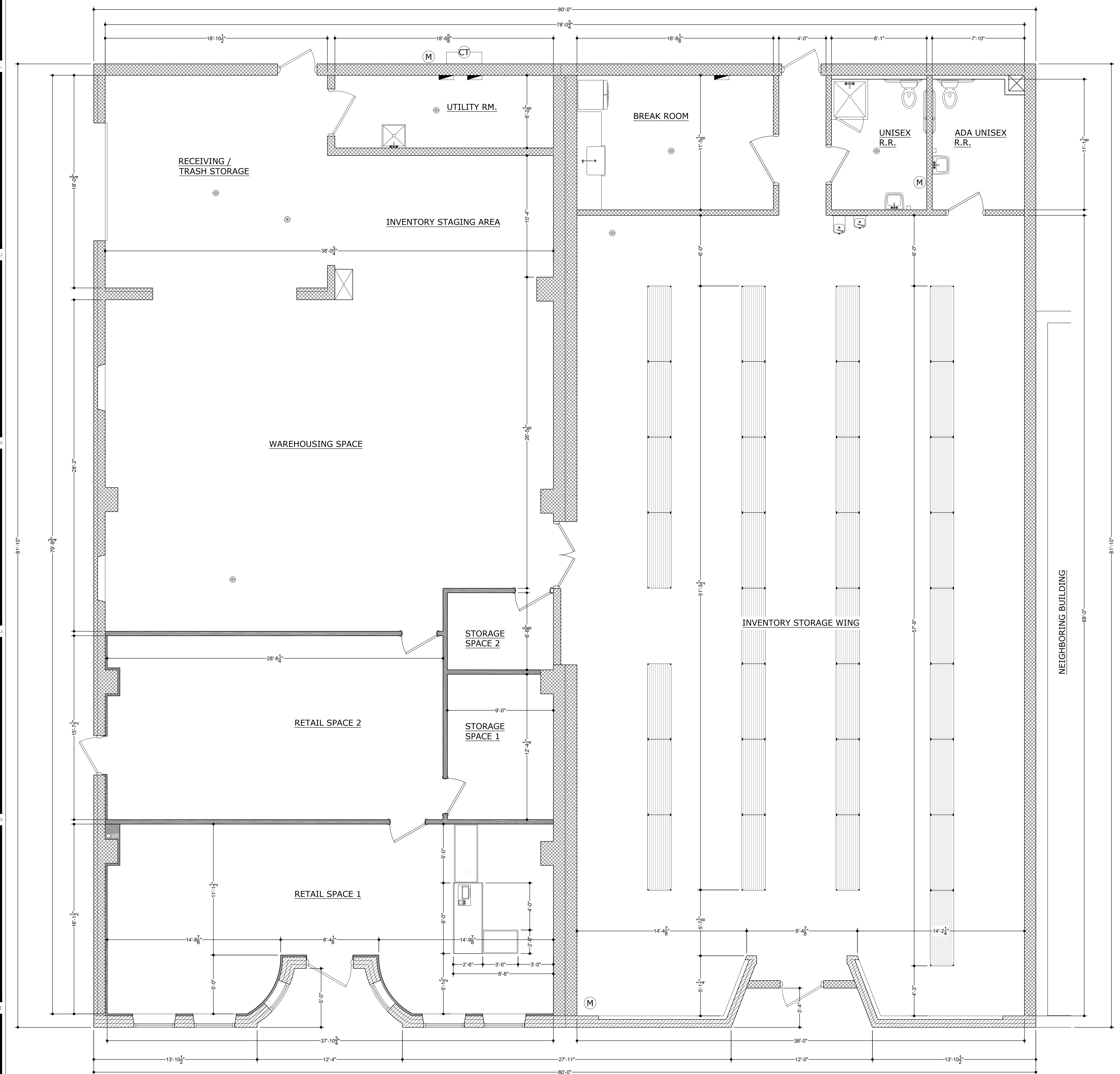
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TYP. HANDICAP PRK. SIGN
SCALE: N.T.S.

3A

2E



PROPOSED - FLOOR PLAN

SCALE: 1/4"=1'-0"

1A

PROJECT / OWNER

**MUGAN
MUSIC
GROUP**

ADDRESS
972 DIX HWY.
LINCOLN PARK, MI 48146

COMMISSION
COMMERCIAL
INFILL / RENOVATION



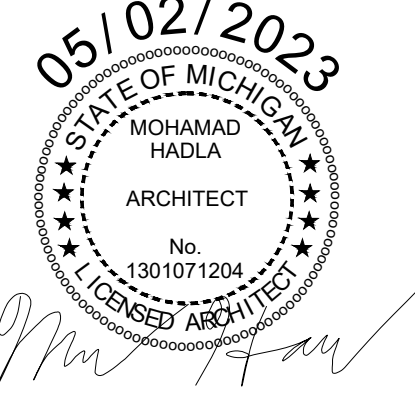
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SEAL



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PROJ. TEAM **M. HADLA**

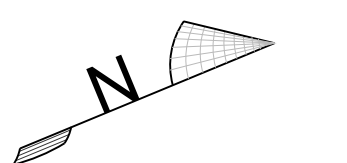
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DRAWING TITLE

PROPOSED:

• FLOOR PLAN

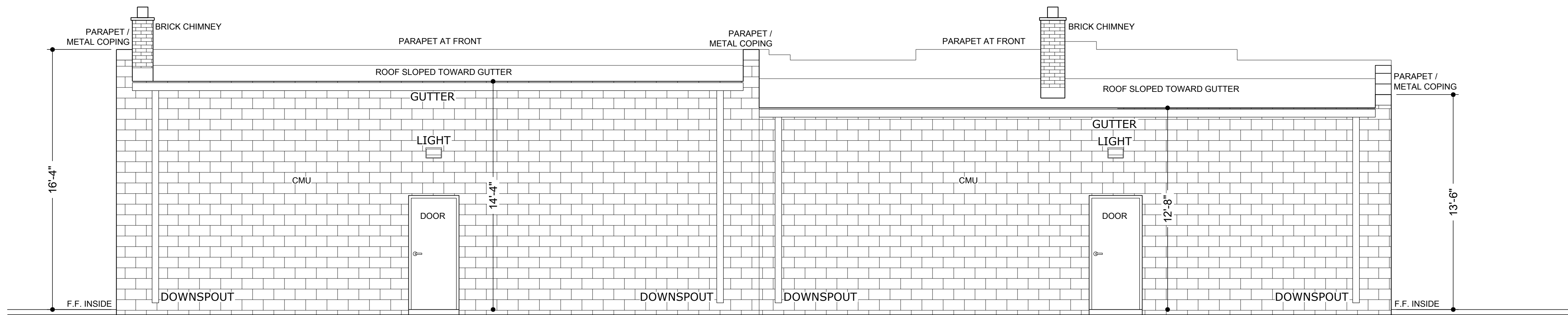
PROJECT #
DRAWING DIRECTION



DRAWING #

A101

NOTE: PAINT ALL FOLLOWING ITEMS PER APPROVED ZONING ORDINANCE COLORS:
 - BRICK / CMU / METAL DOORS AND DOOR FRAMES / METAL TRIM AND COPING / GUTTER AND DOWNSPOUTS

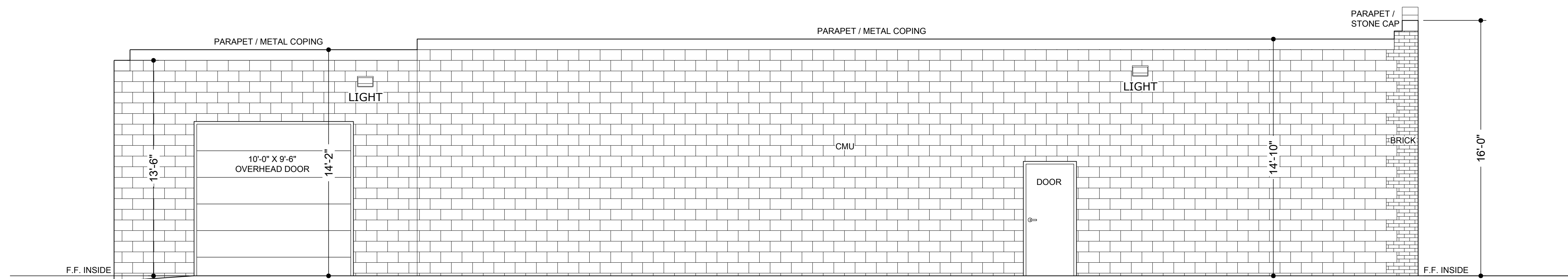


PROPOSED - REAR / WEST ELEVATION

SCALE: 1/4"=1'-0"

1E

NOTE: PAINT ALL FOLLOWING ITEMS PER APPROVED ZONING ORDINANCE COLORS:
 - BRICK / CMU / METAL DOORS AND DOOR FRAMES / METAL TRIM AND COPING / GUTTER AND DOWNSPOUTS

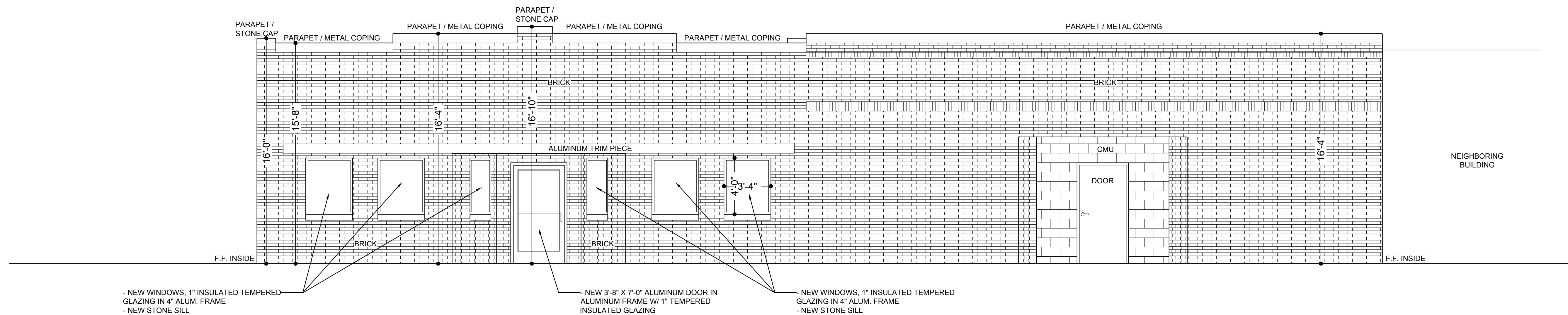


PROPOSED - SIDE / SOUTH ELEVATION

SCALE: 1/4"=1'-0"

1C

NOTE: PAINT ALL FOLLOWING ITEMS PER APPROVED ZONING ORDINANCE COLORS:
 - BRICK / CMU / METAL DOORS AND DOOR FRAMES / METAL TRIM AND COPING / GUTTER AND DOWNSPOUTS



- NEW WINDOWS, 1" INSULATED TEMPERED
GLAZING IN 4" ALUM. FRAME
- NEW STONE SILL

- NEW 3'-8" X 7'-0" ALUMINUM DOOR IN
ALUMINUM FRAME W/ 1" TEMPERED
INSULATED GLAZING

- NEW WINDOWS, 1" INSULATED TEMPERED
GLAZING IN 4" ALUM. FRAME
- NEW STONE SILL

PROPOSED - FRONT / EAST ELEVATION

SCALE: 1/4"=1'-0"

1A

PROJECT / OWNER

**MUGAN
MUSIC
GROUP**

ADDRESS
972 DIX HWY.
LINCOLN PARK, MI 48146

COMMISSION
COMMERCIAL
INFILL / RENOVATION



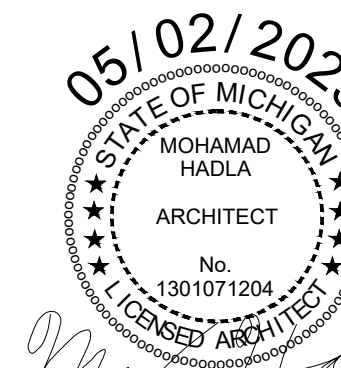
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PROJ. TEAM **M. HADLA**

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PROPOSED:

• ELEVATIONS

PROJECT #
DRAWING DIRECTION

DRAWING #



May 30, 2023

Ms. Liz Gunden, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI 48103-4978

Re: Mugan Music Group (972 Dix)
City of Lincoln Park, MI
Hennessey Engineers Project #72198

Dear Ms. Gunden:

Hennessey Engineers, Inc. completed our first review of the plans for the Planning Commission review for the above-mentioned project.

The project consists of a re-occupancy of an existing building (972 Dix and 978 Dix) and a parking lot. Listed below are some comments which are recommended to be addressed in the Preliminary Plan approval but would not be grounds for a reason for denial from an engineering feasibility standpoint:

1. Based on the site plan submitted, the existing utilities and utility leads for the commercial site are being reused. It is important that the developer realize these existing utilities are old and may have reached their life expectancy. It is our strong recommendation for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the service lead needs to be replaced the installation of the new service will need to be inspected by our office.
2. The developer should verify with the City the existing water service type and size. If the water service is a lead service, it will have to be replaced. The developer's engineer or architect shall determine the water service lead type and capacity.
3. Any work proposed in the Dix Road right-of-way will require a Wayne County Department of Public Services (WCDPS) permit. This would include any utility connections and pavement repairs.
4. Broken pavement, including sidewalk, adjacent to this site that is poor condition must be replaced/repared. The parking lot will have to be reconstructed as it is in poor condition.
5. Site area data shall specify the proposed land disturbance area.

From an engineering feasibility standpoint, our office has no objection to the preliminary site plan. Therefore, it's our recommendation for preliminary site plan approval. Prior to the start of any construction, a permit from the City must be obtained. **A detailed engineering review and approval will be required prior to permit issuance.**

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC



Richard J. McCarty, P.E.
Project Manager

RJM/rjm

cc: John Kozuh, DPW Director, City of Lincoln Park
John Meyers, Building Official, City of Lincoln Park
Laura Passalacqua (D'Onofrio), Commercial Business Assistant, City of Lincoln Park
Monserrat Contreras, Permit Clerk, City of Lincoln Park
James Hollandsworth, Lincoln Park Project Manager, Hennessey Engineers

R:\Municipalities\70000's Lincoln Park\72000's\72198 972 Dix Mugan Music Group\2023-5-24_ PC LETTER.docx

Lincoln Park

Beckett & Raeder

FOR OFFICE USE ONLY	
CASE #	PPC23-0007
DATE SUBMITTED	5/8/2023

APPLICATION FOR SITE PLAN REVIEW

CITY OF LINCOLN PARK

1355 SOUTHFIELD RD. LINCOLN PARK, MI 48146

PH: (313) 386-1800 | FAX: 313-386-2205

RECEIVED

MAY 08 2023

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

NOTICE TO APPLICANT:

Applications for Site Plan Review by the Planning Commission must be submitted to the City in **complete** form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. City Staff will review the application for completeness. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 pm. All meetings are held at the Lincoln Park City Hall.

APPLICANT INFORMATION

NAME Joseph Mugan		ADDRESS 2016 Grindley Park		
CITY Dearborn	STATE MI	ZIP CODE 48124	PHONE 313-623-0444	EMAIL muganmusicgroup@gmail.com

PROPERTY OWNER (if different from Applicant)

NAME		ADDRESS		
CITY	STATE	ZIP CODE	PHONE	EMAIL

Attached written consent of property owner or lessee of property, if different than applicant.

PROPERTY INFORMATION

PROPERTY ADDRESS 972 dix hwy	NEAREST CROSS STREETS council ave.
PROPERTY DESCRIPTION (If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e. acreage parcel), provide a metes and bounds description. Attach separate sheets if necessary.) DC193A TO 198A LOTS 193 TO 198 INCL EXC THE ELY 17 FT THEREOF DIX BOULEVARD VILLAS SUB PC 59, 51 L49 P42 WCR	
PROPERTY SIZE (square feet and acres) 10,209 sf	ZONING DISTRICT MBD

PROPOSED DEVELOPMENT

Present Use of Property: vacant bar

Proposed Use of Property: MUSIC RETAIL STORE WITH STOCK / E-COMMERCE PACKAGING AND SHIPPING AREA

Please complete the following chart:

TYPE OF DEVELOPMENT	NUMBER OF UNITS	GROSS FLOOR AREA	NUMBER OF EMPLOYEES ON LARGEST SHIFT
<i>Detached Single Family</i>			
<i>Attached Residential</i>			
<i>Office</i>			
<i>Commercial</i>	1	6468 sf	4
<i>Industrial</i>			
<i>Other</i>			

PROFESSIONALS WHO PREPARED THE PLANS:

NAME Mohamad Hadla			ADDRESS 15244 Michigan Ave.	
CITY Dearborn	STATE MI	ZIP CODE 48126	PHONE 313-492-5347	EMAIL Mhadla@hadladesign.com
PRIMARY DESIGN RESPONSIBILITY Architect				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

ATTACH THE FOLLOWING:

<input type="checkbox"/> Eight (8) individually folded copies of the site plan (24" x 36"), sealed by a registered architect, engineer, landscape architect, or community planner as well as ONE (1) electronic copy in PDF format.						
<input type="checkbox"/> A brief written description of the existing and proposed uses as identified in the "Narrative" section of the Site Plan Application Requirements Table, including but not limited to hours of operation, number of employees, number of employees on largest shift, number of company vehicles, etc.						
<input type="checkbox"/> Proof of property ownership or lease agreement.						
<input type="checkbox"/> Review comments of approval received from County, State, or Federal agencies that have jurisdiction over the project, including but not limited to: <table style="width: 100%; border: none;"> <tr> <td style="width: 50%;">Wayne County Road Commission</td> <td style="width: 50%;">Wayne County Drain Commission</td> </tr> <tr> <td>Wayne County Health Division</td> <td>Michigan Department of Natural Resources</td> </tr> <tr> <td>Michigan Department of Transportation</td> <td>Michigan Department of Environment, Great Lakes, & Energy</td> </tr> </table>	Wayne County Road Commission	Wayne County Drain Commission	Wayne County Health Division	Michigan Department of Natural Resources	Michigan Department of Transportation	Michigan Department of Environment, Great Lakes, & Energy
Wayne County Road Commission	Wayne County Drain Commission					
Wayne County Health Division	Michigan Department of Natural Resources					
Michigan Department of Transportation	Michigan Department of Environment, Great Lakes, & Energy					

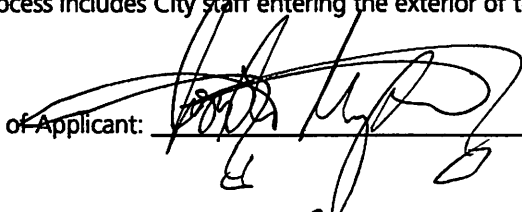
IMPORTANT

The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

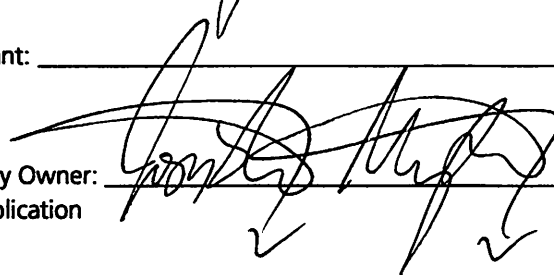
Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted after the site plan approval.

APPLICANT ENDORSEMENT

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application. Finally, I acknowledge that part of the site plan review process includes City staff entering the exterior of the property for site visits.

Signature of Applicant:  _____ Date: 5-6-23

Signature of Applicant: _____ Date: _____

Signature of Property Owner:  _____ Date: 5-6-23
 Authorizing this Application

TO BE COMPLETED BY THE CITY

DATE SUBMITTED: BY:	FEE PAID: DATE OF PUBLIC HEARING:
PLANNING COMMISSION ACTION <input type="checkbox"/> APPROVED <input type="checkbox"/> DENIED	DATE OF ACTION:

Written Description of Project

Applicant:

Joseph Mugan

Mugan Music Group, LLC

2016 Grindley Park, Dearborn MI, 48124

Name of Development:

Mugan Music Group

Proposed work:

The previous use was a bar and the new use is a music retail store with stock / e-commerce packaging and shipping area.

- Infill/renovation of the interior of the existing building.
- Resurface and restripe the existing parking lot.
- Addition of new windows to the exterior facade.
- Paint exterior facade.
- No dumpster enclosure is proposed.

Number of employees on max shift: 4

Hours of operation: 10am – 6pm

Number of company vehicles: 0

Convey(s) and Warrant(s) to: **Mugan Music Group LLC**

whose address is: **2016 Grindley Park, Dearborn Michigan 48124**

the following described premises situated in the City of Lincoln Park, County of Wayne, and State of Michigan, to wit:

Lots 193 to 198 Inclusive, except the Easterly 17ft thereof, "Dix Boulevard Villas Subdivision" according to the plat thereof as recorded in Liber 49 of Plats, Page 42 WCR

More commonly known as: 972-978 Dix Lincoln Park Michigan

for the sum of **TWO HUNDRED TWENTY THOUSAND (\$220,000.00) DOLLARS** pursuant to a Land Contract dated January 19th, 2021.

subject to easements and building and use restrictions of record.

Dated this 7th day of July, 2022

Signed in presence of:

Signed by:

Rebeca Macias

**Guadalupe Macias, by his attorney in fact
Rebeca Macias**

STATE OF MICHIGAN }
COUNTY OF WAYNE } ss.

The foregoing instrument was acknowledged before me this 7th day of July, 2022, by **Guadalupe Macias, by his attorney in fact Rebeca Macias.**

Jaslyn Bueno

Notary Public, _____ County,
My Commission expires:

JASLYN BUENO
Notary Public, State of Michigan
County of Wayne
My Commission Expires May 02, 2028
Acting in the County of Wayne

County Treasurer's Certificate	City Treasurer's Certificate	
When Recorded Return To: GRANTEE	Send Subsequent Tax Bills To: GRANTEE	Drafted By: CHRISTIAN MURA 3577 FORT ST. LINCOLN PARK, 48146
Tax Parcel # <u>45-004-03-0193-001</u> Transfer Tax \$	Recording Fee \$	

Property Transfer Affidavit

This form is issued under authority of P.A. 415 of 1994. Filing is mandatory.

This form must be filed whenever real estate or some types of personal property are transferred (even if you are not recording a deed). The completed Affidavit must be filed by the new owner with the assessor for the city or township where the property is located within 45 days of the transfer. The information on this form is NOT CONFIDENTIAL.

1. Street Address of Property 972-978 Dix		2. County Wayne	3. Date of Transfer (or land contract signed) 1-19-2021
4. Location of Real Estate (Check appropriate field and enter name in the space below.) <input checked="" type="checkbox"/> City <input type="checkbox"/> Township <input type="checkbox"/> Village Lincoln Park		5. Purchase Price of Real Estate \$220,000	
7. Property Identification Number (PIN). If you don't have a PIN, attach legal description. PIN. This number ranges from 10 to 25 digits. It usually includes hyphens and sometimes includes letters. It is on the property tax bill and on the assessment notice. 82-45-004-03-0193-001		6. Seller's (Transferor) Name Guadalupe Macias	
		8. Buyer's (Transferee) Name and Mailing Address Megan Music Group LLC 2044 Grindley Park, Dearborn MI 48124	
		9. Buyer's (Transferee) Telephone Number MI 48124	
Items 10-15 are optional. However, by completing them you may avoid further correspondence.			
10. Type of Transfer. Transfers include, but are not limited to, deeds, land contracts, transfers involving trusts or wills, certain long-term leases and business interest. See page 2 for list. <input checked="" type="checkbox"/> Land Contract <input type="checkbox"/> Lease <input type="checkbox"/> Deed <input type="checkbox"/> Other (specify) _____			
11. Was property purchased from a financial institution? <input type="checkbox"/> Yes <input type="checkbox"/> No		12. Is the transfer between related persons? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
13. Amount of Down Payment		14. If you financed the purchase, did you pay market rate of interest? <input type="checkbox"/> Yes <input type="checkbox"/> No	
15. Amount Financed (Borrowed)			

EXEMPTIONS

Certain types of transfers are exempt from uncapping. If you believe this transfer is exempt, indicate below the type of exemption you are claiming. If you claim an exemption, your assessor may request more information to support your claim.

- Transfer from one spouse to the other spouse
- Change in ownership solely to exclude or include a spouse
- Transfer between certain family members *(see page 2)
- Transfer of that portion of a property subject to a life lease or life estate (until the life lease or life estate expires)
- Transfer between certain family members of that portion of a property after the expiration or termination of a life lease retained by transferor ** (see page 2)
- Transfer to effect the foreclosure or forfeiture of real property
- Transfer by redemption from a tax sale
- Transfer into a trust where the settlor or the settlor's spouse conveys property to the trust and is also the sole beneficiary of the trust
- Transfer resulting from a court order unless the order specifies a monetary payment
- Transfer creating or ending a joint tenancy if at least one person is an original owner of the property (or his/her spouse)
- Transfer to establish or release a security interest (collateral)
- Transfer of real estate through normal public trading of stock
- Transfer between entities under common control or among members of an affiliated group
- Transfer resulting from transactions that qualify as a tax-free reorganization under Section 368 of the Internal Revenue Code.
- Transfer of qualified agricultural property when the property remains qualified agricultural property and affidavit has been filed.
- Transfer of qualified forest property when the property remains qualified forest property and affidavit has been filed.
- Transfer of land with qualified conservation easement (land only - not improvements)
- Other, specify: _____

RECEIVED

AUG 11 2022

OFFICE OF LINCOLN PARK
CITY OF DEARBORN, MICHIGAN

CERTIFICATION

I certify that the information above is true and complete to the best of my knowledge.

Printed Name Joseph Mogan		Date 8-11-22	
Signature <i>[Signature]</i>		E-mail Address	
Name and title, if signer is other than the owner		Daytime Phone Number	

1518 Fort – Assembly Hall

Site Plan Review

Applicant	Miguel Orozco
Project	Assembly Hall
Address	1518 Fort St. Lincoln Park, MI 48146
Date	June 14, 2023
Request	Site Plan Review

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial View

The proposed project is a banquet hall, which falls under the definition of an “assembly hall” in the Lincoln Park Zoning Ordinance. The existing building is currently vacant and was previously used as a church.

Site Conditions

The 0.09-acre site is located on the west side of Fort Street between Russell Avenue to the north and Euclid Street to the South. The entire site consists of the existing building. There is an existing 20-ft. concrete sidewalk along Fort Street and an alley to the rear of the property. There is a public parking lot across the alley to the west of

the site, and there are existing raised planter boxes in the front of the building.

Master Plan

Future Land Use Classification

The future land use classification for the site is Downtown Commercial. The proposed assembly hall use is consistent with the designation.

Intent, Desirable Uses, and Elements

The Downtown Commercial land use is intended to be the commercial core of the community, and experiential businesses such as boutique shopping, entertainment, restaurants, and unique services are preferred. The atmosphere should have a strong physical presence, which includes walkability, density, attractive storefronts, intense landscaping, public realm amenities, detailed architecture, and consolidated parking.

Land Use and Zoning

Zoning

The site is zoned Central Business District (CBD). “Theaters, assembly halls, community centers, or similar places of assembly, when conducted completely within enclosed buildings” are principally permitted in the district per §1280.02(x).

Proposed and Existing Uses

Site	Vacant – Central Business District (CBD)
North	Commercial – Central Business District (CBD)
East	ROW, then Commercial – Central Business District (CBD)
South	Commercial – Central Business District (CBD)
West	ROW, then Commercial – Central Business District (CBD)



Figure 2: Zoning Map

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
0	Cover	05/10/2023	–
A-1	Building Elevations	05/10/2023	–
A-2	Building Elevations	05/10/2023	–
A-3	Existing 1 st Floor Plan	05/10/2023	–
A-4	Existing 2 nd Floor Plan	05/10/2023	–
A-5	Site Plan	05/10/2023	–

Dimensional Standards

The dimensional requirements of the Central Business District (CBD) district are described in the chart below. (§1294.32, except where noted)



	Required	Provided	Compliance
Lot Width	Min. 30'	~97 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls maximum 2 ½' < height < 8'	No intersections	N/A
Lot Area	Min. 3,000 sq. ft.	~6,466 sq. ft.	Met
Lot Coverage	Max. 100%	~100%	Met
Height	3-Story Building; 40 ft	2 story; 30 ft.	Met
Setback – Front	0 ft.	0 ft.	Met
Setback – Sides	0 ft.	0 ft.	Met
Setback – Rear	0 ft.	0 ft.	Met

Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> • Building mass, height, bulk & width-to-height ratio within 50-150% of buildings within 500' 	Met
<ul style="list-style-type: none"> • Architectural variety • Similar materials and entrances to buildings within 500'  <p><i>Figure 3: 1 block north on Fort St. – 1-story, square, flat roofs, masonry.</i></p>  <p><i>Figure 4: 1 block south on Fort St. – 1- and 2-story, square, flat roofs, masonry.</i></p>	Met

Required	Compliance
<ul style="list-style-type: none"> • Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) <u>Rear Elevation (west): 92% masonry (1,479/1,694)</u> <ul style="list-style-type: none"> ○ CMU: ~1,479 sf ○ Doors: ~132 sf ○ Glass windows: ~83 sf ○ Total Area: ~1,694 sf <u>Front Elevation (east): 36% masonry (556/1,558)</u> <ul style="list-style-type: none"> ○ Brick: ~556 sf ○ Door: ~29 sf ○ Standing seam metal: ~969 sf ○ Glass windows: ~99 sf ○ Total Area: ~1,657 sf <u>Side Elevation (south): 99% masonry (2,823/2,850)</u> <ul style="list-style-type: none"> ○ CMU: ~1,270 sf ○ Door: ~26 sf ○ Glass windows: ~46 sf ○ Existing materials/internal walls: ~1,554 sf ○ Total Area: ~2,896 sf <p>25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block)</p> • Natural colors (bright for decorative features only) <i>Natural brick and white paint</i> 	<p>NOT MET</p>
<ul style="list-style-type: none"> • Façade: <100' uninterrupted • If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches • All sides similar <i>All sides are brick</i> 	<p>Met</p>
<ul style="list-style-type: none"> • Windows: vertical, recessed, visually obvious sills • Spaces between windows = columns, mullions, or material found elsewhere on the façade • Front facades > 25% windows ~6% transparency (99/1,657) • Size, shape, orientation, spacing to match buildings within 500' 	<p>NOT MET</p>
<ul style="list-style-type: none"> • Main entrances: doors larger • Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) <i>Existing awning, distinctive door pulls, accent colors</i> 	<p>Met</p>
<ul style="list-style-type: none"> • Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 <i>Existing flat roof</i> • Rooflines >100' = roof forms, parapets, cornice lines • Roof-top mechanical equipment screened by roof form. <i>No roof-top mechanical equipment</i> 	<p>N/A</p>

The existing building meets building material requirements except for the front façade along Fort Street that does not meet transparency/window requirements nor building material requirements. Since there are no proposed changes to the existing façade, the City has historically permitted existing façade conditions to remain. Additionally, notes in the plan state that the standing seam metal will be painted and repaired

as necessary. Engineering comments recommend that the paint on the rear side of the building be repainted.

Items to be addressed

- Applicant shall repaint front and rear facades.

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve; however, the existing trees in the raised planter boxes will remain.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

There is an existing 20-ft. public sidewalk in front of the building along Fort Street which provides pedestrian circulation separated from the vehicular circulation. There are no bicycle lanes on the ROW or bicycle parking facilities proposed. Any broken, cracked, or unsafe sidewalks in the right-of-way must be repaired.

Items to be addressed

- Applicant shall ensure that concrete sidewalks are brought up to City standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Auditoriums, assembly halls, and outdoor arenas	One (1) for every three (3) seats or six (6) feet of benches. <i>Unable to Determine</i>	0 spaces	NOT MET

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	No on-site parking.	N/A
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	No on-site parking.	N/A
	Concrete curbs and gutters	No on-site parking.	N/A
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	No on-site parking.	N/A
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	No on-site parking.	N/A
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	No on-site parking.	N/A
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	No on-site parking.	N/A

The entire site consists of the existing building; therefore, it is impossible to provide parking spaces onsite. There is an existing public parking lot immediately behind the site that provides 67 spaces.

§1290.01 (q) Waiver or Modification of Standards for Special Situations. The Planning Commission may reduce or waive the number of off-street parking and/or loading spaces required for a specific use, provided they determine that no good purpose would be served by providing the required number of such spaces. In making such a determination to reduce or waive the requirements for off-street parking and/or loading spaces of this chapter, the following may be considered:

- (1) Extent that existing off-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use.
- (2) Extent that existing on-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use without negatively impacting traffic safety or adjacent uses.
- (3) Existing and proposed building placement.
- (4) Location and proximity of municipal parking lots and/or public alleys.
- (5) Agreements for parking and/or loading spaces with adjacent or nearby property owners.

Items to be addressed

- *A Planning Commission waiver is requested to waive the required number of parking spaces on the site to be fulfilled through the public parking lot. Considerations include the size and configuration of the existing site.*

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 to 25	1	0	NOT MET

There are no parking spaces on the site since the entire site is the existing building; however, the public parking lot behind the structure provides 3 barrier-free parking spaces.

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
5,001 to 20,000	1	0	NOT MET

Items to be addressed

- *Applicant shall show proposed loading location on the site plan.*

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Rd., Fort St., Dix Ave., and Outer Dr.

There is no vehicular access to this site from any of these routes, so the standards of this section do not apply.

Items to be addressed

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via either Fort Street or the rear alley.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	The area between the curb and building is completely paved; however, there are four 10-ft-wide planter boxes in front of the store fronts along Fort St., two of which are located in front of this address.	Met as possible
	1 tree and 4 shrubs per 40' of street frontage <i>67' of frontage = 1 tree and 7 shrubs</i> <i>30% redevelopment standard = 0 trees and 2 shrubs</i>	2 deciduous trees are planted in existing planter beds.	Met
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	No on-site parking.	N/A

	Required	Proposed	Compliance
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>(6,466 sf * 0.1) = 647 sf landscaping</i> <i>30% redevelopment standard: 194 sf</i>	The existing landscaped area (two planter boxes) is 316 sf.	Met
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Landscaped area is in front of the building next to entrance.	Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>194 sf (30% redevelopment standard) = 0 trees and 0 shrubs</i>	2 existing trees in raised planter beds.	Met
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces <i>< 10 parking spaces = 0 trees</i>	No parking lot trees proposed or required.	N/A
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	Notes indicate that a dumpster is proposed to be placed in public parking lot like adjacent businesses; however, no agreement indicating as such has been provided.	INQUIRY
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive), and/or solid 6' masonry wall ornamental on both sides	No abutting residential.	N/A

Items to be addressed

- Applicant shall provide an agreement indicating that a dumpster may be placed in the public parking lot.

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site. Engineering comments state that if the existing sanitary sewer is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. If the existing water service is being reused, it is important that the developer realize this existing water service is also old and may have reached its life expectancy. If the existing service is a lead-type service or undersized, it will be required to be removed and replaced. The design professional must verify the existing water service type, size, and lead capacity and should verify that the existing service is adequate to handle the required flows. Utility connections should be shown on the plans.

Items to be addressed

- *Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- *It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County.

Items to be addressed

- *Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

There is existing lighting on the front façade of the building. No additional new lighting is indicated on the site plan.

Items to be addressed

- *If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

There is existing mechanical equipment on the roof of the building; however, it does not appear to be screened. Should the existing equipment need to be replaced, it would need to be screened in accordance with Ordinance requirements.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance. Sign information presented during site plan review is for illustrative purposes only.

Items to be addressed

- *Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

The proposed use is not expected to generate hazardous materials or waste.

Items to be addressed

None

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

An assembly hall is a principal permitted use in the Central Business District.

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- Applicant to secure all appropriate agency reviews as needed.*

VARIANCES

No variances are anticipated from this proposal.

Items to be addressed

None

RECOMMENDATIONS

Findings

The information submitted with this proposal is substantially in compliance with §1296.01, Site Plan Review.

Conditions & Waivers

Waiver

- A Planning Commission waiver is requested to waive the required number of parking spaces on the site to be fulfilled through the public parking lot. Considerations include the size and configuration of the existing site.

Conditions to be Addressed Before Approval Letter is Issued

- Applicant shall repaint front and rear facades.
- Applicant shall show proposed loading location on the site plan.
- Applicant shall provide an agreement indicating that a dumpster may be placed in the public parking lot.

- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties.

Conditions of Approval

- Applicant shall ensure that concrete sidewalks are brought up to City standards.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.
- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Applicant to secure all appropriate agency reviews as needed.

Recommendations

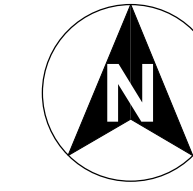
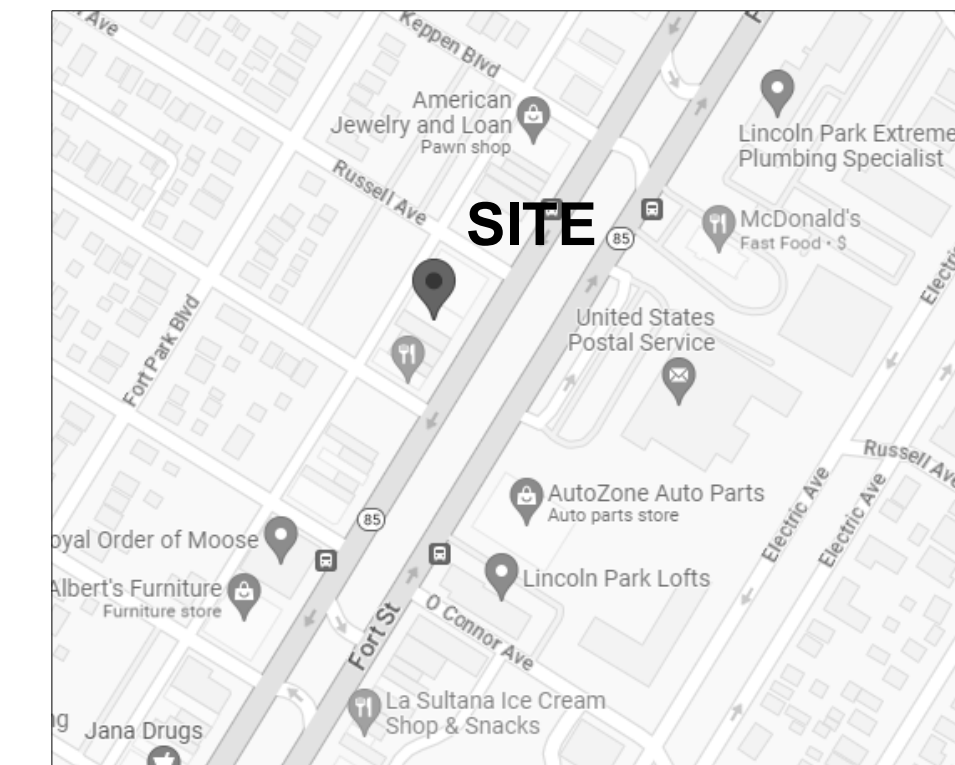
I move that the City of Lincoln Park Planning Commission [**approve / deny / table**] the site plan numbered PPC23-0008, proposing an assembly hall at 1518 Fort Street and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

BUILDING INFORMATION

BUILDING: MICHIGAN 2015
 ELECTRICAL: NEC 2017 W/MICHIGAN AMENDMENTS
 PLUMBING: MICHIGAN 2015 W/MICHIGAN AMENDMENTS
 MECHANICAL: MICHIGAN 2015
 USE: BANQUET HALL
 ZONING: CENTRAL BUSINESS DISTRICT

RE-OCCUPANCY TO EXISTING BUILDING

1518 FORT ST.
LINCOLN PARK,
MICHIGAN 48146



LOCATION MAP

TAX ID. # T821445015015, 6

SITE DATA

EXISTING BUILDING AREA: 1ST FLOOR (6466 SF) + 2ND (3712 SF) = 10,178 +/- SF
 EXISTING LOT AREA: 79.7' x 98.3' = 7,834.5 SF = 0.18 Ac.
 EXISTING HEIGHT, ~30'-0"

EX. NORTH SIDE YARD SETBACK = 0'-0"
 EX. SOUTH SIDE YARD SETBACK = 0'-0"
 EX. FRONT YARD (EAST) SETBACK = ~1'-0"
 EX. REAR YARD (WEST) SETBACK = ~1'-0"

EXISTING PARKING = PUBLIC PARKING LOT
 PROPOSED PARKING = PUBLIC PARKING LOT



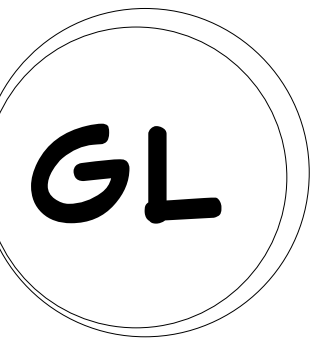
LEGAL DESCRIPTION

ED217 218 LOTS 217 AND 218
 ASSESSORS FORT SUPERHIGHWAY
 SUB NO. 8 PC 119 L63 P29, WAYNE
 COUNTY RECORDS.

SHEET INDEX

0 COVER SHEET
 A-1 BUILDING ELEVATIONS
 A-2 BUILDING ELEVATIONS
 A-3 EXISTING 1ST FLOOR PLAN
 A-4 EXISTING 2ND FLOOR PLAN
 A-5 EXISTING SITE PLAN

GARY LAMARAND
 ENGINEER / DESIGNER / BUILDER / LEED-AP
 11717 PARDEE ROAD
 TAYLOR, MICHIGAN 48180
 734-818-6666



GARY LAMARAND
 ENGINEER/DESIGNER/
 BUILDER/LEED-AP

11717 Pardee Road
 Taylor, Michigan 48180

T. (734) 818-6666
 E. Lamarand@Comcast.net

PROJECT OWNER:

MIGUEL OROZCO
 1518 FORT ST.
 LINCOLN PARK, MI 48146

PROJECT:
 BUILDING RE-OCCUPANCY

BANQUET HALL
 1518 FORT ST.
 LINCOLN PARK, MI 48146



ISSUED FOR:

5/10/23 SITE PLAN REVIEW

DRAWN BY: WNB

CHECKED BY: GL

DATE: 5/1/23

SHEET TITLE:

COVER

SHEET NUMBER:

0



GARY LAMARAND
ENGINEER/DESIGNER/
BUILDER/LEED-AP

11717 Pardee Road
Taylor, Michigan 48180

T. (734) 818-6666
E. Lamarand@Comcast.net

PROJECT OWNER:

MIGUEL OROZCO
1518 FORT ST.
LINCOLN PARK, MI 48146

PROJECT:

BUILDING RE-OCCUPANCY

BANQUET HALL
1518 FORT ST.
LINCOLN PARK, MI 48146



ISSUED FOR:

5/10/23 SITE PLAN REVIEW

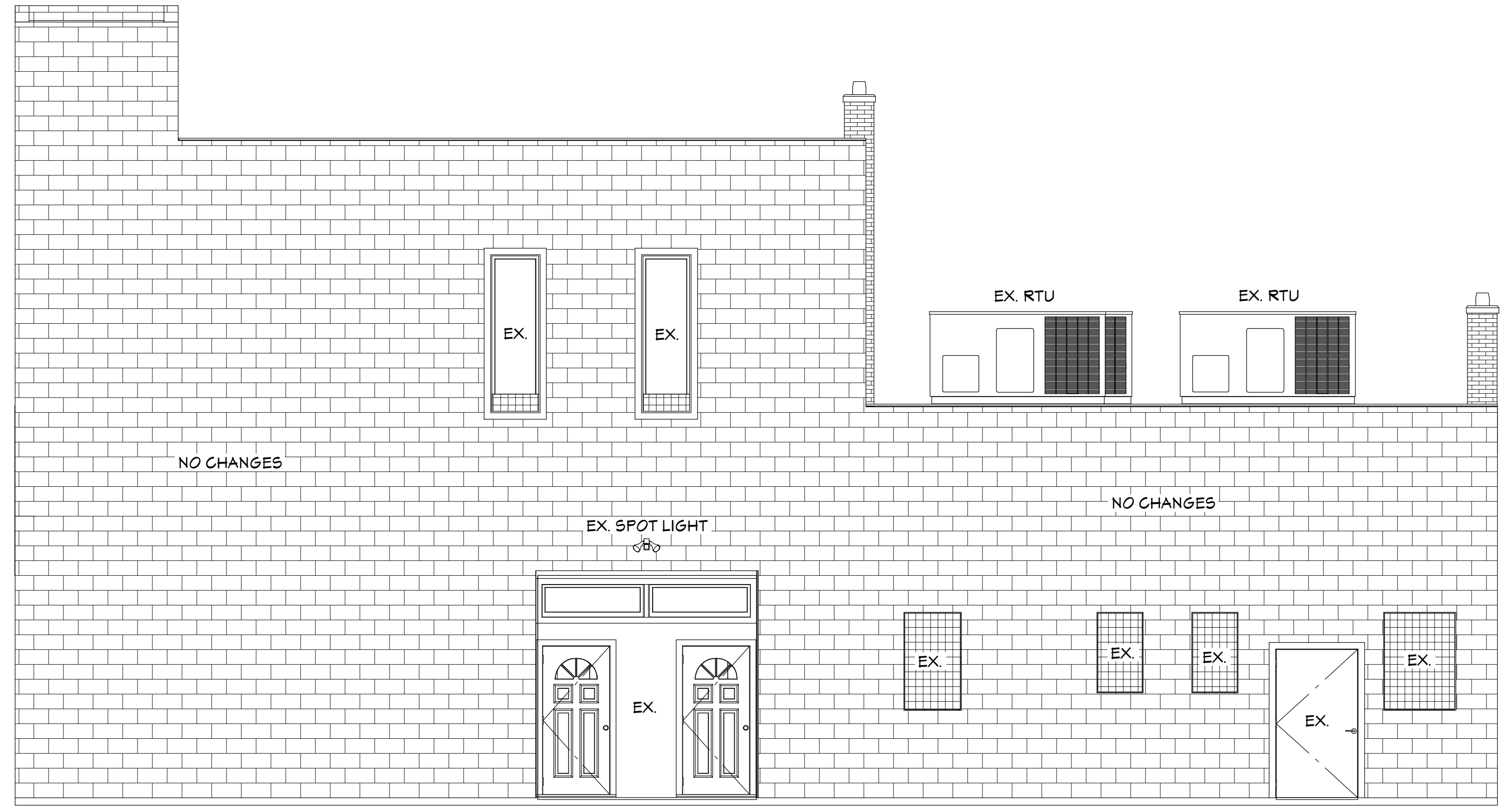
DRAWN BY: WB
CHECKED BY: GL
DATE: 5/1/23

SHEET TITLE:

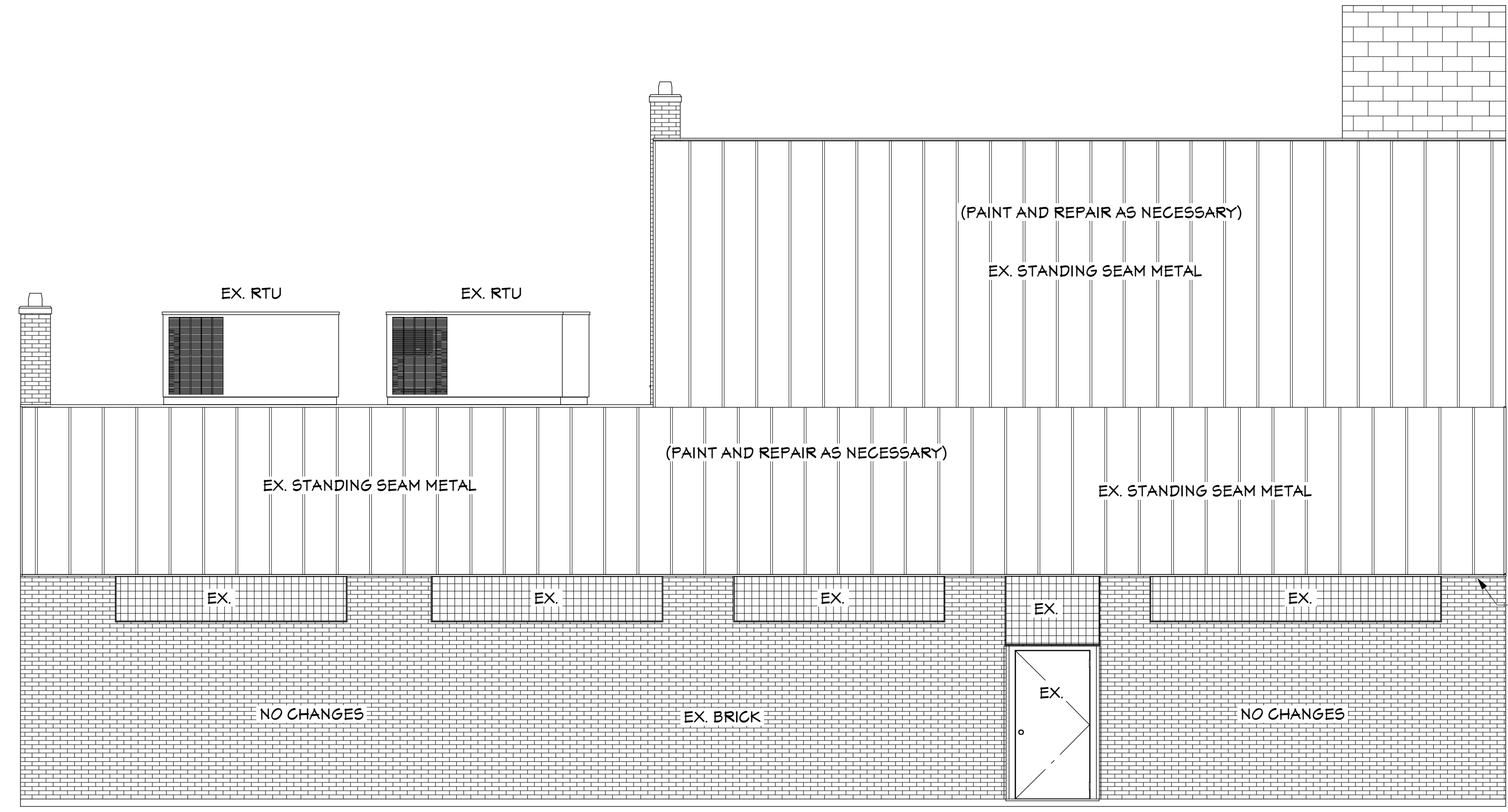
BUILDING ELEVATIONS

SHEET NUMBER:

A-1



REAR ELEVATION (WEST)
SCALE: 1/4" = 1'-0"



FRONT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



GARY LAMARAND
ENGINEER/DESIGNER/
BUILDER/LEED-AP

11717 Pardee Road
Taylor, Michigan 48180

T. (734) 818-6666
E. Lamarand@Comcast.net

PROJECT OWNER:

MIGUEL OROZCO
1518 FORT ST.
LINCOLN PARK, MI 48146

PROJECT:
BUILDING RE-OCCUPANCY

BANQUET HALL
1518 FORT ST.
LINCOLN PARK, MI 48146



ISSUED FOR:

5/10/23 SITE PLAN REVIEW

DRAWN BY: WB

CHECKED BY: GL

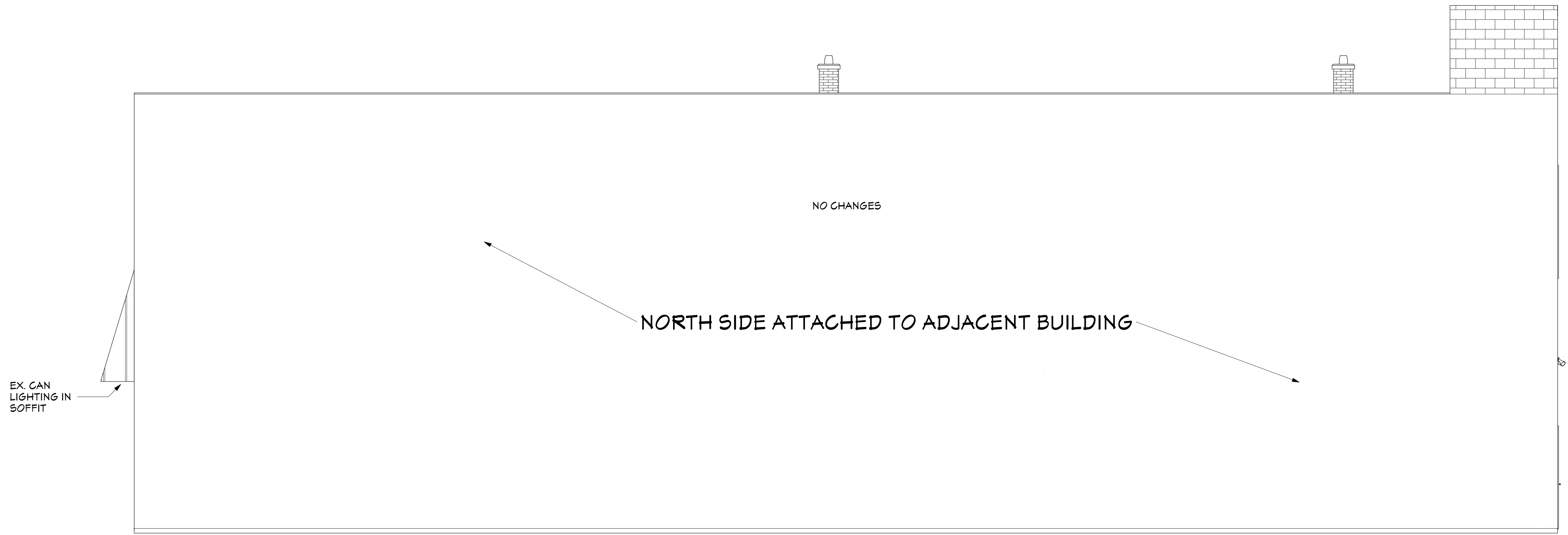
DATE: 5/1/23

SHEET TITLE:

**BUILDING
ELEVATIONS**

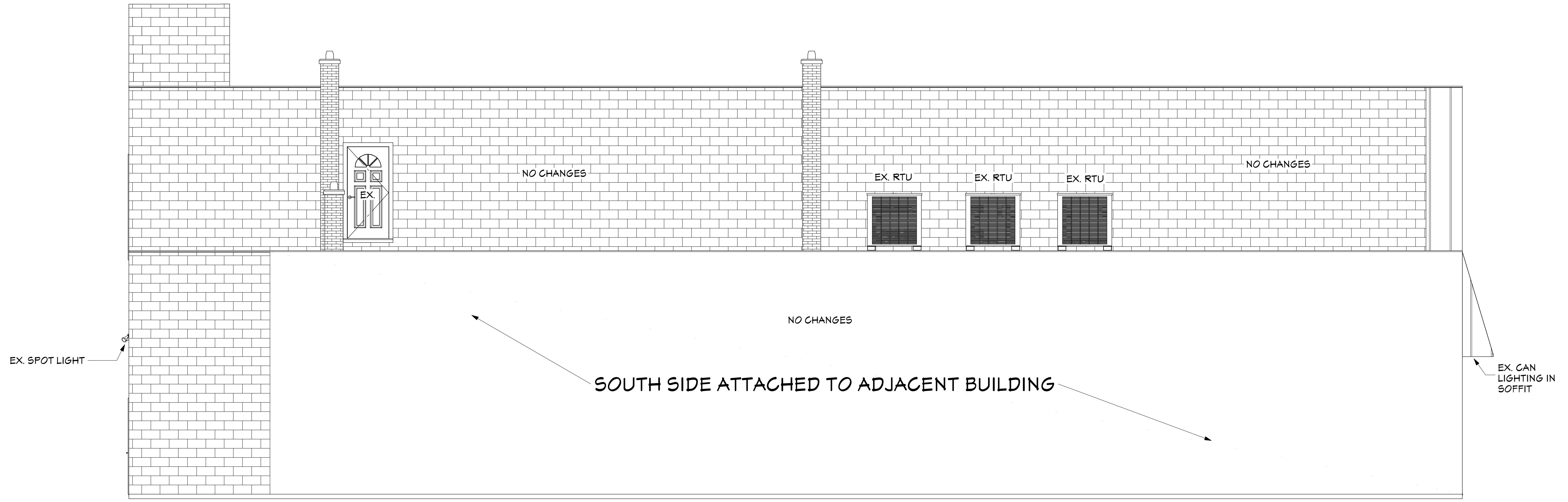
SHEET NUMBER:

A-2



SIDE ELEVATION (NORTH)

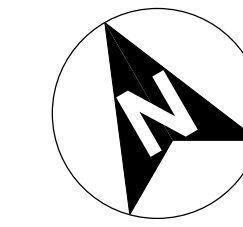
SCALE: 1/4" = 1'-0"



SIDE ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"

NOTE: NO PROPOSED CHANGES TO EXISTING



GL

GARY LAMARAND
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BUILDER/LEED-AP

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Taylor, Michigan 48180

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1518 FORT ST.
LINCOLN PARK, MI 48146



ISSUED FOR:
5/10/23 SITE PLAN REVIEW

DRAWN BY: WB

CHECKED BY: GL

DATE: 5/1/23

SHEET TITLE:

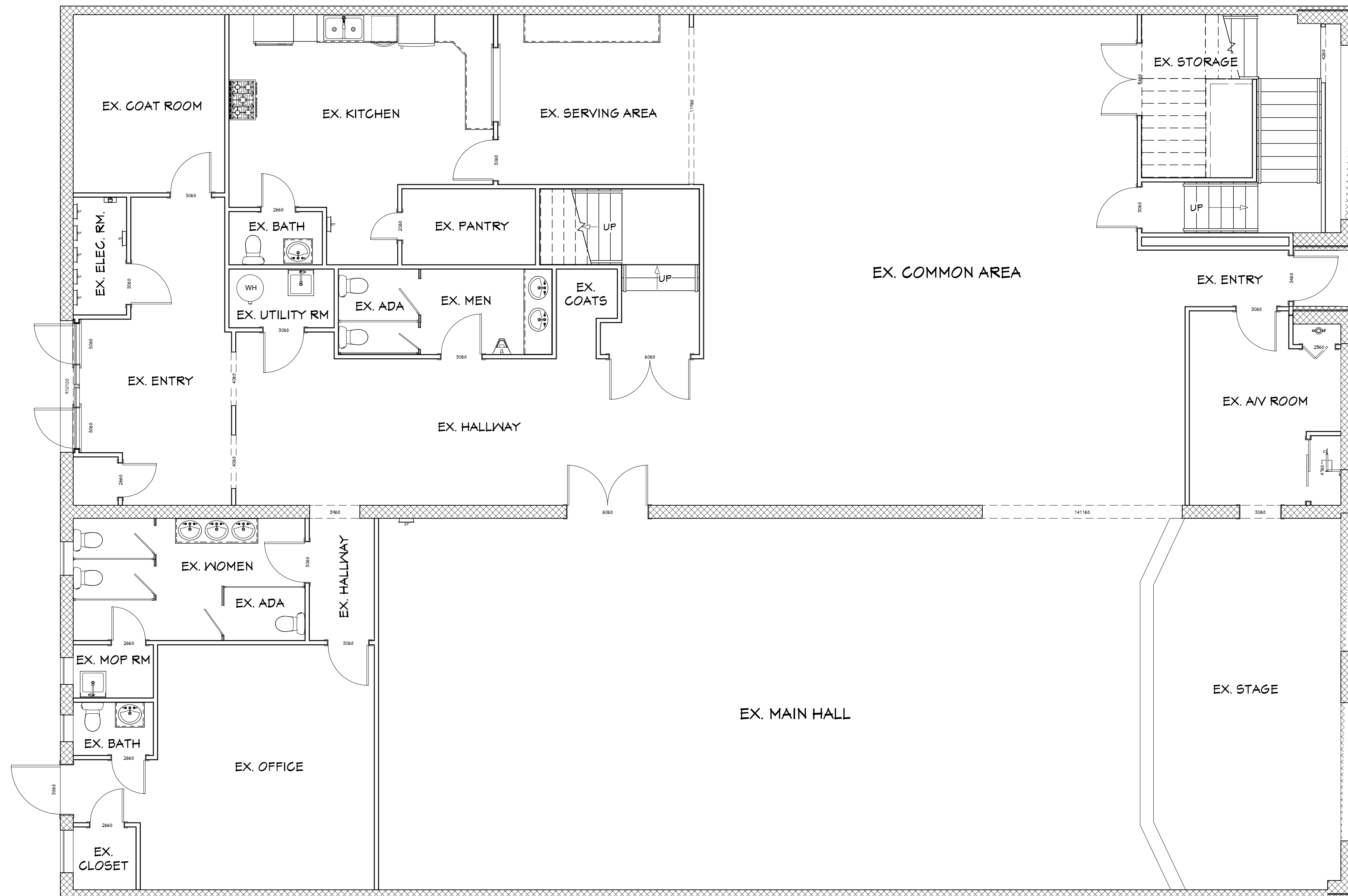
EXISTING
1ST FLOOR
PLAN

SHEET NUMBER:

A-3

EX. ALLEY WAY

FORT STREET

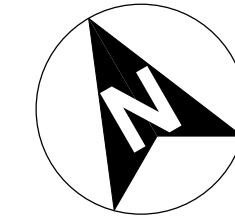


EXISTING 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. NO PROPOSED CHANGES TO EXISTING.
2. 2ND FLOOR IS FOR ADMINISTRATIVE OFFICES ONLY.



GARY LAMARAND
ENGINEER/DESIGNER/
BUILDER/LEED-AP

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Taylor, Michigan 48180

T. (734) 818-6666
E. Lamarand@Comcast.net

PROJECT OWNER:

MIGUEL OROZCO
1518 FORT ST.
LINCOLN PARK, MI 48146

PROJECT:

BUILDING RE-OCCUPANCY

BANQUET HALL
1518 FORT ST.
LINCOLN PARK, MI 48146



ISSUED FOR:

5/10/23 SITE PLAN REVIEW

DRAWN BY: **WNB**

CHECKED BY: **GL**

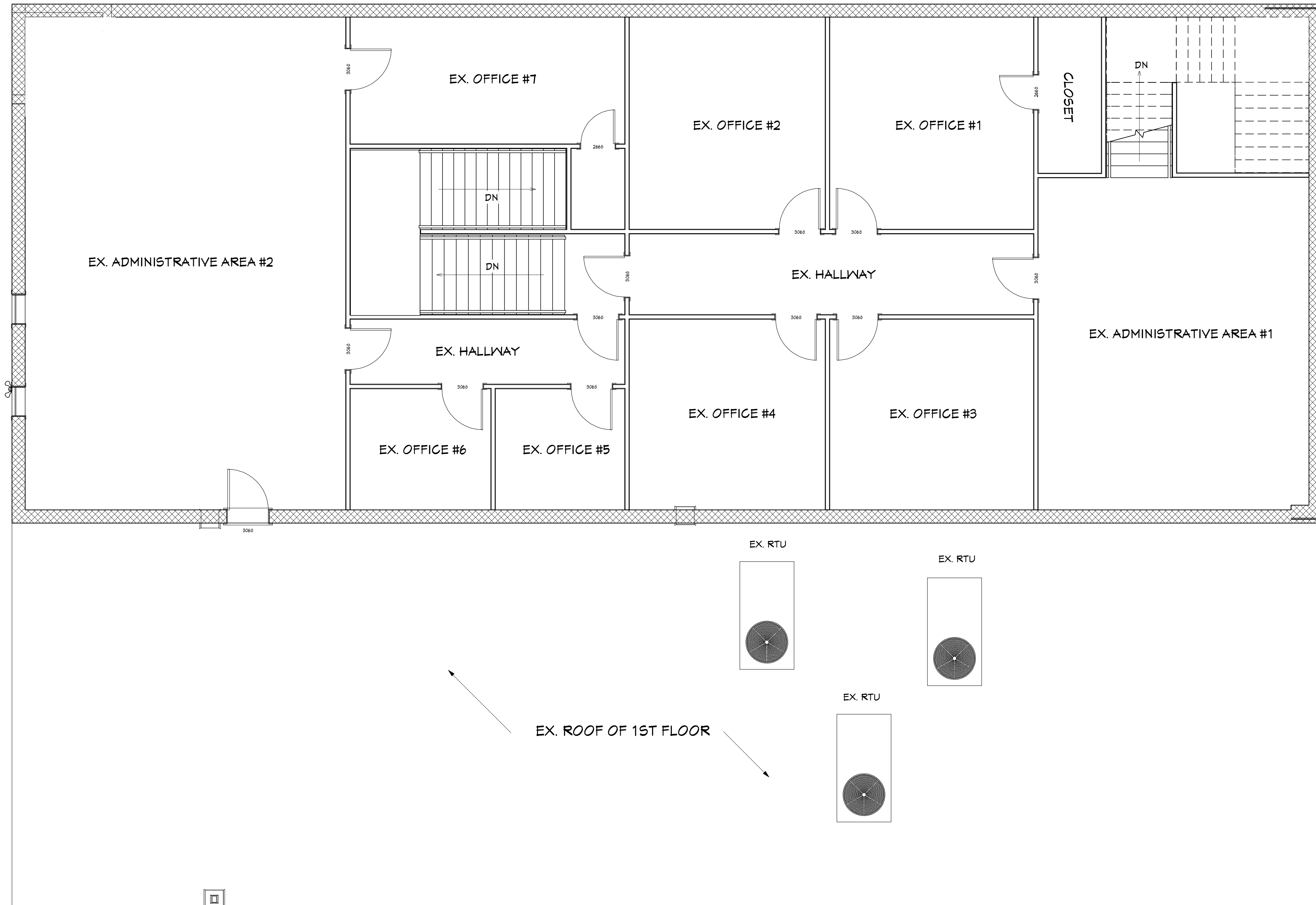
DATE: **5/1/23**

SHEET TITLE:

**EXISTING
2ND FLOOR
PLAN**

SHEET NUMBER:

A-4



EXISTING 2ND FLOOR PLAN

SCALE: 3/8" = 1'-0"

NOTES:

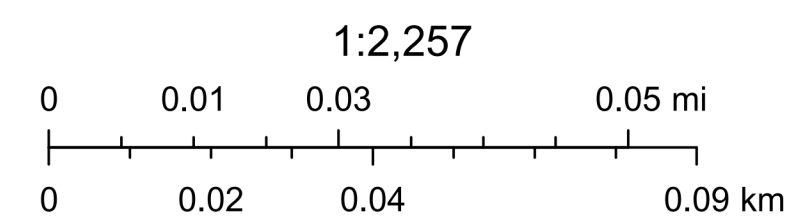
1. DUMPSTER PROPOSED TO BE PLACED IN PUBLIC PARKING LOT, AS IS DONE WITH ADJACENT BUSINESSES.
2. EXISTING BUILDING SETBACK DO NOT ALLOW FOR AND LANDSCAPE AREAS. THERE ARE TWO EXISTING PLANTER BOXES IN FRONT OF THE BUILDING WITH A DECIDUOUS TREE IN EACH. THERE ARE ALSO AREAS OF DECORATIVE BRICK PAVERS IN FRONT AS WELL.

Lincoln Park Informational Map



5/8/2023, 3:36:21 PM

- SewerGravityMains
- StormwaterGravityMains
- WaterMains



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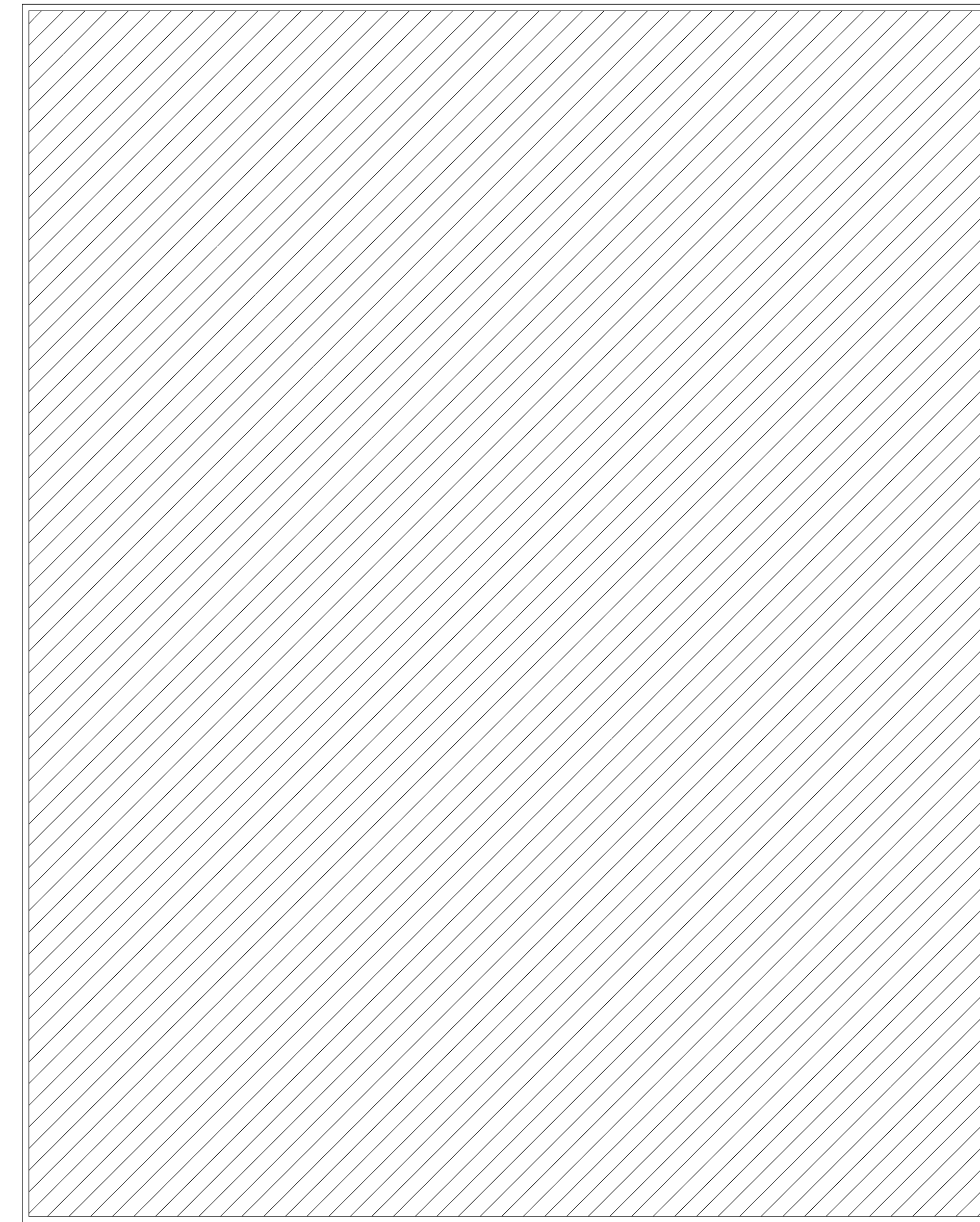
Beckett & Raeder, Inc.

Michigan CGI Data Library | Esri Community Maps Contributors, Province of Ontario, SEMCOG, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA,

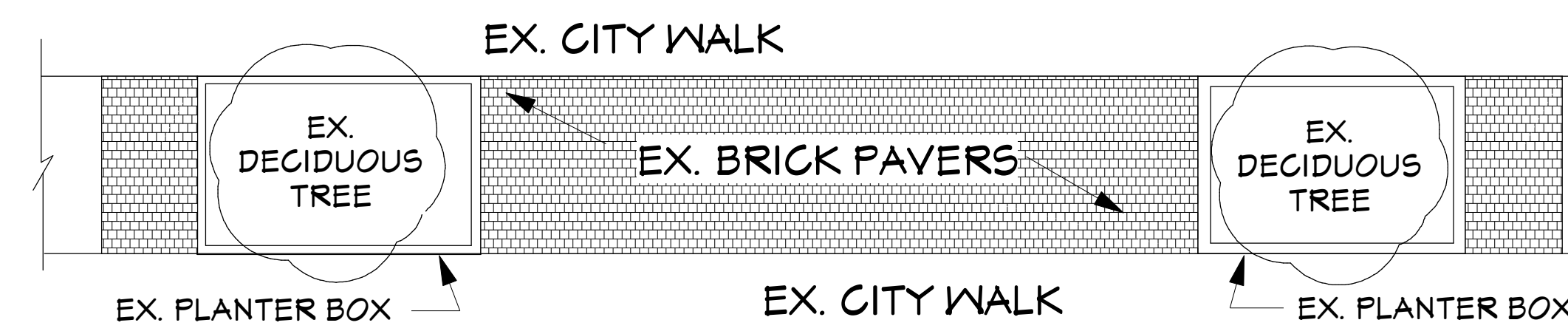
SITE PLAN
SCALE: 1:2,257

EX. ALLEY WAY

80'



100'



EX. FORT ST.

LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



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BUILDER/LEED-AP

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Taylor, Michigan 48180

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BANQUET HALL
1518 FORT ST.
LINCOLN PARK, MI 48146



ISSUED FOR:

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DRAWN BY: WB

CHECKED BY: GL

DATE: 5/1/23

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A-5

RE: 1518 Fort St

Currently 1518 Fort was being used as a event gather or place of worship (church).

New proposed used is as an event gather, banquet hall, no cooking in house. Currently there is no vehicle for this business

We don't have any employees yet.

Normal hours, depend on per event basis.



May 30, 2023

Ms. Liz Gunden, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI 48103-4978

Re: Banquet Hall 1518 Fort St.
City of Lincoln Park, MI
Hennessey Engineers Project #72199

Dear Ms. Gunden:

Hennessey Engineers, Inc. completed our first review of the plans for the Planning Commission review for the above-mentioned project.

The project consists of a re-occupancy of an existing building. Listed below are some comments which are recommended to be addressed in the Preliminary Plan approval but would not be grounds for a reason for denial from an engineering feasibility standpoint:

1. Based on the site plan submitted, the existing utilities and utility leads for the commercial site are being reused. It is important that the developer realize these existing utilities are old and may have reached their life expectancy. It is our strong recommendation for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the service lead needs to be replaced the installation of the new service will need to be inspected by our office.
2. The developer should verify with the City the existing water service type and size. If the water service is a lead service, it will have to be replaced. The developer's engineer or architect shall determine the water service lead type and capacity.
3. Any pavement, including sidewalk, adjacent to this site that is poor condition must be replaced/repaired.
4. Any work proposed to be done in the Fort Street right-of-way will require a permit issued by the Michigan Department of Transportation (MDOT). This would include any pavement repairs or utility improvements.
5. It is recommended that the paint on the rear side of the existing building is repainted.

From an engineering feasibility standpoint, our office has no objection to the preliminary site plan. Therefore, it's our recommendation for preliminary site plan approval. Prior to the start of any construction, a permit from the City must be obtained. **A detailed engineering review and approval will be required prior to permit issuance.**

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC



Richard J. McCarty, P.E.
Project Manager

RJM/rjm

cc: John Kozuh, DPW Director, City of Lincoln Park
John Meyers, Building Official, City of Lincoln Park
Laura Passalacqua (D'Onofrio), Commercial Business Assistant, City of Lincoln Park
Monserrat Contreras, Permit Clerk, City of Lincoln Park
James Hollandsworth, Lincoln Park Project Manager, Hennessey Engineers

R:\Municipalities\70000's Lincoln Park\72000's\72199 1518 Fort Street Assembly Hall\2023-5-24_PC LETTER-72199.docx

Lincoln Park

Beckett & Raeder

FOR OFFICE USE ONLY	
CASE #	PPC23-0008
DATE SUBMITTED	

RECEIVED

 MAY 10 2023

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

APPLICATION FOR SITE PLAN REVIEW

CITY OF LINCOLN PARK
1355 SOUTHFIELD RD. LINCOLN PARK, MI 48146
PH: (313) 386-1800 | FAX: 313-386-2205

NOTICE TO APPLICANT:

Applications for Site Plan Review by the Planning Commission must be submitted to the City in **complete** form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. City Staff will review the application for completeness. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 pm. All meetings are held at the Lincoln Park City Hall.

APPLICANT INFORMATION

NAME		ADDRESS		
Miguel Orozco		12748 Phelps		
CITY	STATE	ZIP CODE	PHONE	EMAIL
Southgate	MI	48195	313 622-1964	chivo-orozco@hotmail.com

PROPERTY OWNER (if different from Applicant)

NAME		ADDRESS		
CITY	STATE	ZIP CODE	PHONE	EMAIL

- Attached written consent of property owner or lessee of property, if different than applicant.

PROPERTY INFORMATION

PROPERTY ADDRESS	NEAREST CROSS STREETS
1518 Fort St	Fort Southfield / Outer Drive
PROPERTY DESCRIPTION (If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e. acreage parcel), provide a metes and bounds description. Attach separate sheets if necessary.)	
ED 217 218 LOTS 217 and 218 Assessors Fort Superhighway Sub No. 8 PC 119 L63 P29, Wayne County Records	
PROPERTY SIZE (square feet and acres)	ZONING DISTRICT
10,000	Central District

PROPOSED DEVELOPMENT

Present Use of Property: Church

Proposed Use of Property: Banquet Hall (Place of gathering)

Please complete the following chart:

TYPE OF DEVELOPMENT	NUMBER OF UNITS	GROSS FLOOR AREA	NUMBER OF EMPLOYEES ON LARGEST SHIFT
<i>Detached Single Family</i>			
<i>Attached Residential</i>			
<i>Office</i>			
<i>Commercial</i>	1	10,000	
<i>Industrial</i>			
<i>Other</i>			

PROFESSIONALS WHO PREPARED THE PLANS:

NAME <u>Gary Lamarand</u>			ADDRESS <u>11717 Pardee Rd.</u>	
CITY <u>Taylor</u>	STATE <u>MI</u>	ZIP CODE <u>48180</u>	PHONE <u>734-818-6666</u>	EMAIL <u>lamarand@comcast.net</u>
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

ATTACH THE FOLLOWING:

<input checked="" type="checkbox"/> Eight (8) individually folded copies of the site plan (24" x 36"), sealed by a registered architect, engineer, landscape architect, or community planner as well as ONE (1) electronic copy in PDF format.
<input type="checkbox"/> A brief written description of the existing and proposed uses as identified in the "Narrative" section of the Site Plan Application Requirements Table, including but not limited to hours of operation, number of employees, number of employees on largest shift, number of company vehicles, etc.
<input type="checkbox"/> Proof of property ownership or lease agreement.
<input type="checkbox"/> Review comments of approval received from County, State, or Federal agencies that have jurisdiction over the project, including but not limited to: <div style="display: flex; justify-content: space-between; padding: 0 20px;"> <div style="width: 45%;"> <p>Wayne County Road Commission</p> <p>Wayne County Health Division</p> <p>Michigan Department of Transportation</p> </div> <div style="width: 45%;"> <p>Wayne County Drain Commission</p> <p>Michigan Department of Natural Resources</p> <p>Michigan Department of Environment, Great Lakes, & Energy</p> </div> </div>

IMPORTANT

The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.


Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted after the site plan approval.

APPLICANT ENDORSEMENT

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application. Finally, I acknowledge that part of the site plan review process includes City staff entering the exterior of the property for site visits.

Signature of Applicant: _____

Date: _____

Signature of Applicant:  _____

Date: 5-10-23

Signature of Property Owner:  _____
 Authorizing this Application

Date: 5-10-23

TO BE COMPLETED BY THE CITY

DATE SUBMITTED:	FEE PAID:
BY:	DATE OF PUBLIC HEARING:
PLANNING COMMISSION ACTION	DATE OF ACTION:
<input type="checkbox"/> APPROVED	
<input type="checkbox"/> DENIED	

THIS CONTRACT, made this March 24, 2023, between **Resurrection Church**, hereinafter referred to as "THE SELLER," whose address is 2071 Porter Avenue, Lincoln Park, MI 48146, and **Orozco Investments, LLC**, hereinafter referred to as "THE PURCHASER," whose address is 12748 Phelps Street, Southgate, MI 48195.

WITNESSETH:

1. THE SELLER AGREES AS FOLLOWS:

- (1) To sell and convey to the Purchaser land in the State of Michigan, described as:
Land in the City of Lincoln Park, County of Wayne, State of Michigan

Lots 217 and 218, Assessor's Fort Superhighway Subdivision No. 8, as recorded in Liber 63, Page 29 of Plats, Wayne County Records.

Tax Parcel No: 45 006 06 0217 000

Common Address: 1518 Fort Street, Lincoln Park, MI 48146

together with all tenements, hereditaments, improvements and appurtenances, including all lighting fixtures, plumbing fixtures, shades, Venetian blinds, curtain rods, storm windows, storm doors, screens, awnings, if any, now on the premises, subject to all applicable building and use restrictions, and easements, if any, affecting the premises.

(b) That the consideration for the sale of the above described premises to the Purchaser is TWO HUNDRED SEVENTY FIVE THOUSAND AND 00/100 DOLLARS (\$275,000.00), of which the sum of \$50,000.00 has heretofore been paid to the Seller, the receipt of which is hereby acknowledged, and the balance of \$225,000.00 is to be paid to the Seller, with interest on any part thereof at any time unpaid at the rate of 4.00%. This balance of purchase money and interest shall be paid in monthly installments of \$3,000.00 each, or more at Purchaser's option, on the 24TH day of each month, beginning APRIL 24, 2023 said payments to be applied first upon interest and the balance on principal, PROVIDED, the entire purchase money and interest shall be fully paid within 5 years from the date hereof anything herein to the contrary notwithstanding. THERE SHALL BE AN ADDITIONAL LUMP SUM PAYMENT MADE OF \$25,000.00 DUE AND PAYABLE NO LATER THAN SEPTEMBER 24, 2031. THERE SHALL BE NO INTEREST CHARGED ON THE REMAINING BALANCE DUE THE FIRST 12 MONTHS. BEGINNING THE 13TH MONTH THE INTEREST RATE SHALL BE 4% ON THE UNPAID BALANCE FOR THE REMAINING TERM OF 4 YEARS.

(c) Upon receiving payment in full of all sums owing herein, less the amount then due on any existing mortgage or mortgages, and the surrender of the duplicate of this contract, to execute and deliver to the Purchaser or the Purchaser's assigns, a good and sufficient Warranty Deed conveying title to said land, subject to aforesaid restrictions and easements and subject to any then existing mortgage or mortgages, and free from all other encumbrances, except such as may be herein set forth, and except such encumbrances as shall have accrued or attached since the date hereof through the acts or omission of persons other than the Seller or his assigns.

(d) To deliver to the Purchaser as evidence of title, a Policy of Title insuring Purchaser, the effective date of the policy to be the date of this contract, and issued by First American Title Insurance Company.

2. THE PURCHASER AGREES AS FOLLOWS:

- (a) To purchase said land and pay the Seller the sum aforesaid, with the interest thereon, as above provided.
(b) To use, maintain and occupy said premises in accordance with any and all restrictions thereon.
(c) To keep the premises in accordance with all police, sanitary, and other regulations imposed by any governmental authority.
(d) To pay all taxes, assessments hereafter levied on said premises before any penalty for non-payment attaches thereto, and submit receipts to Seller upon request, as evidence of payment thereof, also at all times to keep the buildings now or hereafter on the premises insured against loss and damage, in manner and to an amount approved by the Seller, and to deliver the policies as issued to the Seller with the premiums fully paid.
(e) That the Purchaser has examined a Title Insurance Commitment dated March 24, 2023, covering the above described premises, and is satisfied with the marketability of the title shown thereby, and has examined the above described premises and is satisfied with the physical condition of any structures thereon.
(f) To keep and maintain the premises and the buildings thereon in as good condition as they are at the date hereof, reasonable wear and tear excepted, and not to commit waste, remove or demolish any improvements thereon, or otherwise diminish the value of the Seller's security, without the written consent of the Seller.

3. THE SELLER AND PURCHASER MUTUALLY AGREE AS FOLLOWS:

- (a) That the Seller may, at any time during the continuance of this contract, encumber said land by mortgage or mortgages to secure not more than the unpaid balance of this contract at the time such mortgage or mortgages are executed. Such mortgage or mortgages (1) shall provide for payment of principal and interest in monthly installments which do not exceed such installments provided for in this contract; (2) shall provide for a rate of interest on the unpaid balance of the mortgage debt which does not exceed the rate of interest provided in paragraph 1(b), or on such other terms as may be agreed upon by the Seller and Purchaser, and (3) shall be a first lien upon the land superior to the rights of the Purchaser herein, provided notice of the execution of said mortgage or mortgages

containing the name and address of the mortgagee or his agent, the amount of such mortgage or mortgages, the rate of interest and maturity of the principal and interest shall be sent to the Purchaser by registered mail promptly after execution thereof. Purchaser will, upon demand, execute any instruments demanded by the seller, necessary or requisite to subordinate the rights of the Purchaser hereunder to the lien of such mortgage or mortgages. In the event said Purchaser shall refuse to execute any instruments demanded by said Seller and shall refuse to accept such registered mail hereinbefore provided, or said registered mail shall be returned unclaimed, then the Seller may post such notice in two conspicuous places on said premises, and upon making affidavit duly sworn to of such posting, this proceeding shall operate the same as if said Purchaser had consented to the execution of said mortgage or mortgages, and Purchaser's rights shall be subordinate to said mortgage or mortgages as hereinbefore provided. The consent obtained, or subordinated, as otherwise herein provided, under or by virtue of the foregoing power, shall extend to any and all renewals or extensions or amendments of said mortgage or mortgages, after Seller has given notice to the Purchaser as above provided for, giving notice of the execution of said mortgage or mortgages.

(b) That if the Seller's interest in the land is now or hereafter encumbered by mortgage, the Seller shall meet the payments of principal and interest thereon as they mature and produce evidence thereof to the Purchaser on demand, and in default of the Seller, said Purchaser may pay the same. Such payments by Purchaser shall be credited on the sums first maturing hereon, with interest at the rate provided in paragraph 1(b) on payments so made. If proceedings are commenced to recover possession or to enforce the payment of such contract or mortgage because of the Seller's default, the Purchaser may, at any time thereafter while such proceedings are pending, encumber said land by mortgage, securing such sum as can be obtained, upon such terms as may be required, and with the proceeds, pay and discharge such mortgage, or purchase money line. Any mortgage so given shall be a first lien upon the land superior to the rights of the Seller therein, and thereafter the Purchaser shall pay the principal and interest on such mortgage so given as they mature, which payment shall be credited on the sums matured or first maturing hereon. When the sum owing hereon is reduced to the amount owing upon such contract or mortgage or owing on any mortgage executed under either of the powers in this contract contained, a conveyance shall be made in the form above provided containing a covenant by the grantee to assume and agree to pay the same.

(c) That if default is made by the Purchaser in the payment of any taxes, assessments, or insurance premiums, or in the payment of sums provided for in paragraph 2(e), or in the delivery in any policy as hereinbefore provided, the Seller may pay such taxes or premiums or procure such insurance and pay the premium or premiums thereon, and any sum or sums so paid shall be a further lien on the land and premises, payable by the Purchaser to the Seller forthwith with interest at the rate as set forth in paragraph 1(b) hereof.

(d) No assignment or conveyance by the Purchaser shall create any liability whatsoever against the Seller until a duplicate thereof, duly witnessed and acknowledged, together with the residence address of such assignee, shall be delivered to the Seller. Purchaser's liability hereunder shall not be released or affected in any way by delivery of such assignment, or by Seller's endorsement of receipt and/or acceptance thereon.

(e) The Purchaser shall have the right to possession of the premises from and after the date hereof, unless otherwise herein provided, and be entitled to retain possession thereof only so long as there is no default on his part in carrying out the terms and conditions hereof. In the event the premises hereinabove described are vacant or unimproved, the Purchaser shall be deemed to be in constructive possession only, which possessory right shall cease and terminate after service of a notice of forfeiture of this contract. Erection of signs by Purchaser on vacant or unimproved property shall not constitute actual possession by him.

(f) If the Purchaser shall fail to perform this contract or any part thereof, the Seller immediately after such default shall have the right to declare the same forfeited and void, and retain whatever may have been paid hereon, and all improvements that may have been made upon the premises, together with additions and accretions thereto, and consider and treat the Purchaser as his tenant holding over without permission and may take immediate possession of the premises, and the Purchaser and each and every other occupant removed and put out. In all cases where a notice of forfeiture is relied upon by the Seller to terminate rights hereunder, such notice shall specify all unpaid monies and other breaches of this contract and shall declare forfeiture of this contract to be effective fifteen days after service, unless such money is paid and any other breaches of this contract are cured within that time.

(g) If default is made by the Purchaser and such default continues for a period of forty-five days or more, and the Seller desires to foreclose this contract in equity, then the Seller shall have, at his option, the right to declare the entire unpaid balance hereunder to be due and payable forthwith, notwithstanding anything herein contained to the contrary.

(h) Time shall be deemed to be of the essence of this contract.

(i) The individual parties hereto represent themselves to be of full age, and the corporate parties hereto represent themselves to be valid existing corporations with their charters in full force and effect.

(j) Any declarations, notices or papers necessary or proper to terminate, accelerate or enforce this contract shall be presumed conclusively to have been served upon the Purchaser if such instrument is enclosed in an envelope with the first class postage fully prepaid, if said envelope is addressed to the Purchaser at the address set forth in the heading of this contract or at the latest other address which may have been specified by the Purchaser and receipted for in writing by the Seller, and if said envelope is deposited in a United States Post Office Box.

(k) In the event payments are not received within 15 days from due date, a late fee of \$150.00 per payment shall be assessed. This is a service charge and is not interest. Purchaser further agrees and understands that assessment of the late fee does not constitute an election under the contract and the seller may pursue any other remedies available in law or equity.

(l) Seller agrees to execute a Warranty Deed at closing to be placed in Escrow with Minnesota Title Agency. Purchaser agrees to pay the Escrow Fee.

(m) The property shall not be transferred by the Purchaser without the written approval by the Seller of the creditworthiness of any new Purchaser or Assignee. Approval will not be unreasonably withheld.

(n) Purchaser and Seller understand that the regular monthly payments called for by the terms of the Land Contract will not pay the Land Contract amount owing in full by the end of the term of the contract. There will be a substantial lump sum payment due from the Purchaser to the Seller at the time.

(o) Purchaser understands that the Seller is under no obligation to extend this contract beyond the agreed upon termination date or to refinance the principal balance beyond said termination date and the acceptance of payments beyond the termination date does not constitute an election of remedies.

(p) There shall be no prepayment penalty to be assessed to Purchaser. Purchaser has the right to make lump sum payments to be applied to principal during the term of the contract.

Purchaser shall name Resurrection Church as an additionally insured party on their insurance policy.

IN WITNESS WHEREOF, the parties hereto have executed this contract in duplicate the day and year first above written.

Signed and Sealed:

Seller(s)

Resurrection Church

By:

David Doran, Jr., Pastor

Purchaser(s)

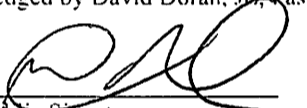
Orozco Investments, LLC

By:

Miguel Orozco, Member

STATE OF MICHIGAN
COUNTY OF WAYNE

Acknowledged by David Doran, Jr., Pastor of Resurrection Church before me on 24th day of March, 2023.


Notary Public Signature

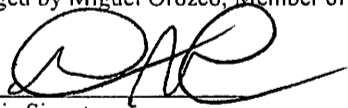
Notary name

Notary public, State of Michigan, COUNTY OF WAYNE

My Commission Expires:

STATE OF MICHIGAN
COUNTY OF WAYNE

Acknowledged by Miguel Orozco, Member of Orozco Investments, LLC before me on 24th day of March, 2023.


Notary Public Signature

Notary name

Notary public, State of Michigan, COUNTY OF WAYNE

My Commission Expires:

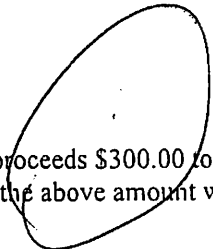
Drafted by:
Resurrection Church
2071 Porter Avenue
Lincoln Park, MI 48146

When recorded, return to:
Orozco Investments, LLC
12748 Phelps Street
Southgate, MI 48195

File No. 22-362508



WATER ESCROW
for
1518 Fort Street, Lincoln Park, MI 48146



It is understood and agreed that Minnesota Title Agency, Escrow Agent, is withholding from the proceeds \$300.00 to be held in escrow until receipt of a PAID final water bill. Upon receipt of said PAID final water bill, the above amount will be refunded to Seller.

If Escrow Agent should receive a final water bill that is UNPAID, it is understood that Escrow Agent will pay the final water bill to the water department and return the difference, if any, to the undersigned Seller. If the funds withheld are not sufficient to pay the unpaid bill, Seller hereby agree to pay the additional amount owing to the Escrow Agent and Escrow Agent will pay the water bill in full.

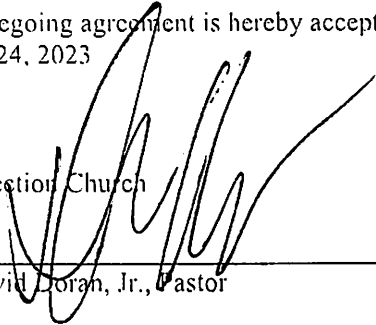
In the event a final water bill cannot be ordered, an actual reading of the meter must be submitted, and the bill will then be prorated as of date of March 24, 2023 or when seller vacates property, whichever is later, and disbursed according to same. It is then understood that a water bill based on an actual reading should be substituted for the "final water bill" terminology in the rest of this agreement.

It is understood that Escrow Agent is acting as a depository of funds and has no responsibility, implied or otherwise, for obtaining a final water bill. However, if Escrow Agent does not receive a final water bill within 90 days of March 24, 2023, Escrow Agent may, at its option, release the water escrow in its entirety to the purchaser less a \$50.00 escrow fee.

The foregoing agreement is hereby accepted and approved.
March 24, 2023

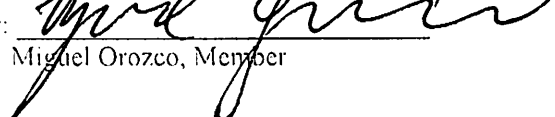
Seller:

Resurrection Church

By: 
David Doran, Jr., Pastor

Purchaser:

Orozco' Investments LLC

By: 
Miguel Orozco, Member



CLOSING AGREEMENT
for
1518 Fort Street, Lincoln Park, MI 48146

BILL OF SALE

KNOW ALL MEN BY THESE PRESENTS, that I/we, as Seller(s), for valuable consideration, receipt of which is acknowledged, have bargained and sold, and do grant and convey to the Buyer(s) in an AS IS condition with no warranty, either expressed or implied, the following goods and chattels:

ACCEPTING PROPERTY "AS IS"

Buyer(s) understand and acknowledge that he/she(they) are buying the property in an "AS IS" condition and that neither the Seller nor Realtor make any warranties as to the land and structure purchased or the condition thereof.

BUY AND SELL RESOLUTION

It is agreed, between the Buyer(s) and Seller(s) of this property that all contingencies and addendums to the Offer to Purchase thereto, dated, have been met or are hereby resolved or removed to the satisfaction of the parties concerned.

The foregoing closing agreements are hereby accepted and approved.
March 24, 2023

Seller:

Resurrection Church

By: _____

David Olson, Jr., Pastor

Purchaser:

Orozco Investments, LLC

By: _____

Miguel Orozco, Member



DEED ESCROW AGREEMENT

DATE: March 24, 2023

FILE NO: 22-362508

GRANTOR: Resurrection Church
GRANTEE: Orozco Investments, LLC
Property address: Lincoln Park, MI

ESCROW AGENT: Minnesota Title Agency

Minnesota Title Agency acknowledges receipt herewith of a Warrant Deed to be held in escrow for delivery under the following terms and conditions.

1. Escrow Agent shall deliver the deed to Grantee upon receipt of written notification from Grantor that the Land Contract dated March 24, 2023 between Grantor and Grantee has been paid in full.
2. Seller(s) understands it is their responsibility to pay the transfer tax at the time of payoff.
3. Purchaser agrees to pay the sum of \$150.00 to Escrow Agent for this service.
4. Upon making such deliveries stated above, this escrow shall terminate and Escrow Agent shall be released from any further liability. By acceptance of this Escrow Agreement, Escrow Agent is acting in the capacity of a depository and is not, as such, responsible or liable for the sufficiency, correctness, genuineness or validity of the Deed.
5. In the event of litigation, the parties shall reimburse Escrow Agent for any reasonable expenses incurred, including attorney's fees.
6. Any changes in the terms or conditions hereof may only be made in writing and signed by all parties to this

GRANTOR: (or its Agent)

Resurrection

Church Date:

By:

David Doran, Jr., Pastor

GRANTEE: (or its Agent)

Orozco

Investments,

LLC Date:

By:

Miguel Orozco, Member

Minnesota Title Agency does hereby accept the above Escrow Agreement under the terms and conditions herein set forth.

ACCEPTED BY:

Minnesota Title Agency

By

Planning Report

Serving & Planning Communities Throughout Michigan

June 2023

Top Story

Aggregate and gravel mining bills return to Legislature

Industry-supported bills seek to remove local control over permitting sand and gravel mines

For the fourth straight legislative session, bipartisan lawmakers have introduced a package of bills, promoted by the aggregate industry, that would remove local control over sand and gravel mine permitting and shift it to the State, pre-empting zoning. The move is touted as supporting road construction. The bills have been strongly opposed by local government groups and environmental groups, which have advised their members to express opposition to their legislators.

Michigan Radio, <https://www.michiganradio.org/environment-climate-change/2023-05-10/sand-and-gravel-industry-alleges-local-governments-not-qualified-to-decide-whether-to-approve-new-mines>; *Bridge Magazine*, <https://www.bridgemi.com/michigan-environment-watch/fix-damn-roads-michigan-must-first-decide-who-oks-darn-gravel-mines>; *Michigan Municipal League*, <https://mml.org/inside208/2023/05/05/guess-whats-back-back-again-aggregate-preemptions-back-tell-a-friend/>

Good News

Governor's Awards for Historic Preservation include BRI client alums

Downtown Calumet and Hamtramck Stadium recognized

The Michigan State Historic Preservation Office celebrates National Historic Preservation Month with Governor's Awards recognizing transformation and stewardship of our cultural resources. This year's awardees include the Bring Back Calumet Initiative in Calumet, inspiring investment in 10 of the beautiful buildings in its downtown Calumet National Historic Landmark District, where BRI worked on a new zoning ordinance and DDA plan in 2021. Another win honored the rehabilitation of the Negro National League's Hamtramck Stadium, where BRI's "light touch" master plan update in 2020 included design support for the area around the historic stadium.

Miplace.org. https://www.miplace.org/498dca/globalassets/documents/shpo/governors-awards-for-historic-preservation/governors-awards-by-year/2023/shpo_gov_award_posters_2023_v2_final.pdf

Tools

Community EV Toolkit provides resources and education

Web-based toolkit helps communities join statewide EV implementation strateg

The Michigan Office of Future Mobility and Electrification, along with the Southeast Michigan Council of Governments, has launched a comprehensive resource for electric vehicle and infrastructure planning. The web-based toolkit includes education, data, maps, resources, funding, and case studies. Michigan will be deploying \$110M in federal dollars for EV implementation, and this resource is meant to connect local communities to the program.

SEMCOG. <https://southeast-michigan-ev-resource-kit-and-planning-hub-semcog.hub.arcgis.com/>

Legislative

Statewide septic code: once more, with funding?

Pollution problems prompt “umpteenth” effort to regulate our 1.4M septic systems

Bridge Magazine reports the introduction of four bills proposing changes to rein in pollution from leaky septic systems by mandating periodic inspections and requiring homeowners to repair faulty systems. “The bills have early support from key players including the real estate and public health lobbies, which have both taken issue with parts of past attempts to craft a statewide code,” notes *Bridge*, adding that Michigan’s budget surplus could cover the cost of oversight and help low-income residents pay for septic repairs. Michigan is the only state without a comprehensive septic code.

Bridge Michigan. <https://www.bridgemi.com/michigan-environment-watch/flush-cash-michigan-lawmakers-try-again-pass-state-septic-code>

Legal

Michigan Court of Appeals gives a zoning code grammar lesson

A preposition would have indicated a relationship, but a conjunction connects two ideas

The Michigan Court of Appeals channeled its inner junior high English teacher when it reversed a lower court’s finding in favor of a community that was trying to fold a site plan review into its marijuana permitting process. The community had denied the permit on the basis that the site plan application was deemed incomplete because the fee had not been paid. But the opinion found that using the word “and” in the language [“no plans will be processed unless they are complete *and* unless all fees are paid,” emphasis added] sufficiently separated the issue of “completeness” from the issue of fee payment, and thus shouldn’t have stopped the application from proceeding.

Michigan Court of Appeals. <http://www.michbar.org/file/opinions/appeals/2023/042023/79361.pdf>

A conditional rezoning needs to include a permitted use

Anticipating an excluded use is “fatal to the operation of the conditional zoning agreement”

An attempt to legalize and expand a long-standing nonconforming dragway use through conditional rezoning was stopped by plaintiffs from neighboring parcels. The dragway operated about twice a week on an R-1 parcel, and new owners submitted a petition to conditionally rezone the property to C-2 with a development agreement setting stipulations on the expanded dragway use. But the court found that since a dragway wasn’t permitted in the ordinance at all, the use could not be added through the conditional rezoning process, so the rezoning and agreement as applied are void.

Michigan Court of Appeals. <http://www.michbar.org/file/opinions/appeals/2023/050423/79444.pdf>

Events

UP Education Extravaganza

July 18-19, Island Resort & Conference Center, Harris. \$125 per class; 4 classes available

Michigan Townships Association brings classes to the UP: cemetery management, planning and zoning, finance, and fire departments.

More information: <https://michigantownships.org/wp-content/uploads/up-edex-mailer.pdf>

Michigan Transportation Planning Association Conference

July 25-28 in Ann Arbor. Cost: \$475; a la carte days and activities available

Annual gathering of transportation planning agencies and organizations.

More information and registration. <http://www.mtpa-mi.org/2023conference.asp>