



LINCOLN PARK PLANNING COMMISSION

City Hall – Council Chambers
1355 Southfield Road | Lincoln Park, MI

July 12, 2023 at 7 p.m.

AGENDA

- I. Call to Order
- II. Roll Call
- III. Approval of Previous Minutes
- IV. Approval of Agenda
- V. Old Business
 - A. Public Hearing: Fort St – Vacant Parcel – Car Wash
 - B. Special Land Use: Fort St – Vacant Parcel – Car Wash
- VI. New Business
 - A. Site Plan Review: 1611 Dix – Beauty Salon
 - B. Site Plan Review: 3309 Fort – Office
- VII. Policy Review and Discussion
- VIII. Education and Training
 - A. July Planning Report
- IX. Reports from Department and Other Boards and Commissions
- X. Public Comments
- XI. Comments from Planning Commissioners
- XII. Adjournment

The City of Lincoln Park will provide necessary reasonable auxiliary aides and services, such as signers for the hearing impaired and audio tapes of printed material being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days prior notice to the City of Lincoln Park. Individuals with disabilities requiring auxiliary aides or services should contact the City of Lincoln Park by writing or calling the following: The Building Department, 1355 Southfield Road, Lincoln Park MI 48146; 313-386-1800 ext. 1296

**CITY OF LINCOLN PARK
COUNTY OF WAYNE, STATE OF MICHIGAN
PLANNING COMMISSION MEETING OF JUNE 14, 2023**

A Planning Commission meeting of June 14, 2023, Lincoln Park City Hall at 1355 Southfield, Lincoln Park Michigan was called to order at 7:01 p.m. Mr. Persinger, Commencing with the Pledge of Allegiance.

PRESENT: Palmer, Horvath, Persinger, LoDuca, Duprey, Hernandez

ABSENT:

EXCUSED: Kissel

ALSO PRESENT: John Meyers, Elizabeth Gunden, Steven Smith, Euponine Pierre, Mohamad Hadla, Joseph Mugan, Miguel Orozco

APPROVAL OF MINUTES

Moved by: Persinger

Supported by: Duprey

MOTION CARRIED unanimously

APPROVAL OF AGENDA

Moved by: LoDuca

Supported by: Duprey

MOTION CARRIED unanimously

OLD BUSINESS

A. SITE PLAN REVIEW FORT ST – VACANT PARCEL CAR WASH

The proposed project is a car wash, to include a car wash facility with associated parking, vacuum areas, driveways, and utilities. The site is currently vacant.

The 1.16-acre site is located on the west side of Fort Street between Mill Street to the north and Champaign Road to the south. The site is served by Fort Street (east), Mill Street (north), and Fort Park Boulevard (west). There are existing public sidewalks along all three rights of way. The south side of the site abuts a property containing a drug store and associated parking facilities.

Recommended that the City of Lincoln Park Planning Commission approve the site plan numbered PPC23-0005, proposing a car wash at the vacant lot on Fort Street, parcel #45-009-99-0010-702, and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

Moved by: LoDuca

Supported by: Horvath

Yay's: Palmer, Horvath, Persinger, LoDuca Duprey

Nay's: Hernandez

Motion Approved

B. PUBLIC HEARING: FORT ST – VACANT PARCEL CAR WASH

Public Hearing opened at 7:24 p.m.

Seeing no public comment and hearing no public comment.

Public Hearing closed at 7:25 p.m.

C. SPECIAL LAND USE FORT ST – VACANT PARCEL CAR WASH

The proposed Special Land Use approval would permit an automatic automobile wash facility (car wash) on a currently vacant lot. The site is served by Fort Street (east), Mill Street (north), and Fort Park Boulevard (west). The proposed use of an automatic automobile wash facility is permitted within the Municipal Business District (MBD) after Special Land Use approval under §1278.03 of the Lincoln Park Zoning Code, and subject to §1296.02.

I move that the Lincoln Park Planning Commission table the request for a Special Land Use for a car wash facility at the property along Fort Street with parcel number 45-009-99-0010-702, as requested in PPC 23-005, based on an affirmative finding of compliance with the criteria set forth in Section 1262.08 of the Lincoln Park Zoning Code.

Moved by: LoDuca

Supported by: Horvath

Yay's: Palmer, Horvath, LoDuca

Nay's: Persinger, Duprey, Hernandez

Motion Denied

NEW BUSINESS

D. SITE PLAN REVIEW – 972 DIX- RETAIL

The proposed project is a retail store for musical instruments, which falls under the category of "retail businesses" in the Lincoln Park Zoning Ordinance. The proposed use also includes an ecommerce component, so the proposed floor plan includes inventory and staging areas. The existing building is currently vacant and was previously used as a bar.

The 0.23-acre site is located on the corner of Dix Highway and Council Avenue. There is an existing public sidewalk along both rights-of-way, and the rear(west) side of the property abuts a public alley. Access to the site is via Dix Highway and the rear public alley. The entire site is impervious surface, which includes the building and the parking area to the south.

Recommended that the City of Lincoln Park Planning Commission approve the site plan numbered PPC23-0007, proposing a retail and e-commerce establishment at 972 Dix Highway and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

Moved by: Persinger
Supported by: Duprey

Yay's: Palmer, Horvath, Persinger, LoDuca, Duprey Hernandez
Nay's: None.
Motion Approved

E. SITE PLAN REVIEW – 1518 FORT ASSEMBLY HALL

The proposed project is a banquet hall, which falls under the definition of an “assembly hall” in the Lincoln Park Zoning Ordinance. The existing building is currently vacant and was previously used as a church.

The 0.09-acre site is located on the west side of Fort Street between Russell Avenue to the north and Euclid Street to the South. The entire site consists of the existing building. There is an existing 20-ft. concrete sidewalk along Fort Street and an alley to the rear of the property. There is a public parking lot across the alley to the west of the site, and there are existing raised planter boxes in the front of the building.

Recommended that the City of Lincoln Park Planning Commission approve the site plan numbered PPC23-0008, proposing an assembly hall at 1518 Fort Street and consisting of the pages and revision dates found under ‘Site Plan Documents’ above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

Moved by: Duprey
Supported by: Persinger

Yay's: Palmer, Horvath, Persinger, LoDuca, Duprey Hernandez
Nay's: None.
Motion Approved

POLICY REVIEW AND DISCUSSION

EDUCATION AND TRAINING

- A. June Planning Report
 - a. Reviewed by Elizabeth Gunden

REPORTS FROM DEPARTMENTS AND OTHER BOARDS AND COMMISSIONS

Zoning Board of Appeals

PUBLIC COMMENTS

COMMENTS FROM PLANNING COMMISSIONERS

Code Enforcement changes reviewed by John Meyers

ADJOURNMENT

Moved by: Persinger

Supported by: Loduca

MOTION CARRIED unanimously

Meeting adjourned at 8:06 p.m.



MICHAEL HORVATH, Secretary

Fort Street – Vacant Lot – Car Wash
Special Land Use Review

Applicant	Kyle Wrentmore
Project	Car Wash
Address	Fort Street Lincoln Park, MI 48146 (45-009-99-0010-702)
Date	July 12, 2023
Request	Special Land Use

REQUEST

The proposed Special Land Use approval would permit an automatic automobile wash facility (car wash) on a currently vacant lot. The site is served by Fort Street (east), Mill Street (north), and Fort Park Boulevard (west). The proposed use of an automatic automobile wash facility is permitted within the Municipal Business District (MBD) after Special Land Use approval under §1278.03 of the Lincoln Park Zoning Code, and subject to §1296.02. At the June 14, 2023 meeting, the Planning Commission approved the site plan for the proposed project and tabled the special land use request.

The property is legally described as:

JB FM72 TO 78 PART OF PRIVATE CLAIM 119 AND FORT ST SCHOOL SUB L53 P29 WCR BEG N 18D 14M 18 S E 221.00 FT FROM SW COR LOT 1 OF SAID SUBDIVISION TH N 18D 14M 18S E 148.97 FT; TH S 70D 55M 23S E 342.20 FT; TH S 18D 45M 52S W 146.99 FT; TH N 71D 15M 11S W 340.83 FT POB; SUBJECT TO EASEMENTS OF RECORD.

CRITERIA FOR REVIEW

The following conditions are all required to be met before a Special Land Use approval may be granted:

- 1) The special use will promote the use of land in a socially and economically desirable manner for persons who will use the proposed land use or activity, for landowners and residents who are adjacent thereto and for the City as a whole;

This condition is MET.

- 2) The special use is compatible and in accordance with the goals, objectives and policies of the City's Comprehensive Development Plan;

The Future Land Use classification for the site is Downtown Commercial.

The Downtown Commercial future land use is intended to support experiential businesses (boutique shopping, entertainment, restaurants etc.) which encourage walkability and offer strong physical presence through attractive storefronts and intense landscaping. The proposed car wash project doesn't align with the future land use designation. However, given that adjacent properties, also designated as "downtown commercial" future land use, contain uses such a drug store (west) and auto service (east) the proposed project aligns with the existing context.

This condition is PARTIALLY MET.

- 3) The special use is necessary for the public convenience at that location;

This condition is MET.

- 4) The special use is compatible with adjacent uses of land, and can be constructed, operated and maintained so as to continue to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed;

Adjacent commercial uses are auto-oriented, and adjacent residential properties will be adequately screened.

This condition is MET.

- 5) The special use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected;

The proposed car wash facility will develop an existing vacant lot to meet the City's standards.

This condition is MET.

- 6) The special use can be adequately served by public services and facilities without diminishing or adversely affecting public services and facilities to existing land uses in the area;

This condition is MET.

- 7) The special use will not cause injury to the value of other property in the neighborhood in which it is to be located;

This condition is MET.

- 8) The special use will protect the natural environment, help conserve natural resources and energy, and will not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance;

This condition is MET.

- 9) The special use is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located, and meets applicable site design standards for use in Section 1296.02; and

The site design as proposed conforms with the Site Design Standards for Uses Permitted After Special Approval listed in section 1296.02.

This condition is MET.

10) The special use is related to the valid exercise of the City's police power and purposes which are affected by the proposed use or activity.

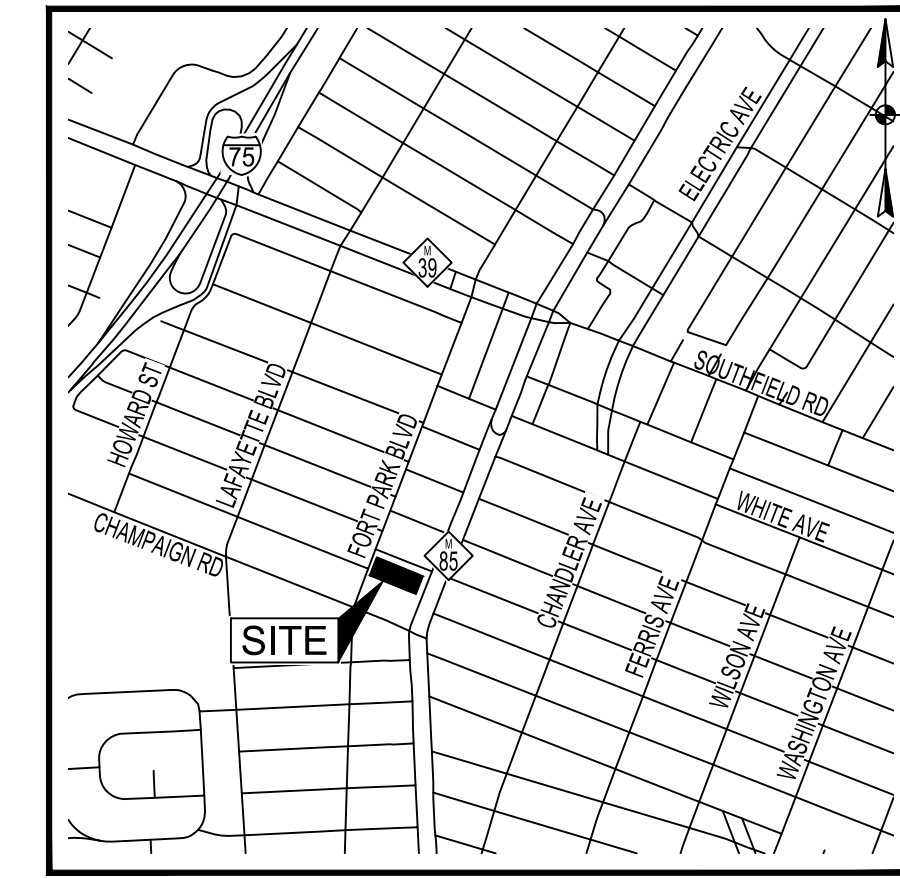
This condition is MET.

PROPOSED MOTION

I move that the Lincoln Park Planning Commission [**Approve / Deny / Table**] the request for a Special Land Use for a car wash facility at the property along Fort Street with parcel number 45-009-99-0010-702, as requested in PPC 23-005, based on an affirmative finding of compliance with the criteria set forth in Section 1262.08 of the Lincoln Park Zoning Code.

CONCEPTUAL PLAN FOR CLEAN EXPRESS CAR WASH

MILL STREET AND FORT STREET LINCOLN PARK, MI 48416



VICINITY MAP
NOT TO SCALE

PROJECT DESCRIPTION

DEVELOPMENT OF A VACANT LOT INTO A CAR WASH FACILITY WITH ASSOCIATED PARKING, VACUUM AREAS, DRIVEWAYS, AND UTILITIES. THE TWO ENTRANCES TO THE FACILITY WILL BE ON MILL STREET AND FORT PARK BOULEVARD, AND A RIGHT-OUT EXIT LANE WILL BE PROVIDED WITHIN THE SITE FOR VEHICLES THAT ARE UNABLE TO MOVE INTO THE CAR WASH TUNNEL. THE PROPOSED STORM SEWER SYSTEM WILL INCLUDE AN UNDERGROUND DETENTION BASIN AND DISCHARGE INTO A CATCH BASIN ON FORT PARK BOULEVARD. THE PROPOSED SANITARY SEWER LEAD WILL CONNECT TO AN EXISTING SANITARY SEWER LINE WITH THE SITE. THE PROPOSED WATER SERVICE LEAD WILL CONNECT TO AN EXISTING WATER MAIN WITHIN THE MILL STREET.

LEGAL DESCRIPTION

PART OF PRIVATE CLAIM 119 AND FORT ST SCHOOL SUB L53 P29 WCR, FROM SW COR LOT 1 OF SAID SUBDIVISION N18°14'18"E 221.00 FT TO POINT OF BEGINNING THENCE N18°14'18"E 148.97 FT; THENCE S70°55'23"E 342.20 FT; THENCE S18°45' 52"W 146.99 FT; THENCE N71°15'11"W 340.83 FT TO POINT OF BEGINNING

UTILITY CONTACTS

SANITARY SEWER
CITY OF LINCOLN PARK
500 SOUTHFIELD
LINCOLN PARK, MI 48146
JOHN KOZUH
313-386-9000

WATERMAIN
CITY OF LINCOLN PARK
500 SOUTHFIELD
LINCOLN PARK, MI 48146
JOHN KOZUH
313-386-9000

STORM SEWER
WAYNE COUNTY DRAIN COMMISSIONER
400 MONROE, SUITE 400
DETROIT, MI 48226
WARREN EVANS
313-224-3620

COMMUNICATIONS
AT&T
2031 DIX HWY
LINCOLN PARK, MI 48146
DEREK BUKLEY
313-240-5480

GAS
DTE ENERGY
1 ENERGY PLZ
DETROIT, MI 48226
SARA A KIPP
313-235-4000

FLOOD ZONE

THE PROPERTY SHOWN HEREIN LIES WITHIN ZONE X, WHICH ARE AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD HAZARD ZONE, PER NFIP FLOOD INSURANCE RATE MAP 26163C0406E, EFFECTIVE FEBRUARY 2, 2012

SITE DATA

EXISTING PARCEL 45-009-99-0010-702

LEASE PARCEL SIZE 1.16 ACRES - 50,535 SQ. FT.

ZONING:
SITE - MUNICIPAL BUSINESS DISTRICT
NORTH - MUNICIPAL BUSINESS DISTRICT & SINGLE FAMILY RESIDENTIAL
SOUTH - MUNICIPAL BUSINESS DISTRICT
EAST - MUNICIPAL BUSINESS DISTRICT
WEST - SINGLE FAMILY RESIDENTIAL

EXISTING USE VACANT

PROPOSED USE CAR WASH - 1-UNIT

PARKING REQUIRED 2 SPACES, PLUS 1 SPACE FOR EACH EMPLOYEE, PLUS 16 WAITING SPACES FOR ENTERING CARS PLUS 1 WAITING SPACE FOR EXITING CARS, 2 SPACES FOR POST WASH DETAILING

PARKING PROVIDED 37 SPACES (1ADA, 2 STANDARD, 34 VACUUM STALLS)

STACKING PROVIDED 26 SPACES

MINIMUM LOT LENGTH 40'

MINIMUM LOT AREA 4000 SQ. FT.

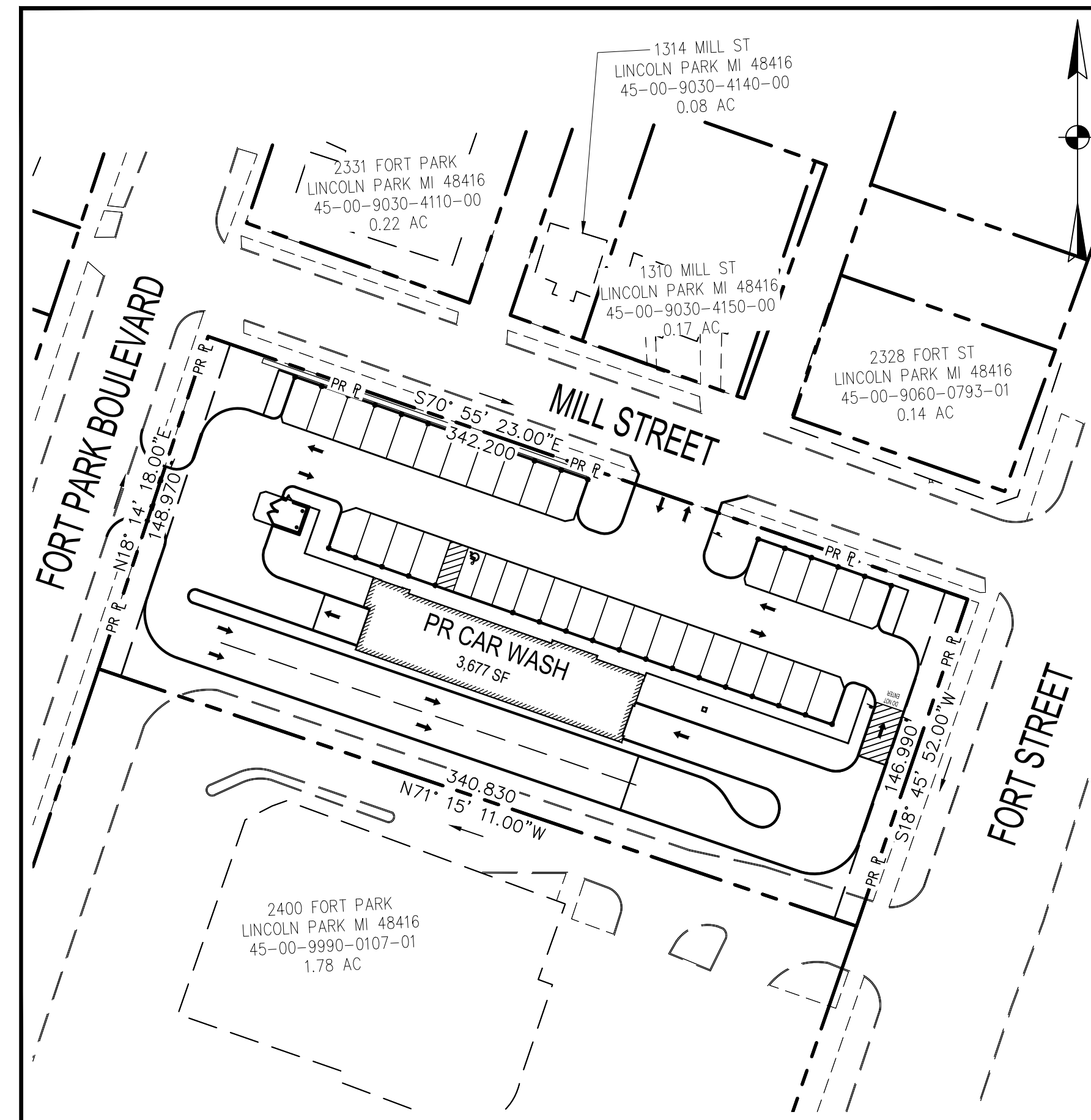
MAXIMUM BUILDING HEIGHT 25'

FRONT BUILDING SETBACK AS SE BY ADJACENT BUILDING AND B LOCKS

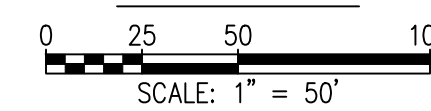
SIDE BUILDING SETBACK 0'

REAR BUILDING SETBACK 0' FROM PRIVATE ALLEY

PARKING SETBACK 2' FROM PUBLIC SIDEWALK



INDEX MAP



INDEX OF SHEETS

COVER SHEET	C000
GENERAL DETAILS	C001
MACHINE SOUND DETAILS	C002
PRELIMINARY SITE PLAN	C200
PRELIMINARY GRADING PLAN	C300
SOIL EROSION AND SEDIMENTARY CONTROL PLAN	C310
SOIL EROSION AND SEDIMENTARY CONTROL DETAILS	C311
PRELIMINARY UTILITY PLAN	C400
PRELIMINARY LANDSCAPE PLAN	L100
LANDSCAPE NOTES & DETAILS	L101
LIGHTING DETAILS	E1
FLOOR PLAN	A1-1
EXTERIOR ELEVATIONS	A2-1
WALL SECTIONS	A4-1
SITE DETAILS	A6-1

DESIGN CONSULTANT

THE MANNIK & SMITH GROUP, INC.
607 SHELBY ST, SUITE 300
DETROIT, MI 48226
CONTACT: KYLE WRENTMORE, P.E.
PHONE: 614-441-4222
EMAIL: KWRENTMORE@MANNIKSMITHGROUP.COM

OWNER/DEVELOPER

EXPRESS WASH CONCEPTS
13375 NATIONAL ROAD, SUITE D
ETNA, OHIO 43068
CONTACT: JEFF GILGER
PHONE: (614) 751-9274
EMAIL: JEFF@EXPRESSWASHCONCEPTS.COM

APPROVALS

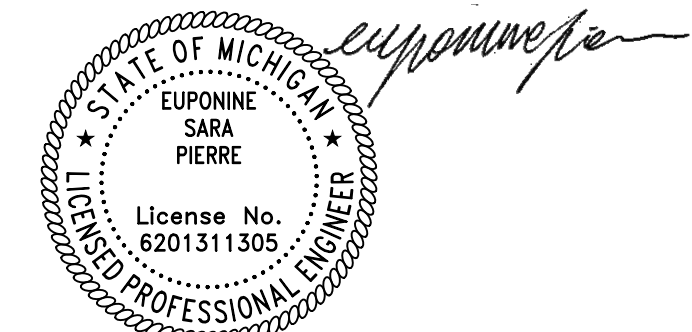
SIGNATURES BELOW SIGNIFY CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE PROPOSED PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE DESIGN ENGINEER PREPARING THE PLANS.

_____	_____	_____
TITLE		DATE
_____	_____	_____
TITLE		DATE
_____	_____	_____
TITLE		DATE
_____	_____	_____
TITLE		DATE
_____	_____	_____
TITLE		DATE

ENGINEER OF RECORD



**TECHNICAL SKILL.
CREATIVE SPIRIT.**



CONTACT: EUPONINE PIERRE, P.E.
ADDRESS: 607 SHELBY ST, SUITE 300
DETROIT, MI 48226
PHONE: 269-363-9748
EMAIL: EPIERRE@MANNIKSMITHGROUP.COM

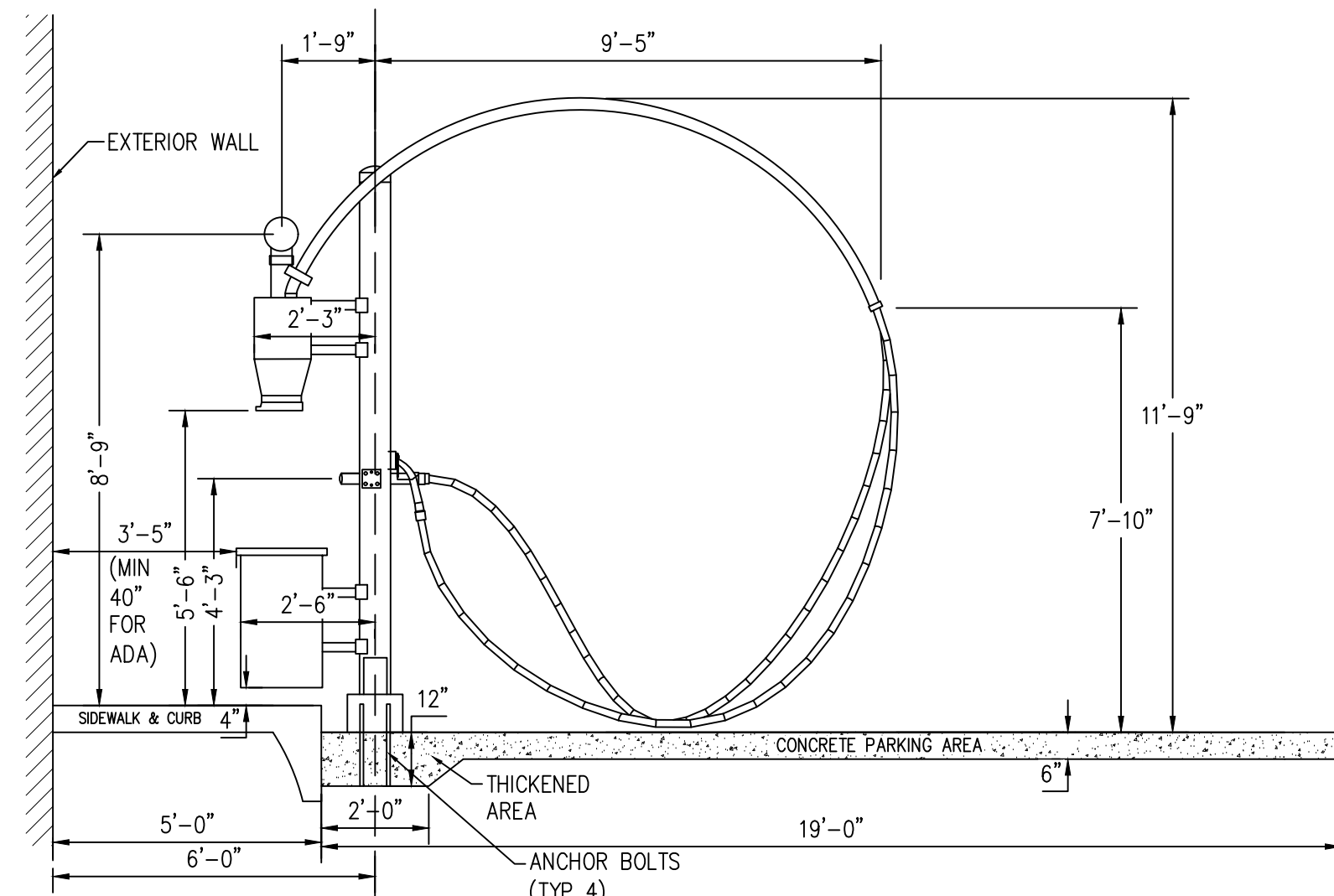
5/11/2023
REGISTERED PROFESSIONAL ENGINEER DATE

**MICHIGAN
Utility Notification
CENTER**

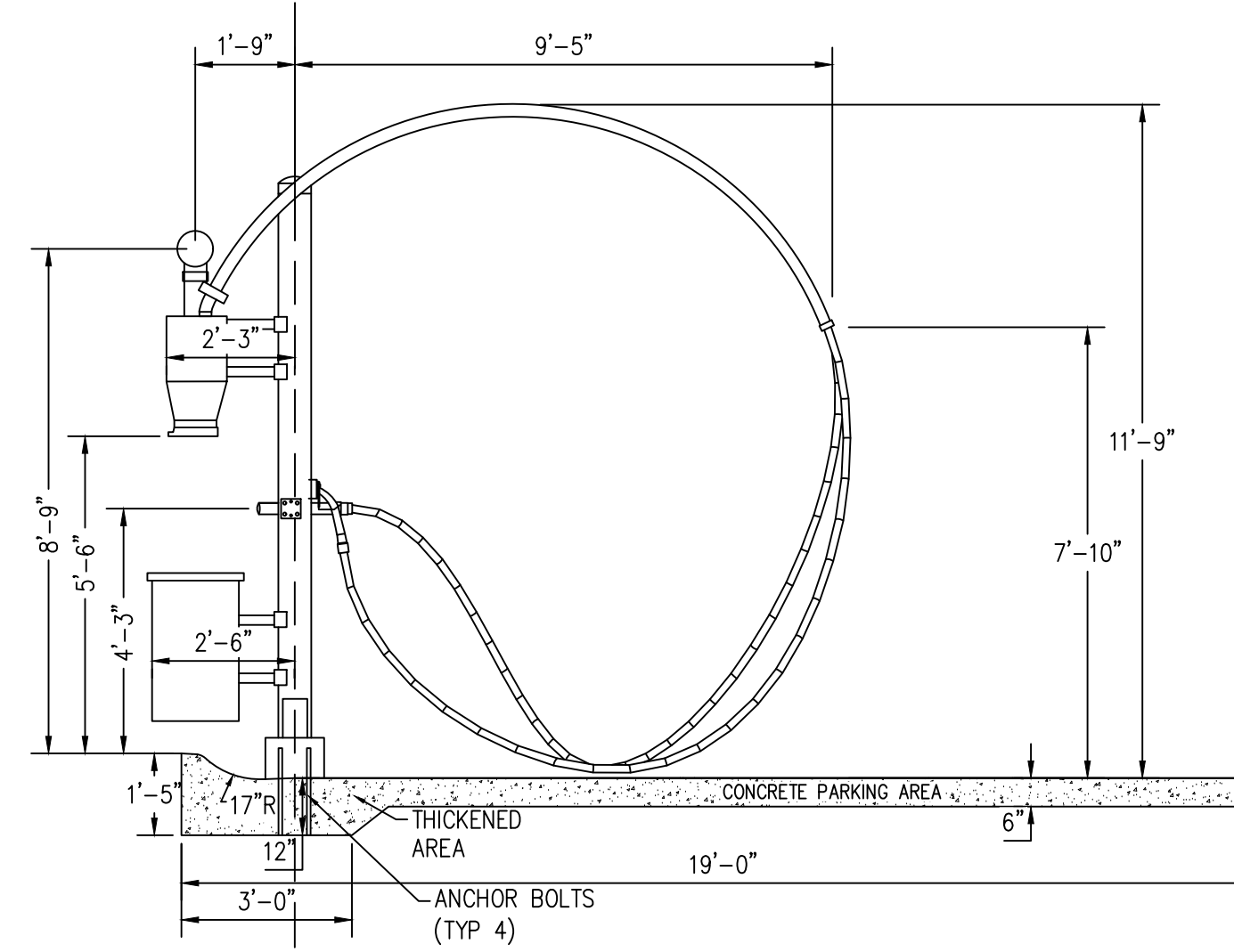
811 or
1-800-482-7171
Know What's Below. Call Before You Dig.

DATE	BY	REVISION DESCRIPTION

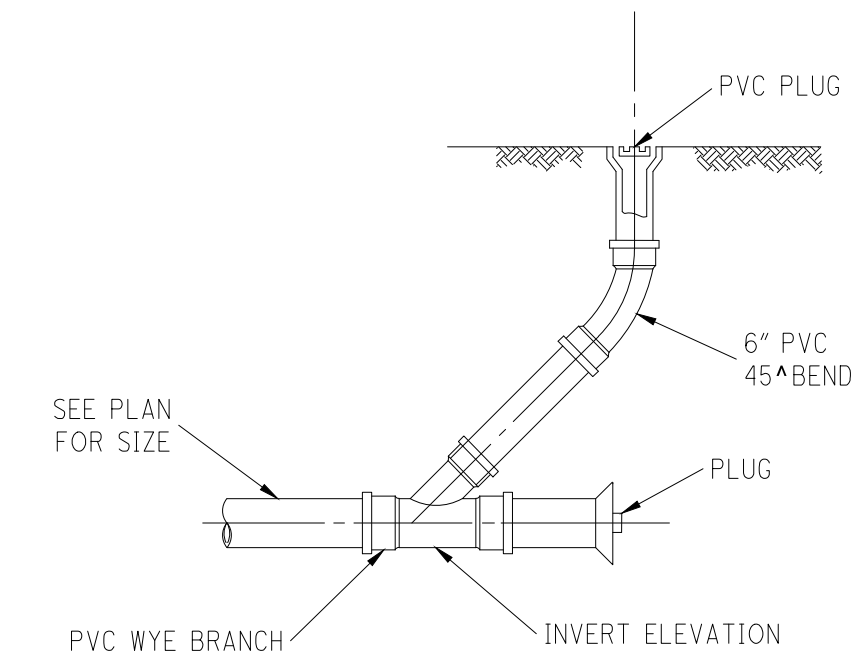
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PROJECT NO.: M3900022
C000



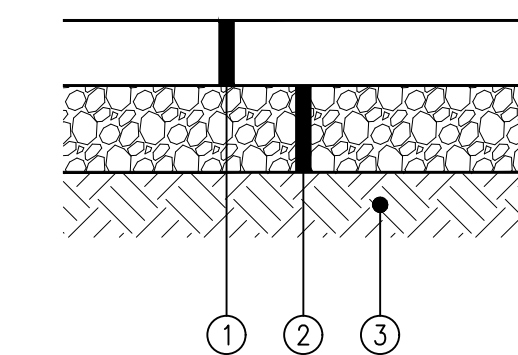
BUILDING SIDE SWEEPER ARM
NOT TO SCALE



ROLL CURB SWEEPER ARM
NOT TO SCALE

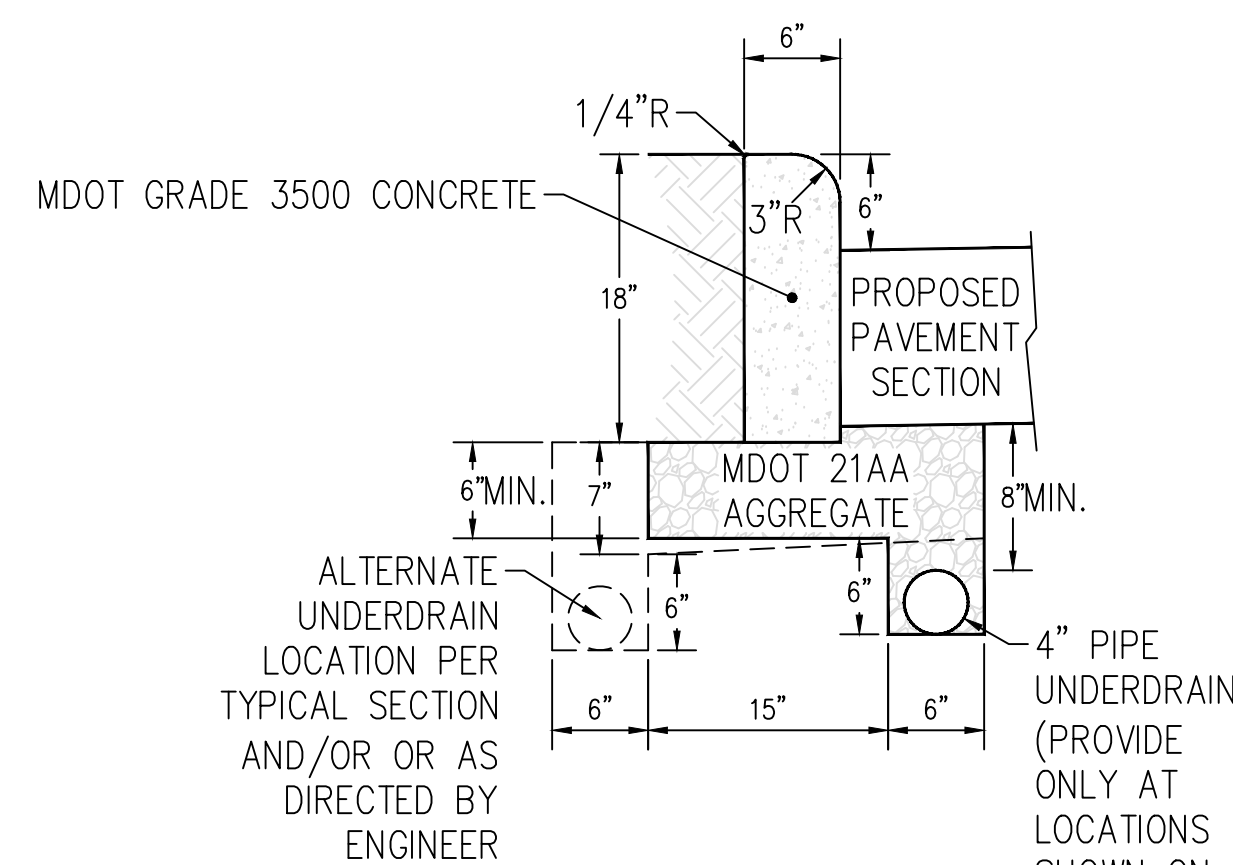


CLEANOUT DETAIL
NOT TO SCALE

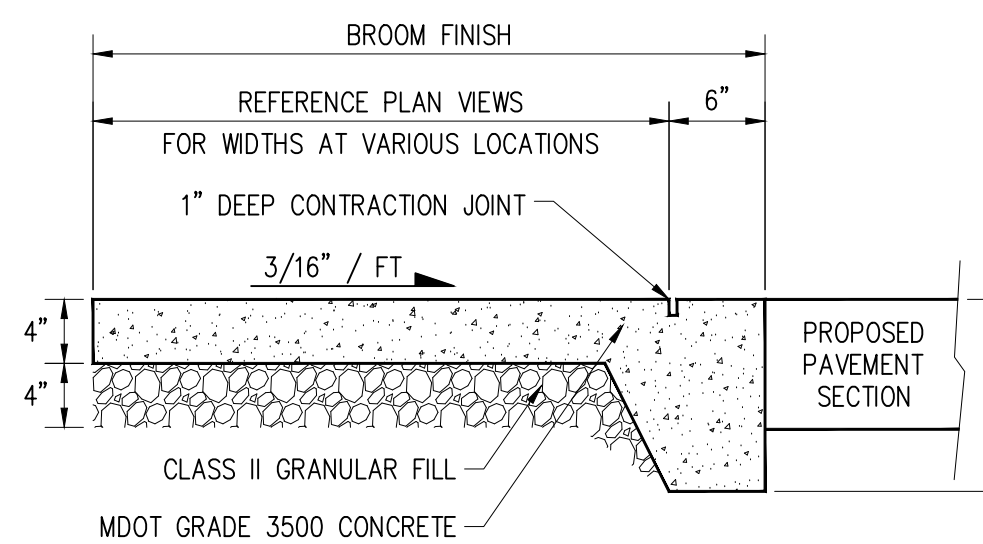


CONCRETE SECTION

- ① MDOT GRADE 3500 CONCRETE PAVEMENT, 8"
- ② MDOT 21AA AGGREGATE BASE, 8" - EXTEND 1' MIN BEYOND THE PAVED EDGE
- ③ SUBGRADE COMPACTION

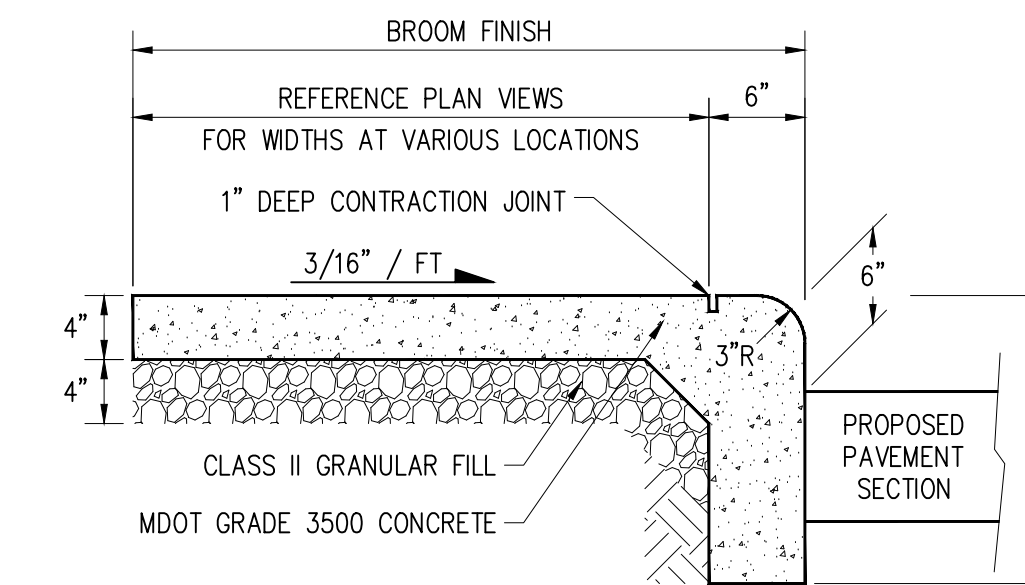


18" STRAIGHT CONCRETE CURB
NOT TO SCALE



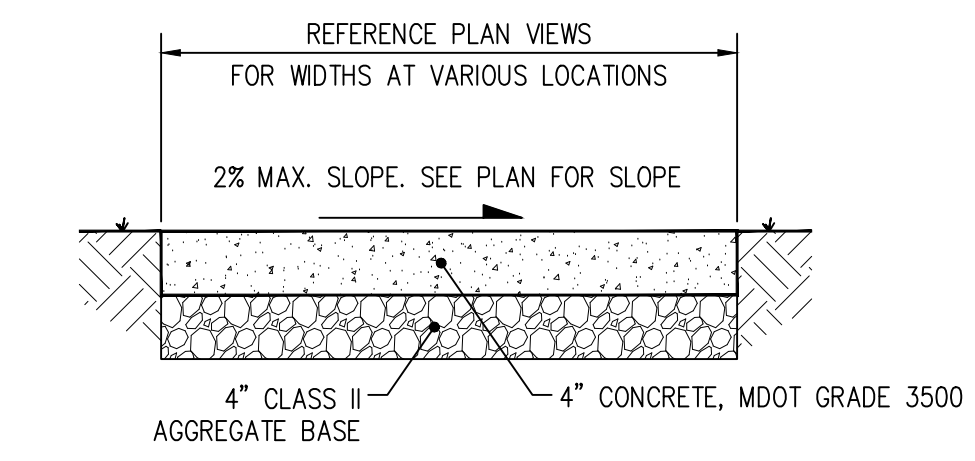
FLUSH WALK AND PAVEMENT
NOT TO SCALE

NOTE: SIDEWALK JOINTS SHALL BE EQUALLY SPACED UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.
OPTION: CONTRACTOR MAY POUR CURB AND WALK SEPARATELY. SEE DETAIL FOR 18" STRAIGHT CURB.

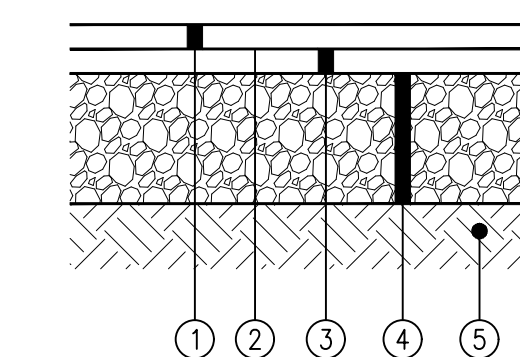


INTEGRAL WALK AND CURB
NOT TO SCALE

NOTE: SIDEWALK JOINTS SHALL BE EQUALLY SPACED UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.
OPTION: CONTRACTOR MAY POUR CURB AND WALK SEPARATELY. SEE DETAIL FOR 18" STRAIGHT CURB.



TYPICAL SIDEWALK SECTION
NOT TO SCALE

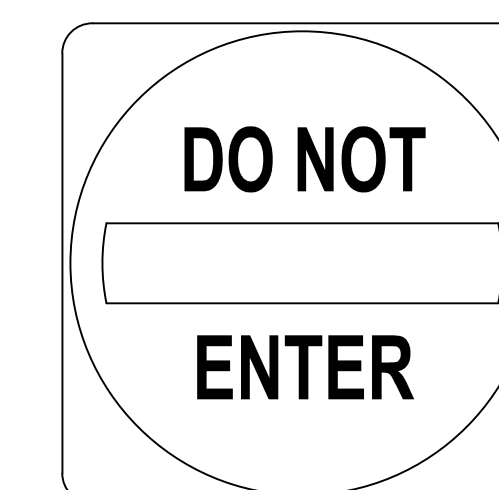


ASPHALT PAVEMENT SECTION

- ① MDOT 13A HMA, 1-1/2", PG58-28, MAX. 15% RAP, 3% AIR VOIDS
- ② BITUMINOUS BOND COAT (0.1 GAL./SQ. YD.)
- ③ MDOT 3C HMA, 1-1/2", PG58-28, MAX. 30% RAP, 3% AIR VOIDS
- ④ MDOT 21AA AGGREGATE BASE, 6" - EXTEND 1' MIN BEYOND THE PAVED EDGE
- ⑤ SUBGRADE COMPACTION

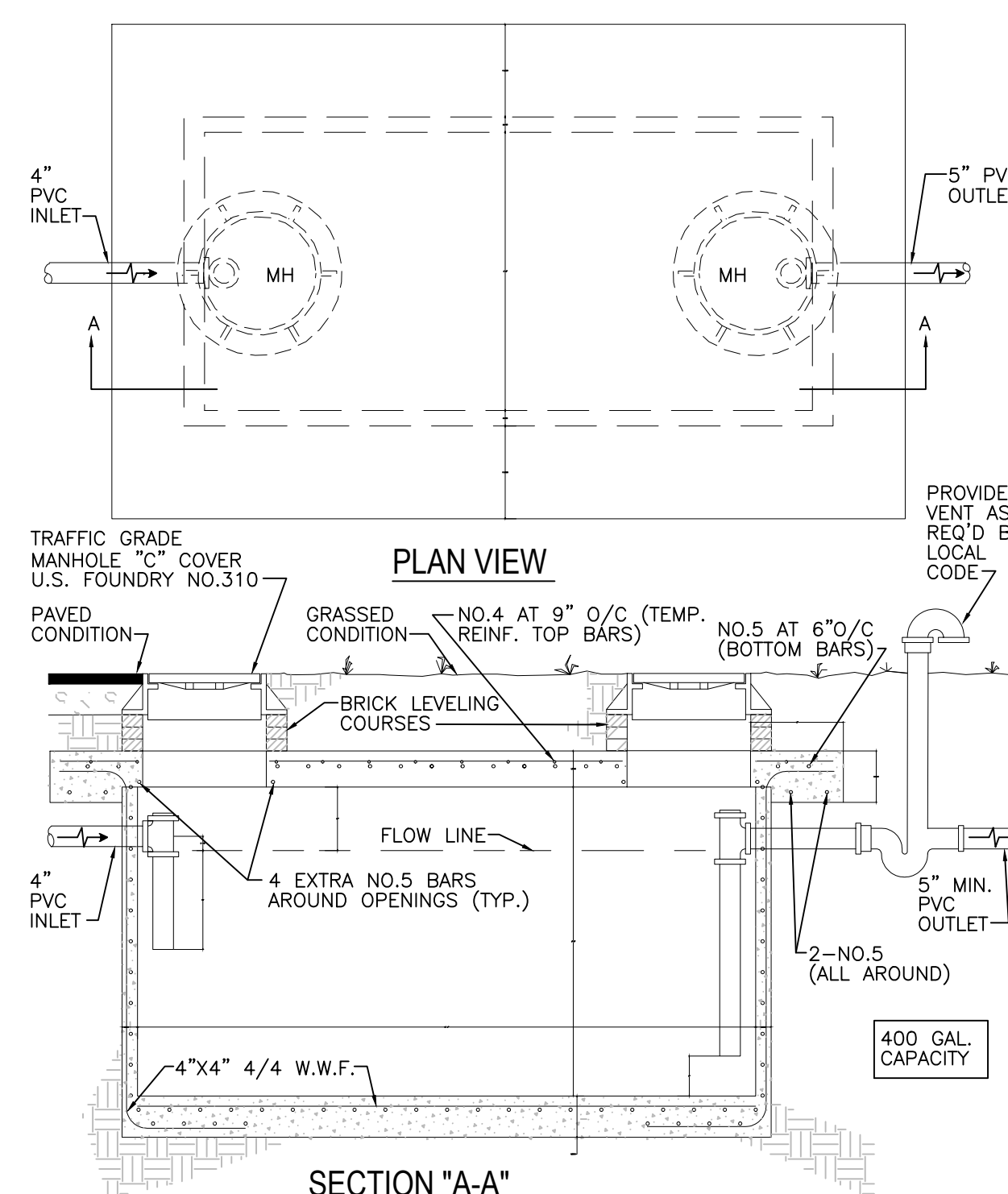
ALL PAVEMENT MATERIALS SHALL CONFORM TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.

TYPICAL PAVEMENT SECTIONS
NOT TO SCALE



DO NOT ENTER SIGN
NOT TO SCALE

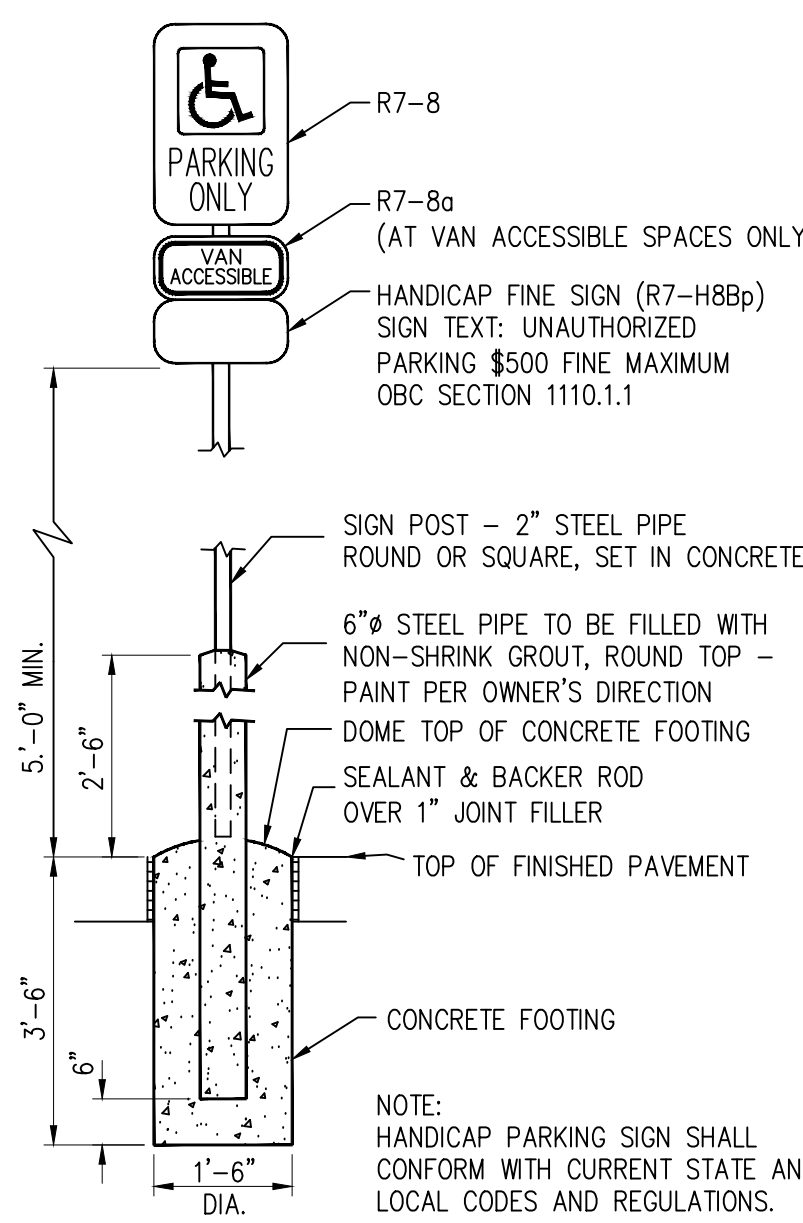
- NOTES:
1. SIGN TO MATCH MUTCD R5-1
 2. MATERIALS MATCH THOSE WITHIN NOTE OF REGULATORY & WARNING SIGNS ON WOOD POSTS STANDARD, THIS SHEET.



NOTES:

1. PRECAST UNITS ARE APPROVED FOR USE PER ABOVE DESIGN AND DIMENSIONS
2. BITUMASTIC COATING ON BOTTOM AND ALL SIDES (EXTERIOR ONLY)
3. LOCAL STANDARD CODE SHALL APPLY IF REQUIREMENTS EXCEED THIS STANDARD DETAIL.

TYPICAL GREASE INTERCEPTOR
NOT TO SCALE



ADA ACCESSIBLE PARKING SIGN & POST
NOT TO SCALE

NOTE: HANDICAP PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.

NO.	DATE	BY	DESCRIPTION

GET SHEET BY
DIPLOMA # 225
TEL: 313.961.9600
FAX: 313.961.9608

PROJECT DATE: 11/11/2022
PROJECT NO: M390022
DRAWN BY: ESP
CHECKED BY: MUM

TECHNICAL SKILL.
CREATIVE SPIRIT.

Mannik Smith GROUP
www.MannikSmithGroup.com

PREPARED FOR:

EXPRESS
WASH CONCEPTS
13375 NATIONAL ROAD SW
ETNA, OHIO 43088

CONCEPTUAL PLAN FOR

CLEAN EXPRESS CAR WASH

MILL STREET AND FORT STREET
LINCOLN PARK, MI 48146

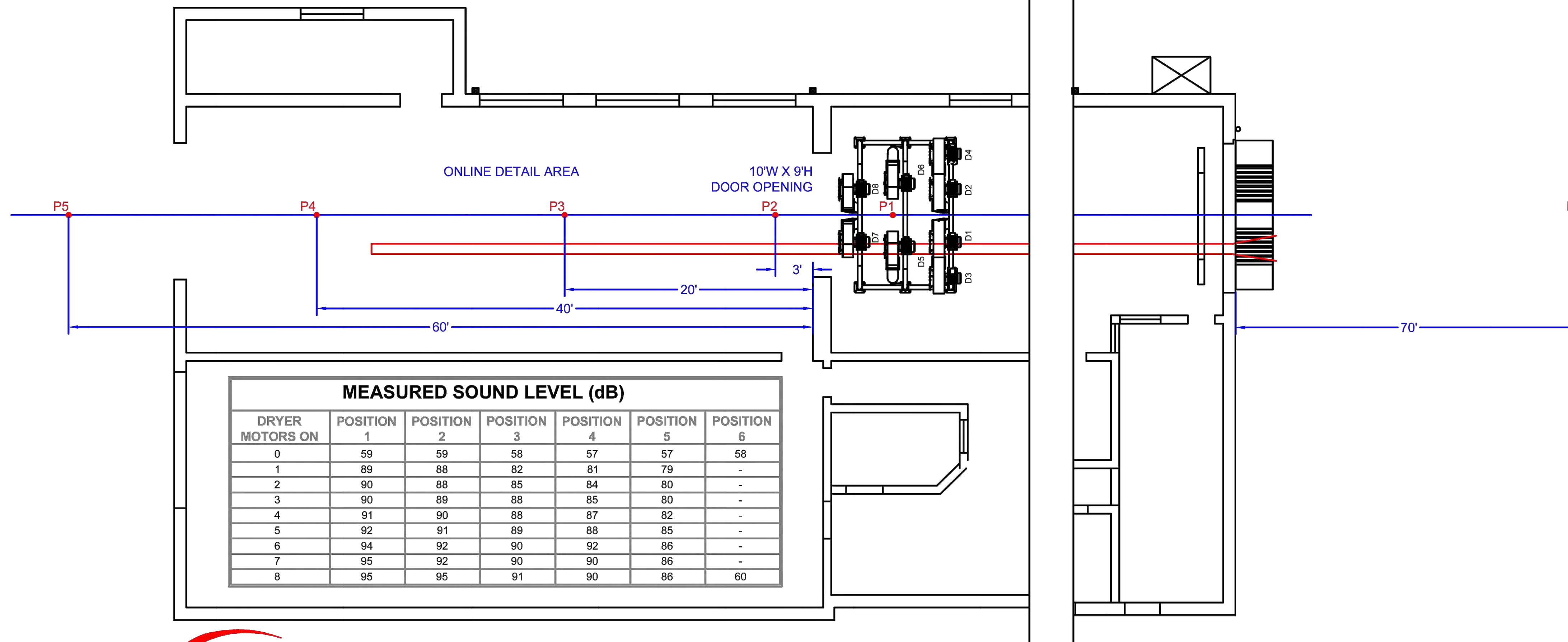
GENERAL DETAILS

C001

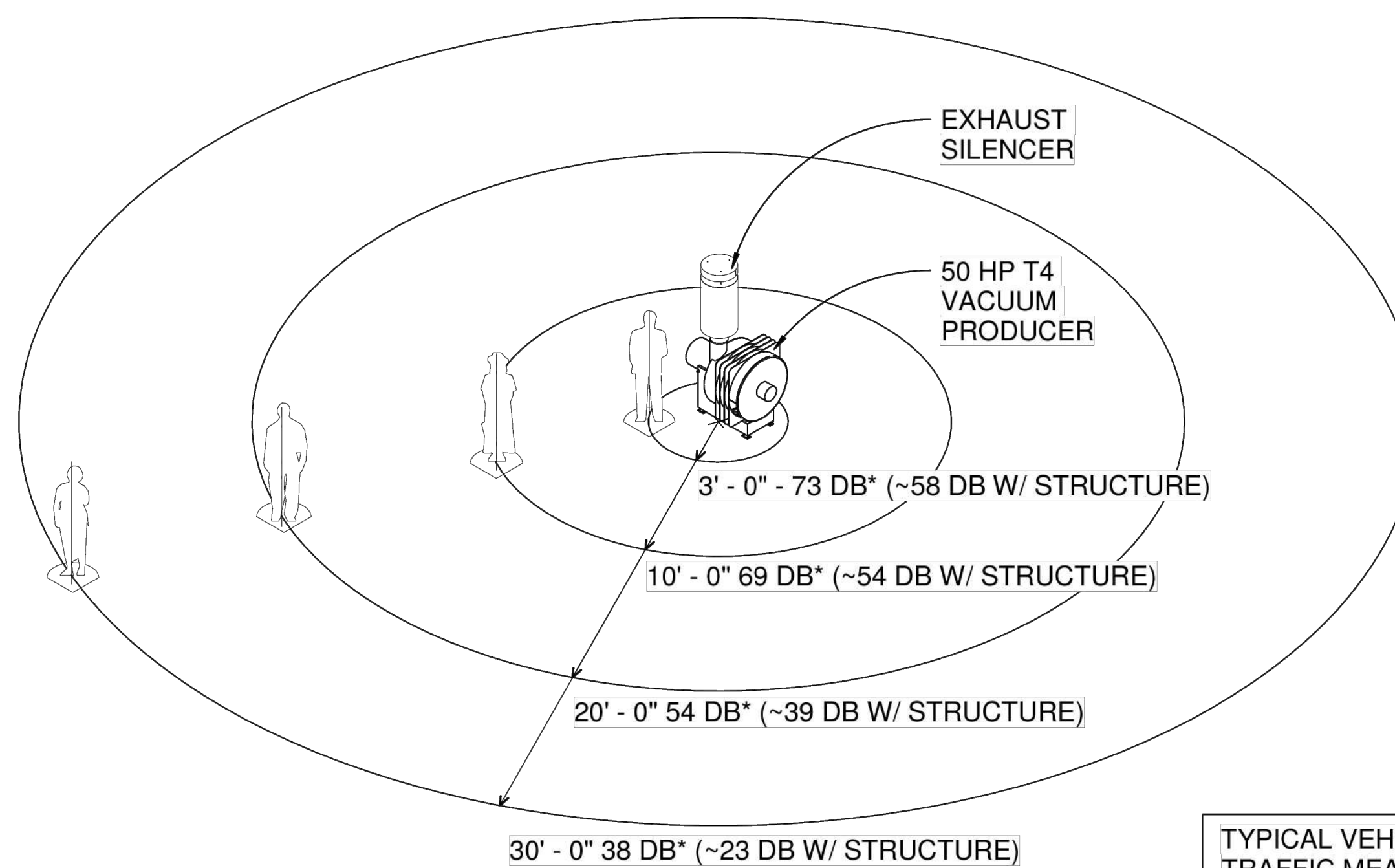
MICHIGAN
Utility Notification CENTER

811

811 or
1-800-482-7171
Know What's Below. Call Before You Dig.



MEASURED SOUND LEVEL (dB)						
DRYER MOTORS ON	POSITION 1	POSITION 2	POSITION 3	POSITION 4	POSITION 5	POSITION 6
0	59	59	58	57	57	58
1	89	88	82	81	79	-
2	90	88	85	84	80	-
3	90	89	88	85	80	-
4	91	90	88	87	82	-
5	92	91	89	88	85	-
6	94	92	90	92	86	-
7	95	92	90	90	86	-
8	95	95	91	90	86	60



TYPICAL VEHICULAR TRAFFIC MEASURES 60-75 DB ON MOST CITY STREETS

*BASED ON READINGS TAKEN OUTDOORS, UNOBSTRUCTED, ON A CONCRETE SURFACE

TURBINE SOUND INTENSITY - 50 HP



NO.	DATE	BY	DESCRIPTION

607 SHELBY ST
 DETROIT, MI 48226
 TEL: 313.961.9600
 FAX: 313.961.9608

PROJECT NO: M300022
 PROJECT DATE: 11/11/2022
 DRAWN BY: ESP
 CHECKED BY: MJM

Mannik Smith Group
 TECHNICAL SKILL. CREATIVE SPIRIT.
 www.MannikSmithGroup.com

PREPARED FOR:
EXPRESS
 WASH CONCEPTS
 13375 NATIONAL ROAD SW
 ETNA, OHIO 43088

CONCEPTUAL PLAN FOR
CLEAN EXPRESS CAR WASH
 MILL STREET AND FORT STREET
 LINCOLN PARK, MI 48146

MACHINE SOUND DETAILS

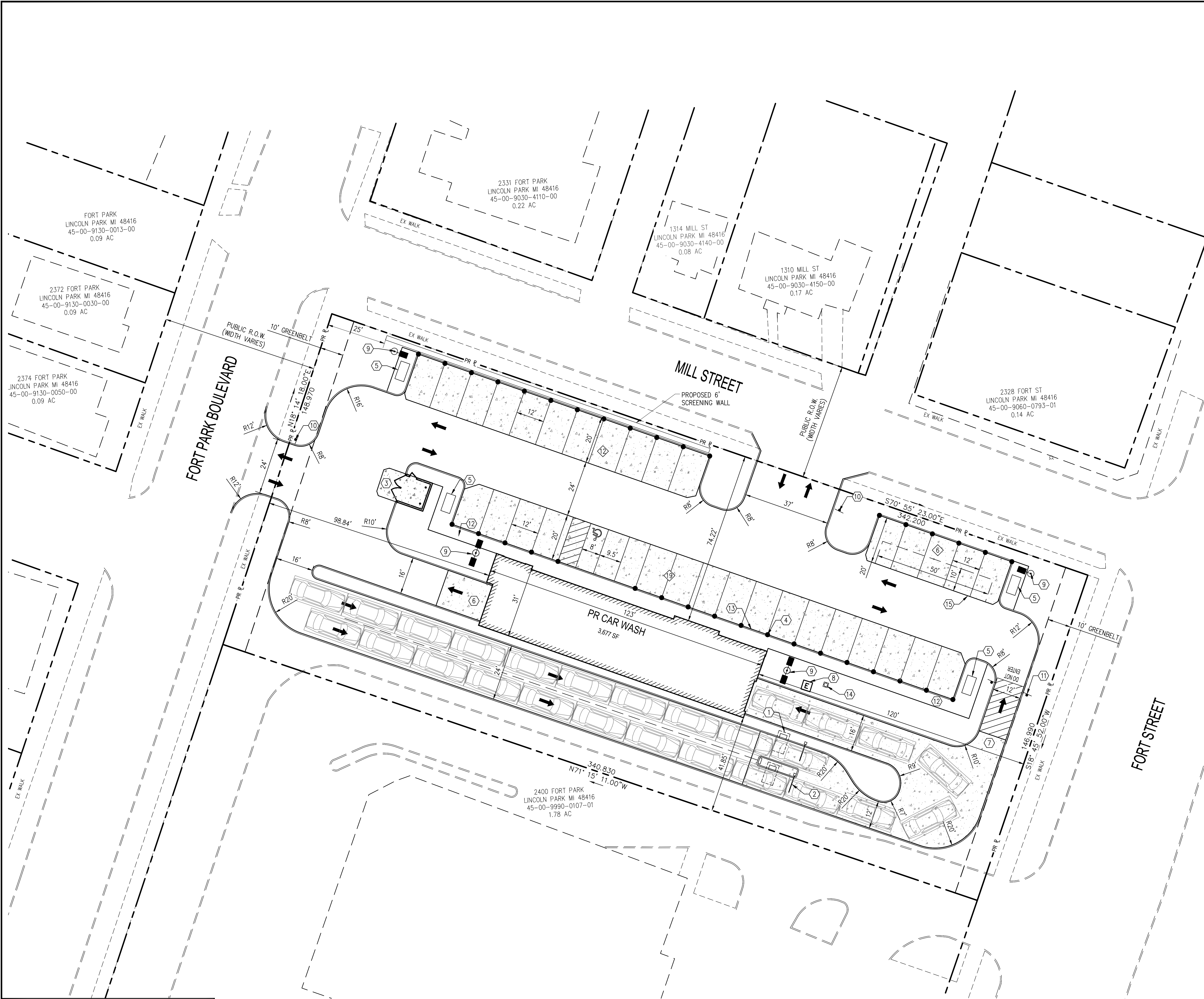
C002

MICHIGAN
Utility Notification CENTER
 811
 Know What's Below. Call Before You Dig.

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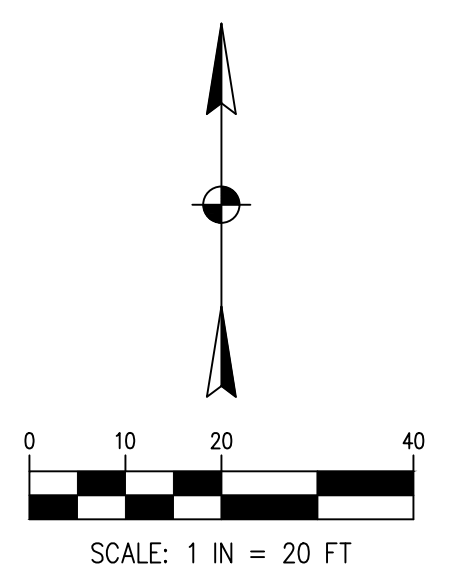
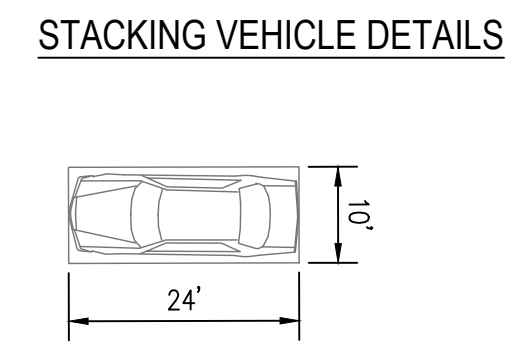


LEGEND

	EX CONCRETE CURB
	PR CONCRETE CURB
	PR PROPERTY LINE
	PR ASPHALT PAVEMENT
	PR CONCRETE PAVEMENT
	PARKING COUNT

- CODED NOTES**
- ① PAY STATION (TYP OF 2)
 - ② CLEARANCE BAR (TYP OF 2)
 - ③ CONCRETE DUMPSTER PAD
 - ④ VACUUM STATION (TYP OF 3)
 - ⑤ VACUUM CORRELATOR
 - ⑥ HEATED CONCRETE PAVEMENT
 - ⑦ ESCAPE LANE
 - ⑧ TRANSFORMER PAD
 - ⑨ LIGHT POLE
 - ⑩ STOP SIGN
 - ⑪ DO NOT ENTER SIGN
 - ⑫ 5' CONCRETE SIDEWALK
 - ⑬ STANDARD CURB
 - ⑭ FLAGPOLE
 - ⑮ LOADING/UNLOADING SPACE

- SITE PLAN NOTES**
- EXISTING SIDEWALK WITHIN RIGHT-OF-WAY LIMITS TO BE EVALUATED PRIOR TO ENGINEERING APPROVAL.
 - PROPOSED 6' SCREENING WALL IS TO BE CONSTRUCTED OF THE SAME MATERIALS AS THAT OF PROPOSED BUILDING AND BE FACED WITH BRICK, PAINTED IN THE SAME COLOR SCHEME AS THAT OF THE PROPOSED BUILDING. SEE ARCHITECTURAL DRAWINGS FOR WALL DETAILS.



NO.	DATE	BY	DESCRIPTION

GBT/SHEBY ST 607 SHELBY ST TEL: 313.961.9600 FAX: 313.961.9609	PROJECT DATE: 11/11/2022 PROJECT NO: M390002 DRAWN BY: ESP CHECKED BY: MJM
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PREPARED FOR:

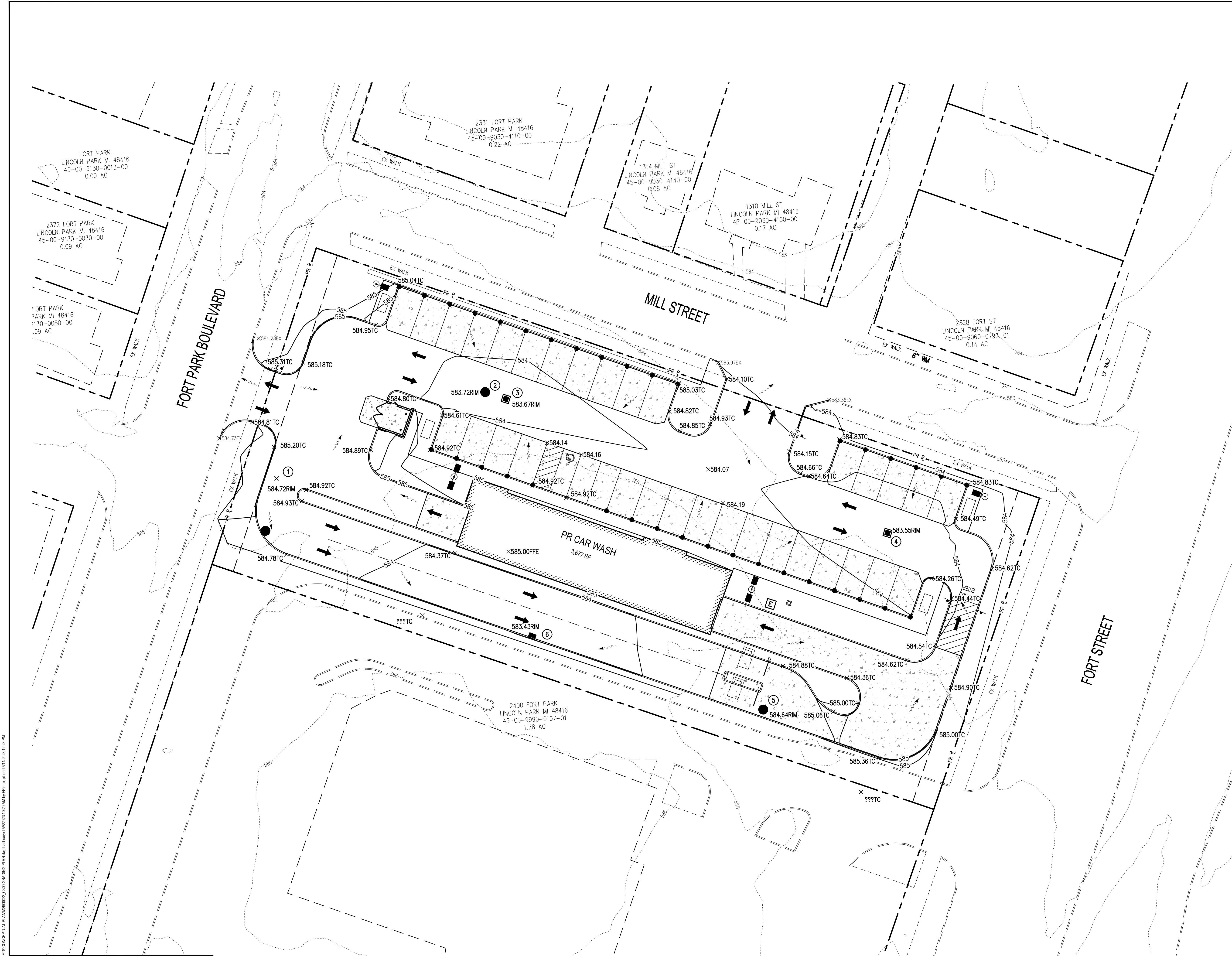
EXPRESS
 WASH CONCEPTS
 13375 NATIONAL ROAD SW
 ETNA, OHIO 43088

CONCEPTUAL PLAN FOR
CLEAN EXPRESS CAR WASH
 MILL STREET AND FORT STREET
 LINCOLN PARK, MI 48146

PRELIMINARY
SITE PLAN

C200

- LEGEND**
- 1008 (dashed line) EX CONTOUR
 - 1008 (solid line) PR CONTOUR
 - [Manhole symbol] EX STORM MANHOLE
 - [Catch basin symbol] EX CATCH BASIN
 - [Gutter inlet symbol] EX CURB AND GUTTER INLET
 - [Arrow symbol] PR FLOW DIRECTION
 - [Manhole symbol] PR MANHOLE
 - [Catch basin symbol] PR CATCH BASIN
 - [Gutter inlet symbol] PR CURB AND GUTTER INLET
 - [Circle with number symbol] PR STORM STRUCTURE NUMBER
 - [Number symbol] PR PAVEMENT ELEVATION
 - [Number symbol] PR TOP OF CURB ELEVATION
 - [Hatched area symbol] CONCRETE PAVEMENT



NO.	DATE	BY	DESCRIPTION

PREPARED BY: GUY SHELBY ST
 DATE: 11/11/2022
 TEL: 313.961.9600
 FAX: 313.961.9608
 PROJECT NO.: M390022
 DRAWN BY: ESP
 CHECKED BY: MJM

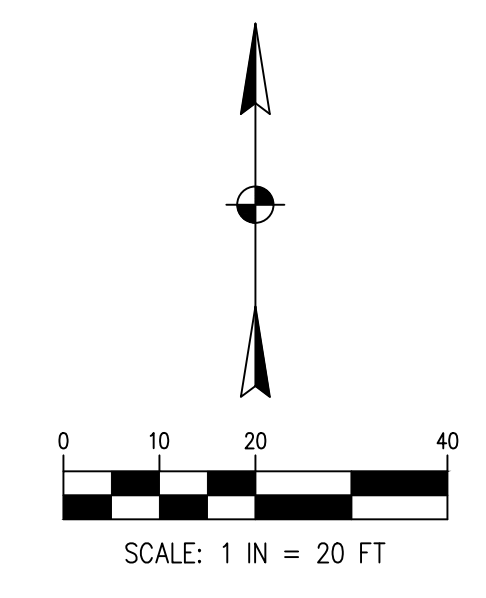
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 13375 NATIONAL ROAD SW
 ETNA, OHIO 43088

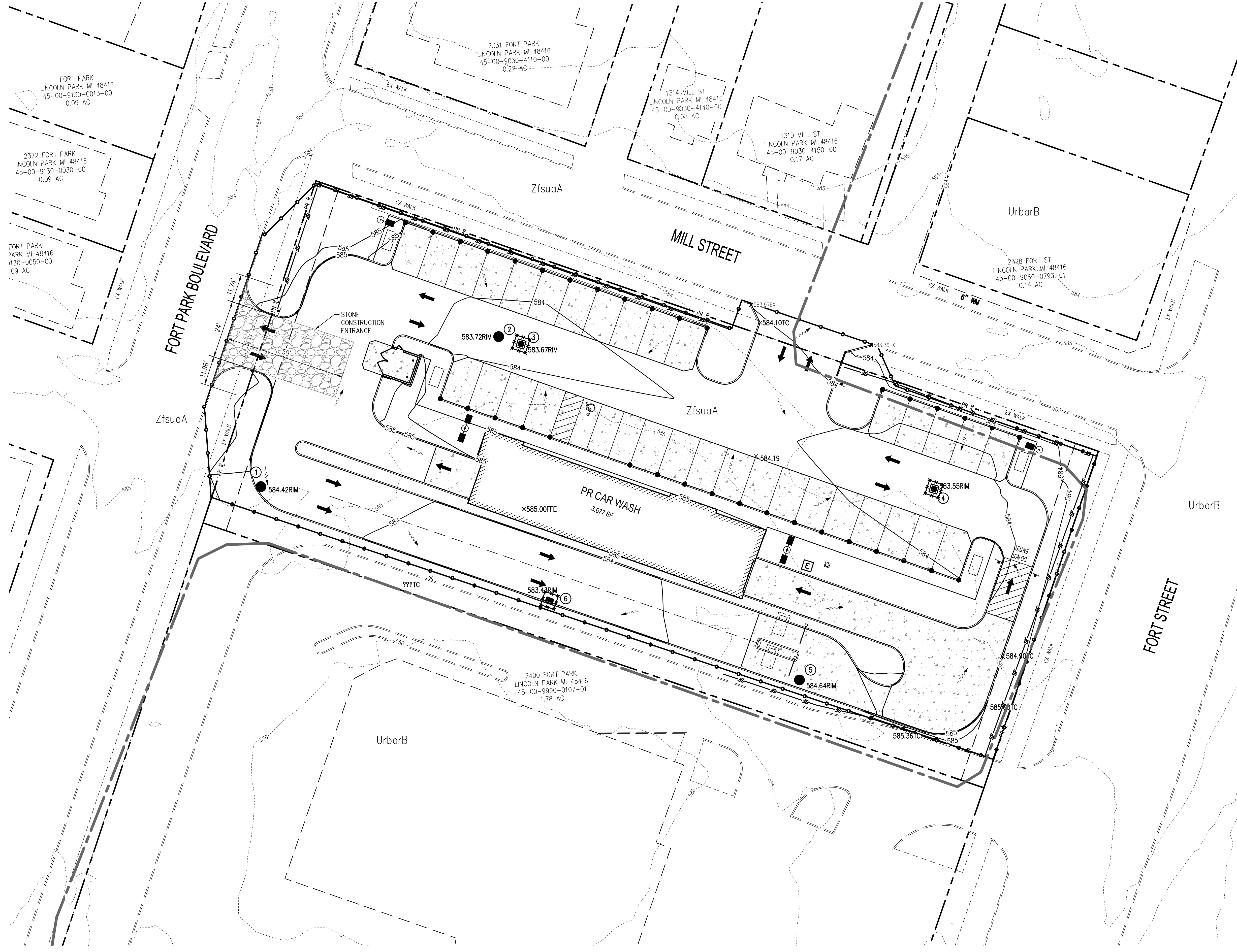
CONCEPTUAL PLAN FOR
CLEAN EXPRESS CAR WASH
 MILL STREET AND FORT STREET
 LINCOLN PARK, MI 48146

PRELIMINARY GRADING PLAN
C300

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LEGEND

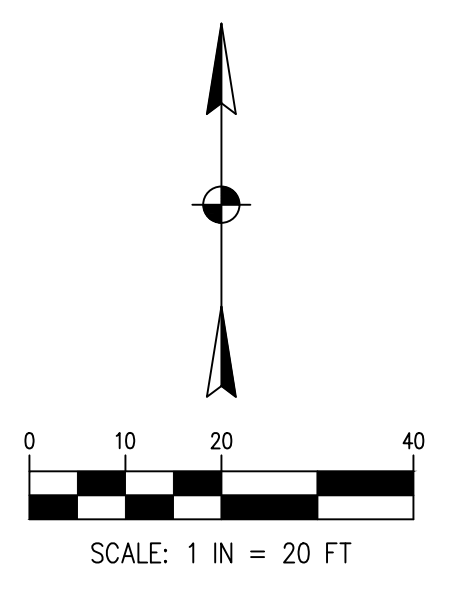
--- 1008 ---	EX CONTOUR
— 1008 —	PR CONTOUR
⊕	EX STORM MANHOLE
⊞	EX CATCH BASIN
⊞	EX CURB AND GUTTER INLET
→	PR FLOW DIRECTION
●	PR MANHOLE
⊞	PR CATCH BASIN
⊞	PR CURB AND GUTTER INLET
⊕	PR STORM STRUCTURE NUMBER
×	PR PAVEMENT ELEVATION
×	PR TOP OF CURB ELEVATION
▭	CONCRETE PAVEMENT

SESC LEGEND

—○—	LIMITS OF DISTURBANCE
—○—	PROPOSED SILT FENCE
⊞	PROPOSED INLET PROTECTION
▭	PROPOSED GRASS RESTORATION (CLASS A MDOT SEED MIX & MULCH)
---	SOIL TYPE BOUNDARY
	UrbarB - URBAN LAND-RIVERFRONT COMPLEX, DENSE SUBSTRATUM, 0 TO 4 PERCENT SLOPES
	ZfsuaA - ZIEGENFUSS-URBAN LAND COMPLEX, 0 TO 2 PERCENT SLOPES

SESC NOTES

1. LOCATION OF OFFSITE SOIL DISPOSAL IS TO BE DETERMINED BY THE CONTRACTOR



NO.	DATE	BY	DESCRIPTION

DPT: SHELBY ST TEL: 313.981.9600 FAX: 313.981.9608	PROJECT DATE: 11/11/2022 PROJECT NO: M390022 DRAWN BY: ESP CHECKED BY: MJM	<p>TECHNICAL SKILL. CREATIVE SPIRIT.</p> <p>Mannik Smith Group www.MannikSmithGroup.com</p>
PREPARED FOR: <p>EXPRESS WASH CONCEPTS 13375 NATIONAL ROAD SW ETNA, OHIO 43088</p>		CONCEPTUAL PLAN FOR CLEAN EXPRESS CAR WASH MILL STREET AND FORT STREET LINCOLN PARK, MI 48146
SOIL EROSION AND SEDIMENTARY CONTROL PLAN		C310

SESC NOTES

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF WAYNE COUNTY LAND RESOURCE MANAGEMENT DIVISION AND IN ACCORDANCE WITH PART 91 OF ACT 451 OF PUBLIC ACTS 1994 AS AMENDED.
2. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION CONTROL AND SEDIMENT CONTROL MEASURES AND ANY NECESSARY REPAIRS AND MODIFICATIONS SHALL BE MADE WITHOUT DELAY.
3. EROSION AND ANY SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFFSITE AREAS OR WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE DITCHES, STREAMS, DRAINS, PONDS, AND LAKES.
4. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OR SILT OFF THE SITE.
5. THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AS REQUIRED AND AS DIRECTED ON THESE PLANS. HE SHALL REMOVE TEMPORARY DEVICES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL SESC MEASURES ARE MAINTAINED UNTIL THE SITE IS COMPLETELY STABILIZED.
6. DEBRIS FROM THE PROJECT SHALL REMAIN ON THE SITE BY DELIVERY AND CONSTRUCTION VEHICLES THROUGH THE USE OF A CLEAN STONE EXIT. SHOULD THE STONE BECOME LESS EFFECTIVE, IT SHALL BE REPLACED. ALL CONSTRUCTION TRAFFIC SHALL USE A SINGLE EXIT.
7. DUST CONTROL SHALL BE EXERCISED AT ALL TIMES AND ESPECIALLY DURING DRY PERIODS. WATER SPRINKLING TANK TRUCKS SHALL BE EMPLOYED IF DUST BECOMES A PROBLEM.
8. VEGETATION SHALL BE ESTABLISHED WITH 5 DAYS ON FINAL GRADE OR WHENEVER DISTURBED AREAS REMAIN UNCHANGED FOR 30 DAYS OR GREATER. ALL DISTURBED AREAS SHALL BE RESTORED WITH MDOT "ROADSIDE" SEED MIX (40% CREEPING RED FESCUE, 20% PERENNIAL RYE GRASS, 10% KENTUCKY BLUE GRASS, 30% HARD FESCUE). IMMEDIATELY AFTER SEEDING, COVER ALL SEEDED AREAS WITH STRAW MULCH BLANKETS (FOLLOWING MANUFACTURER'S INSTALLATION RECOMMENDATIONS).
9. ALL MUD, DIRT, AND DEBRIS TRACKED FROM THIS SITE ONTO EXISTING ROADS ADJOINING THIS SITE OR PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
10. ALL CONTRACTORS ARE TO KEEP EXCAVATED MATERIAL ON SITE. PARTICULAR CARE SHALL BE OBSERVED WHEN WORKING ALONG THE PERIMETER OF THE SITE. IN NO EVENT SHALL THE WORK AREA EXTEND BEYOND THE LIMITS INDICATED ON THE PLANS.
11. NO PERMANENT STOCKPILING OF MATERIAL IS PERMITTED.
12. THE PLAN DESCRIBES THE MINIMUM EROSION CONTROL MEASURES NEEDED TO PREVENT SILT AND SEDIMENT FROM LEAVING THE SITE. ADDITIONAL SESC MEASURES MAY BE REQUIRED AS CONDITIONS IN THE FILED WARRANT.

SESC MAINTENANCE NOTES

1. SILT SACK SEDIMENT FILTERS - EFFECTIVE FILTERS WILL COLLECT SEDIMENT, PARTICULARLY WHEN THE SOIL IS SANDY. THESE FILTERS MUST BE CLEANED PERIODICALLY, SO THEY DON'T BECOME CLOGGED AND CAUSE FLOODING CONDITIONS, PIPING, OR OVER-TOPPING OF THE CONTROL STRUCTURES. MAINTENANCE OF THESE ITEMS REQUIRE INSPECTION WEEKLY OR AFTER EACH RAIN EVENT.
2. FABRIC SILT FENCE - SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS. IF THE FENCE IS SAGGING OR THE SOIL HAS REACHED ONE HALF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC MUST BE REMOVED AND DISPOSED OF IN A STABLE UPLAND SITE. THE SOIL CAN BE ADDED TO THE SOIL PILE. IF THE FABRIC IS BEING UNDERCUT (I.E. IF THE WATER IS SEEPING UNDER THE FENCE), THE FENCE SHOULD BE REMOVED AND REINSTALLED FOLLOWING THE GIVEN PROCEDURES. FABRIC WHICH DECOMPOSES, OR OTHERWISE BECOMES INEFFECTIVE SHOULD BE REMOVED AND REPLACED WITH NEW FILTER FABRIC IMMEDIATELY. FILTER FENCES SHOULD BE REMOVED ONCE VEGETATION IS WELL ESTABLISHED AND THE UP-SLOPE AREA IS FULLY STABILIZED OR UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
3. CONSTRUCTION ENTRANCE - PROPER MAINTENANCE MAY INCLUDE ADDITIONAL SWEEPING OF THE PAVEMENT WHEN THE ORIGINAL PAVEMENT BECOMES COVERED WITH MUD. AFTER EACH STORM EVENT, INSPECT THE ROAD FOR EROSION AND MAKE ANY NECESSARY REPAIRS. IT IS ALSO IMPORTANT TO CHECK AND MAINTAIN ANY BMP'S WHICH ARE USED IN CONJUNCTION WITH THIS BMP, ESPECIALLY THOSE FOR DRAINAGE. ALL SEDIMENT DROPPED OR ERODED ONTO PUBLIC RIGHT-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY SWEEPING.
4. SEEDING - INSPECT WEEKLY AND WITHIN 24 HOURS FOLLOWING EACH RAIN EVENT IN THE FIRST FEW MONTHS FOLLOWING INSTALLATION TO BE SURE SEED HAS GERMINATED AND PERMANENT VEGETATION COVER IS BEING ESTABLISHED. ADD SUPPLEMENTAL SEED AS NECESSARY.
5. MULCH - INSPECT MULCHED AREAS PERIODICALLY AND AFTER ANY STORM EVENT. REPAIR DAMAGED AREAS, RESEED OR REPLACE VEGETATION (IF NECESSARY), AND REPLACE LOST MULCH IMMEDIATELY. KEEP ERODED SOIL, VEHICULAR AND PEDESTRIAN TRAFFIC, AND CONCENTRATED RUNOFF AWAY FROM THE MULCHED AREA.
6. MULCH BLANKET - CHECK AFTER RAIN EVENTS TO ENSURE THE BLANKET IS STILL IN PLACE. KEEP ERODED SOIL, VEHICULAR AND PEDESTRIAN TRAFFIC, AND CONCENTRATED RUNOFF AWAY FROM THE BLANKETED AREA.

SEQUENCE OF EARTH CHANGES AND SESC MEASURES

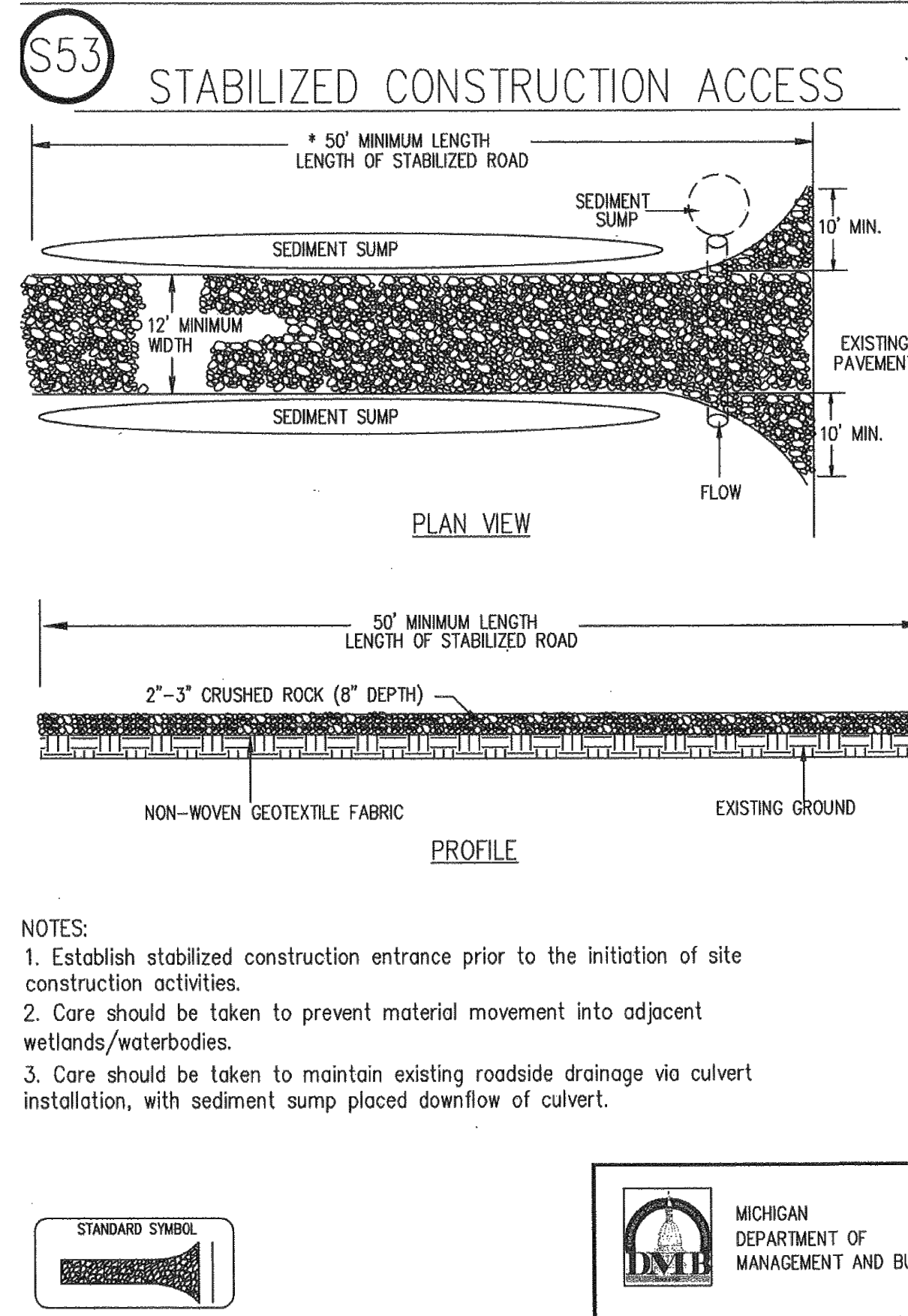
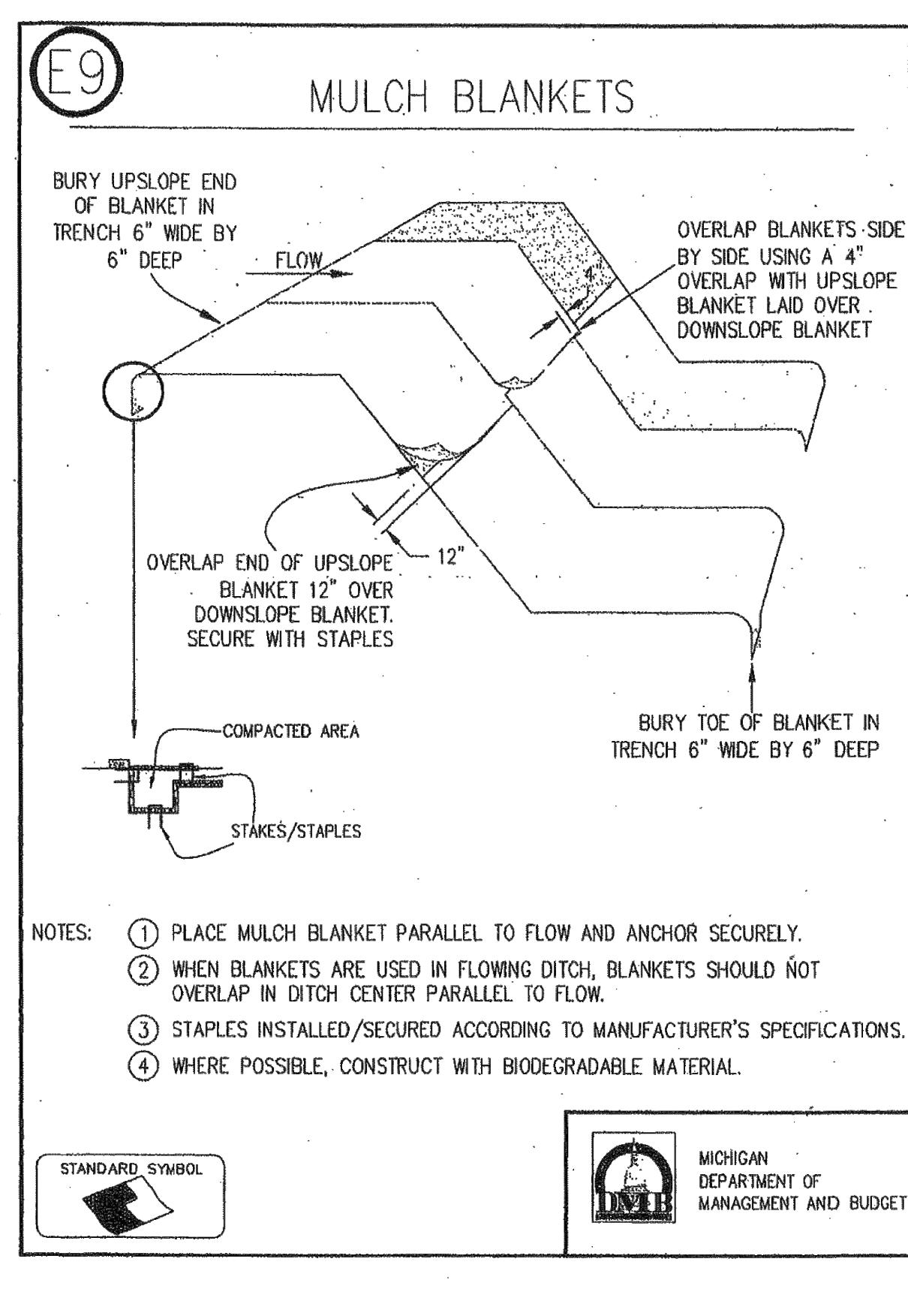
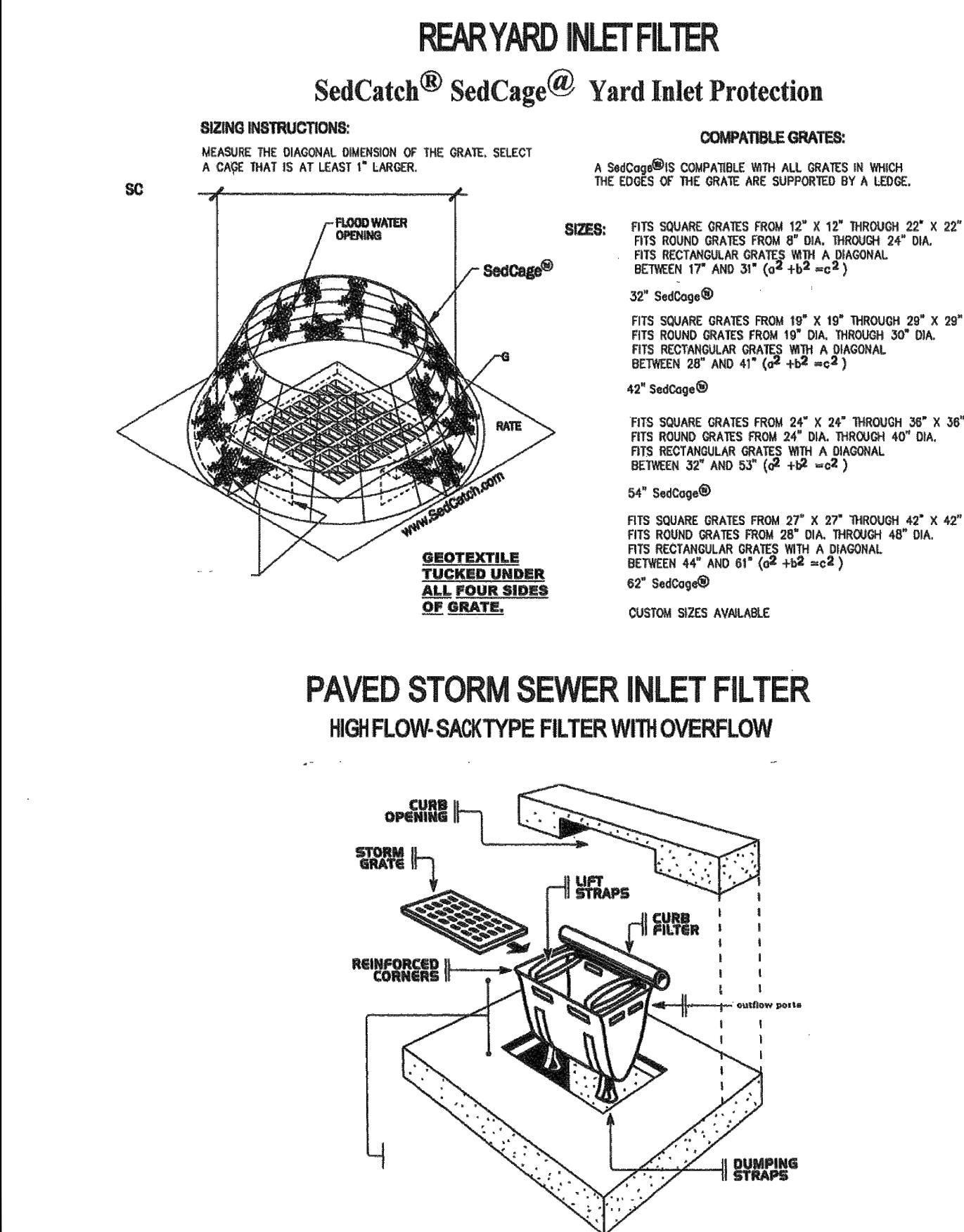
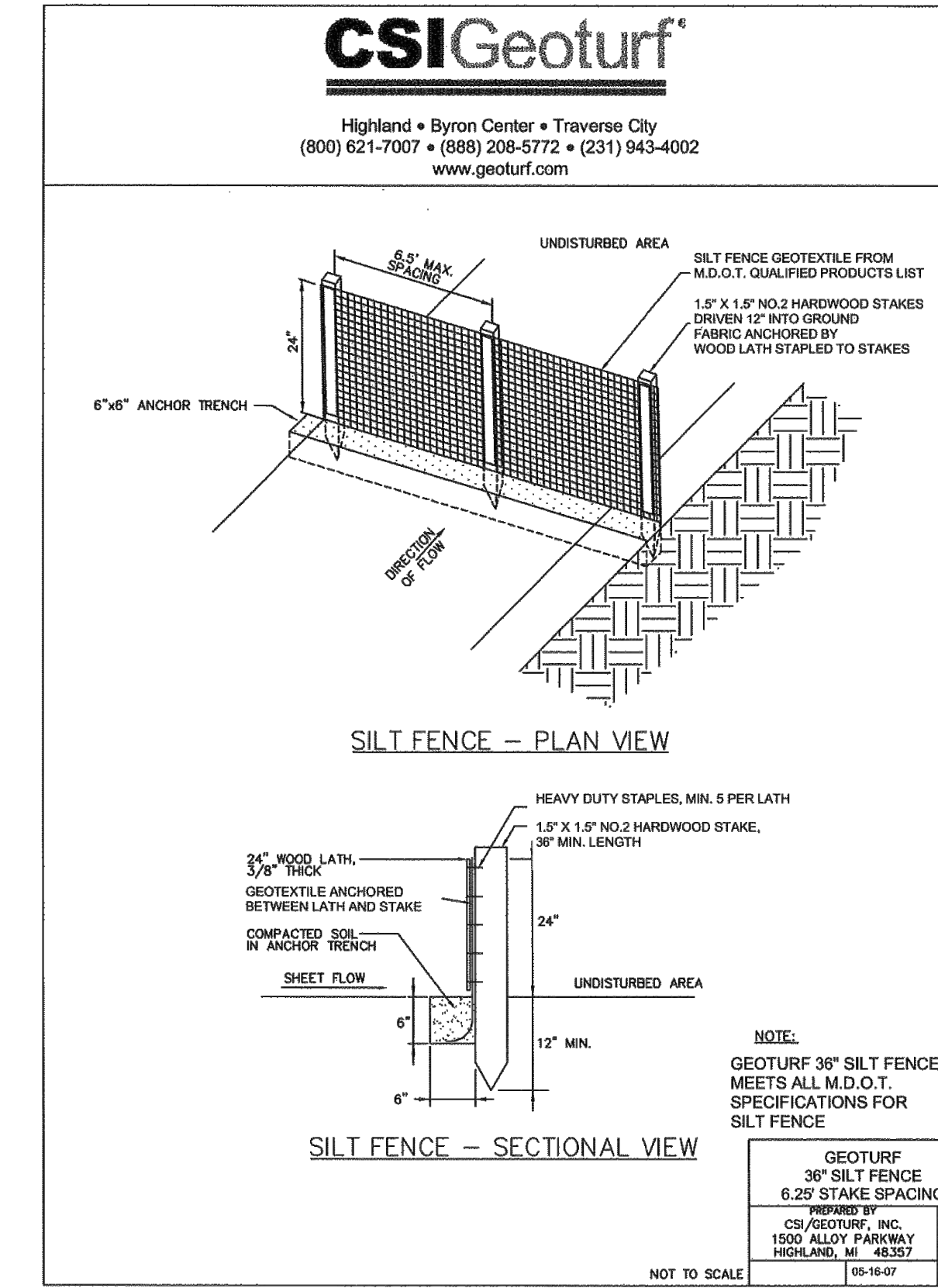
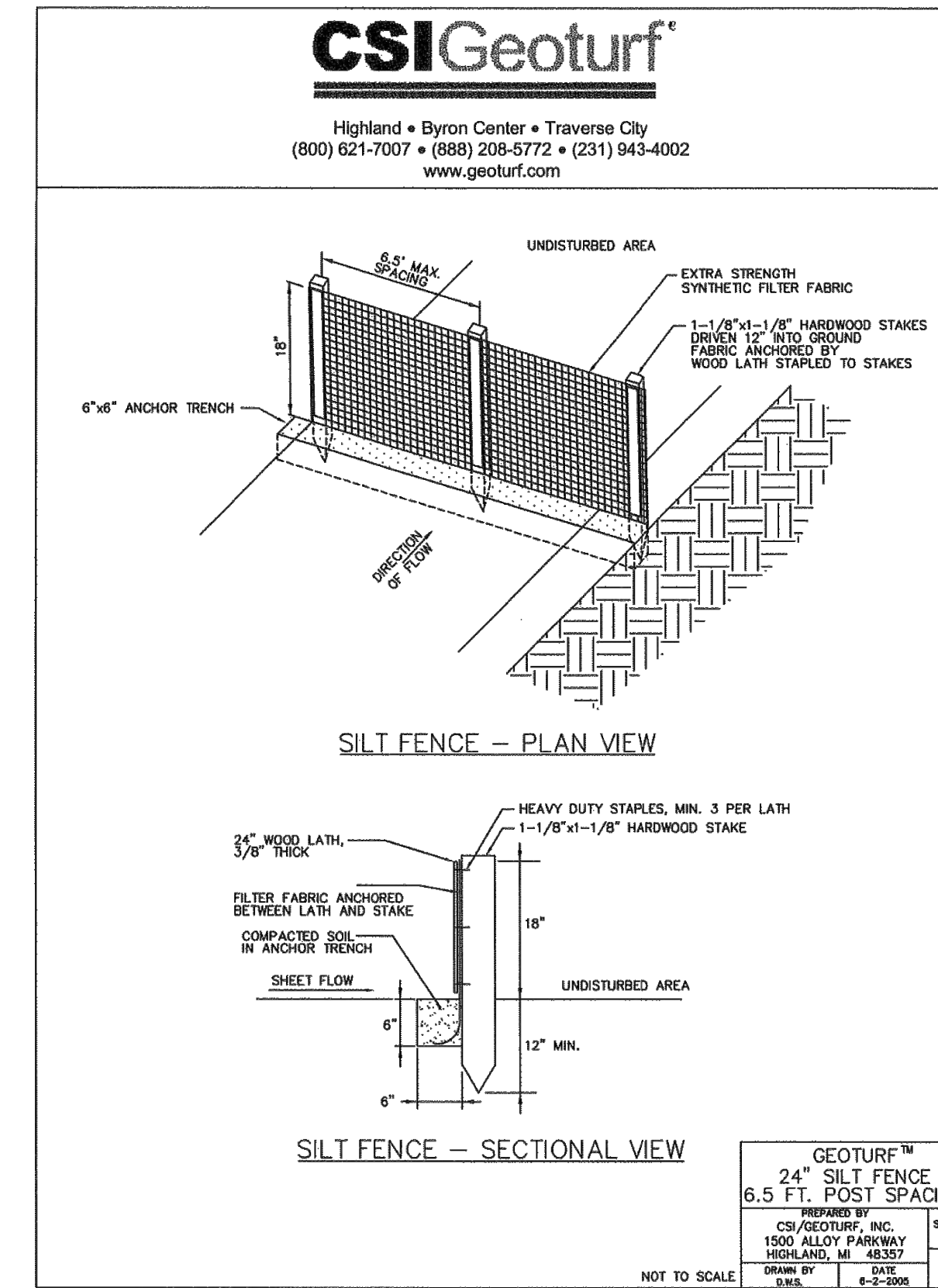
START DAY	END DAY	DESCRIPTION OF ACTIVITY
1	1	INSTALL SILT FENCE, INLET PROTECTION, & STABILIZED CONSTRUCTION ACCESS
1	40	DAILY STREET SCRAPING AND WEEKLY STREET SWEEPING
1	40	WEEKLY INSPECTION AND MAINTENANCE OF SILT FENCE & INLET PROTECTION
1	30	SITE DEMOLITION
31	35	FINAL SITE GRADING
31	40	SEED AND MULCH WITHIN 5 DAYS OF ESTABLISHING FINAL GRADE. INSTALL MULCH BLANKET ON 3:1 (H:V) SLOPES OR GREATER
40	54	MAINTAIN SEEDED AND MULCHED AREAS
54	54	REMOVE SILT FENCE & INLET PROTECTION UPON FINAL SITE STABILIZATION

STREET CLEANING SCHEDULE

	SCRAPE STREETS	SWEEP STREETS
SUNDAY		
MONDAY	X	
TUESDAY	X	
WEDNESDAY	X	
THURSDAY	X	
FRIDAY	X	X
SATURDAY		

WAYNE COUNTY SESC NOTES

1. A TEMPORARY CRUSHED ROCK TRACKING PAD WILL BE INSTALLED AT THE CONSTRUCTION EXIT. THIS TRACKING PAD WILL BE MAINTAINED WITH FRESH STONE. CONSTRUCTION TRAFFIC WILL BE LIMITED TO THE DESIGNATED CRUSHED ROCK ENTRANCE AND EXIT.
2. CONTRACTOR TO KEEP PAVEMENT CLEAN AND CLEAR OF MUD AND DIRT DURING CONSTRUCTION TO PREVENT DIRT/MUD TRACKING ONTO ADJACENT PAVEMENT SURFACES. CONTRACTOR SHALL SWEEP ALL EXISTING PAVEMENT AREAS USED FOR CONTRACTOR STAGING/ENTRANCES ON A REGULAR BASIS IN ORDER TO REDUCE THE AMOUNT OF DIRT/MUD TRACKED OUT OF THE SITE.
3. PAVED STORM SEWER INLETS SHALL BE PROTECTED BY A HIGH FLOW SACK TYPE INLET FILTER CONFORMING TO SILT SACK- HIGH FLOW BY ACF ENVIRONMENTAL OR INLET PRO-HIGH FLOW SEDIMENT BAG BY HANES GEO COMPONENTS OR CATCH-ALL INLET FILTERS BY MARATHON MATERIALS INC. OR DANDY CURB SACK BY DANDY PRODUCTS, INC.
4. REAR YARD (BEEHIVE-TYPE) STORM SEWER INLETS SHALL BE PROTECTED BY A SEDCAGE YARD INLET PROTECTION MANUFACTURED BY SEDCATCH ENVIRONMENTAL PRODUCTS, OR A BOX FILTER FABRIC FENCE CONFORMING TO CSI GEOTURF 36 INCH MDOT SPEC SILT FENCE SECURELY FIXED TO 2" X 2" HARDWOOD STAKES SPACED NO MORE THAN 8 FEET ON CENTER, TIED TO 4 FT. STEEL POSTS AT ALL FOUR CORNERS AND TRENCHED A MINIMUM OF 10 INCHES INTO THE GROUND.
5. ALL EXPOSED EARTH SHALL BE STABILIZED WITH SEED AND MULCH OR SOD WITHIN 5 DAYS OF FINAL GRADE. SEDIMENT BASINS SHALL BE STABILIZED WITH SEED AND STRAW MULCH BLANKETS. STRAW MULCH BLANKETS SHALL BE STAKED INTO THE GROUND 5 DAYS AFTER THE CONSTRUCTION OF THE SEDIMENT BASIN.
6. AN UNDISTURBED, VEGETATIVE BUFFER STRIP OF AT LEAST 25 FEET SHALL BE RETAINED AROUND RIVERS, CREEKS, STREAMS, WETLANDS, DRAINS, AND OTHER SENSITIVE AREAS.
7. STRAW MULCH BLANKETS SHALL BE USED ON SLOPES 3:1 OR GREATER. (THREE FOOT HORIZONTAL, ONE FOOT VERTICAL).
8. DITCHES, SWALES, AND OTHER AREAS THAT WILL CHANNEL CONCENTRATED RUNOFF MUST BE STABILIZED WITHIN 15 DAYS OF CONSTRUCTION. TEMPORARY ROCK CHECK DAMS WILL BE REQUIRED TO SLOW WATER TO NON-EROSIVE VELOCITIES IN AREAS OF CONCENTRATED FLOW.
9. ROAD RIGHT-OF-WAYS MUST BE STABILIZED A MINIMUM WIDTH OF 15 FT. BACK OF CURB WITH SEED AND MULCH WITHIN 5 DAYS OF COMPLETING UTILITY WORK IN THE RIGHT OF WAY.
10. AREAS OF EARTH CHANGE THAT ARE DISTURBED BEYOND THE FALL SEEDING DEADLINE (NOV. 1) MAY REQUIRE DORMANT SEEDING AND STRAW MULCH SECURELY CRIMPED TO THE GROUND.
11. RIP RAP WILL BE PLACED IMMEDIATELY FOLLOWING INSTALLATION OF POND OUTLETS AND CULVERTS.



DESCRIPTION

BY

DATE

NO.

607 SHELBY ST. DEPT. OF PUBLIC WORKS TEL: 313.961.9500 FAX: 313.961.9509

PROJECT NO: M390022 DATE: 11/11/2022

DRAWN BY: ESP

CHECKED BY: MUM

TECHNICAL SKILL, CREATIVE SPIRIT.

Mannik Smith GROUP

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PREPARED FOR: EXPRESS WASH CONCEPTS 13375 NATIONAL ROAD SW ETNA, OHIO 43086

CONCEPTUAL PLAN FOR CLEAN EXPRESS CAR WASH

MILL STREET AND FORT STREET LINCOLN PARK, MI 48146

SOIL EROSION AND SEDIMENTARY CONTROL DETAILS

C311

LEGEND

- OE--- EX OH ELECTRIC LINE
- SA--- EX SANITARY LINE
- FO--- EX FIBER OPTIC LINE
- W--- EX WATER LINE
- ST--- EX STORM LINE
- (SA) EX SANITARY MANHOLE
- (ST) EX STORM MANHOLE
- ⊙ EX HYDRANT & VALVE
- ⊙ EX UTILITY POLE
- ⊙ EX STORM CURB INLET
- ST--- PR STORM
- SD--- PR 6" ROOF DRAIN @ 1.0% MIN SLOPE
- W--- PR WATER SERVICE SEE WSP XXXX
- SS--- PR SANITARY SERVICE
- E--- PR UNDERGROUND ELECTRIC
- G--- PR GAS SERVICE
- PR CATCH BASIN
- PR CURB AND GUTTER INLET
- ⊙ PR CLEANOUT
- ① PR STORM STRUCTURE NUMBER
- ⊙ PR LIGHT POLE SEE PHOTOMETRIC PLANS

CODED NOTES

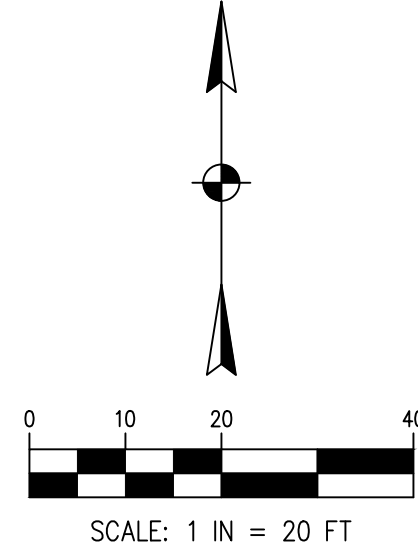
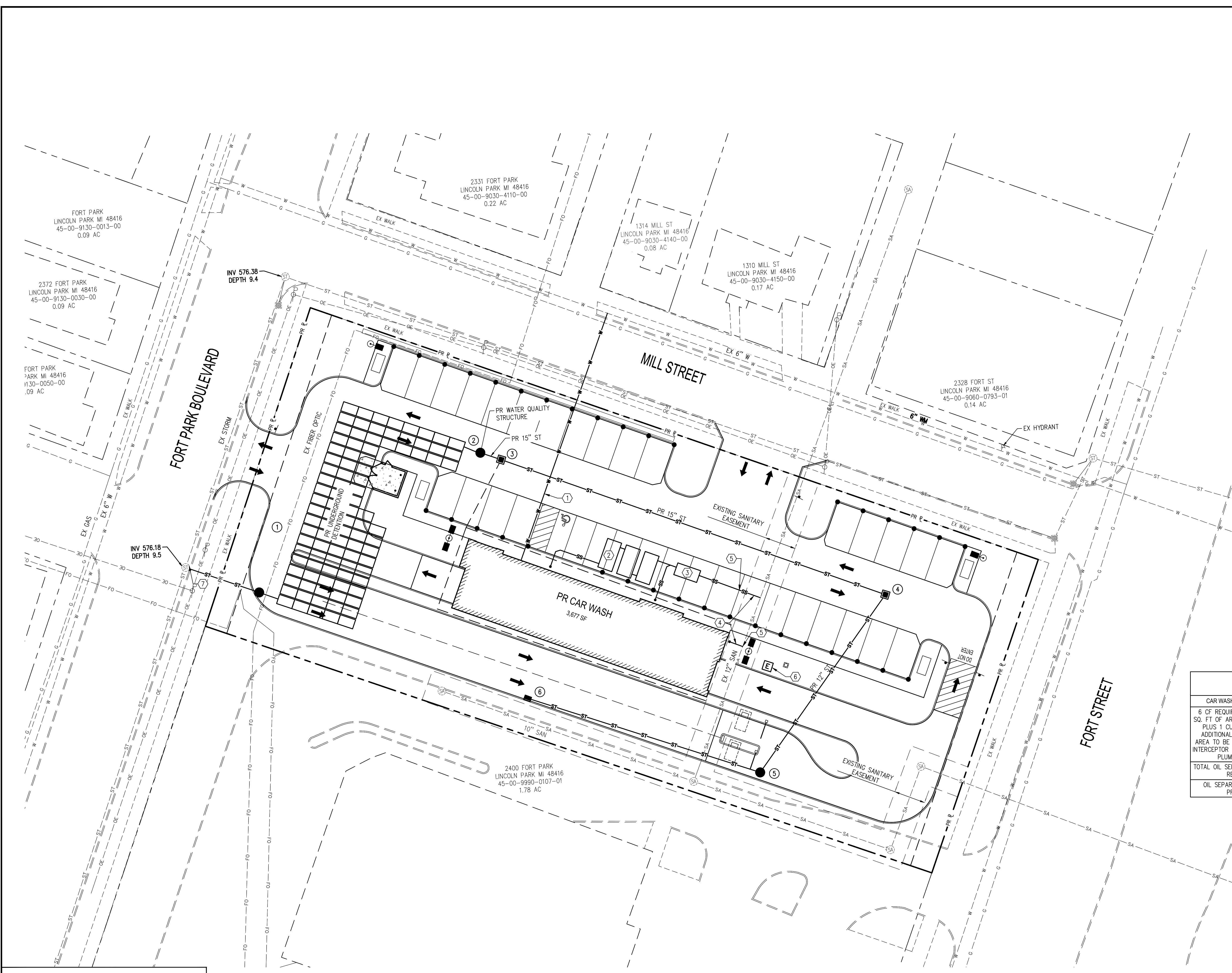
- ① PR 2" DOMESTIC WATER SERVICE.
- ② PR WATER RECLAMATION TANKS, 1500 GALLONS CAPACITY EACH
- ③ PR GREASE INTERCEPTOR, 400 GALLONS CAPACITY
- ④ PR 6" SANITARY LEAD AT MIN 1.00% SLOPE
- ⑤ CONNECT SANITARY LEAD TO EX MAIN VIA RISER, PER CITY OF LINCOLN PARK STANDARDS
- ⑥ PR TRANSFORMER, CONTRACTOR TO COORDINATE SIZE, LOCATION, AND SERVICE WITH UTILITY PROVIDER.
- ⑦ CONNECT TO EXISTING STORM MANHOLE. ELEVATION AND LOCATION TO BE CONFIRMED BY CONTRACTOR PRIOR TO INSTALLATION

UTILITY NOTES

- 1. EXISTING ON-SITE SANITARY TO BE EVALUATED PRIOR TO ENGINEERING APPROVAL

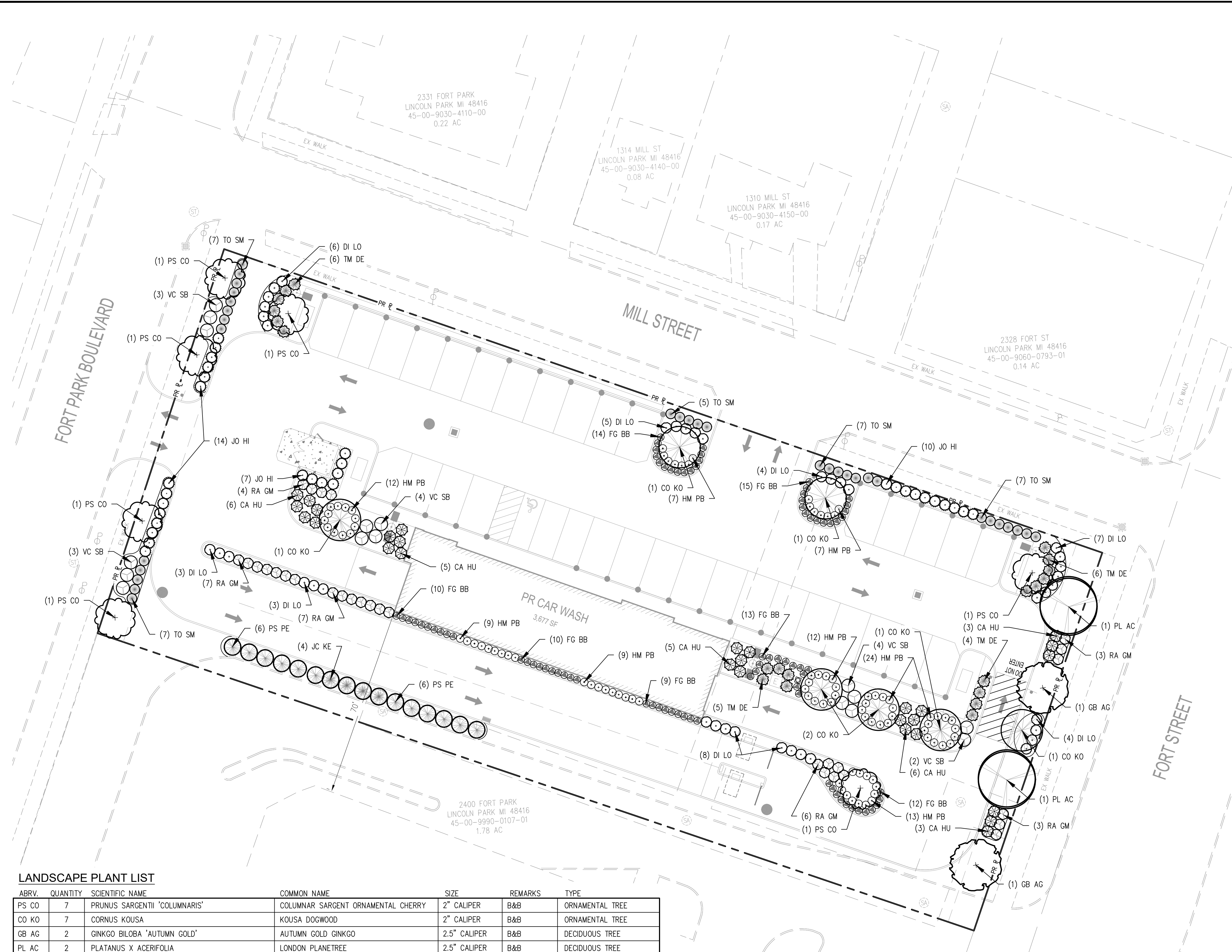
GREASE INTERCEPTOR SIZING

CAR WASH AREA: 2,077 SF	2,077 SF
6 CF REQUIRED FOR THE 100 SQ. FT. OF AREA TO BE DRAINED PLUS 1 CU. FT. FOR EACH ADDITIONAL 100 SQ. FT. OF AREA TO BE DRAINED INTO THE INTERCEPTOR PER 2018 MICHIGAN PLUMBING CODE	2,077-100=1,977 SQ. FT. 1,977 SQ. FT. / 100 SQ. FT. = 19.77 CF 19.77 CF + 6 CF = 25.77 CF TOTAL OIL
TOTAL OIL SEPARATOR CAPACITY REQUIRED	25.77 CF * 7.48 GAL/CF = 193 GAL
OIL SEPARATOR CAPACITY PROVIDED	400 GAL



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NO.	DATE	BY	DESCRIPTION
GDT/SHEBY/ST 607 SHELBY ST LINCOLN PARK MI 48416 TEL: 313.961.9600 FAX: 313.961.9609		PROJECT DATE: 11/11/2022 PROJECT NO: M390002 DRAWN BY: ESP CHECKED BY: MJM	
TECHNICAL SKILL. CREATIVE SPIRIT.			
 www.MannikSmithGroup.com			
PREPARED FOR: EXPRESS WASH CONCEPTS 13375 NATIONAL ROAD SW ETNA, OHIO 43088			
CONCEPTUAL PLAN FOR CLEAN EXPRESS CAR WASH MILL STREET AND FORT STREET LINCOLN PARK, MI 48146			
PRELIMINARY UTILITY PLAN			
C400			



- LEGEND**
- PR DECIDUOUS TREE
 - PR DECIDUOUS FLOWERING TREE
 - PR DECIDUOUS FLOWERING SHRUB
 - PR EVERGREEN TREES
 - PR ORNAMENTAL GRASS
 - PR FLOWERING PERENNIAL

LANDSCAPE CODE REQUIREMENTS

REQUIRED:	PROVIDED:
<p>CODIFIED ORDINANCES OF LINCOLN PARK, MI - SECTION 1296.03</p> <p>d.1. A GREENBELT IS REQUIRED ALONG PUBLIC RIGHT-OF-WAYS. 1 DECIDUOUS TREE AND 4 SHRUBS SHALL BE PLANTED PER EACH 40' OF STREET FRONTAGE. FORT STREET FRONTAGE = 130' = 4 TREES REQUIRED AND 16 SHRUBS REQUIRED</p>	<p>4 DECIDUOUS TREES AND 16 SHRUBS PROVIDED ALONG FORT STREET.</p>
<p>d.3. A BUFFER STRIP MAY BE REQUIRED, PARTICULARLY WHERE USES ACROSS THE STREET ARE RESIDENTIAL IN NATURE. EVERGREEN TREES SHALL BE PLANTED.</p>	<p>WALL AND EVERGREEN TREES PLANTED ALONG MILL STREET AT A 3' MINIMUM SPACING. EVERGREEN TREES PLANTED ALONG MILL STREET AT A 3' MINIMUM SPACING. EVERGREEN TREES PLANTED ALONG FORT PARK BOULEVARD.</p>
<p>e. INTERIOR LANDSCAPING AREAS ARE REQUIRED, EXCLUSIVE OF ANY OTHER REQUIRED LANDSCAPING CONSISTING OF AT LEAST 10% OF THE TOTAL LOT AREA. ONE TREE SHALL BE PROVIDED FOR EVERY 400 SF OF REQUIRED AREA. ONE SHRUB SHALL BE PROVIDED FOR EVERY 250 SF OF REQUIRED AREA. TOTAL LOT AREA = 45,000 / 10 = 4,500 SF OF INTERIOR LANDSCAPING AREAS REQUIRED. 12 TREES REQUIRED AND 18 SHRUBS REQUIRED</p>	<p>4,900 SF OF INTERIOR LANDSCAPING AREAS PROVIDED. 5 ORNAMENTAL TREES, 16 EVERGREEN TREES AND 70 SHRUBS PROVIDED.</p>
<p>f. 1 DECIDUOUS OR ORNAMENTAL TREE AND 100 SF OF PLANTING AREA SHALL BE REQUIRED FOR EVERY 10 PARKING SPACES. 35 PARKING SPACES / 10 = 4 TREES AND 400 SF OF PLANTING AREA REQUIRED.</p>	<p>4 ORNAMENTAL TREES AND 1,400 SF OF PLANTING AREA PROVIDED.</p>
<p>g. WASTE RECEPTACLES SHALL BE SCREENED WITH A DECORATIVE MASONRY WALL OF AT LEAST 6' IN HEIGHT WITH A SOLID OR IMPERVIOUS GATE. GROUND-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED WITH PLANT MATERIALS OR A WALL.</p>	<p>WASTE RECEPTACLE IS SCREENED BY MASONRY WALL. EVERGREEN SHRUBS ARE PROVIDED TO SCREEN MECHANICAL EQUIPMENT.</p>

LANDSCAPE PLANT LIST

ABRV.	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
PS CO	7	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT ORNAMENTAL CHERRY	2" CALIPER	B&B	ORNAMENTAL TREE
CO KO	7	CORNUS KOUSA	KOUSA DOGWOOD	2" CALIPER	B&B	ORNAMENTAL TREE
GB AG	2	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	2.5" CALIPER	B&B	DECIDUOUS TREE
PL AC	2	PLATANUS X ACERIFOLIA	LONDON PLANETREE	2.5" CALIPER	B&B	DECIDUOUS TREE
JC KE	4	JUNIPERUS CHINENSIS 'KETELEERI'	KETELEERI UPRIGHT JUNIPER	5' HEIGHT	B&B	EVERGREEN TREE
PS PE	12	PINUS STROBUS 'PENDULA'	EASTERN WHITE PINE 'PENDULA'	5' HEIGHT	B&B	EVERGREEN TREE
JO HI	31	JUNIPERUS COMMUNIS 'HIBERNICA'	IRISH JUNIPER 'HIBERNICA'	8' HEIGHT	B&B	EVERGREEN TREE
TO SM	32	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	8' HEIGHT	B&B	EVERGREEN TREE

ABRV.	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
TM DE	21	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	2" HEIGHT	CONTAINER	EVERGREEN SHRUB
DI LO	40	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	2" HEIGHT	CONTAINER	DECIDUOUS SHRUB
RA GM	30	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	2" HEIGHT	CONTAINER	DECIDUOUS SHRUB
VC SB	16	VIBURNUM CARLESII 'SPICE BABY'	KOREAN SPICE VIBURNUM 'SPICE BABY'	2" HEIGHT	CONTAINER	DECIDUOUS SHRUB
CA HU	28	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SUMMERSWEET 'HUMMINGBIRD'	2" HEIGHT	CONTAINER	DECIDUOUS SHRUB
FG BB	83	FESTUCA GLAUCA 'BEYOND BLUE'	FESTUCA GLAUCA 'BEYOND BLUE'	1 GALLON	CONTAINER	ORNAMENTAL GRASS
HE PB	93	HEMEROCALLIS 'PRAIRIE BLUE EYES'	DAYLILY 'PRAIRIE BLUE EYES'	1 GALLON	CONTAINER	FLOWERING PERENNIAL

DESCRIPTION		NO.	DATE	BY

GBT SHELBY 925
 DUBLIN OH 43015
 TEL 313.961.8600
 FAX 313.961.8608

PROJECT NO: M390022
 DRAWN BY: ESP
 CHECKED BY: MUM

PROJECT DATE: 11/11/2022

TECHNICAL SKILL. CREATIVE SPIRIT.

www.MannikSmithGroup.com

PREPARED FOR:

 EXPRESS WASH CONCEPTS
 13375 NATIONAL ROAD SW
 ETNA, OHIO 43088

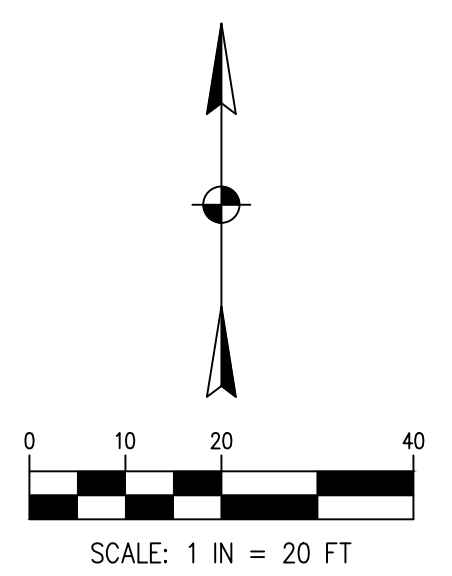
CONCEPTUAL PLAN FOR
CLEAN EXPRESS CAR WASH
 MILL STREET AND FORT STREET
 LINCOLN PARK, MI 48146

PRELIMINARY LANDSCAPE PLAN
 L100

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 1-800-482-7171
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LANDSCAPE PLANTING NOTES

1. THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANTS AND VEGETATION PLANTED ON THE LANDSCAPING PLAN. ANY TREES, SHRUBS, GROUND COVER OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DO NOT SURVIVE ONE YEAR FROM PLANTING SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES THREE WORKING DAYS IN ADVANCE OF ANY DIGGING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF ANY UTILITIES.

3. REFER TO THE LANDSCAPE PLAN FOR ADDITIONAL NOTES. LANDSCAPE IMPROVEMENTS SHALL CONFORM TO THE LATEST EDITION OF MDOT CONSTRUCTION SPECIFICATIONS (2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION).

4. ALL PLANTING MATERIALS: SHALL BE PLANTED PER MDOT SPECIFICATIONS. EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE BROKEN, LOW HANGING AND OTHER UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.

5. PLANTING BEDS: ONE MONTH BEFORE CULTIVATION AND AFTER DAYTIME TEMPERATURES HAVE WARMED TO 60° CONSISTENTLY, TREAT ALL PLANTING BEDS THAT ARE TO BE DEVELOPED IN AREAS OF EXISTING TURF WITH PRE-EMERGENT AND POST-EMERGENT TYPE HERBICIDES. USE A STATE-LICENSED PESTICIDE APPLICATOR TO APPLY THE HERBICIDE. REPEAT HERBICIDE APPLICATION TWO WEEKS LATER AND UNTIL ALL HERBACEOUS MATERIALS HAVE BEEN KILLED. BEFORE PLANTING, TOP DRESS ALL PLANTING BEDS WITH A MINIMUM OF 6 INCHES OF BACKFILL MIX, THEN CULTIVATE PLANTING AREA TO A DEPTH OF 6 INCHES USING A PLOW, DISC, OR ROTO-TILLER.

6. BACKFILL MIX: FOR ALL PLANTINGS, USE BACKFILL MIX CONSISTING OF THE FOLLOWING:

- A. ONE PART EXCAVATED SOIL.
- B. ONE PART TOPSOIL.
- C. ONE PART EPA RATED CLASS IV COMPOST.
- D. A SLOW RELEASE COMMERCIAL FERTILIZER (0-20-20 OR EQUAL) ADDED AT A RATE OF 5 POUNDS PER CUBIC YARD TO THE BACKFILL MIX.
- E. IF SOIL AREAS ARE OF HIGH PH (GREATER THAN 6.5), APPLY 1.25 POUNDS OF ELEMENTAL SULFUR PER CUBIC YARD OF BACKFILL MIX.

NOTE: CONTRACTOR SHALL SUPPLY A DETAILED SOIL ANALYSIS PRIOR TO ALL PLANT BED PREPARATION. ANALYSIS SHALL INDICATE SOIL PH, TEXTURE, MAJOR NUTRIENTS, SALTS, ETC. SOIL ANALYSIS SHALL BE FROM A REPUTABLE, INDEPENDENT LAB. SOIL AMENDMENTS SHALL BE INCORPORATED INTO BACKFILL/PLANT MIX AS RECOMMENDED BY THE INDEPENDENT LAB.

7. MULCH: SMOOTH AND SHAPE THE BACKFILL MIX TO FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE. MULCH ALL PLANTING AREAS WITH A LAYER OF FINELY SHREDDED HARDWOOD BARK OF UNIFORM TEXTURE & SIZE. PLANTS GROUPED IN MASSES SHALL HAVE THE ENTIRE CONTIGUOUS PLANTING BED OR ISLAND MULCHED. USE SHREDDED HARDWOOD BARK AGED MIN. ONE YEAR. RAKE AND SMOOTH THE ENTIRE AREA OF THE PLANTING BEDS, MULCH TO A DEPTH OF 3 INCHES. AFTER MULCHING AND BEFORE WATERING, ADD A SLOW RELEASE COMMERCIAL FERTILIZER (12-12-12 OR EQUAL), IN GRANULAR FORM, TO THE TOP OF THE MULCH AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET. DO NOT ALLOW FERTILIZER TO CONTACT THE STEMS, BRANCHES, ROOTS OR LEAVES.

8. PERIOD OF ESTABLISHMENT: BEFORE FINAL INSPECTION, PLACE ALL PLANTS AND CARE FOR THEM FOR A PERIOD OF ESTABLISHMENT. THE PERIOD OF ESTABLISHMENT BEGINS IMMEDIATELY UPON COMPLETION OF THE PLANTING OPERATIONS AND CONTINUES UNTIL OCTOBER 1. THE MINIMUM PERIOD OF ESTABLISHMENT IS ONE GROWING SEASON, JUNE 1 THROUGH OCTOBER 1. DURING THE PERIOD OF ESTABLISHMENT, FOLLOW STANDARD HORTICULTURAL PRACTICES TO ENSURE THE VIGOR AND GROWTH OF THE TRANSPLANTED MATERIAL. WATER, REMULCH, RESTAKE, GUY, AND CULTIVATE AS NECESSARY. PERFORM AT LEAST TWO WEEDING AND MOWING PROGRAMS (AROUND TREES, GUY STAKES, SHRUBS, AND BED EDGES) OF SUCH INTENSITY AS TO COMPLETELY RID THE PLANTED AND MULCHED AREAS OF WEEDS AND GRASSES. BEGIN THE FIRST PROGRAM ON OR ABOUT JUNE 15 AND THE SECOND APPROXIMATELY 8 WEEKS LATER. ON OR ABOUT AUGUST 15, THE ENGINEER WILL INSPECT THE PLANTING AND SUPPLY THE CONTRACTOR WITH A LIST OF MISSING AND DEAD PLANTS AND THOSE THAT HAVE DIED BACK BEYOND NORMAL PRUNING LINES. REPLANT AS REQUIRED ACCORDING TO THE SPECIFICATIONS OF THE ORIGINAL MATERIAL. REPLACEMENT PLANTS ARE SUBJECT TO A NEW PERIOD OF ESTABLISHMENT. IMMEDIATELY REPLACE PLANTS PLANTED INITIALLY IN THE FALL THAT HAVE DIED BEFORE THE SPRING PLANTING SEASON. CARE FOR THE REPLACEMENT PLANTS DURING THE NEW ESTABLISHMENT PERIOD.

9. RESTORATION OF DISTURBED AREAS FOR NEW LAWN:

ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT OR LANDSCAPE PLANTING BEDS SHALL BE SHALL BE PREPARED FOR GRASS SEED AND SEEDED. LOOSEN RUTS AND WORK THE SOIL AREAS TO A MINIMUM OF 6" DEEP PRIOR TO FINE GRADING AND SEEDING WORK. AREAS TO RECEIVE GRASS SEED SHALL HAVE A MIN. 4" TOPSOIL PLACED, SEEDED AND A STRAW/MULCH BLANKET COVER PLACED OVER THE SEEDED AREAS PER MDOT SPECIFICATIONS. FERTILIZE WITH ONE POUND OF ACTUAL NITROGEN PER 1000 SQUARE FEET WITH A SLOW RELEASE COMMERCIAL STARTER FERTILIZER (LESCO 18-24-12 OR EQUAL).

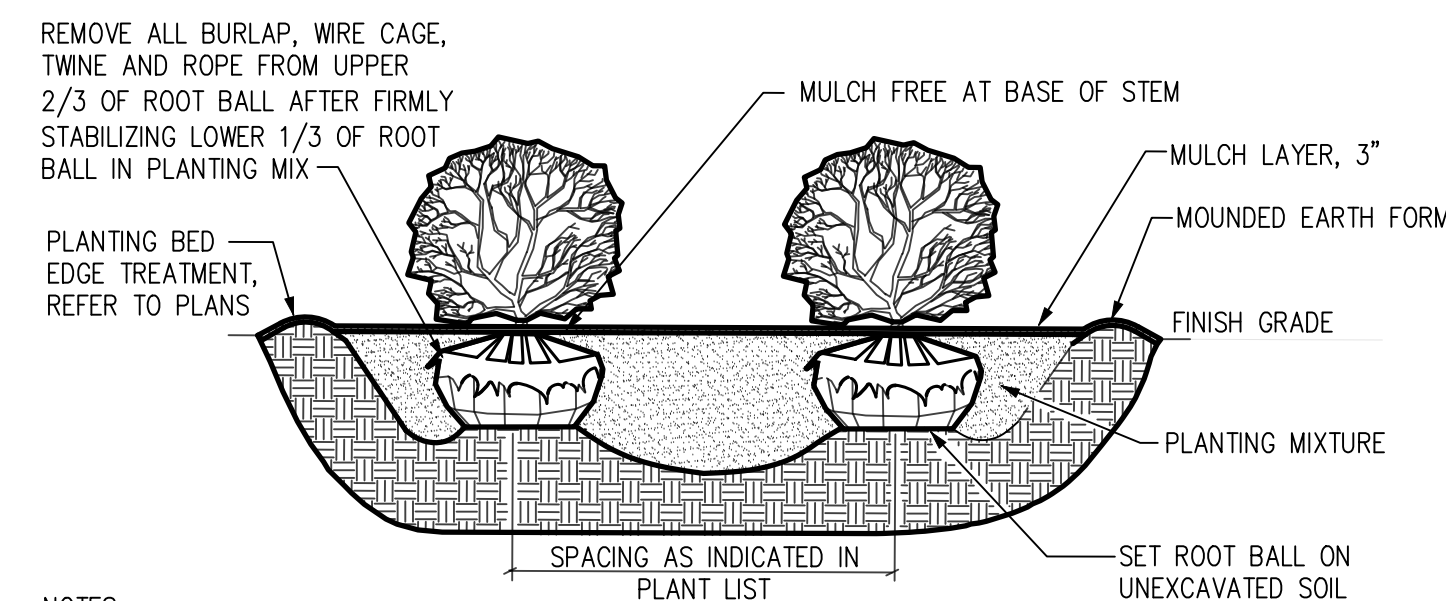
10. LANDSCAPE TREES, SHRUBS AND PERENNIAL WATERING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, DELIVERING, APPLYING, MEASURING AND SCHEDULING A SUFFICIENT AMOUNT OF WATER NECESSARY TO KEEP EACH PLANT IN A HEALTHY GROWING CONDITION THROUGHOUT THE PERIOD OF ESTABLISHMENT. THE CONTRACTOR SHALL APPLY 1" OF WATER PER WEEK TO ALL NEW PLANTS. THE CONTRACTOR SHALL INSTALL & MAINTAIN SUPPLEMENTAL DRIP WATERING TREE BAGS (SUCH AS 20 GALLON TREE GATOR WATER BAG) TO PROVIDE ADEQUATE, SLOW RELEASE OF WATER. WATER BAGS SHALL BE REMOVED AT THE END OF THE SECOND GROWING SEASON.

11. TURF GROUNDCOVER (SODDING, SEEDING AND SEED MULCHING):

ALL SEEDING INSTALLATION SHALL CONFORM TO MDOT SPECIFICATIONS AND NOTE 9 ABOVE. SEED AT 5 LBS/1000 SF (220 LB/AC) WITH THE FOLLOWING SEED MIXTURE (CSI GEOTURF SUN & SHADE MIX):

KENTUCKY BLUEGRASS	20%
HARD FESCUE	20%
CHEWING FESCUE	20%
PERENNIAL RYEGRASS	40%



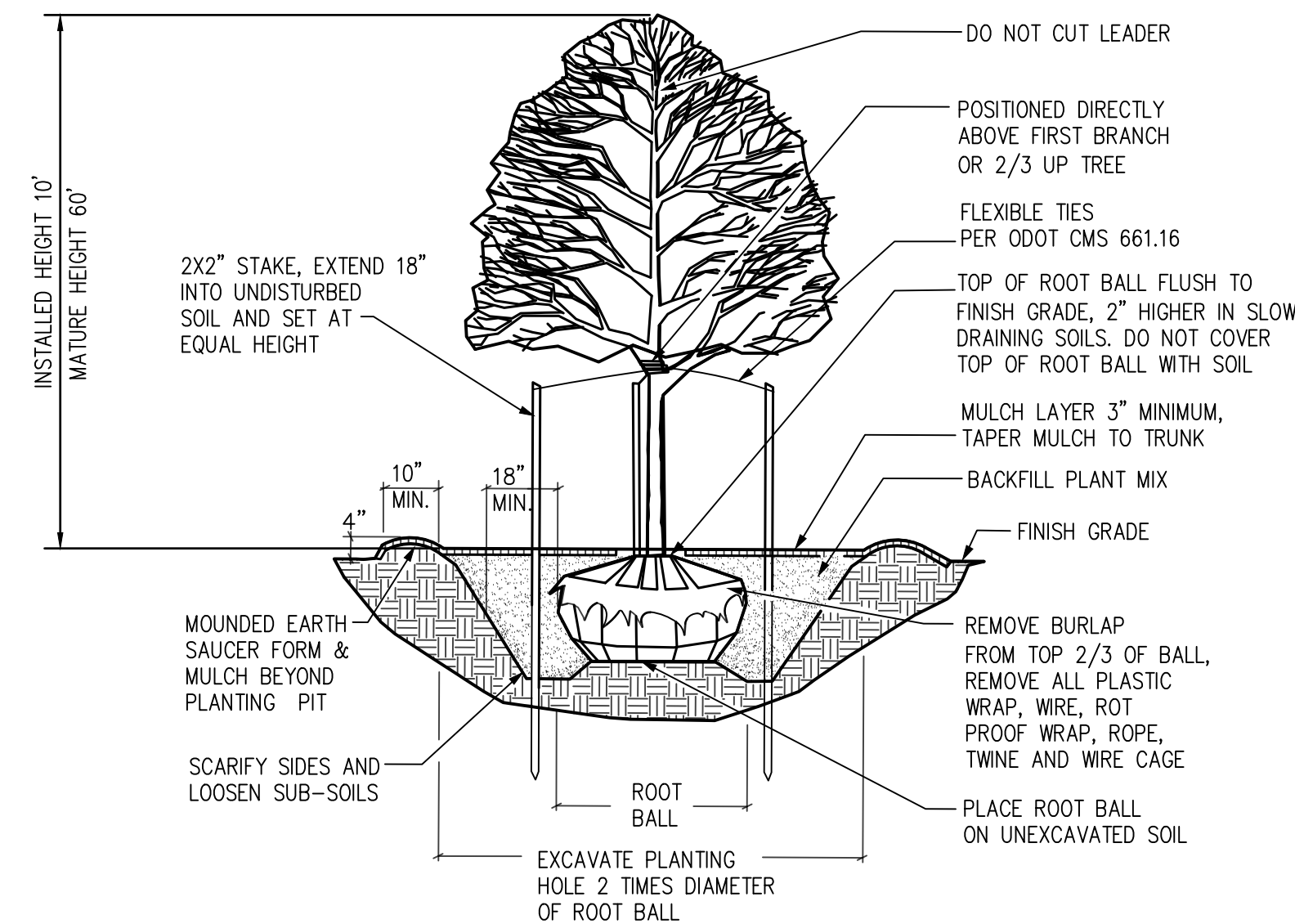
NOTES:

ALL SHRUBS PLANTED IN ROWS OR MASSES SHALL BE MATCHED IN SIZE AND FORM.

SHRUBS SHALL BEAR SAME RELATION TO FINISH GRADE AS THEY BORE TO EXISTING GRADE IN THE PREVIOUSLY PLANTED CONDITION.

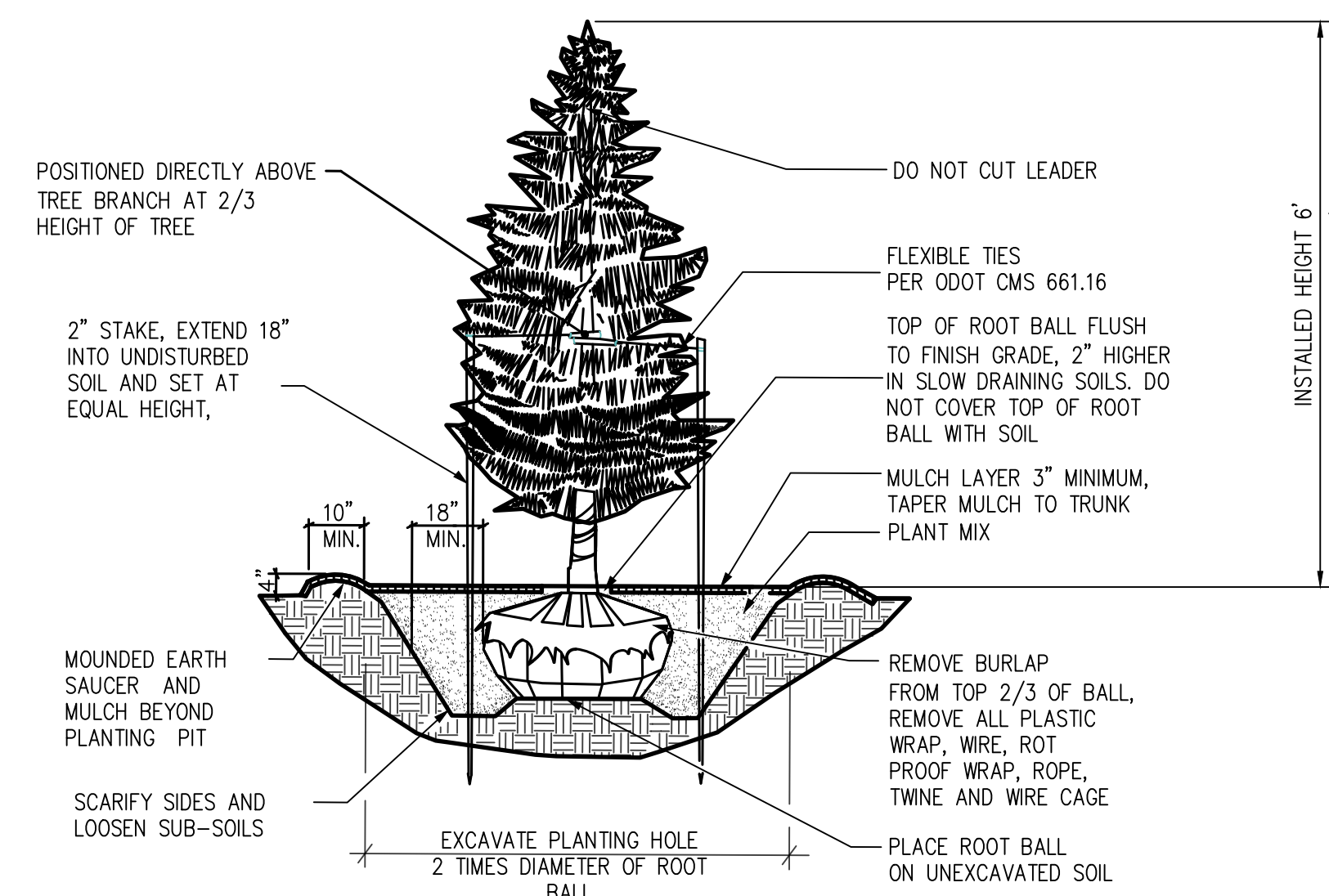
MASS SHRUB PLANTING DETAIL (B&B OR CONTAINER)

NO SCALE



DECIDUOUS TREE PLANTING DETAIL

NO SCALE



EVERGREEN TREE PLANTING DETAIL

NO SCALE

NO.	DATE	BY	DESCRIPTION

607 SHELBY ST
 DEPT. OF TRANSPORTATION
 TEL: 313.981.9500
 FAX: 313.981.9509

PROJECT DATE: 11/11/2022
 PROJECT NO: M390022
 DRAWN BY: ESP
 CHECKED BY: MJM

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PREPARED FOR:
EXPRESS
 WASH CAR WASH CENTERS
 13375 NATIONAL ROAD SW
 ETNA, OHIO 43088

CONCEPTUAL PLAN FOR
CLEAN EXPRESS CAR WASH
 MILL STREET AND FORT STREET
 LINCOLN PARK, MI 48146

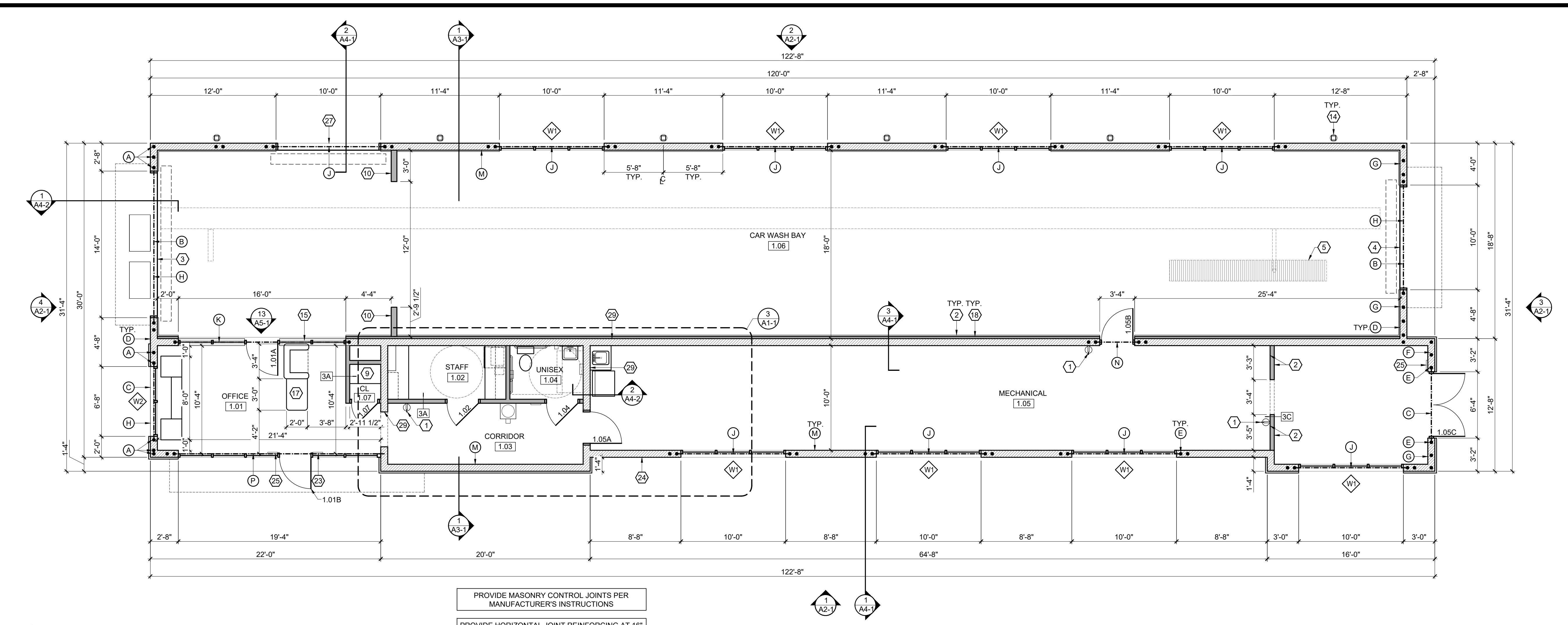
LANDSCAPE NOTES & DETAILS

L101

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PROVIDE MASONRY CONTROL JOINTS PER MANUFACTURER'S INSTRUCTIONS

PROVIDE HORIZONTAL JOINT REINFORCING AT 16" O.C. MIN. W/ 1.7 BAR SIZE TYP. LAP MIN. 12", TYP.

ALL EXTERIOR DIMENSIONS ARE TO MASONRY UNITS / MASONRY OPENINGS, TYP.

PROVIDE (2) L4 x 3 1/2 x 5/16" LINTEL OVER 36"x24" LOUVERS AND @ LONG WALL OF BUILDING

WINDOW TYPES SCHEDULE	
W1	10'-0" WIDE BY 10'-0" TALL ALUMINUM STOREFRONT WINDOW HEAD HEIGHT = 10'-8" A.F.F.
W2	6'-8" WIDE BY 10'-8" TALL ALUMINUM STOREFRONT WINDOW HEAD HEIGHT = 10'-8" A.F.F.
ALL GLAZING SHALL HAVE A SHGC OF .40 MIN.	

CAR WASH GENERAL NOTES

- CENTERLINE OF EQUIPMENT DOES NOT EQUAL CENTERLINE OF TRENCH
- CENTERLINE OF EQUIPMENT DOES NOT EQUAL CENTERLINE OF ENTRY DOOR
- CENTERLINE OF EQUIPMENT DOES EQUAL CENTERLINE OF EXIT DOOR
- CENTERLINE OF EQUIPMENT DOES EQUAL CENTERLINE OF TUNNEL BAY
- COORDINATE LOCATION OF TRENCH WITH CAR WASH MANUFACTURER'S DRAWINGS

PLAN GENERAL NOTES

- ALL DOORS TO BE 6" FROM ADJACENT WALL U.N.O.
- ALL SIGNS THAT DESIGNATE PERMANENT ROOMS AND SPACES SHALL HAVE RAISED AND BRAILED CHARACTERS AND PICTORIAL SYMBOL SIGNS, FINISH AND CONTRAST, AND MOUNTED 60 INCHES ABOVE THE FINISH FLOOR TO CENTERLINE OF THE SIGN PER ANSI
- ALL INTERIOR STUD WALLS TO BE WALL TYPE "3B", U.N.O.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL TOILET ROOMS

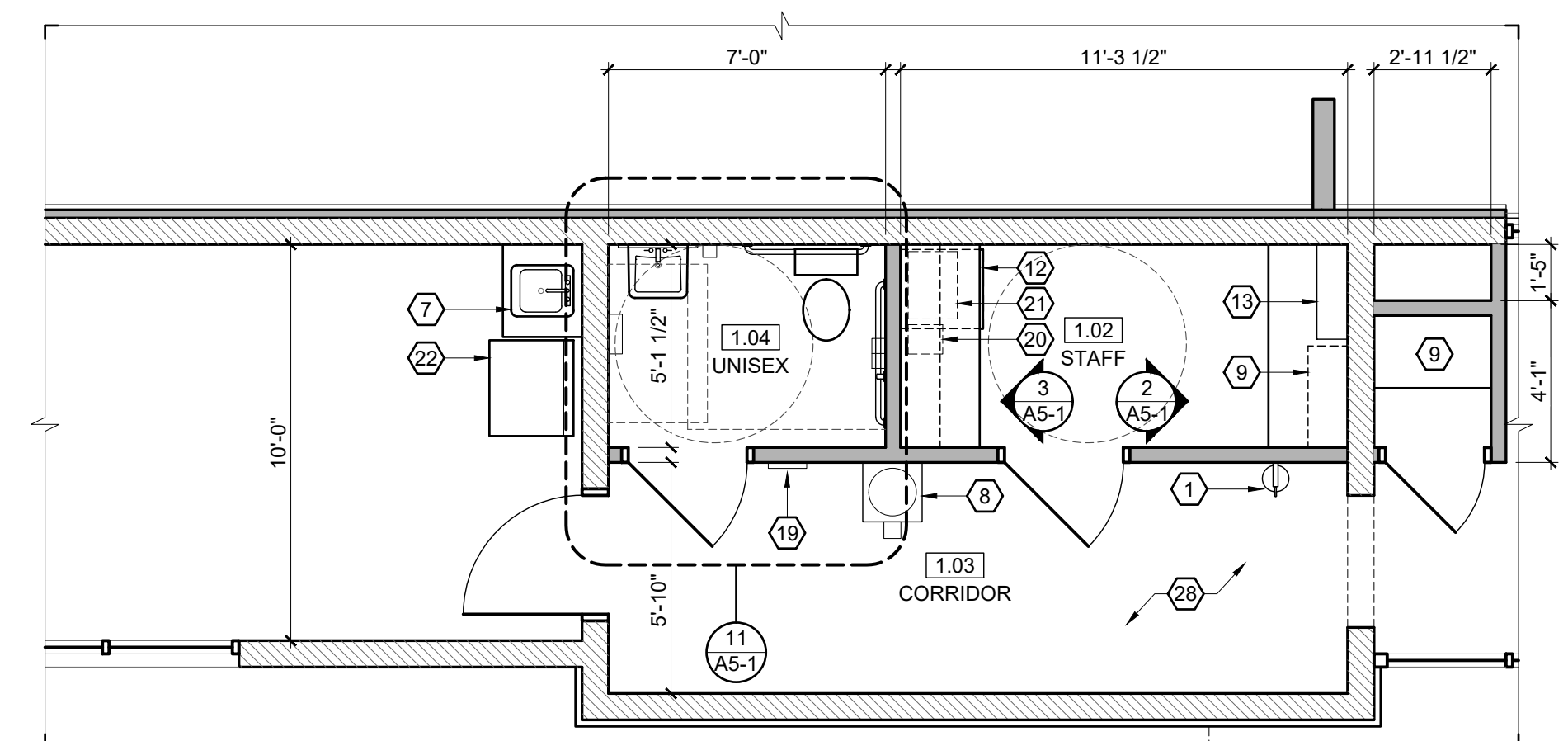
- FLOOR PLAN CODED NOTES**
- WALL MOUNTED FIRE EXTINGUISHER. EXTINGUISHER TO BE: RED ENEMELED FINISH HEAVY DUTY STEEL CYLINDER. UL AND FM APPROVED. ABC MULTI PURPOSE DRY CHEMICAL, 10 LB CAPACITY UL RATED 4A 60B: C. HOSE TYPE, UPRIGHT, SQUEEZE GRIP OPERATION
 - INTERIOR WALL LINER PANEL
 - 14'-0" x 8'-0" OVERHEAD DOOR
 - 10'-0" x 8'-0" OVERHEAD DOOR
 - CAR WASH TRENCH, SEE MANUFACTURER'S DRAWINGS
 - DECORATIVE AWNING W/ BRACKETS, CENTER OVER WINDOWS / DOORS
 - DEDICATED COMMERCIAL GRADE SINK FOR UTILITY SINK
 - ANSI COMPLIANT BOTTLED WATER COOLER WITH CUP DISPENSER
 - 12" DEEP SHELVING W/ STANDARDS AND BRACKETS
 - WIND WALL, P.T. 2x6 WALL W/ 7/16" OSB SHEATHING & LINER PANEL BOTH SIDES
 - NOT USED
 - UNDER COUNTER REFRIGERATOR
 - SERVER RACK, SEE SHEET AS-1
 - DOWNSPOUT
 - ALUMINUM STOREFRONT SYSTEM, WINDOW HEAD HEIGHT = 8'-0", SEE ELEVATION 13/A5-1, PROVIDE 1" INSULATED GLASS
 - NOT USED
 - RECEPTIONIST DESK BY OTHERS. ANSI COMPLIANCE IS THE RESPONSIBILITY OF THE DESK DESIGNER
 - PROVIDE 2 1/2" METAL Z-FURRING STRIPS @ 24" HORIZONTAL W/ MIN R-13 RIGID INSULATION IN FURRING CAVITIES W/ 5 MIL VAPOR BARRIER
 - ANSI COMPLIANT SIGNAGE DESIGNATING UNISEX TOILET ROOM
 - COFFEE MAKER, SEE INTERIOR ELEVATION
 - MICROWAVE, SEE INTERIOR ELEVATION
 - STACKABLE WASHER / DRYER
 - ANSI COMPLIANT SIGNAGE DESIGNATING MAXIMUM OCCUPANCY OF 15 PERSONS
 - QUICK-BRICK MASONRY CONSTRUCTION
 - ANSI COMPLIANT EXIT SIGNAGE, SEE 9/A5-1
 - STORAGE CABINETRY, SEE INTERIOR ELEVATION ON SHEET A5-1
 - 10'-0" x 8'-0" OVERHEAD DOOR
 - HVAC PLATFORM ABOVE, SEE DETAILS ON SHEET A1-3
 - 8" CMU WALL

- STRUCTURAL CODED NOTES**
- #5 VERTICAL EACH CELL
 - W8x28 W/ 5/16" PLATE, FASTEN TO WALL PER DETAIL 7/A4-2
 - (2) L5x3-1/2x5/16 LLV
 - PROVIDE HORZ. JOINT REINF. @ EACH COURSE IN END WALL
 - (2) #5 VERT. TYP. @ ALL MASONRY OPENINGS
 - PROVIDE HORIZONTAL JOINT REINFORCING @ EACH COURSE IN 18'-4" TALL WALLS
 - #5 @ CORNERS AND 16" O.C. MAX @ END WALL
 - PROVIDE #5 VERT. @ 48" O.C. IN WALL ABOVE OPENINGS
 - NOT USED
 - W8x24 W/ 5/16" PLATE
 - W16x31 W/ 5/16" PLATE, FASTEN TO WALL PER DETAIL 7/A4-2
 - W8x28 LINTEL W/ 5/16" PLATE
 - PROVIDE #5 @ 48" O.C. VERT. & HORIZONTAL JOINT REINFORCING PER PLAN NOTES FOR ENTIRE WALL, TYP.
 - (2) L3 1/2x3 1/2x5/16
 - W12x30 W/ 5/16" PLATE

WALL TYPES SCHEDULE

#	ASSEMBLY DESCRIPTION	HR	NOTES
3A	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD		FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD @ UNDERSIDE OF JOISTS. ASSEMBLY THICKNESS = 4 3/4"
3B	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD 3" SOUND BATT		FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD @ UNDERSIDE OF JOISTS. ASSEMBLY THICKNESS = 4 3/4"
3C	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD 3" SOUND BATT		FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD @ BOTTOM OF DECK. ASSEMBLY THICKNESS = 4 3/4"

4 FLOOR PLAN



DOOR SCHEDULE

NO.	ROOM NAME	SIZE	ELEV.	MAT.	RATING	GLASS	HDWR	FRAME	REMARKS
1.01A	OFFICE	3070	02	AL/GS	0-HR	TEMP	SET 01	A AL	CLOSER
1.01B	OFFICE	3070	02	AL/GS	0-HR	TEMP	SET 05	B AL	CLOSER, ENTRY KEY
1.02	STAFF	3070	03	H.M.	0-HR	TEMP	SET 02	A H.M.	
1.04	UNISEX	3070	01	H.M.	0-HR	N/A	SET 03	A H.M.	
1.05A	MECHANICAL	3070	04	H.M.	0-HR	TEMP	SET 04	A H.M.	
1.05B	MECHANICAL	3070	02	ALUM.	0-HR	N/A	SET 04	B ALUM.	
1.05C	MECHANICAL	(2) 3070	05	AL/GS	0-HR	TEMP	SET 05	B H.M.	
1.06	WASH BAY	3070	02	AL/GS	0-HR	TEMP	SET 05	B ALUM.	
1.07	CLOSET	2670	01	WD	0-HR	N/A	SET 02	N/A N/A	CUSTOM SLAT WALL DOOR

DOOR GENERAL NOTES

- ALL DOOR HARDWARE TO BE ANSI COMPLIANT LEVER STYLE
- ALL DOOR HARDWARE TO BE MOUNTED BETWEEN 34" - 48" A.F.F.
- ALL GLAZING IN NEW DOORS TO BE TEMPERED
- ALL DOORS TO RECEIVE (3) HINGES
- ALL DOORS TO RECEIVE (3) SILENCERS
- ALL DOORS TO RECEIVE DOOR STOP
- ALL EXTERIOR DOORS TO RECEIVE CLOSER
- ALL EXTERIOR DOORS TO HAVE ANIS COMPLIANT THRESHOLD (1/4" MAX)
- ALL EGRESS DOORS SHALL UNLATCH WITH ONLY ONE OPERATION OF THE DOOR HARDWARE, READILY OPERABLE FROM EGRESS SIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. 2017 OBC 1010.1.9/1010.1.9.1/1010.1.9.5.

DOOR HARDWARE SETS

SET 01: OFFICE LOCKSET
 SET 02: STORAGE LOCKSET
 SET 03: PRIVACY LOCKSET
 SET 04: PASSAGE LOCKSET
 SET 05: EXIT LOCKSET
 SET 06: PUSH / PULL

KEY ALL DOORS ALIKE

FINISH SCHEDULE

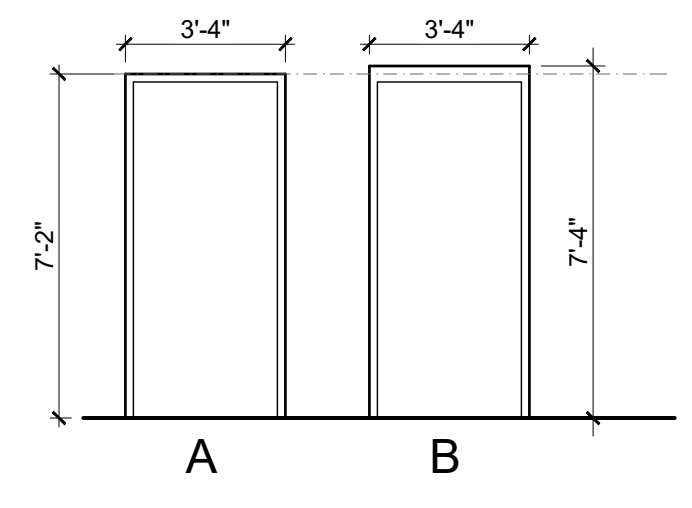
SPACE	FLOOR	WALLS	CLG	REMARKS
1.01	OFFICE	WD VB PT-2 PT-2 PT-2 PT-2	NO	PAINT BAR JOISTS & ROOF DECK
1.02	STAFF	WD VB PT-1 PT-1 PT-1 PT-1	NO	PAINT BAR JOISTS & ROOF DECK
1.03	CORRIDOR	WD VB PT-1 PT-1 PT-1 PT-1	GYP	
1.04	UNISEX	WD VB PT-1 PT-1 PT-1 PT-1	GYP	6" BASE
1.05	MECHANICAL	NO NO PT-1 PT-1 PT-1 PT-1	NO	PAINT BAR JOISTS & ROOF DECK
1.06	WASH BAY	NO NO WL WL WL WL	NO	PAINT BAR JOISTS & ROOF DECK
1.07	STORAGE	WD VB PT-1 PT-1 PT-1 PT-1	NO	PAINT BAR JOISTS & ROOF DECK

CEILING NOTES

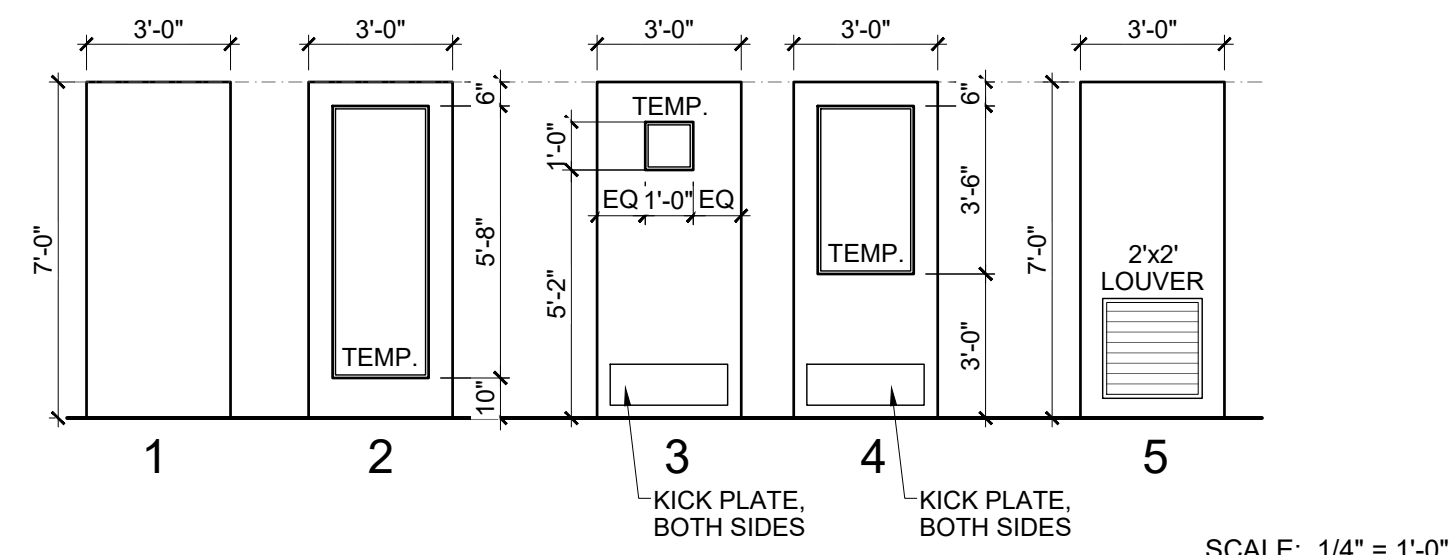
DOOR FRAMES AND ACT CEILING COLOR TO MATCH WALL COLOR IN ALL ROOMS, SEE FINISH SCHEDULE

3 ENLARGED FLOOR PLAN

2 FRAME ELEVATIONS



1 DOOR ELEVATIONS



ISSUE TRACKING

#	DATE	ISSUED WITH: CHANGE DESCRIPTION



SCALE: 3/16" = 1'-0" (U.N.O.)

SHEET # / DESCRIPTION

FLOOR PLAN

A1-1

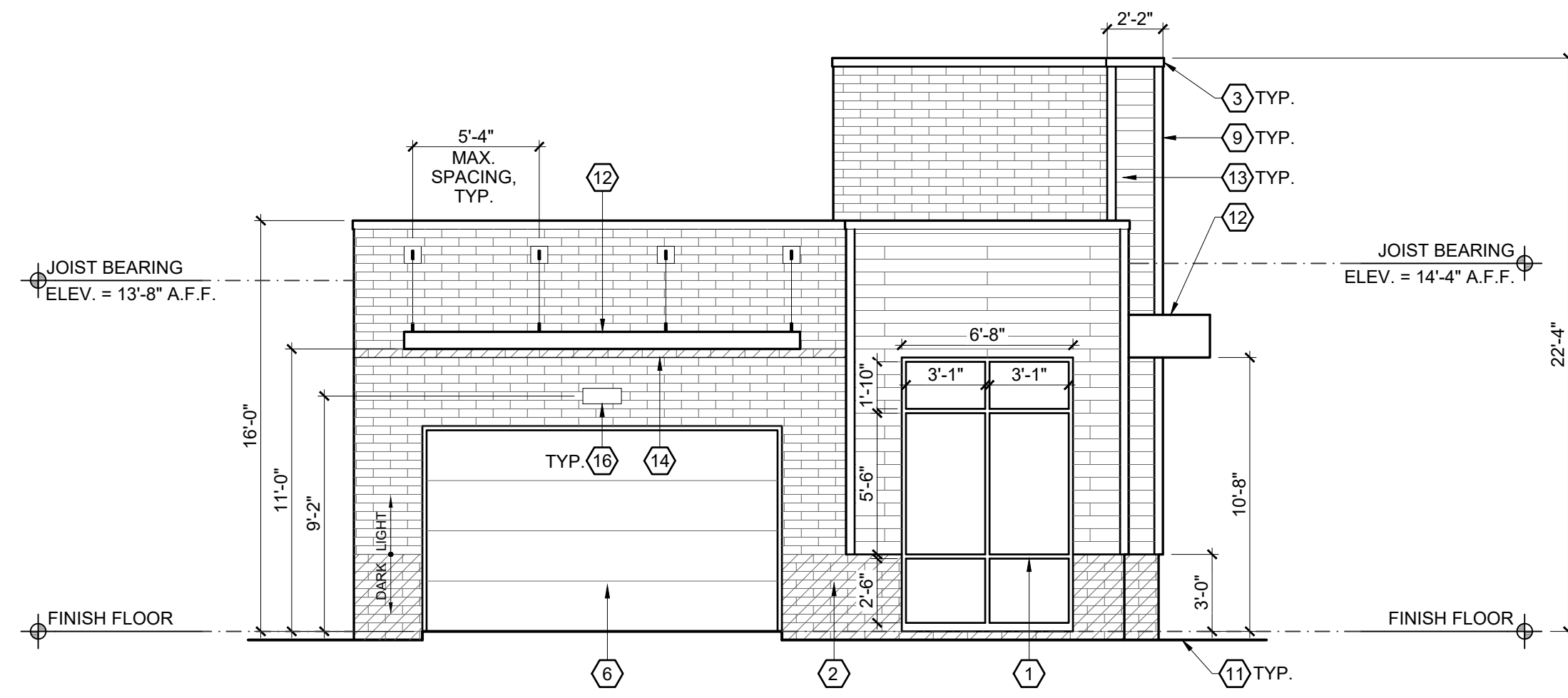
DATE: 07.21.2022

DESIGN REVIEW

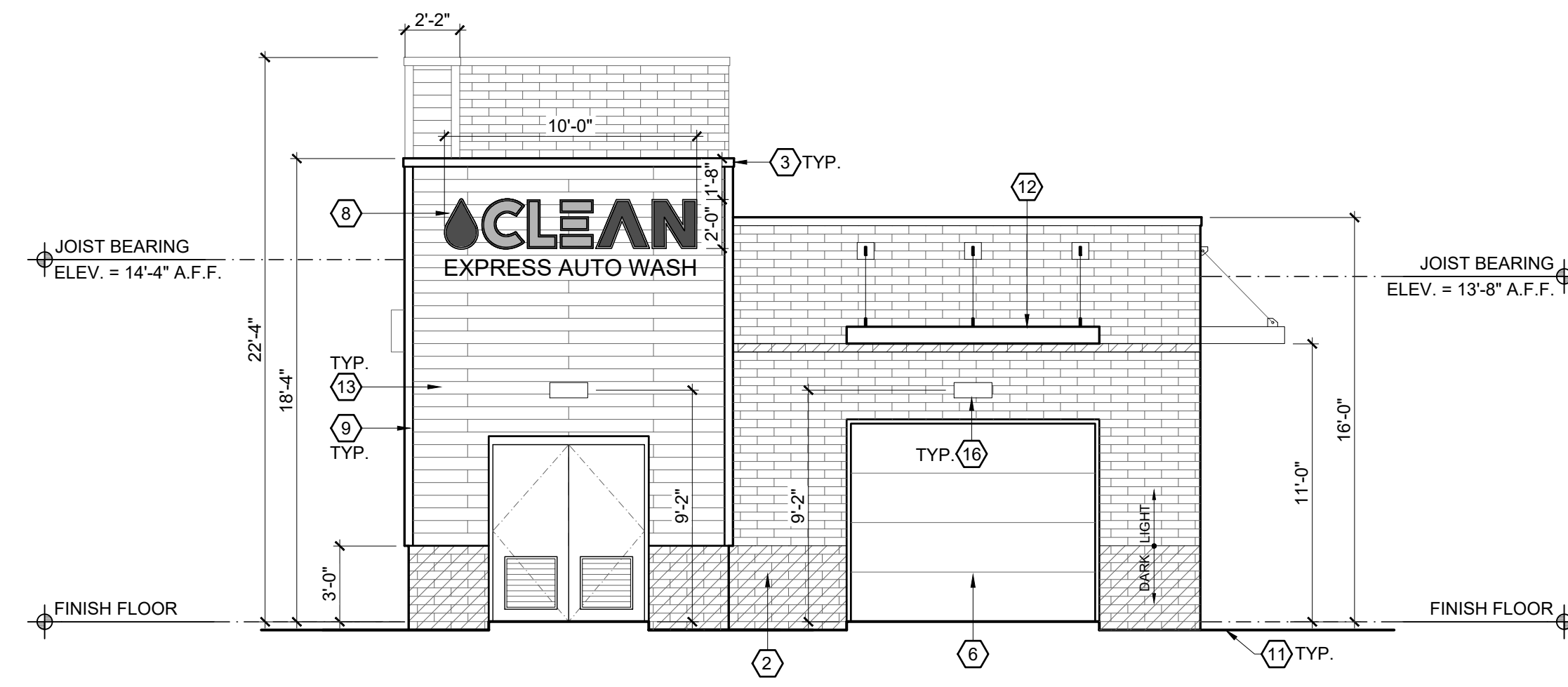
SCOTT BAKER, LICENSE #14654

EXPIRATION DATE 12/31/2023

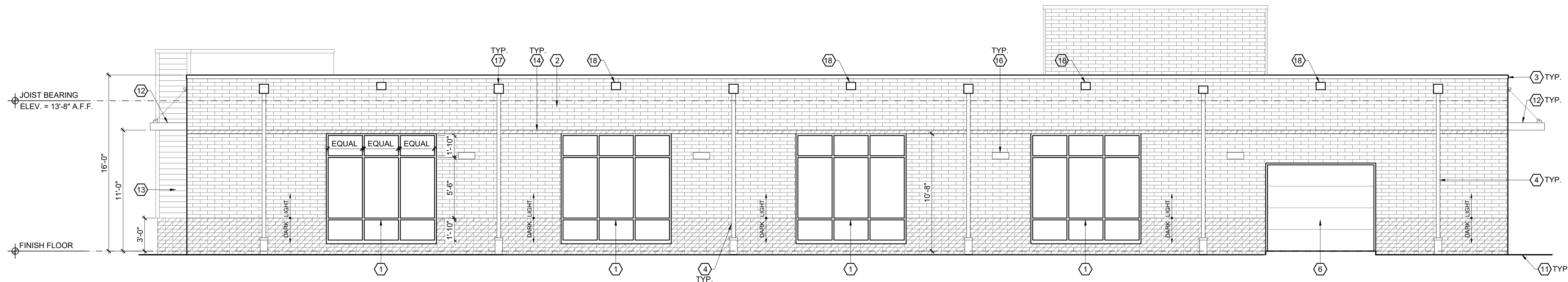
SBA STUDIOS PROJECT # 2022-000



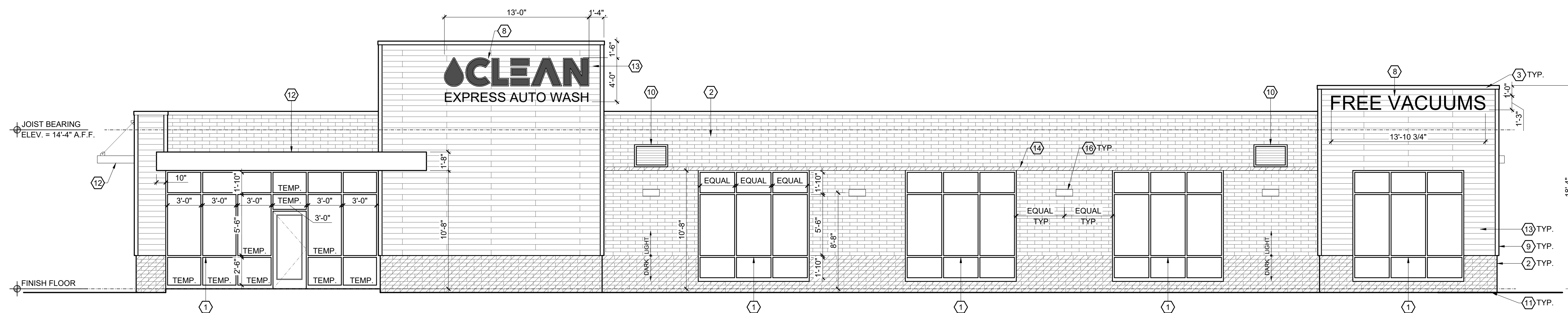
4 ENTRY ELEVATION



3 EXIT ELEVATION



2 SIDE ELEVATION



1 SIDE ELEVATION

ELEVATION CODED NOTES

1. ALUMINUM STOREFRONT GLAZING SYSTEM. MANUFACTURER TO DESIGN FOR WIND LOAD REQUIREMENTS PER CODE.
2. QUIK-BRIK CMU CONSTRUCTION. SEE MATERIALS LEGEND. INSTALL CONTROL JOINTS PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
3. CONTINUOUS METAL COPING, TYP.
4. 4" METAL DOWNSPOUT
5. NOT USED
6. OVERHEAD DOOR
7. NOT USED
8. SIGNAGE PROVIDED BY OWNER.
9. 1x4 COMPOSITE CORNER TRIM, TYP.
10. 36"x24" METAL WALL LOUVER W/ 2" FRAME. SEE HVAC DRAWINGS. LOCATE SUCH THAT OPENING IS NOT DIRECTLY BENEATH A ROOF JOIST
11. GRADE. COORDINATE W/ CIVIL DRAWINGS.
12. PRE-MANUFACTURED ALUMINUM AWNING. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
13. NICHHA FIBER CEMENT AWP181 HORIZONTAL SIDING.
14. MASONRY BAND IN DARK FINISH TO MATCH BASE OF WALL.
15. NOT USED
16. DECORATIVE LIGHT FIXTURE
17. SCUPPER & DOWNSPOUT COLLECTION BOX
18. EMERGENCY OVERFLOW SCUPPER

ELEVATION MATERIAL LEGEND

- QUIK-BRIK (LIGHT FINISH)
- QUIK-BRIK (DARK FINISH)
- NICHHA FIBER CEMENT AWP181 HORIZONTAL SIDING

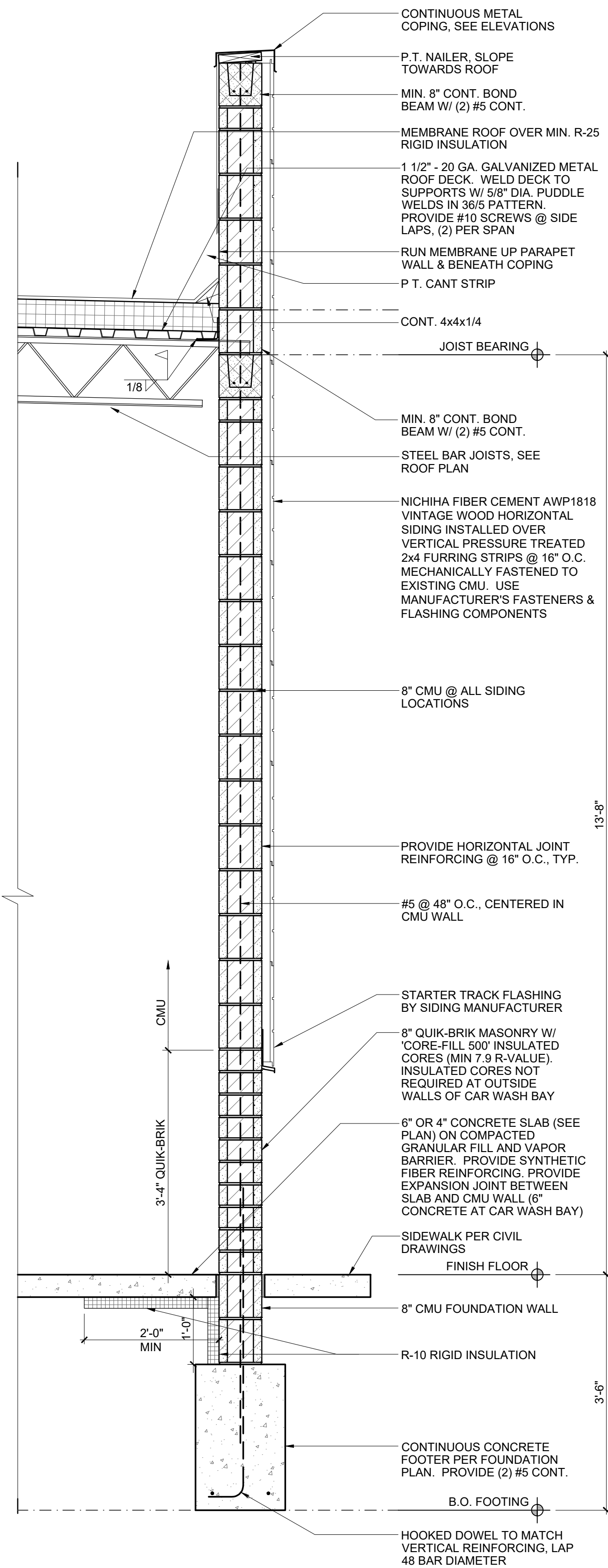
EXTERIOR MATERIAL NOTES:
1. COLOR OF METAL COPING TO MATCH STOREFRONT SYSTEM COLOR

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

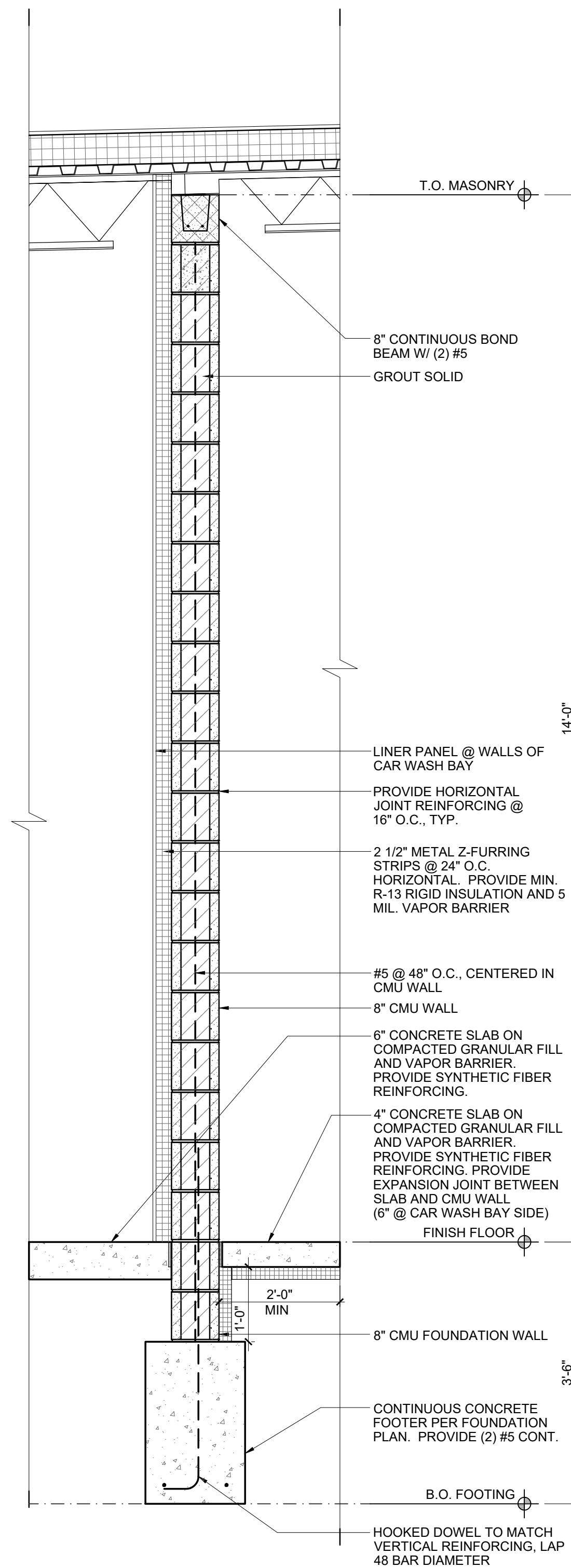
CLEAN
EXPRESS AUTO WASH

SBA STUDIOS
ARCHITECTURAL DESIGN
614.562.7761 WWW.SBA-STUDIOS.COM

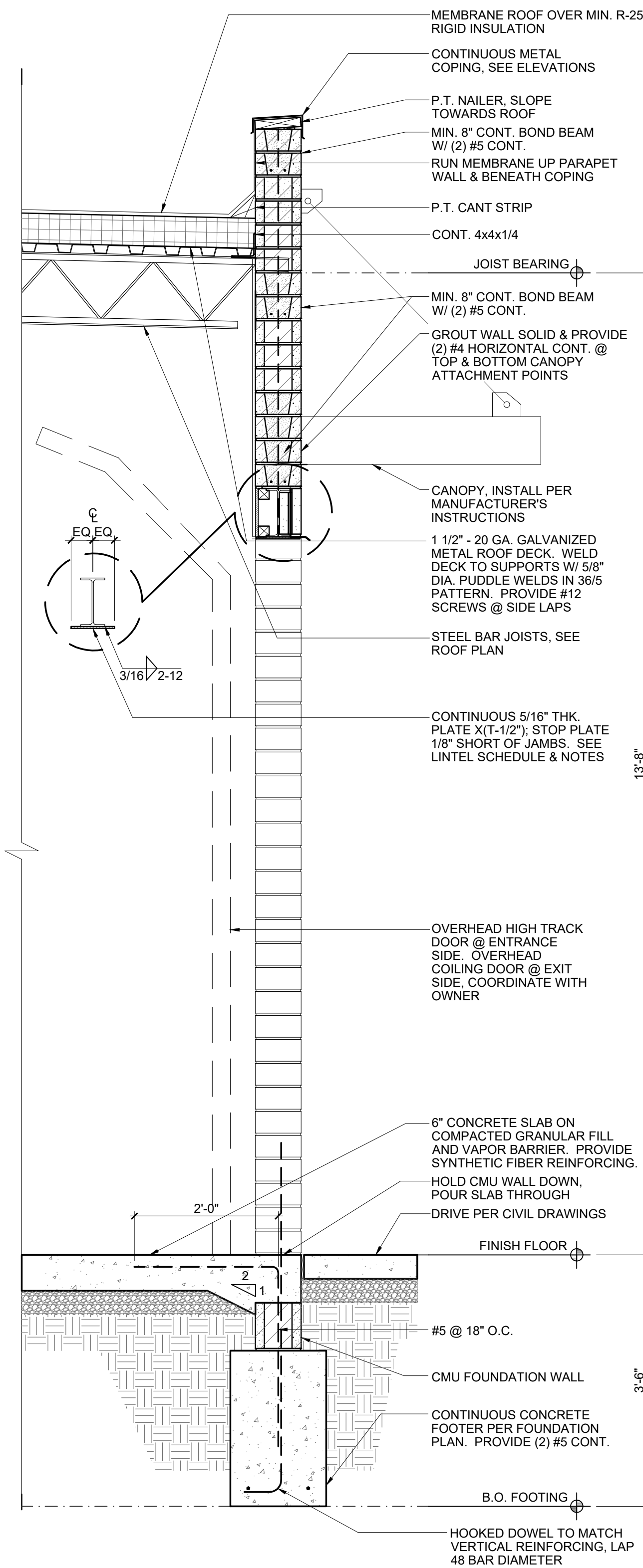
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SHEET # / DESCRIPTION
EXTERIOR ELEVATIONS
A2-1
DATE: 07.21.2022
DESIGN REVIEW
SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2023
SBA STUDIOS PROJECT # 2022-000



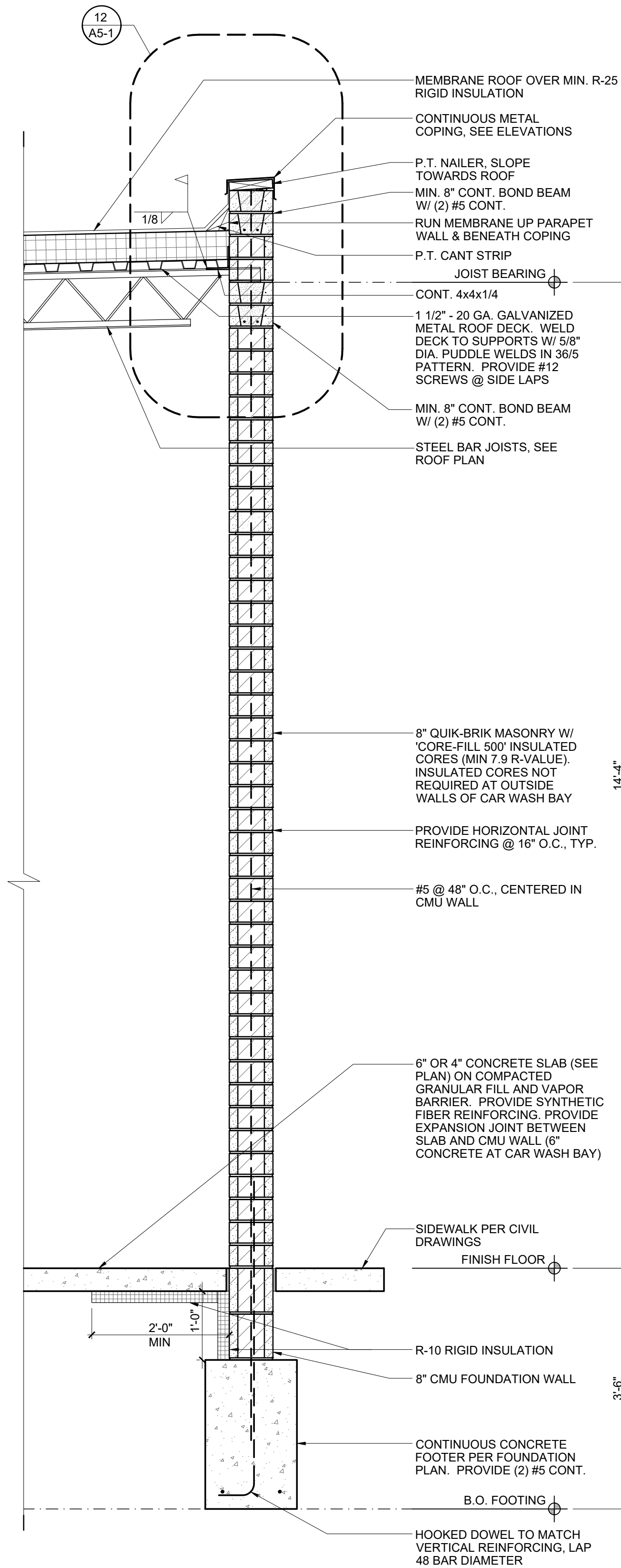
4 WALL SECTION @ EXT. SIDING LOCATIONS



3 INTERIOR WALL SECTION



2 WALL SECTION @ OVERHEAD DOOR



1 WALL SECTION

WALL SECTION NOTES

1. ALL MATERIALS ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, INDUSTRY STANDARD AND APPLICABLE CODES
2. SEE TRUSS / RAFTER PROFILES FOR TRUSS AND RAFTER BEARING HEIGHTS.
3. ANY CONFLICTS WITH MATERIALS AND INSTALLATION SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY IN WRITING FOR CORRECTION OR CLARIFICATION.
4. GRADE TO SLOPE 6" MIN. FOR THE FIRST 10' AWAY FROM THE BUILDING.
5. APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PREVENTION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM RE-ENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:
 - A. AT TOP OF ALL EXTERIOR DOOR AND WINDOW OPENINGS IN SUCH A MANNER AS TO BE LEAK-PROOF.
 - B. AT THE INTERSECTION OF CHIMNEYS OR ANY OTHER MASONRY WITH FRAME OR STUCCO WALLS, W/ PROJECTING LIPS.
 - C. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - D. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
 - E. AT ALL WALL AND ROOF INTERSECTIONS.
 - F. ALL EXTERIOR PENETRATIONS INCLUDING BUT NOT LIMITED TO, EXHAUSTS / VENTS, INTAKES, CONDUITS, WIRES, PLUMBING, & CONDENSER LINES
 - G. LOCATIONS WHERE DISSIMILAR MATERIALS ABUT. CARE IS BE TAKING TO FLASH, CAULK, OR OTHERWISE SEAL TO PREVENT PENETRATION AT JOINTS

#	DATE	ISSUED WITH: CHANGE DESCRIPTION



SCALE: 3/4" = 1'-0"

SHEET # / DESCRIPTION

WALL SECTIONS

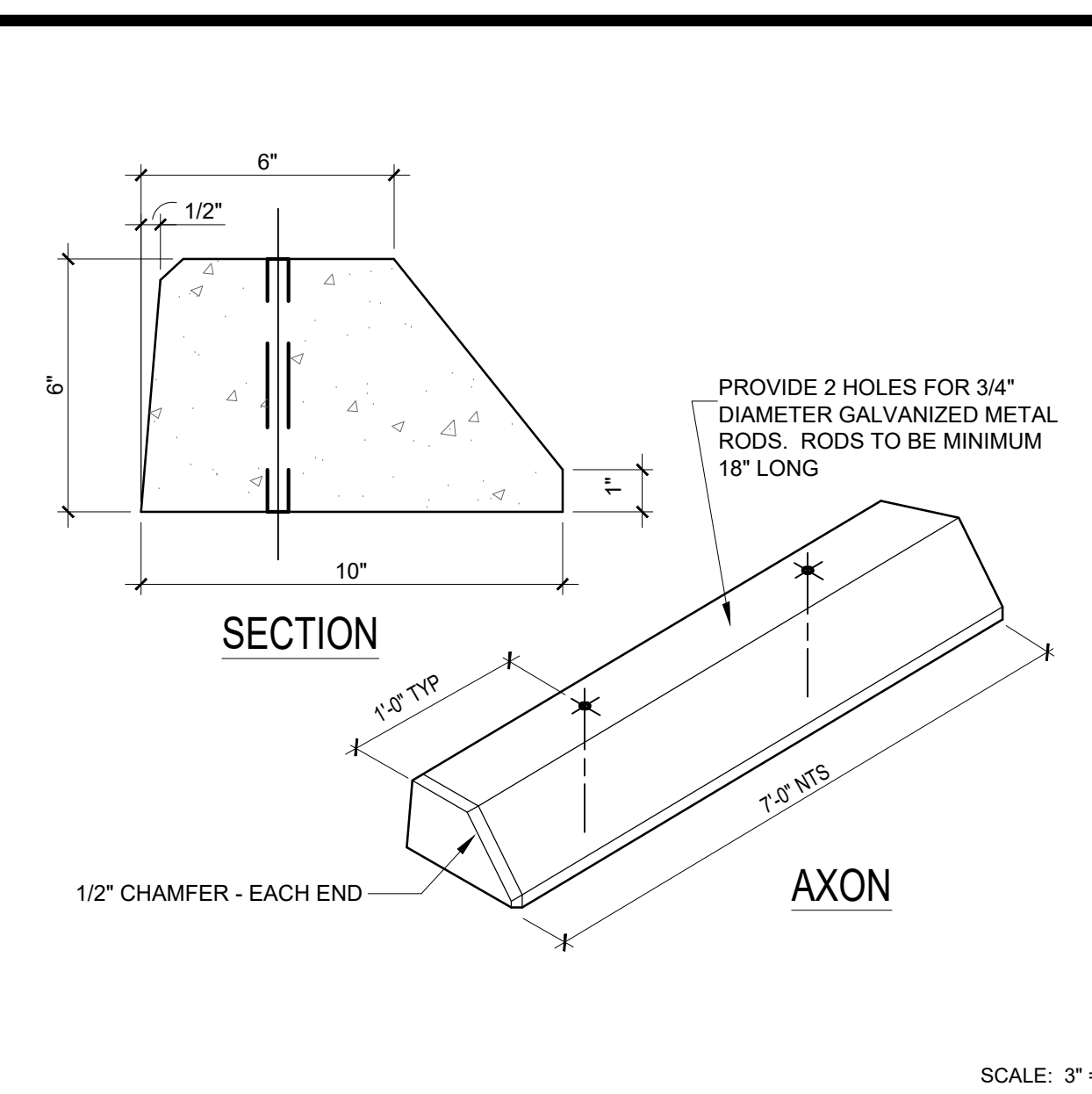
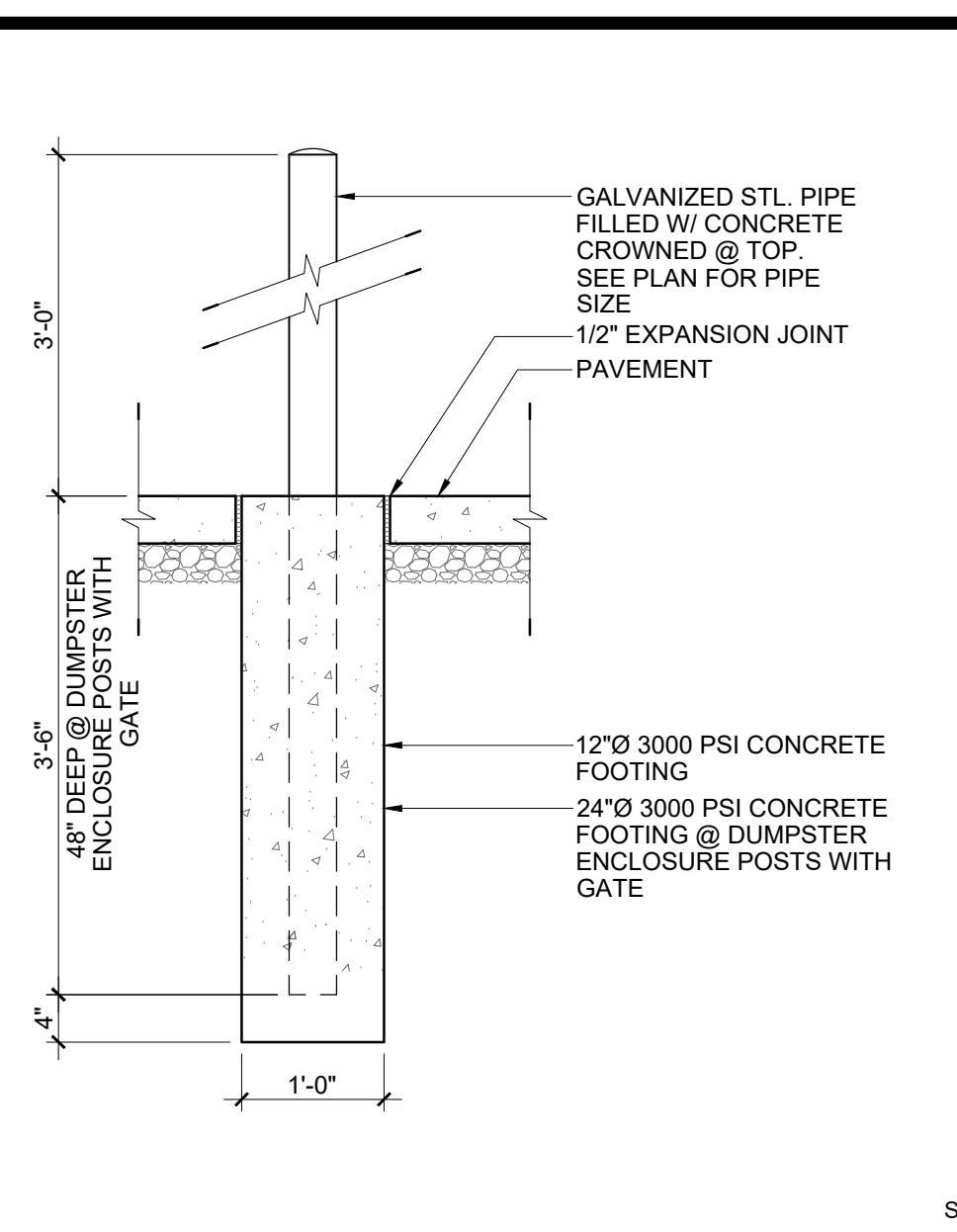
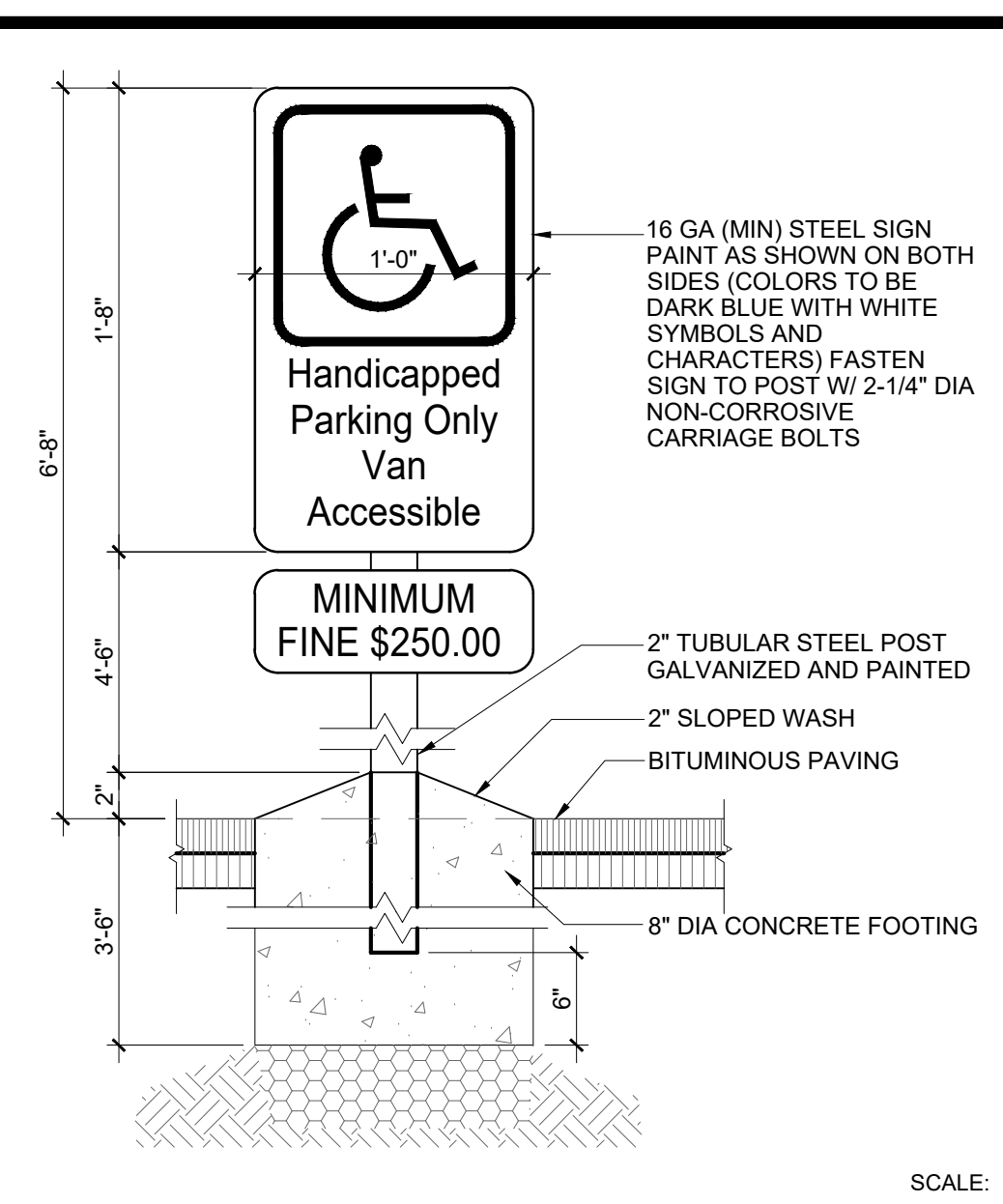
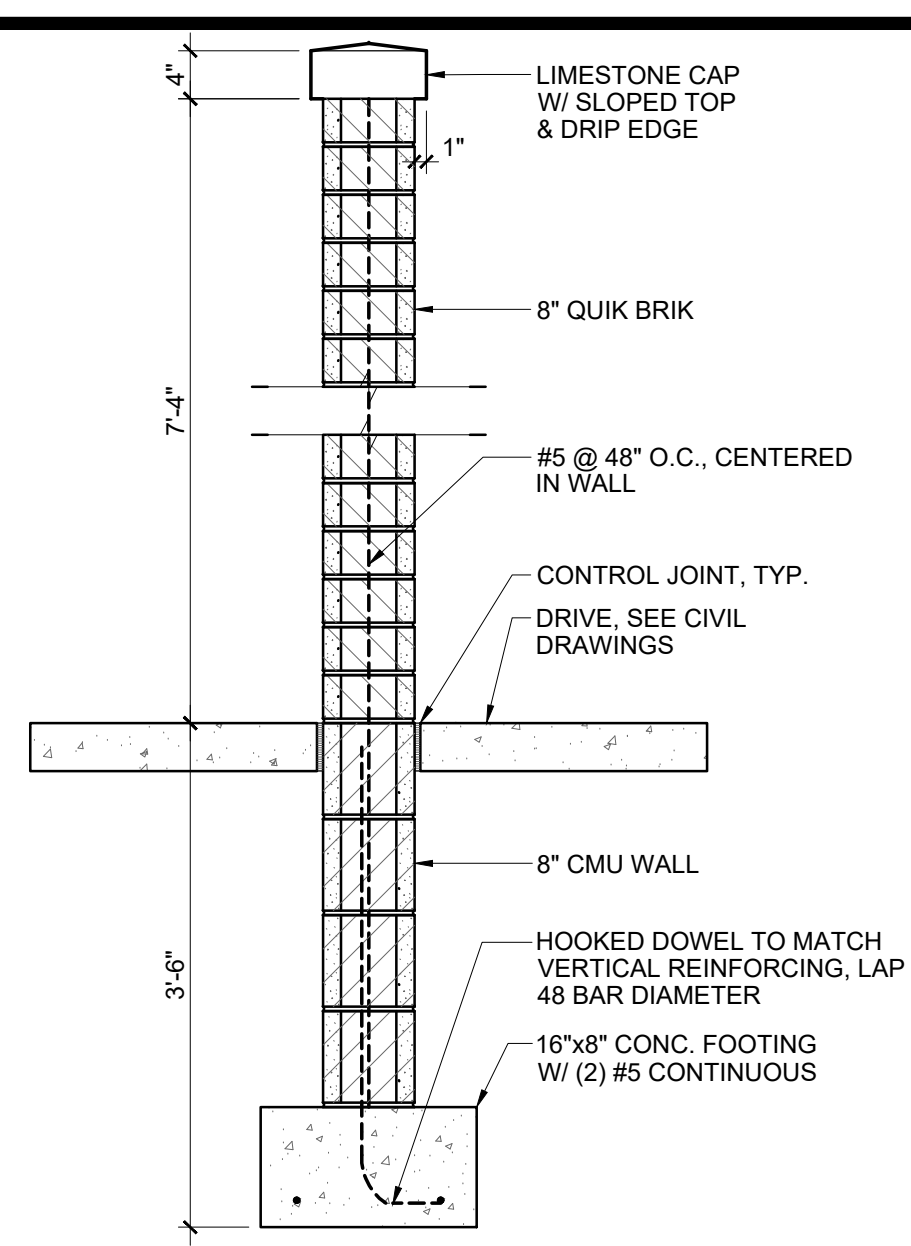
A4-1

DATE: 04.05.2022

PLANNING REVIEW

SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2023

SBA STUDIOS PROJECT # 2022-000

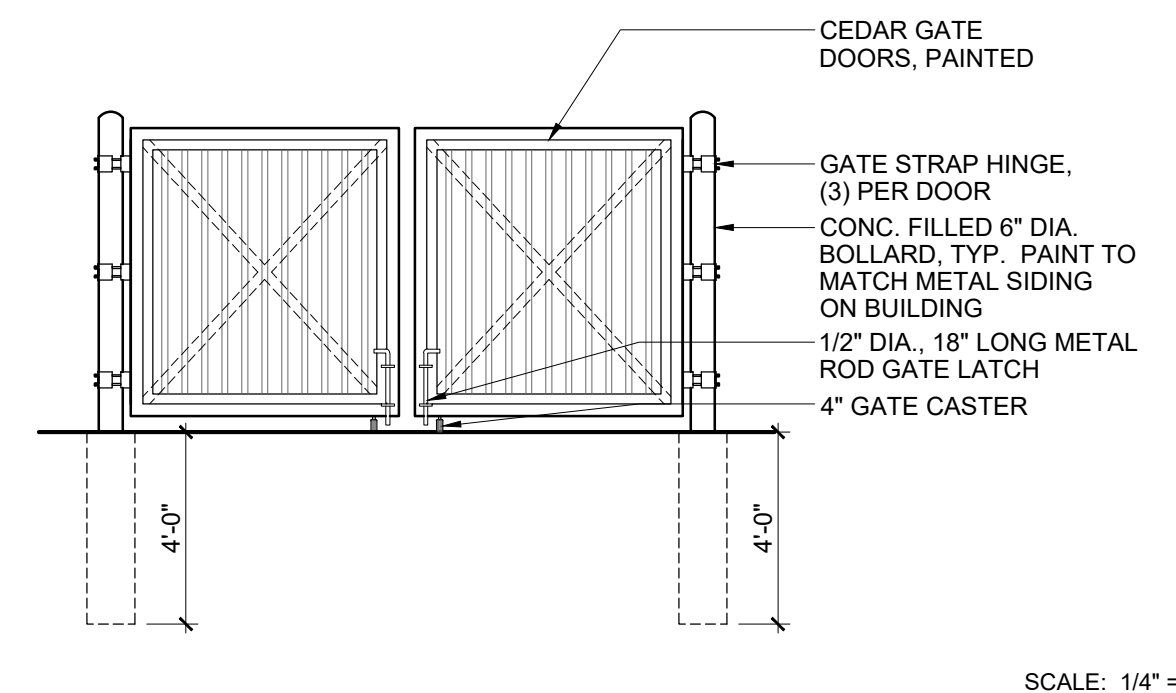
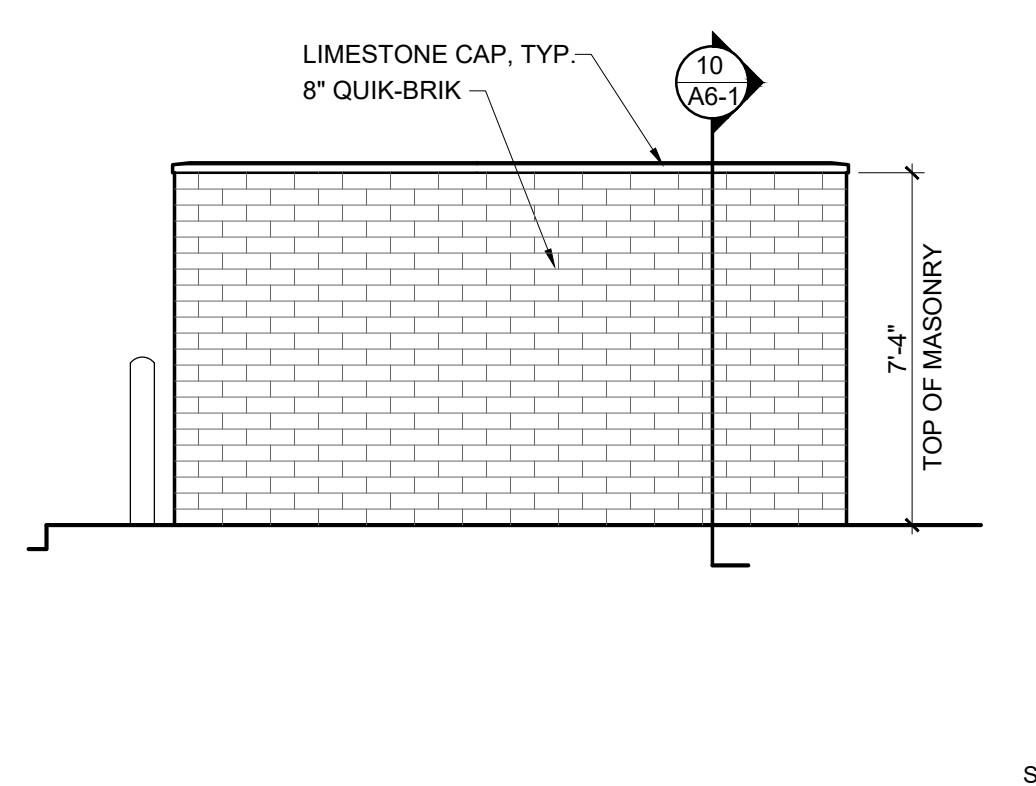
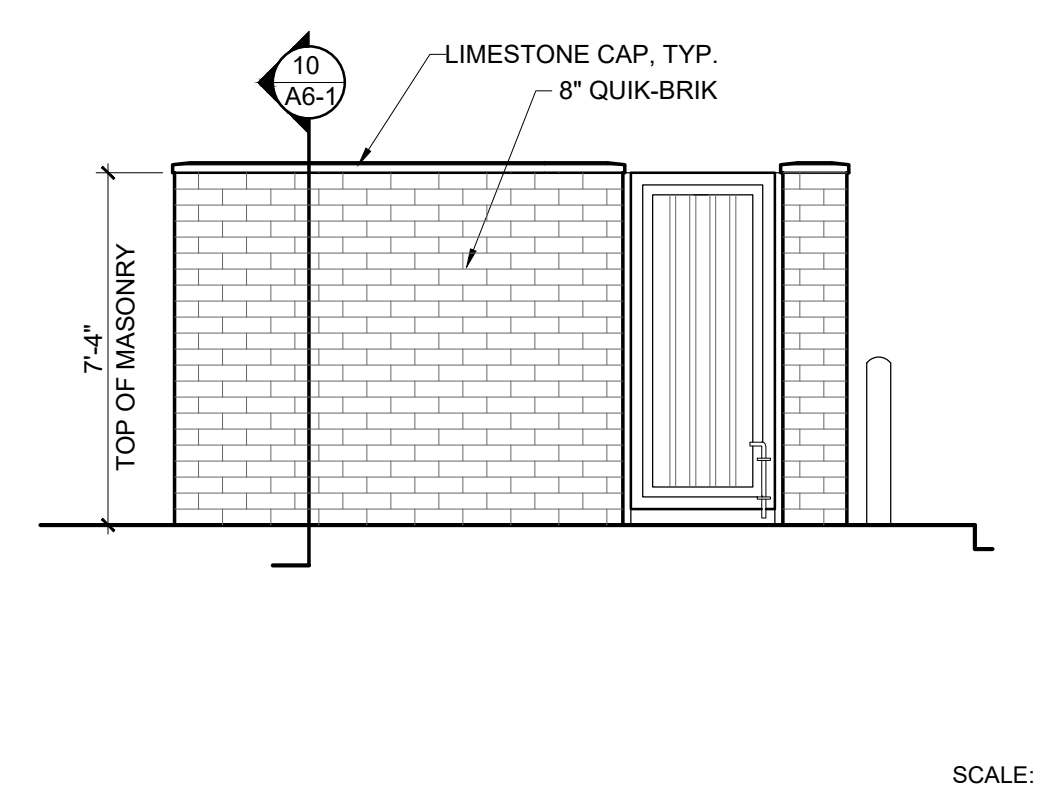
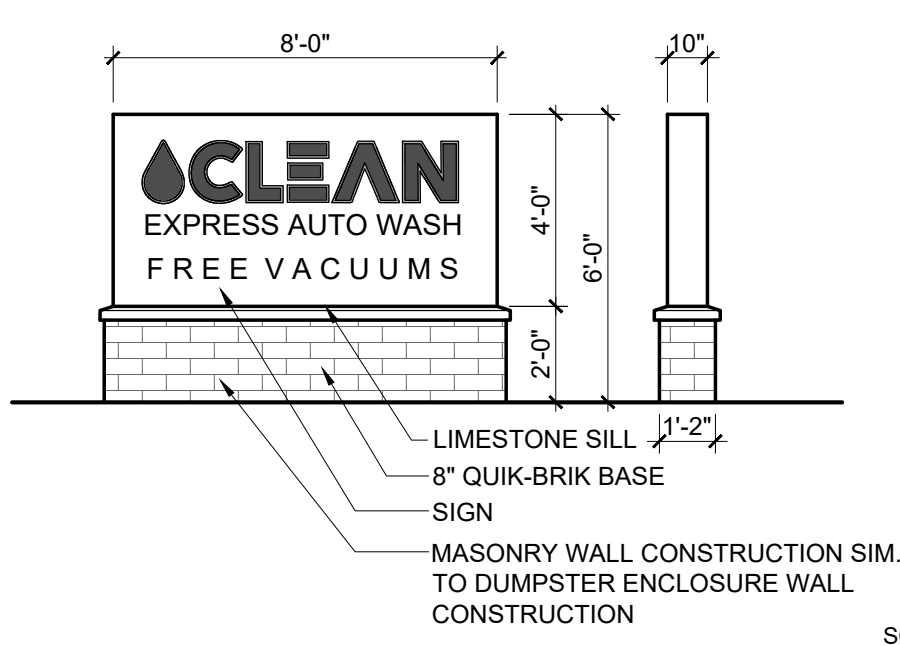


10 DUMPSTER ENCLOSURE SECTION

9 ACCESSIBLE PARKING SIGNAGE

5 PIPE BOLLARD DETAIL

4 PARKING BLOCK DETAIL

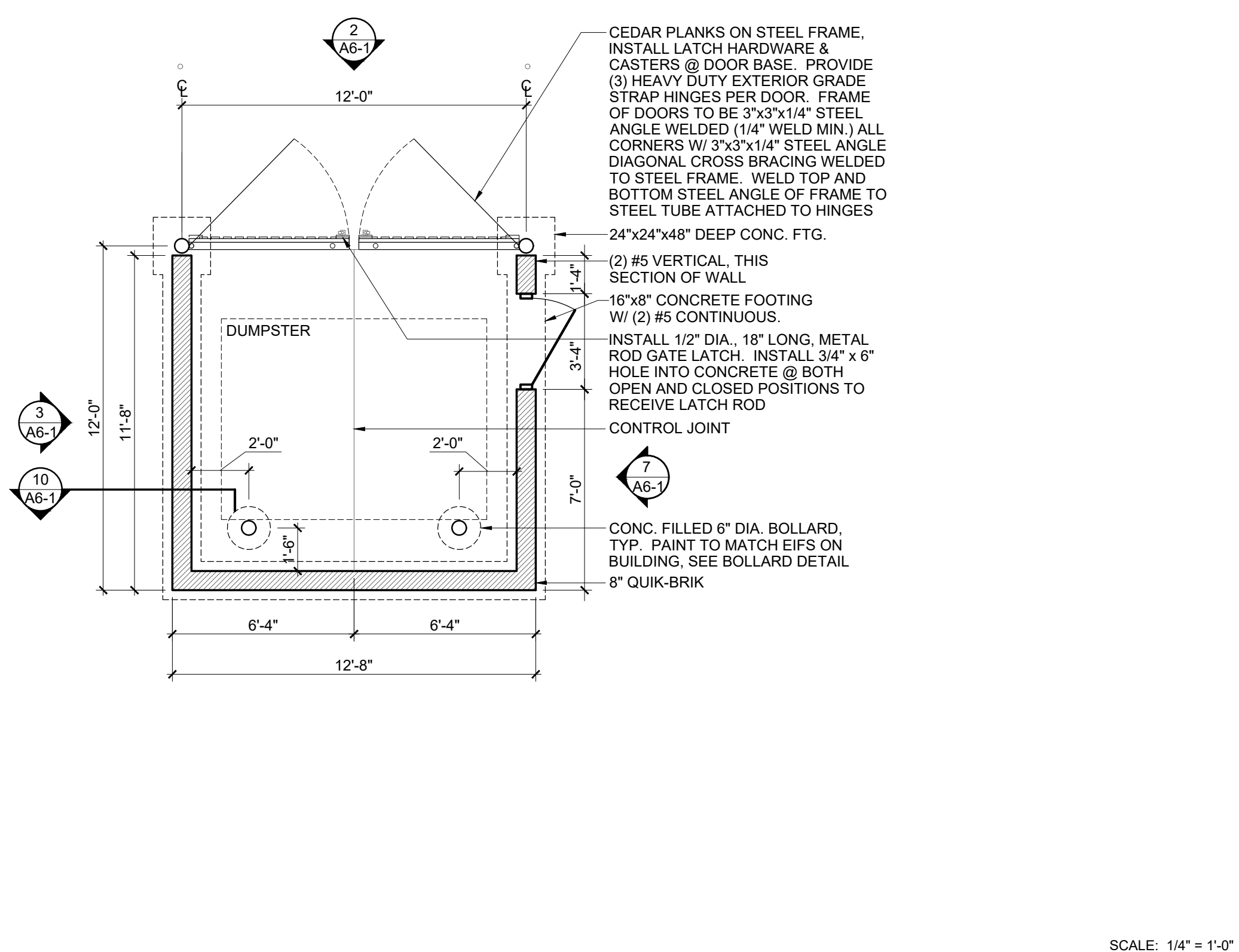
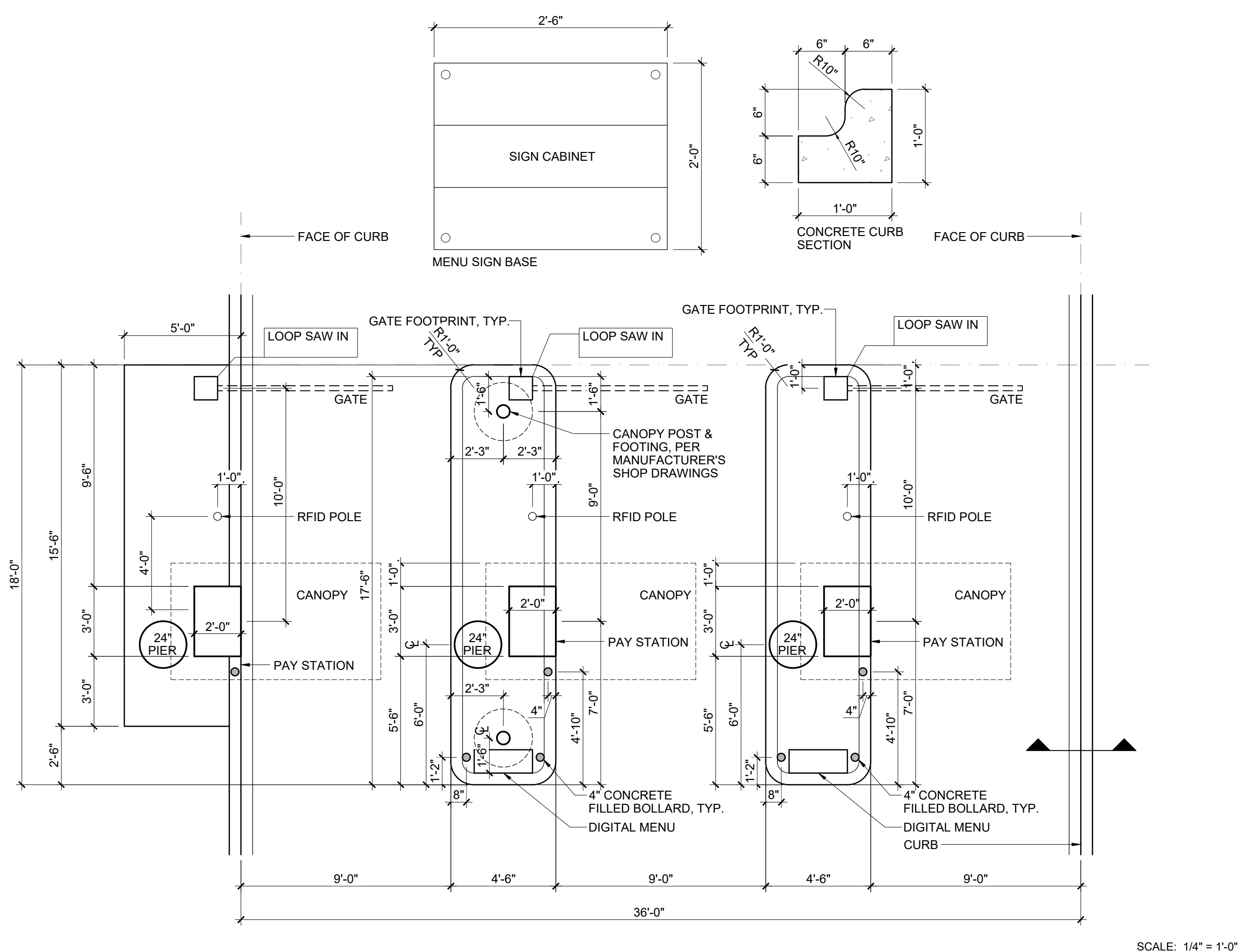


8 EXTERIOR MONUMENT SIGNAGE

7 DUMPSTER ENCLOSURE - ELEVATIONS

3 DUMPSTER ENCLOSURE - ELEVATIONS

2 DUMPSTER ENCLOSURE - ELEVATIONS



6 PAY STATION LAYOUT

1 DUMPSTER PLAN

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

CLEAN
EXPRESS AUTO WASH

SBA STUDIOS
ARCHITECTURAL DESIGN
614.562.7761 WWW.SBA-STUDIOS.COM

SCALE: VARIES
SHEET # / DESCRIPTION
SITE DETAILS
A6-1
DATE: 04.05.2022
CONSTRUCTION DOCUMENTS
SBA STUDIOS PROJECT # 2022-157

PRELIMINARY CONSTRUCTION

SCOTT BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2023

RECEIVED

MAR 13 2023

Case No. PPC23-0005

Date Submitted MAR. 13, 2023

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

City of Lincoln Park
APPLICATION FOR SPECIAL USE APPROVAL

NOTICE TO APPLICANT: Applications for Special Use review by the Planning Commission must be submitted to the City *in substantially complete form* at least thirty (30) days prior to the Planning Commission’s meeting at which the proposal will be considered. The application must be accompanied by six (6) individual folded copies of the site plan, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 p.m. All meetings are held at the Lincoln Park City Hall, 1355 Southfield Road, Lincoln Park, Michigan 48146. Phone number (313) 386-1800; Fax (313) 386-2205.

Special Uses shall comply with the standards in Section 1262.08 of the Zoning Ordinance. Accordingly, a public hearing shall be held by the Planning Commission before a decision is made on any Special Use request. Furthermore, a site plan shall be required, which shall be prepared in accordance with Section 1294.01 of the Ordinance.

TO BE COMPLETED BY APPLICANT:

I (we) the undersigned do hereby respectfully request Special Use Review and provide the following information to assist in the review:

Applicant: Kyle Wrentmore

Mailing Address: 607 Shelby St, Suite 300, Detroit, MI 48226

Email Address: kwrentmore@manniksmithgroup.com

Telephone: 614-441-4222 Fax: _____

Property Owner(s) (if different from Applicant): Woodward Detroit CVS, LLC.

Mailing Address: _____

Telephone: _____ Fax: _____

Applicant’s Legal Interest in Property: Redeveloper

Location of Property: Street Address: SWC of Fort St & Mill St

Nearest Cross Streets: Fort Street & Mill Street

Sidwell Number: 45-009-99-001-0702

Property Description:

If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e., “acreage parcel”), provide metes and bounds description. Attach separate sheets if necessary.

Property Size (Square Ft): 50,535 (Acres): 1.16

Present Use of Property: Vacant Lot

Proposed Use of Property: Car Wash

RECEIVED

Existing Zoning (please check):

- | | | | | | |
|----------|------------|--------------------------------------|---|-----|-----------------------------|
| G | SFRD | Single Family Residential District | G | RBD | Regional Business District |
| G | MFRD | Multiple Family Residential District | G | CBD | Central Business District |
| G | MHRD | Mobile Home Park District | G | GID | General Industrial District |
| G | NBD | Neighborhood Business District | G | LID | Light Industrial District |
| G | MBD | Municipal Business District | G | CSD | Community Service District |
| G | PUD | Planned Unit Development District | | | |

Please Complete the Following Chart:

Type of Development	Number of Units	Gross Floor Area	Number of Employees on Largest Shift
Detached Single Family			
Attached Residential			
Office			
Commercial	1	3677 sq. ft.	7
Industrial			
Other			

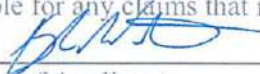
ATTACH THE FOLLOWING:

- Six (6) individually folded copies of the site plan, sealed by a registered architect, engineer, landscape architect or community planner.
- Proof of property ownership.
- A brief written description of the proposed use.

PLEASE NOTE: The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

APPLICANT'S ENDORSEMENT:

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this application.



3/10/2023

 Signature of Applicant Date

 Signature of Applicant Date

 Signature of Property Owner Authorizing this Application Date

To be completed by City:

Date Submitted: _____ Fee Paid: _____

Received By: _____ Date of Public Hearing: _____

PLANNING COMMISSION ACTION (RECOMMENDATION)

To Approve: _____ To Deny: _____ Date of Action: _____

Reasons for Action Taken: _____

CITY COUNCIL ACTION

Approved: _____ Denied: _____ Date of Action: _____

Reasons for Action Taken: _____

1611 Dix – Beauty Salon

Site Plan Review

Applicant	Edalis H. Gomez-Feliz
Project	Beauty Salon
Address	1611 Dix Highway, Lincoln Park, MI 48146
Date	July 12, 2023
Request	Site Plan Review

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial View

The proposed project is a beauty salon. The existing building is currently vacant and was previously used as a real estate office.

Site Conditions

The 0.12-acre site is located on the corner of Dix Highway and O'Connor Avenue. There is an existing public sidewalk along both rights-of-way, and the rear (east) side of the property abuts a public alley, which provides vehicular access to the site. The entire site is impervious surface, which includes the building and the parking area to the north.

Master Plan

Future Land Use Classification

The future land use classification for the site is General Commercial. The proposed beauty salon use is consistent with the designation.

Intent, Desirable Uses, and Elements

The General Commercial land use is intended to provide retail goods and services on a city-wide scale as well as a regional scale that draw customers from within and outside the City. This is a suitable location for automobile-oriented uses that are not appropriate in pedestrian-oriented City areas such as the downtown, including as restaurants with car service, gas stations with or without convenience stores, minor auto repair shops, and car washes that comply with special design standards.

Land Use and Zoning

Zoning

The site is zoned Municipal Business District (MBD). “Beauty salons” are principally permitted in the district (§1276.02(f)(2) via §1278.02(a)).

Proposed and Existing Uses

Site	Commercial (vacant building) – Municipal Business District (MBD)
North	Commercial – Municipal Business District (MBD)
East	ROW, then Residential – Single Family Residential District (SFRD)
South	Commercial – Municipal Business District (MBD)
West	ROW, then Municipal – Community Service District (CSD)



Figure 2: Zoning Map

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
CS.1	Cover Sheet	05/24/2023	–
S1.0	Preliminary Site Plan	05/24/2023	–
S1.1	Landscaping Plan	06/11/2023	–
A1.0	Existing & Proposed Floor Plans	05/24/2023	–
A1.1	Mechanical & Reflected Ceiling Plan	06/11/2023	–
A2.0	Demolition Plan	05/24/2023	–
A2.1	Proposed Electrical Plan	05/24/2023	–
A2.2	Proposed Plumbing Plan	05/24/2023	–
A3.0	Existing Elevations	05/24/2023	–

Dimensional Standards

The dimensional requirements of the Municipal Business District (MBD) district are described in the chart below. (§1294.32, except where noted)



	Required	Provided	Compliance
Lot Width	Min. 40	~63 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls maximum 2 ½' < height < 8'	Eight shrubs, 2-foot minimum.	Met
Lot Area	Min. 4,000 sq. ft.	~5,308 sq. ft.	Met
Lot Coverage	Max. 50%	1,322/5,308 = ~25%	Met
Height	2-Story Building; 25 ft	1 story	Met
Setback – Front	0	~3'	Met
Setback – Sides	0	~33' (northeast) ~0' (southwest)	Met
Setback – Rear	0	~21'	Met

Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' 	<p>Met</p>
<ul style="list-style-type: none"> Architectural variety Similar materials and entrances to buildings within 500'  <p>1 block north on Dix Hwy – single-story, square, flat roofs, auto-oriented.</p>  <p>1 block south on Dix Hwy – parking lots, auto-oriented.</p>	<p>Met</p>
<ul style="list-style-type: none"> Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW) <u>Northwest Elevation (Front on Dix): 48% Masonry (119/246)</u> <ul style="list-style-type: none"> Vertical Aluminum Siding: ~124 sf Glass (exempt): ~103 sf Brick: ~119 sf Total Area: ~349 sf <u>Southeast Elevation (Rear): 80% Masonry (180/225)</u> <ul style="list-style-type: none"> Vertical Aluminum Siding: ~24 sf Metal Door: ~21 sf Glass (exempt): ~83 sf CMU Block: ~173 sf Brick: ~7 sf Total Area: ~308 sf <u>Northeast Elevation (Front on O'Connor): 95% Masonry (604/632)</u> <ul style="list-style-type: none"> Vertical Aluminum Siding: ~28 sf Brick: ~604 sf Glass (exempt): ~15 sf Total Area: ~647 sf <p>25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block)</p> Natural colors (bright for decorative features only) <i>Natural brick and block</i> 	<p>NOT MET</p>

Required	Compliance
<ul style="list-style-type: none"> • Façade: <100' uninterrupted • If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches • All sides similar 	Met
<ul style="list-style-type: none"> • Windows: vertical, recessed, visually obvious sills • Spaces between windows = columns, mullions, or material found elsewhere on the façade • Front facades > 25% windows <i>Dix Hwy: 103/349 = ~29.5%, O'Connor Ave: 91/647 = ~14%</i> • Size, shape, orientation, spacing to match buildings within 500' 	NOT MET
<ul style="list-style-type: none"> • Main entrances: doors larger • Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) 	Met
<ul style="list-style-type: none"> • Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 • Rooflines >100' = roof forms, parapets, cornice lines • Roof-top mechanical equipment screened by roof form. 	Met

The existing building meets all building materials requirements except for the 75% masonry requirement for the sides fronting Dix Hwy and the rear, as well as the 25% transparency/window requirement on O'Connor Ave. Material plans for the side fronting Dix Hwy include keeping the brick exterior and vertical aluminum siding as they are. Because there are no plans to change the materials of the existing building, the City has historically permitted conditions to remain. The transparency measure for the side fronting O'Connor Ave. includes the windows of the main entrance. These windows are shown on the "rear" side of the site plan because of the protrusion that juts out on the building's left side. With these windows, the side fronting O'Connor Ave. has 14% transparency. While there is an 11% discrepancy for this frontage, the side fronting Dix Hwy exceeds the transparency requirement with 29.5% transparency. Because this building and its windows are existing, the city has historically permitted conditions to remain as they are.

Items to be addressed

None

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The site is served by a public sidewalk on Dix Highway and O’Connor Avenue, which provides pedestrian circulation separated from vehicular circulation. There are no bicycle lanes on the ROW or bicycle parking facilities proposed. Any broken, cracked, or unsafe sidewalks in the right-of-way must be repaired.

Items to be addressed

- Applicant shall ensure that concrete sidewalks are brought up to City standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
Beauty Parlors or Barber Shops	Three (3) for each of the first two (2) beauty or barber chairs, and one and one-half (1 ½) for each additional chair. <i>3 chairs total: first 2 chairs = 6 parking spots, final chair = 1.5 spots</i> <i>Total: 7.5 parking spaces = 7 spaces</i>	7 parking spaces	Met

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Existing ingress and egress via rear alleyway. However, parking spaces are diagonal which may lead to limited ability to maneuver within the lot to exit via rear alleyway.	INQUIRY
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Parking area has existing concrete. Engineering comments indicate required revisions to site plan notes on sheet S1.0.	INQUIRY
	Concrete curbs and gutters	Existing concrete curbs and gutters	Met

	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	There are residential properties across the alley; however, there is no space on the site to provide a wall.	N/A
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	There are residential properties across the alley; however, there is no space on the site to provide a wall.	N/A
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	It is possible that with the current parking configuration, vehicles may need to use the alley for maneuvering.	INQUIRY
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	No barrier at the edge of any parking spots.	NOT MET

Ingress and egress to the site rely completely the public alleyway behind the site which may pose challenges to incoming/outgoing vehicles as the direction of movement in the alleyway is not marked. Further, the diagonal direction of parking spots on the site presents additional complications to maneuvering in order to reach the site's only exit via alleyway. Engineering comments indicate that the site plan notes on sheet S1.0 shall be revised to include the City of Lincoln Park standards for note #1, an 8-inch-thick drive approach for note #2, and a 4-inch-thick sidewalk for note #3.

Items to be addressed

- Applicant shall provide parking barriers between the parking spaces and the public sidewalk.
- Applicant comment requested as to how parking lot circulation will function.
- Applicant shall revise the site plan notes on sheet S1.0 to address Engineering comments.

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 to 25	1	1	Met

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
0 to 2,000	0	0	Met

Items to be addressed

None

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Rd., Fort St., Dix Ave., and Outer Dr.

Access to the site is via the rear alley; therefore, the standards of this section do not apply.

Items to be addressed

None

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via the rear alley.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	Existing greenbelt along Dix Hwy.; no greenbelt on O'Connor Ave.	Partially Met
	1 tree and 4 shrubs per 40' of street frontage <i>63' on Dix Ave. + 84' on O'Connor Ave = 147' frontage = 4 trees and 15 shrubs</i> <i>30% redevelopment standard = 1 trees + 5 shrubs</i>	There are two trees and eight shrubs proposed along Dix Hwy.	Met
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	Parked vehicles face O'Connor Ave., no obscuring hedge proposed; however, there is no space to provide one.	N/A
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>(5,300 sf * 0.1) = 530 sf landscaping</i> <i>30% redevelopment standard = 159 sf</i>	No internal landscaping proposed; however, the landscaped area along Dix Hwy counts towards this requirement	Met
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	Landscaped area is near front entrance and sidewalk	Met
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>30% redevelopment standard of 530 sf landscaping = 159 sf → 0 trees + 0 shrub</i>	While the area of required landscaping based on redevelopment standards do not call for additional trees and shrubs, the additional street landscaping (one extra tree and three extra shrubs) counts toward this requirement.	Met
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces < 10 parking spaces	Not applicable	N/A
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	No waste management plan provided.	NOT MET

	Required	Proposed	Compliance
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive), and/or solid 6' masonry wall ornamental on both sides	There are residential properties across the alley; however, there is no space on the site to provide a wall.	N/A

Because the proposed project is a redevelopment of an existing site, it must only meet 30% of the landscaping standards. Currently, the entire site is completely impervious with limited opportunity to provide or plan for interior landscaping. However, the proposed street landscaping exceeds the minimum requirements (one extra tree and three extra shrubs), which contributes to overall landscaping and greening of the space and brings the site closer into compliance with the Zoning Ordinance.

Items to be addressed

- Applicant shall provide a waste management plan.

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site. Engineering comments state that if the existing sanitary sewer is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building’s use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. If the existing water service is being reused, it is important that the developer realize this existing water service is also old and may have reached its life expectancy. If the existing service is a lead-type service or undersized, it will be required to be removed and replaced. The design professional must verify the existing water service type, size, and lead capacity and should verify that the existing service is adequate to handle the required flows.

Items to be addressed

- *Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- *It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County.

Items to be addressed

- *Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

There does not appear to be new lighting proposed at this time. If new lighting is proposed, details must be provided.

Items to be addressed

- *If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

There is existing roof-top mechanical equipment that is not screened. Should the equipment need to be replaced, it would need to be screened in accordance with Ordinance requirements.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

There is an existing pole sign on the property. Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

The proposed use is not expected to generate hazardous materials or waste.

Items to be addressed

None

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

Beauty salons are principally permitted in the district.

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- Work in the Dix Hwy. right-of-way requires a permit from the Wayne County Road Commission.*

- Applicant to secure all appropriate agency reviews as needed.

VARIANCES

No variances are anticipated from this proposal.

Items to be addressed

None

RECOMMENDATIONS

Findings

The information submitted with this proposal is substantially in compliance with §1296.01, Site Plan Review.

Conditions

Conditions to be Addressed Before Approval Letter is Issued

- Applicant shall provide parking barriers between the parking spaces and the public sidewalk.
- Applicant comment requested as to how parking lot circulation will function.
- Applicant shall revise the site plan notes on sheet S1.0 to address Engineering comments.
- Applicant shall provide a waste management plan.
- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

Conditions of Approval

- Applicant shall ensure that concrete sidewalks are brought up to City standards.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.
- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Work in the Dix Hwy. right-of-way requires a permit from the Wayne County Road Commission.

- Applicant to secure all appropriate agency reviews as needed.

Proposed Motion

I move that the City of Lincoln Park Planning Commission [**approve / deny / table**] the site plan numbered PPC23-0010, proposing a beauty salon at 1611 Dix Highway and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

GENERAL NOTES

1. GENERAL CONDITIONS OF THE CONTRACT (AIA DOCUMENT A-201) APPLY TO THIS PROJECT.
 2. ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY STANDARDS, AND THE BEST TRADE PRACTICES.
 3. THE GENERAL CONTRACTOR SHALL ARRANGE ALL INSPECTIONS AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL COSTS AND FEES FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF THE PROJECT (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING DEPARTMENT.
 4. ALL PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY STATE LICENSED CONTRACTORS. CONTRACTORS SHALL SUBMIT ALL REQUIRED PERMITS, CERTIFICATES, AND SIGN-OFFS TO OWNER AND ARCHITECT FOR THEIR RECORDS.
 5. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, BE FAMILIAR WITH THE EXISTING CONDITIONS, AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMISSION OF CONSTRUCTION PROPOSAL AND BEFORE BEGINNING WORK. THE DRAWINGS REFLECT CONDITIONS REASONABLY INFERRED FROM THE EXISTING VISIBLE CONDITIONS BUT CANNOT GUARANTEED BY THE ARCHITECT. DRAWINGS MAY BE SCALED FOR ESTIMATING PURPOSES AND FOR GENERAL REFERENCE ONLY. FOR ALL OTHER DIMENSIONS OR LOCATIONS CONSULT THE ARCHITECT OR REFER TO DIMENSIONS ON DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD.
 6. THE GENERAL CONTRACTOR SHALL LAY OUT ALL WORK AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS FOR TRADES SUCH AS ELECTRICAL, PLUMBING, ETC.
 7. THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO THE PREMISES AT ALL TIMES.
 8. THE CONSTRUCTION MANAGER SHALL MAKE THE PREMISES SECURE FROM THE ELEMENTS AND TRESPASS ON A DAILY BASIS.
 9. THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE FREE AND CLEAR OF ALL DEBRIS AND KEEP OUT ALL UNAUTHORIZED PERSONS, UPON COMPLETION OF WORK, THE ENTIRE CONSTRUCTION AREA IS TO BE THOROUGHLY CLEANED AND PREPARED FOR OCCUPANCY BY OWNER. ALL MATERIALS AND DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY. CARE SHALL BE TAKEN DURING CONSTRUCTION THAT NO DEBRIS OR MATERIALS ARE DEPOSITED IN ANY RIGHT OF WAY AREA.
 10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING AND NEW CONDITIONS AND MATERIALS ON THE SITE. ANY DAMAGE CAUSED BY OR DURING THE EXECUTION OF THE WORK IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 11. NO CUTTING OR DAMAGE TO BUILDING STRUCTURAL COMPONENTS WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.
 12. ALL UTILITIES SHALL BE CONNECTED TO PROVIDE GAS, ELECTRIC, AND WATER TO ALL EQUIPMENT WHETHER SAID EQUIPMENT IS IN CONTRACT OR NOT. EQUIPMENT SHALL BE GUARANTEED TO FUNCTION PROPERLY UPON COMPLETION.
 13. MANUFACTURER'S STANDARD SPECIFICATIONS AND MATERIALS APPROVED FOR PROJECT USE ARE HEREBY MADE PART OF THESE NOTES WITH SAME FORCE AND EFFECT AS IF WRITTEN OUT IN FULL HEREIN. ALL APPLIANCES, FIXTURES, EQUIPMENT, HARDWARE, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PROCEDURES.
 14. WRITTEN WORDS TAKE PRECEDENCE OVER DRAWN LINES. LARGE-SCALE DETAILS AND PLANS TAKE PRECEDENCE OVER SMALLER DETAILS AND PLANS. SHOULD A CONFLICT ARRIVE BETWEEN THE SPECIFICATIONS AND DRAWINGS, THE REQUIREMENTS DEEMED MOST STRINGENT SHALL BE USED.
 15. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE ARCHITECT SHALL BE INCLUDED IN THE WORK AS IF IT WERE SPECIFIED OR INDICATED ON THE DRAWINGS.
 16. ALL ARCHITECTURAL DRAWINGS AND CONSTRUCTION NOTES ARE COMPLIMENTARY. WHAT IS INDICATED AND CALLED FOR BY ONE SHALL BE BINDING AS THOUGH CALLED FOR BY ALL.
 17. NO DEVIATION FROM THE DRAWINGS OR SPECIFICATIONS OR INTENT OF SAME SHALL BE MADE WITHOUT THE ARCHITECT'S WRITTEN AUTHORIZATION.
 18. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL APPROVAL. THE GENERAL CONTRACTOR SHALL SIGN THE WRITTEN GUARANTEE AS PROVIDED BY THE OWNER. THE GUARANTEE SHALL COVER ALL GENERAL AND SUBCONTRACTOR WORK. ALL DEFECTS DISCOVERED DURING THIS PERIOD SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 19. ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF STRUCTURE UNLESS OTHERWISE NOTED (UON).
 20. DOOR AND WINDOW DETAILS ARE INDICATED ON THE DOOR AND WINDOW SCHEDULES.
 21. DOOR AND WINDOW DIMENSIONS ARE TO CENTERLINES OF UNITS UNO.
- A. VERIFY ALL DEMOLITION WORK WITH OWNER.
 - B. G.C. TO COORDINATE AND PROVIDE ALL NECESSARY SHORING / TEMPORARY SUPPORT OF ANY EXISTING STRUCTURE PRIOR TO ANY DEMOLITION WORK
 - C. ALL DEMOLITION DRAWINGS AND INFORMATION ARE PROVIDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL DEMOLITION WORK NECESSARY TO ACCOMPLISH NE WORK. THE DEMOLITION DRAWINGS AND DETAILS MAY NOTE TYPICAL ITEMS IN SOME AREAS, WHICH APPLY IN OTHER AREAS (AND ARE DESIGNATED WITH DASHED, HIDDEN, OR STUCK THRU LINES). COORDINATE ALL DEMOLITION WORK WITH ALL CONTRACTORS / TRADES. CONTRACTOR IS RESPONSIBLE TO PROVIDE / REFERENCE ALL CONSTRUCTION DOCUMENTS TO CONFIRM EXTENT OF DEMOLITION WORK WITH NEW WORK.
 - D. ALL REMOVED ITEMS, WALLS, FLOORS, CEILINGS, OPENINGS, ETC. ARE TO BE PATCHED/REPAIRED AND PREPPED TO RECEIVE NEW WORK AND/OR FINISHES WHERE REMOVED ITEMS INTERFACE WITH SURFACES TO REMAIN.
 - E. ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS AND SAFETY PRECAUTIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - F. WALL REMOVAL THAT TERMINATES INTO A WALL OR CEILING TO REMAIN SHALL BE COMPLETELY REMOVED FREE OF PROJECTIONS, READY TO RECEIVE NEW WORK.
 - G. REMOVE ALL UNUSED ITEMS PROJECTING FROM EXISTING WALLS OR FLOORS TO REMAIN (BLOCKING, SCREWS, FASTENERS, HANGERS, PIPES, CONDUITS, MOUNTING PLATES, FIXED EQUIPMENT, ETC). PATCH AND REPAIR FOR NEW FINISH.
 - H. CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING THE EXISTING CONDITIONS PRIOR TO BIDDING.
 - I. CONTRACTOR SHALL PROJECT EXISTING BUILDING ELEMENTS AND SITE FROM DAMAGE CAUSED BY CONSTRUCTION OR CONSTRUCTION TRADES. CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS (IDENTIFIED BY OWNER OR ARCHITECT) AT NO ADDITIONAL COST.
 - J. MAINTAIN EXISTING FIRE RATING WHERE OCCURS AND WHERE POSSIBLE DURING DEMOLITION. REFER TO CODE AND LIFE SAFETY SHEETS FOR MORE INFORMATION AS WELL AS CONSTRUCTION MANAGER'S INSTRUCTIONS.
 - K. IF ANY SUSPECTED HAZARDOUS MATERIAL IS ENCOUNTERED, STOP WORK IN THAT AREA AND IMMEDIATELY INFORM THE ARCHITECT AND OWNER.
 - L. DISPOSE OF ALL DEMOLITION MATERIALS LIGHTLY OFF-SITE, U.O.N. ITEMS IDENTIFIED TO BE SALVAGED AND/OR TURNED OVER ARE NOTED. ALL REMAINING ITEMS ARE TO BE REMOVED.
 - M. CONTRACTOR(S) TO COORDINATE EXTENT OF EXISTING CONCRETE SLAB REMOVAL THAT IS REQUIRED FOR INSTALLATION AND ROUTING OF NEW UNDERGROUND PLUMBING AND ELECTRICAL WORK WITH DEMOLITION CONTRACTOR.
 - N. COORDINATE PLUMBING FIXTURE REMOVAL WITH MECHANICAL DRAWINGS.
 - O. DEMO CONTRACTOR IS RESPONSIBLE FOR DUMPSTERS USED FOR THEIR DEMOLITION ACTIVITIES.

LEGEND

	Wall Type (see wall type schedule)
	Door Type (see door schedule)
	Window Type (see window schedule)
	Building Section
	Wall Section
	Detail Number
	Elevation (without line)
	Interior Elevation Mark
	Elevation Mark
	Room Name / Number
	Column Line
	Centerline
	Revision Tag
A.C.I.	AMERICAN CONCRETE INSTITUTE
BLDG.	BUILDING
CONC.	CONCRETE
C.J.	CONTROL JOINT
COL.	COLUMN
DET.	DETAIL
DIA.	DIAMETER
DN.	DOWN
EL/ELEV.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUAL
FIN.	FINISH
FLR.	FLOOR
GALV.	GALVANIZED
GYP.	GYP SUM
I.D.	INSIDE DIAMETER
JT.	JOINT
MECH.	MECHANICAL
MIN.	MINIMUM
N.T.S.	NOT TO SCALE
NO.	NUMBER
O.C.	ON CENTER
OPG.	OPENING
O.D.	OUTSIDE DIAMETER
U.N.O.	UNLESS NOTED OTHERWISE
REF.	REFERENCE
R.	RISER
R.O.	ROUGH OPENING
RM.	ROOM
S/STL.	STAINLESS STEEL
STRUCT.	STRUCTURAL
SPEC.	SPECIFICATIONS
T.O.	TOP OF (...)
T.O.CONC.	TOP OF CONCRETE
T.O.F.	TOP OF FRAMING
T.O.STL.	TOP OF STEEL
T.O.W.	TOP OF WALL
T.	TREAD
TYP.	TYPICAL
@	AT
+	AND
BD.	BOARD
A.F.F.	ABOVE FINISHED FLOOR
U.N.O.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD

DRAWING LIST

CS.1	COVER SHEET
S1.0	SITE PLAN
S1.1	LANDSCAPING PLAN
A1.0	EXISTING & PROPOSED FLOOR PLANS
A1.1	MECHANICAL/REFLECTED CEILING PLAN
A2.0	DEMOLITION PLAN
A2.1	PROPOSED ELECTRIC PLAN
A2.2	PROPOSED PLUMBING PLAN
A3.0	EXISTING ELEVATIONS

CODE INFORMATION

THE UNIT IS EXISTING. PLANS ARE BEING SUBMITTED FOR THE PROPOSED REMODELING FOR PERMITTING

GENERAL CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE, CITY, AND LOCAL CODES WHERE APPLICABLE

- MICHIGAN BUILDING CODE 2015
- ICC/ANSI A117.1. 2009 & MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED
- MICHIGAN MECHANICAL CODE 2015 (M.M.C.)
- MICHIGAN PLUMBING CODE 2015 (M.P.C.)
- INTERNATIONAL FUEL GAS CODE 2015 (I.F.G.C.)
- FIRE CODE: IFC 2015 (INTERNATIONAL FIRE CODE 2015), AS REFERENCED IN THE 2015 MICHIGAN BUILDING CODE
- ENERGY CODE: MBC 2015 (MICHIGAN BUILDING CODE 2015)
- -CHAPTER 13 & MEC 2015 (MICHIGAN ENERGY CODE 2015) - CHAPTER 4 & MICHIGAN ENERGY CODE PART 10A. RULES (ANSI)/ASHRAE 90.1-2013)
- MICHIGAN ELECTRICAL CODE BASED ON 2017 N.E.C. W/ PART 8 AMENDMENTS
- PROJECT SHALL COMPLY WITH MBC 2015 CHP. 35

SCOPE OF WORK

- | | |
|----|---|
| 01 | RENOVATE EXISTING BUILDING INTERIOR TO ACCOMMODATE PROPOSED HAIR SALON |
| 02 | DEMOLISH EXISTING RESTROOM AND ENLARGE INTO OFFICE #2 TO MEET ADA STANDARDS <ul style="list-style-type: none"> • TOILET & SINK TO BE RELOCATED |
| 03 | INSTALL (2) WASH STATIONS <ul style="list-style-type: none"> • EACH WASH STATION REQUIRES H/C WATER LINE & 1-1/2" DIRECT CONNECTION TO SINK & 1/2" VENT |
| 04 | REMOVE CEILING GRID ABOVE SERVICE AREAS <ul style="list-style-type: none"> • PAINT EXPOSED CEILING |
| 05 | INSTALL ELECTRICAL FIXTURES <ul style="list-style-type: none"> • INSTALL NEW OUTLETS, SWITCHES, & LIGHT FIXTURES PER ELECTRICAL PLAN • INSTALL (3) CEILING MOUNTED EXHAUST FANS |



TITAN DESIGN,
LLC

PROJECT
EDALIS
BEAUTY STYLIST
16411 DIX HWY.
LINCOLN PARK, MI
48146

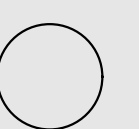


Revisions

1	

Notes

Project North



Scale N/A

COVER SHEET

CS.1

Sheet No. ©2020

SITE PLAN NOTES:

- 1) ALL WORK SHALL BE PERFORMED ACCORDING TO THE CURRENT MICHIGAN RESIDENTIAL CODE (2018)
- 2) DRIVEWAY SHALL BE A MINIMUM OF 4" IN THICKNESS
- 3) APPROACH & SIDEWALK SHALL BE A MINIMUM OF 4" IN THICKNESS
- 4) AN APPROPRIATE BASE COURSE CONSISTING OF CLEAN GRADED SAND, GRAVEL, OR CRUSHED STONE SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB DRIVEWAY SHALL BE FORMED PROPERLY TO PREVENT RUNOFF ONTO ADJACENT PROPERTIES
- 5) ALL CONCRETE SHALL BE AIR ENTRAINED. TOTAL AIR CONTENT SHALL NOT BE LESS THAN 5% OR MORE THAN 7% WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI.

CONTACT INFORMATION:

APPLICANT: EDALIS H. GOMEZ-FELIZ
1796 WINCHESTER AVE.
LINCOLN PARK, MI 48146
(313) 283-8586

DESIGNER: HASSAN DARWICHE
23720 EDWARD ST.
DEARBORN, MI 48128
(313) 268-9815

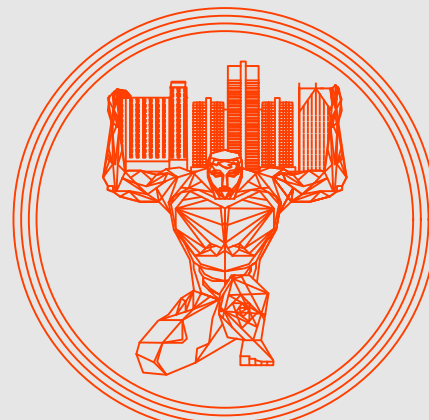
APPLICANT NARRATIVE:

"EDALIS BEAUTY STYLIST" PLANS TO BE AN EXCEPTIONAL BEAUTY PARLOR SET TO GRACE 1611 DIX HWY, LINCOLN PARK, MI. THE BUSINESS WILL BE A SANCTUARY WHERE ARTISTRY MEETS SELF-EXPRESSION. THE ESTABLISHMENT'S MISSION IS TO CREATE AN ENVIRONMENT WHERE INDIVIDUALS CAN EMBRACE THEIR UNIQUE BEAUTY AND EXPERIENCE TRANSFORMATIVE HAIR AND NAIL SERVICES.

EDALIS BEAUTY STYLIST FEATURES A TEAM OF TALENTED PROFESSIONALS WHO POSSESS A DEEP PASSION FOR THEIR CRAFT. THE SKILLED HAIRSTYLISTS ARE EQUIPPED WITH THE LATEST TECHNIQUES AND TRENDS, CAPABLE OF CRAFTING STUNNING HAIRSTYLES THAT EMPOWER CLIENTS AND BOOST THEIR CONFIDENCE. FROM PRECISION CUTS TO BRILLIANT COLOR CREATIONS, THE BUSINESS WILL CATER TO A DIVERSE RANGE OF STYLES AND PREFERENCES, ENSURING THAT EACH CLIENT'S VISION IS BROUGHT TO LIFE WITH PRECISION AND CARE.

VARIANCE:

1. CURRENT USE AS "OFFICE BUILDING" IS NOT SUITABLE FOR THE PROPOSED BUSINESS, AND THEREFORE OCCUPANCY MUST BE CHANGED TO "BEAUTY PARLOR" TO ACCOMMODATE THE PROPOSED BUSINESS. VARIANCE FOR CHANGE OF USE MUST BE OBTAINED.
2. 7.5 OR 8 PARKING SPACES ARE REQUIRED AS A RESULT OF THE NUMBER OF CHAIRS UTILIZED. ONLY 7 PARKING SPACES ARE AVAILABLE ON THE PROPERTY. VARIANCE FOR LACK OF PARKING MUST BE OBTAINED



TITAN DESIGN, LLC

PROJECT EDALIS BEAUTY STYLIST
1611 DIX HWY,
LINCOLN PARK, MI
48146



Revisions

Notes

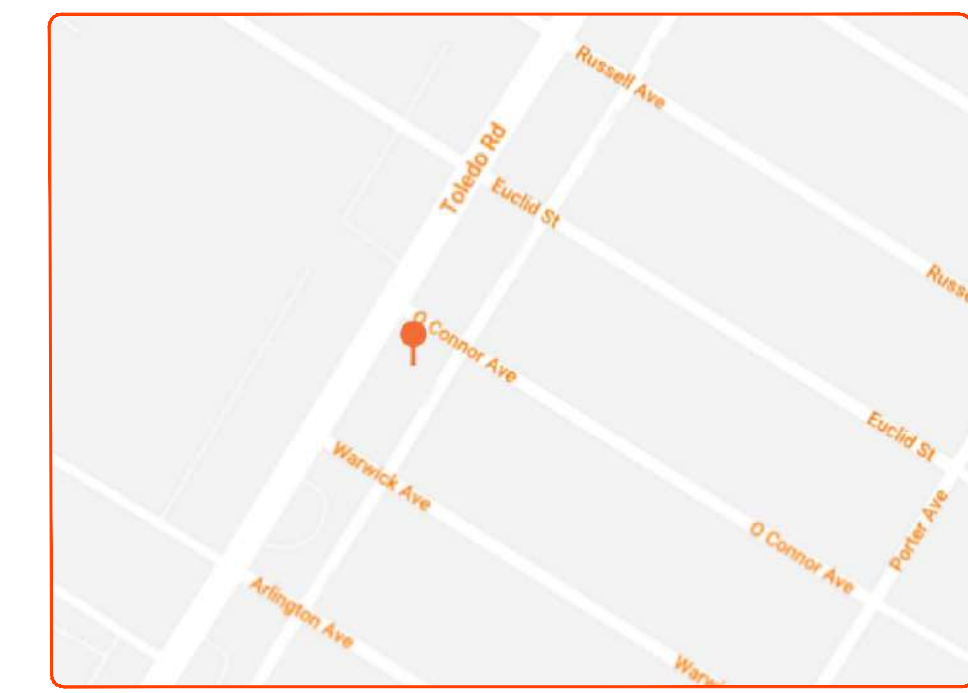
Project North

Scale 1/8"=1'-0"

PRELIMINARY SITE PLAN

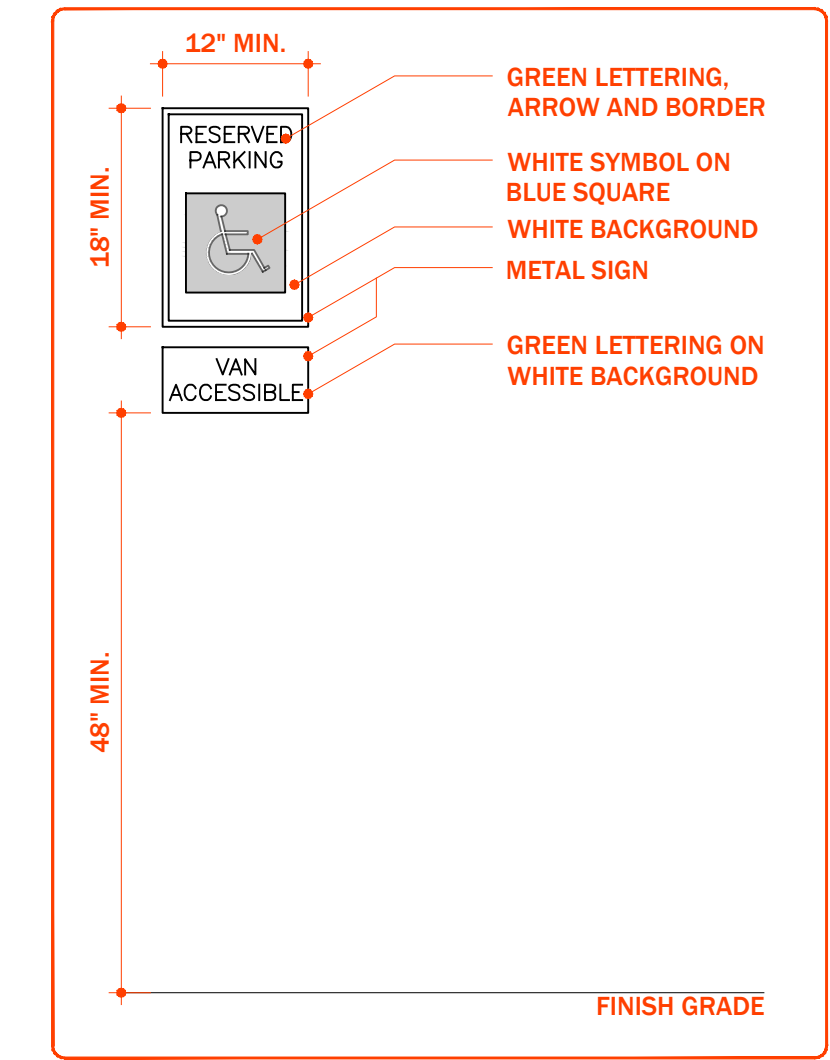
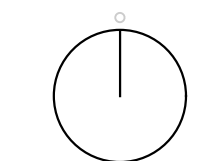
S1.0

Sheet No. 1 © 2020



2 KEY PLAN

SCALE: NTS KEY PLAN NORTH



3 ADA PARKING SIGNAGE

SCALE: NTS

EACH ACCESSIBLE PARKING SPACE SHALL BE INDIVIDUALLY SIGNED W/ THE SYMBOL OF COMPLIANCE

SCOPE OF WORK

1. RENOVATE BUILDING INTERIOR TO ACCOMMODATE PROPOSED BEAUTY PARLOR
 - DEMOLISH (1) OFFICE. SPACE WILL BE ADDED TO SERVICE AREA
 - DEMOLISH (1) UNISEX RESTROOM. ENLARGE & RENOVATE PER ADA GUIDELINES
2. REMOVE EXISTING CEILING GRID
 - REMODEL & PAINT EXPOSED CEILING
3. REORGANIZE ELECTRICAL PLAN
 - INSTALLATION OF NEW LIGHT FIXTURES, SWITCHES, & OUTLETS
4. REMOVE EXISTING FLOOR COVERING
 - INSTALL CERAMIC TILE FLOOR COVERING
5. REMOVE EXISTING WALL COVERING
 - INSTALL 5/8" GYPSUM BOARD, PAINTED
6. MINOR SITE RESTORATION
 - REDRESSING OF SITE DETAILS AS NEEDED TO INCLUDE PARKING STRIPING, PAVEMENT CLEANING, MAINTENANCE, ETC.

CODE INFORMATION

- MICHIGAN BUILDING CODE 2015
- ICC/ANSI A117.1. 2009 & MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED
- MICHIGAN MECHANICAL CODE 2015 (M.M.C.)
- MICHIGAN PLUMBING CODE 2018 (M.P.C.)
- INTERNATIONAL FUEL GAS CODE 2015 (I.F.G.C.)
- FIRE CODE: IFC 2015 (INTERNATIONAL FIRE CODE 2015), AS REFERENCED IN THE 2015 MICHIGAN BUILDING CODE
- ENERGY CODE: MBC 2015 (MICHIGAN BUILDING CODE 2015)
 - CHAPTER 13 & MEC 2015 (MICHIGAN ENERGY CODE 2015)
 - CHAPTER 4 & MICHIGAN ENERGY CODE PART 10A. RULES (ANSI/ASHRAE 90.1-2013)
- MICHIGAN ELECTRICAL CODE BASED ON 2017 N.E.C. W/ PART 8 AMENDMENTS
- PROJECT SHALL COMPLY WITH MBC 2015 CHP. 35
- REFERENCE STANDARDS
- CONSTRUCTION CLASSIFICATION: IIB

MBC 2015 CH.3

USE & OCCUPANCY CLASSIFICATION

- DEMOLITION WILL FACILITATE FUTURE CHANGE OF OCCUPANCY CLASSIFICATION TO GROUP (B)

- 304.1 BUSINESS GROUP B: OCCUPANCY INCLUDES, AMONG OTHERS, THE USE OF A BUILDING OR STRUCTURE, OR A PORTION THEREOF, FOR OFFICE, PROFESSIONAL OR SERVICE-TYPE TRANSACTIONS, INCLUDING STORAGE OF RECORDS AND ACCOUNTS

MBC 2015 TABLE 1004.1.2

MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

FUNCTION OF SPACE FLOOR AREA IN SF. PER

BUSINESS AREA 100 GROSS

MAXIMUM FLOOR AREA

ALLOWANCES PER OCCUPANT

BUSINESS AREAS TOTAL 853.0 SF / 100 GROSS = 8.53 OCCUPANTS
9 OCCUPANTS

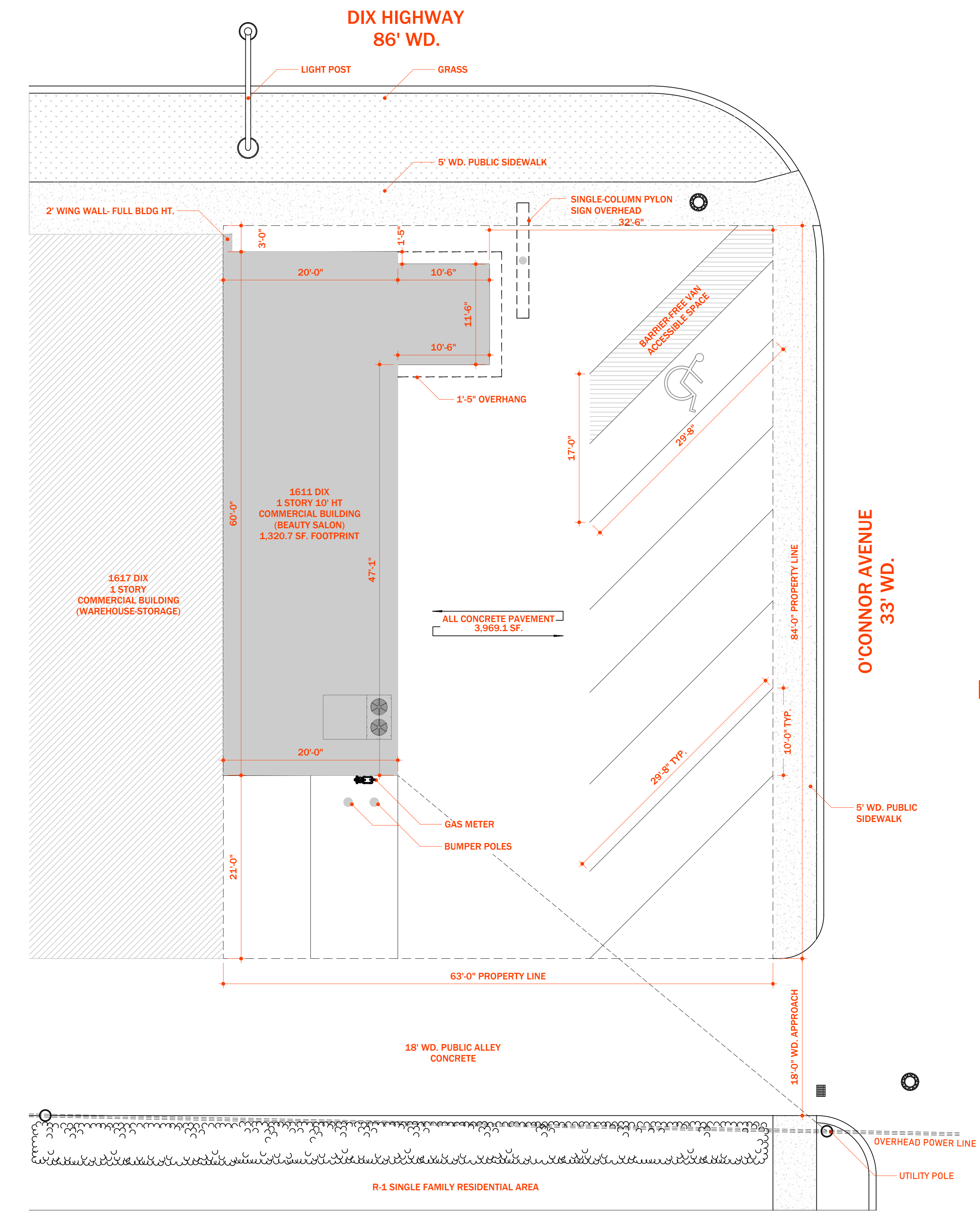
PROPERTY DESCRIPTION

- DF571A 572A 573A LOTS 571 572 AND 573
EXC WLY 17 FT LINCOLN PARK MANOR NO. 1
SUB PC 671 L45 P79 WCR

SITE DATA

PROPOSED LAND USE REFERENCES TO CHAPTER 1290: OFF-STREET PARKING AND LOADING REQUIREMENTS OF LINCOLN PARK, MI CODE OF ORDINANCES

APN/PARCEL ID: 45 005 02 0571 001
LOT SIZE: 0.121 ACRES OR 5,292.0 SF. (APPROX.)
FLOOR AREA: 1,320.7 SF.
CURRENT USE: OFFICE BUILDING
PROPOSED LAND USE: BEAUTY PARLOR
YEAR BUILT: 1972
HEAT: FORCED AIR
EXITS PROVIDED: 2
NUMBER OF EMPLOYEES: 3
PARKING SPACES REQ'D.: (7.5) OR 8 SPACES REQ'D: THREE (3) FOR EACH OF THE FIRST TWO (2) BEAUTY OR BARBER CHAIRS, AND ONE AND ONE-HALF (1 1/2) FOR EACH ADDITIONAL CHAIR.
7 PARKING SPACES
1 B.F. SPACE (S) REQ'D: 1 TO 25 TOTAL PACE=1 B.F. SPACE
1 B.F. SPACE PROVIDED



1 EXISTING SITE PLAN

LOT SIZE: 5,292.0 SF. SCALE: 1/8"=1'-0"

SITE PLAN NOTES:

- 1) ALL WORK SHALL BE PERFORMED ACCORDING TO THE CURRENT MICHIGAN RESIDENTIAL CODE (2018)
- 2) DRIVEWAY SHALL BE A MINIMUM OF 4" IN THICKNESS
- 3) APPROACH & SIDEWALK SHALL BE A MINIMUM OF 4" IN THICKNESS
- 4) AN APPROPRIATE BASE COURSE CONSISTING OF CLEAN GRADED SAND, GRAVEL, OR CRUSHED STONE SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB DRIVEWAY SHALL BE FORMED PROPERLY TO PREVENT RUNOFF ONTO ADJACENT PROPERTIES
- 5) ALL CONCRETE SHALL BE AIR ENTRAINED. TOTAL AIR CONTENT SHALL NOT BE LESS THAN 5% OR MORE THAN 7% WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI.

CONTACT INFORMATION:

APPLICANT: EDALIS H. GOMEZ-FELIZ
 1796 WINCHESTER AVE.
 LINCOLN PARK, MI 48146
 (313) 283-8586

DESIGNER: HASSAN DARWICHE
 23720 EDWARD ST.
 DEARBORN, MI 48128
 (313) 268-9815

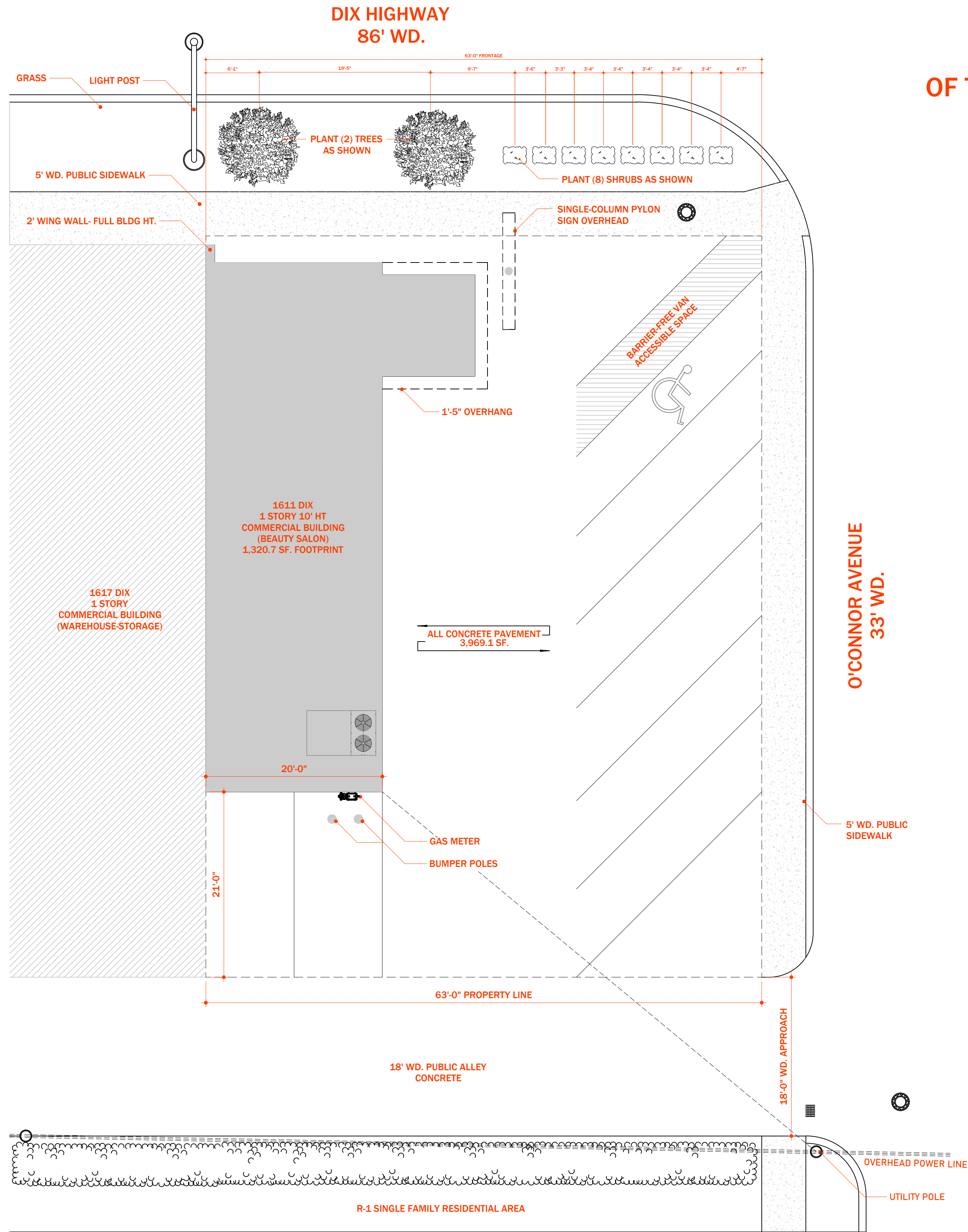
APPLICANT NARRATIVE:

"EDALIS BEAUTY STYLIST" PLANS TO BE AN EXCEPTIONAL BEAUTY PARLOR SET TO GRACE 1611 DIX HWY, LINCOLN PARK, MI. THE BUSINESS WILL BE A SANCTUARY WHERE ARTISTRY MEETS SELF-EXPRESSION. THE ESTABLISHMENT'S MISSION IS TO CREATE AN ENVIRONMENT WHERE INDIVIDUALS CAN EMBRACE THEIR UNIQUE BEAUTY AND EXPERIENCE TRANSFORMATIVE HAIR AND NAIL SERVICES.

EDALIS BEAUTY STYLIST FEATURES A TEAM OF TALENTED PROFESSIONALS WHO POSSESS A DEEP PASSION FOR THEIR CRAFT. THE SKILLED HAIRSTYLISTS ARE EQUIPPED WITH THE LATEST TECHNIQUES AND TRENDS, CAPABLE OF CRAFTING STUNNING HAIRSTYLES THAT EMPOWER CLIENTS AND BOOST THEIR CONFIDENCE. FROM PRECISION CUTS TO BRILLIANT COLOR CREATIONS, THE BUSINESS WILL CATER TO A DIVERSE RANGE OF STYLES AND PREFERENCES, ENSURING THAT EACH CLIENT'S VISION IS BROUGHT TO LIFE WITH PRECISION AND CARE.

VARIANCE:

1. CURRENT USE AS "OFFICE BUILDING" IS NOT SUITABLE FOR THE PROPOSED BUSINESS, AND THEREFORE OCCUPANCY MUST BE CHANGED TO "BEAUTY PARLOR" TO ACCOMMODATE THE PROPOSED BUSINESS. VARIANCE FOR CHANGE OF USE MUST BE OBTAINED.
2. 7.5 OR 8 PARKING SPACES ARE REQUIRED AS A RESULT OF THE NUMBER OF CHAIRS UTILIZED. ONLY 7 PARKING SPACES ARE AVAILABLE ON THE PROPERTY. VARIANCE FOR LACK OF PARKING MUST BE OBTAINED



\$1296.03
OF THE LINCOLN PARK
ZONING CODE

c. Special Provisions for Existing Sites. Special provision is made for applying these standards to developed sites which existed prior to the City adopting landscaping requirements. Therefore, when an existing site is undergoing redevelopment, improvement, a change in use, or expansion, the objective of these standards is to gradually bring the existing site into compliance with the minimum standards of this section in relation to the extent of expansion or change on a site.

When reviewing plans for a change in use or expansion which requires site plan review, the Planning Commission shall require an upgrade in landscaping, using the following as guidelines:

1. Each building expansion of one percent (1%) of gross floor area should include at least two percent (2%) of the landscaping required for new developments, or a minimum of thirty percent (30%) of the landscaping required for new developments, whichever is greater.
2. Landscaping along the street and as a buffer between adjacent land uses should take priority over parking lot and site landscaping. Where parking lot landscaping cannot be provided, additional landscaping along the street or in the buffer areas should be considered.

d. Required Landscaping Along Public Streets. One of the following street landscaping options is required on land abutting public rights-of-way or where otherwise referenced.

1. Greenbelt. A required greenbelt shall meet the following standards:

A. Greenbelts shall have a minimum width of ten (10) feet. The Planning Commission may permit the width of the greenbelt to be reduced in cases where existing conditions do not permit a ten (10)-foot width and in Business Districts where it is desirable to maintain a shallow front setback. In such cases, the greenbelt requirement may be met through the provision of street trees within the curbline, or the provision of landscaping as required below.

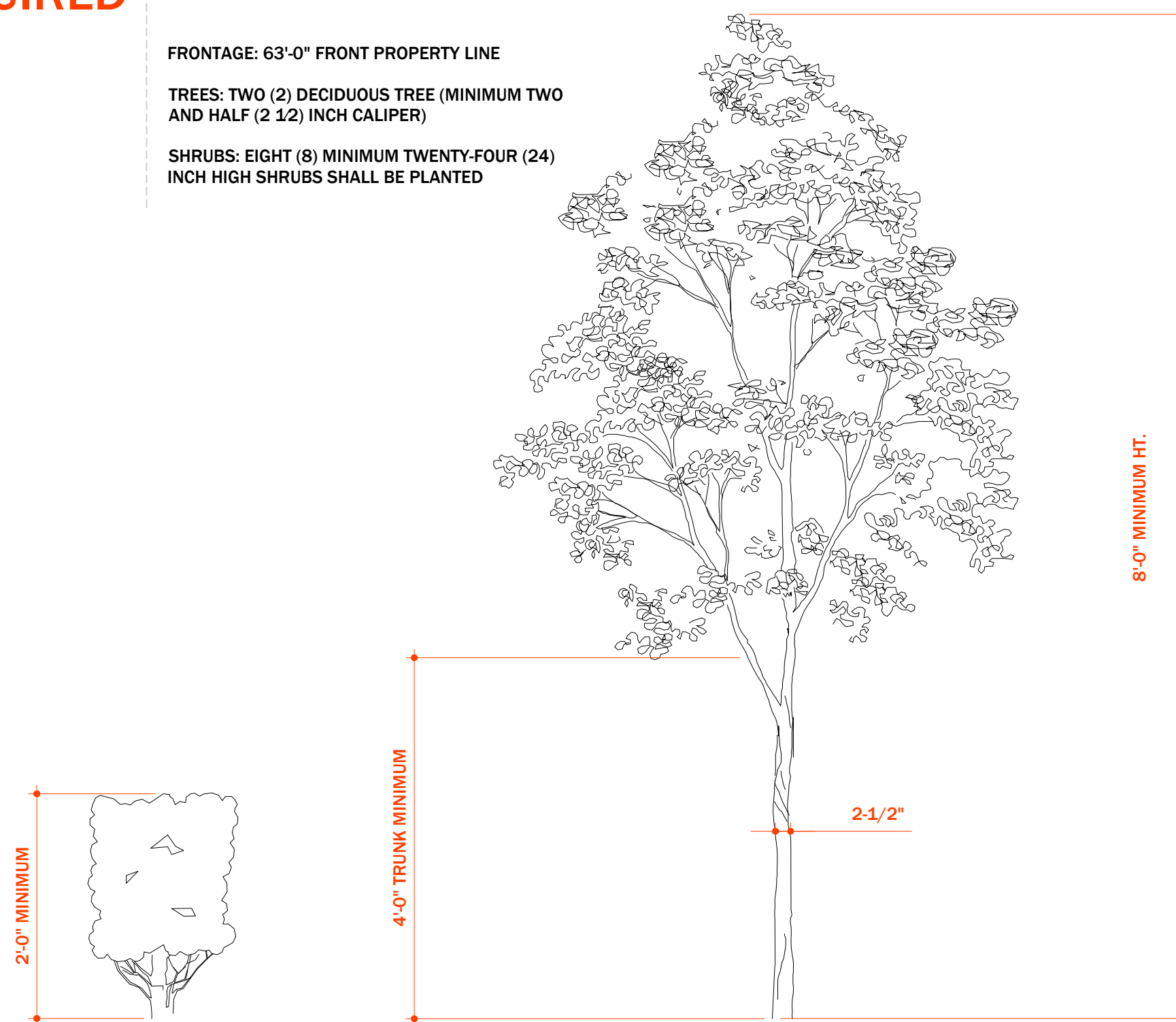
B. At least one (1) deciduous tree (minimum two and half (2 1/2) inch caliper) and four (4) minimum twenty-four (24) inch high shrubs shall be planted per each forty (40) linear feet of street frontage. Location of the trees and shrubbery is discretionary. In business districts, additional canopy trees may be provided in lieu of the requirement for shrubs at the rate of one (1) additional canopy tree for every four (4) required shrubs.

C. The greenbelt area shall contain grass, vegetation ground cover, six (6)-inch shredded bark mulch, or six (6)-inch deep crushed stone on a weed barrier, excluding marble chips or lava rock, and curbed or edged as necessary. Steel, aluminum, or black plastic edging shall be used for any planting beds.

D. Where headlights from parked vehicles will shine into the right-of-way, the Planning Commission may require use of a totally obscuring hedge with a minimum height of twenty-four (24) inches and a maximum height of thirty-six (36) inches.

REQUIRED

FRONTAGE: 63'-0" FRONT PROPERTY LINE
 TREES: TWO (2) DECIDUOUS TREE (MINIMUM TWO AND HALF (2 1/2) INCH CALIPER)
 SHRUBS: EIGHT (8) MINIMUM TWENTY-FOUR (24) INCH HIGH SHRUBS SHALL BE PLANTED



1
LANDSCAPING SITE PLAN
 LOT SIZE: 5,292.0 SF. SCALE: 1/8"=1'-0"

2
SHRUB & TREE DETAILS
 SCALE: N.T.S



Revisions

Notes

Project North

Scale 1/8"=1'-0"

**LANDSCAPING
 PLAN**

S1.1

Sheet No. 1 © 2020

GENERAL PLAN NOTES:

- 1) ALL DIMENSIONS SHOWN ARE TO FACE OF FOUNDATION AND/OR FACE OF STUD (FRAMING) UNLESS NOTED OTHERWISE.
- 2) TYPICAL EXTERIOR WALL ASSEMBLY: N/A
- 3) TYPICAL INTERIOR WALL ASSEMBLY: MOLD TOUGH 5/8" GYP. BD., 3-5/8" METAL STUD @ 16" O.C., MOLD TOUGH 5/8" GYP. BD.
- 4) PROVIDE WOOD BLOCKING IN WALL FRAMING FOR ALL ACCESSORIES INCLUDING BUT NOT LIMITED TO: TOWEL BARS, TOILET PAPER HOLDERS, SHELVING ATTACHMENT, ROBE HOOKS, GRAB BARS, ETC.

SCOPE OF WORK

- 01 RENOVATE EXISTING BUILDING INTERIOR TO ACCOMMODATE PROPOSED HAIR SALON
- 02 DEMOLISH EXISTING RESTROOM AND ENLARGE INTO OFFICE #2 TO MEET ADA STANDARDS
 - TOILET & SINK TO BE RELOCATED
- 03 INSTALL (2) WASH STATIONS
 - EACH WASH STATION REQUIRES H/C WATER LINE & 1-1/2" DIRECT CONNECTION TO SINK & 1/2" VENT
- 04 REMOVE CEILING GRID ABOVE SERVICE AREAS
 - PAINT EXPOSED CEILING
- 05 INSTALL ELECTRICAL FIXTURES
 - INSTALL NEW OUTLETS, SWITCHES, & LIGHT FIXTURES PER ELECTRICAL PLAN
 - INSTALL (3) CEILING MOUNTED EXHAUST FANS

DOOR KEY

- | | |
|------|--|
| 100A | 3'-0" x 7'-0" ALUM. & GLASS STORE FRONT DOOR WITH PUSH/PULL PANIC TO REMAIN/BE INSTALLED |
| 200A | 3'-0" x 7'-0" WOOD DOOR W/ HOLLOW METAL FRAME + FIRE RATED HANDLE HARDWARE TO REMAIN/BE INSTALLED |
| 200B | 3'-0" x 7'-0" WOOD DOOR W/ HOLLOW METAL FRAME + PUSH LOCKSET FROM TOILET TYPE TO REMAIN/BE INSTALLED |
| 300A | 3'-0" x 7'-0" STEEL FIRE DOOR W/ FIRE RATED HANDLE HARDWARE TO REMAIN/BE INSTALLED |
| 300B | 3'-0" x 7'-0" STEEL EMERGENCY DOOR + PUSH/PULL PANIC TO REMAIN/BE INSTALLED |
| 300C | 3'-6" x 7'-0" STEEL FIRE DOOR W/ FIRE RATED HANDLE HARDWARE TO REMAIN/BE INSTALLED |

2010 ADA STANDARDS

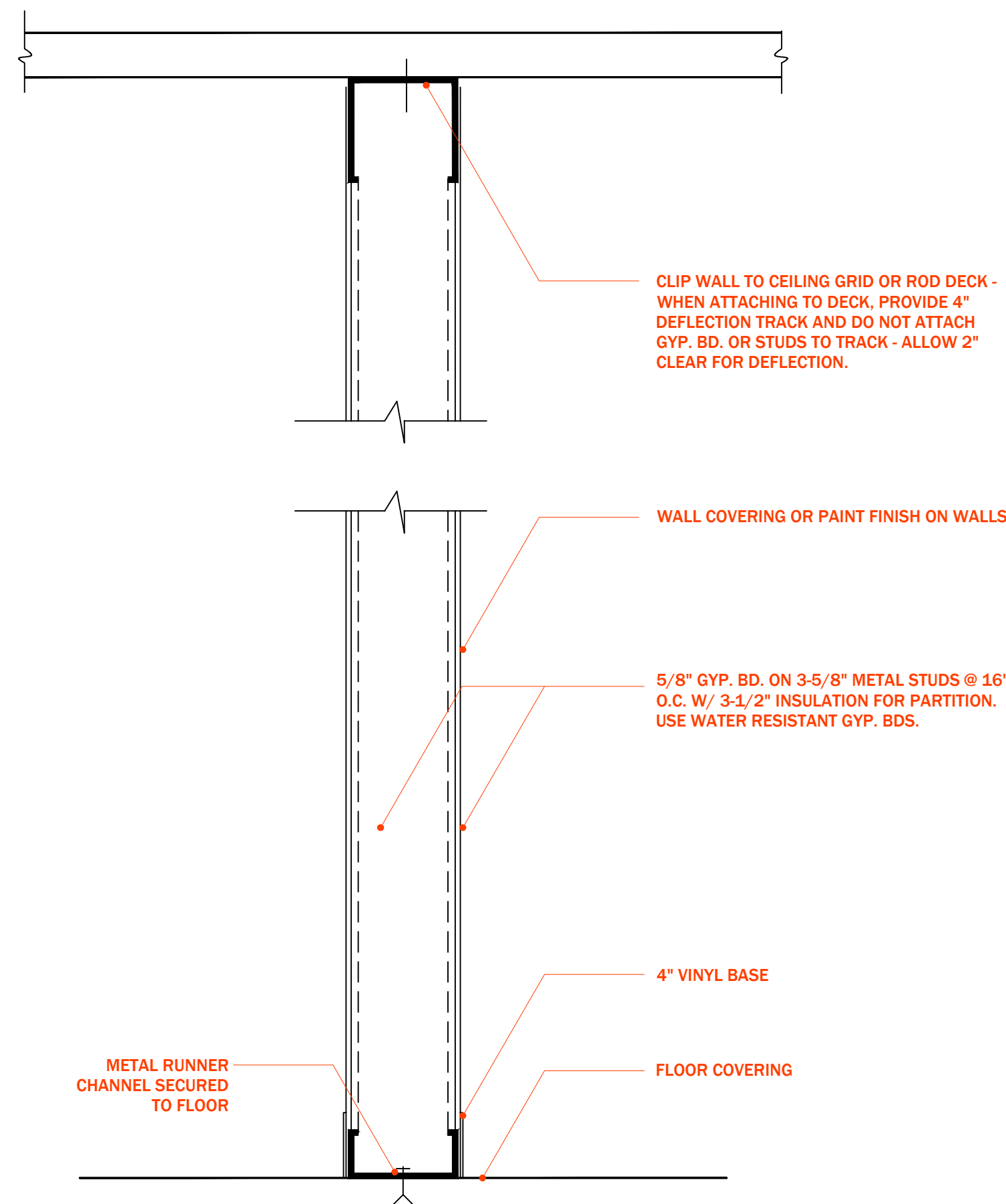
ADA REGULATIONS FOR ACCESSIBLE DESIGN

305.3 SIZE (ADA SERVICE COUNTER)

THE CLEAR FLOOR OR GROUND SPACE SHALL BE 30 INCHES (760 MM) MINIMUM BY 48 INCHES (1220 MM) MINIMUM.

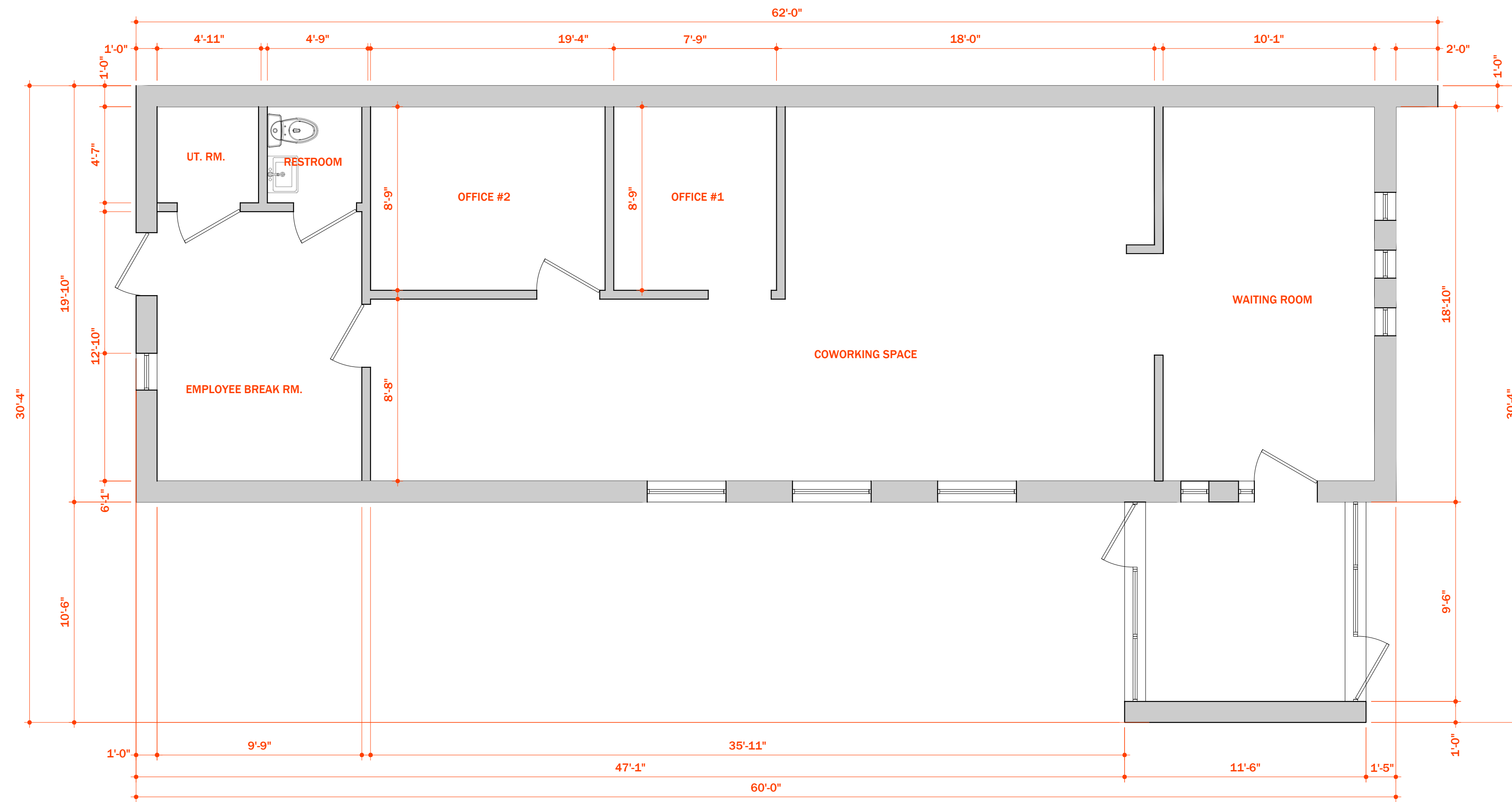
305.4 KNEE & TOE CLEARANCE (ADA SERVICE COUNTER)

KNEE AND TOE CLEARANCE UNLESS OTHERWISE SPECIFIED, CLEAR FLOOR OR GROUND SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH 306.



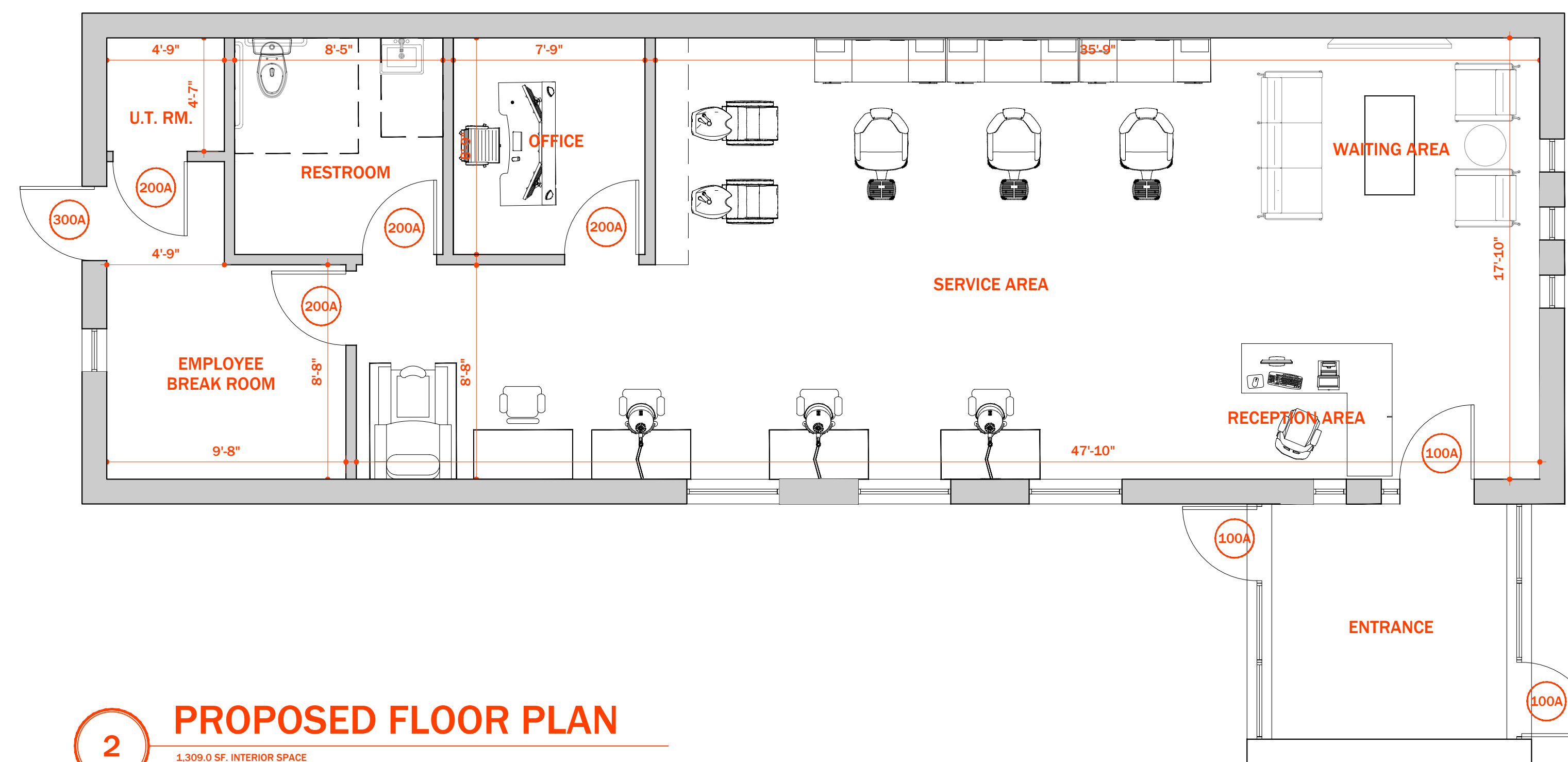
1 TYPICAL PARTITION DETAIL

SCALE: NTS



1 EXISTING FLOOR PLAN

1,309.0 SF. INTERIOR SPACE



2 PROPOSED FLOOR PLAN

1,309.0 SF. INTERIOR SPACE



TITAN DESIGN,
LLC

PROJECT
EDALIS
BEAUTY STYLIST
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48146

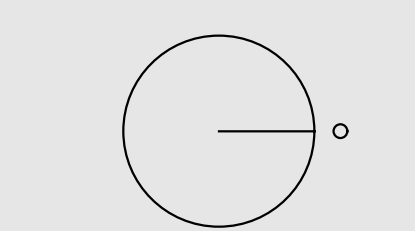


24 MAY 2023

Revisions

SEAL

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Scale 1/4"=1'-0"

EXISTING &
PROPOSED FLOOR
PLANS

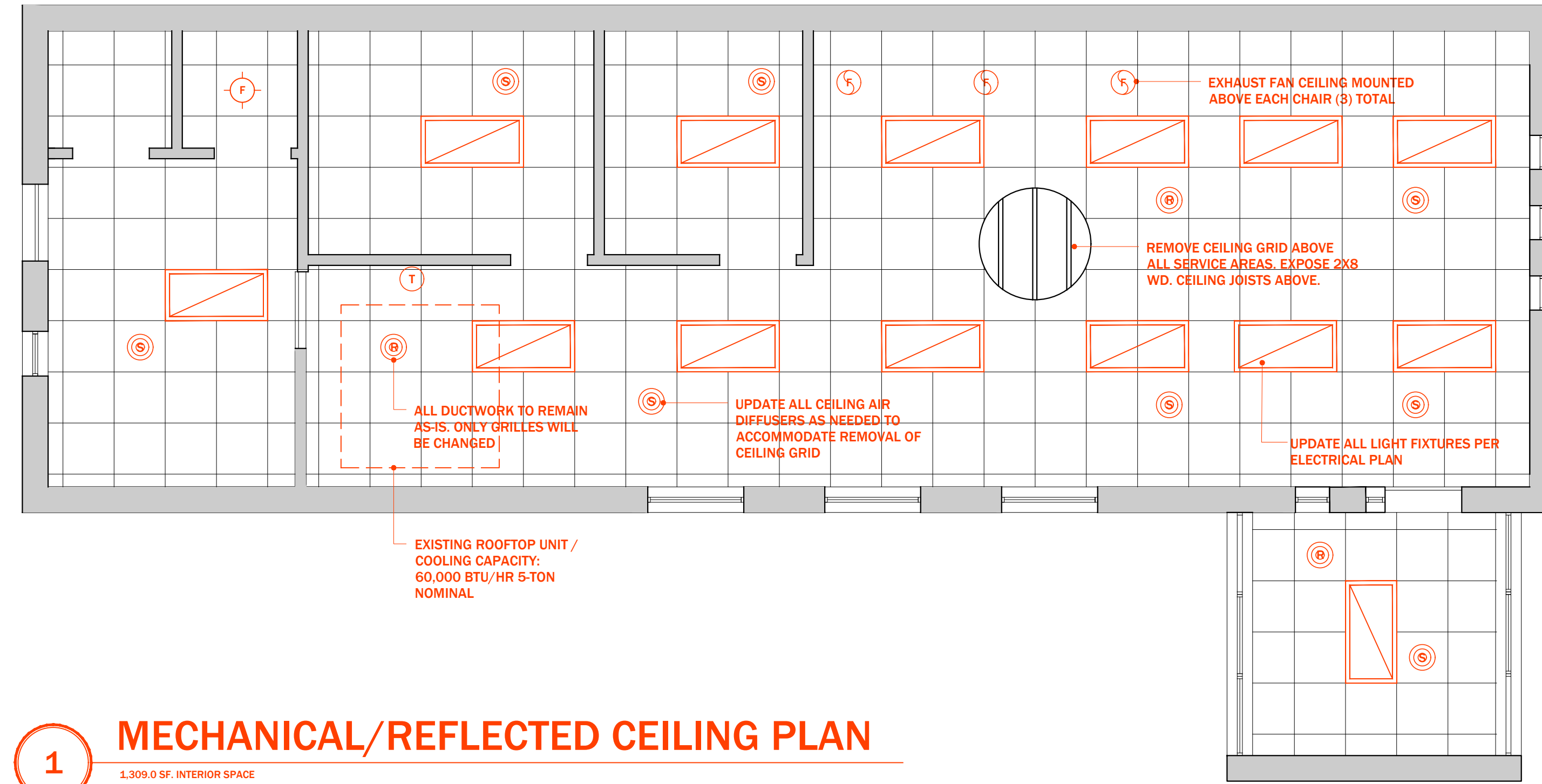
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Sheet No.

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GENERAL PLAN NOTES:

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1 MECHANICAL/REFLECTED CEILING PLAN
1,309.0 SF. INTERIOR SPACE

SYMBOLS MECHANICAL

- 2'-0" X 2'-0" SUPPLY AIR DIFFUSER
- 2'-0" X 2'-0" LAY-IN R/AIR GRILL
- EXHAUST FAN 100 CFM
- CEILING AIR DIFFUSER
- CEILING R/AIR GRILL
- FLOOR R/AIR GRILL
- THERMOSTAT
- 100 CFM CEILING MOUNTED LED LIGHTED EXHAUST FAN

SYMBOLS CEILING & LIGHTING

- 2'-0" X 2'-0" FLUORESCENT LIGHT FIXTURE TROFFER WITH ACRYLIC LENS
- 4'-0" X 2'-0" FLUORESCENT LIGHT FIXTURE TROFFER WITH ACRYLIC LENS
- 3'-0" X 6" LED LIGHT BAR
- OUTLET BOX LAMPHOLDER
- LED WALL MOUNT LIGHT, DUSK TO DAWN SENSOR
- OVERHEAD LIGHT FIXTURE, DUSK TO DAWN
- SURFACE MTD. LIGHT
- RECESSED LIGHT (ARROW = DIRECTIONAL)
- WALL MOUNTED LIGHT
- MONOPOINT
- PLUG-IN FIXTURE
- PENDANT FIXTURE
- STEP LIGHT
- CEILING MOUNTED SPEAKER
- IN-WALL SPEAKER
- LED STRIP LIGHT
- IN-GROUND/ WELL LIGHT
- 100 CFM CEILING MOUNTED LED LIGHTED EXHAUST FAN
- EXHAUST FAN + TIMER SWITCH
- HEAT DETECTOR (LOW = LOW TEMP SENSOR, LP = LP GAS DETECTOR)
- SMOKE/CO DETECTOR
- STANDARD CEILING MOUNTED EXIT/EMERGENCY LIGHT FIXTURE W/ BACKUP BATTERY
- BATTERY OPERATED SMOKE DETECTOR WITH IONIZATION SENSOR & WIRE-FREE CONNECT
- ELECTRICAL BOX



TITAN DESIGN, LLC

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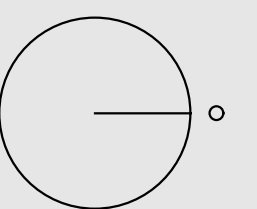


Revisions

NO.	REVISION	DATE

SEAL

Project North



Scale 1/4"=1'-0"

MECHANICAL &
REFLECTED
CEILING PLAN

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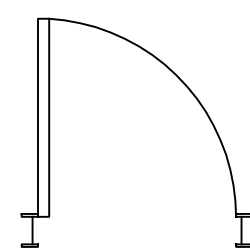
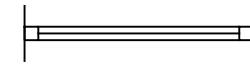
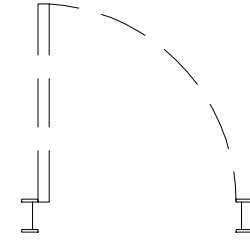
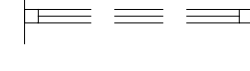

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WALL LEGEND (V.I.F.)

1A		3 5/8" WOOD STUDS 20 GA AT 16" ON CENTER WITH 5/8" GYPSUM BD ON EACH SIDE. SEE WALL SECTIONS
1B		3 5/8" METAL STUDS WITH 5/8" GYP. BOARD ON BOTH SIDES
EX		4" BRICK TIES (BOTH SIDES) 24" O.C. HORIZ. 16" O.C. VERT., 1" AIR SPACE, HOUSE WRAP, 8" BLOCK CMU
2A		8" BLOCK CMU

DEMOLITION LEGEND

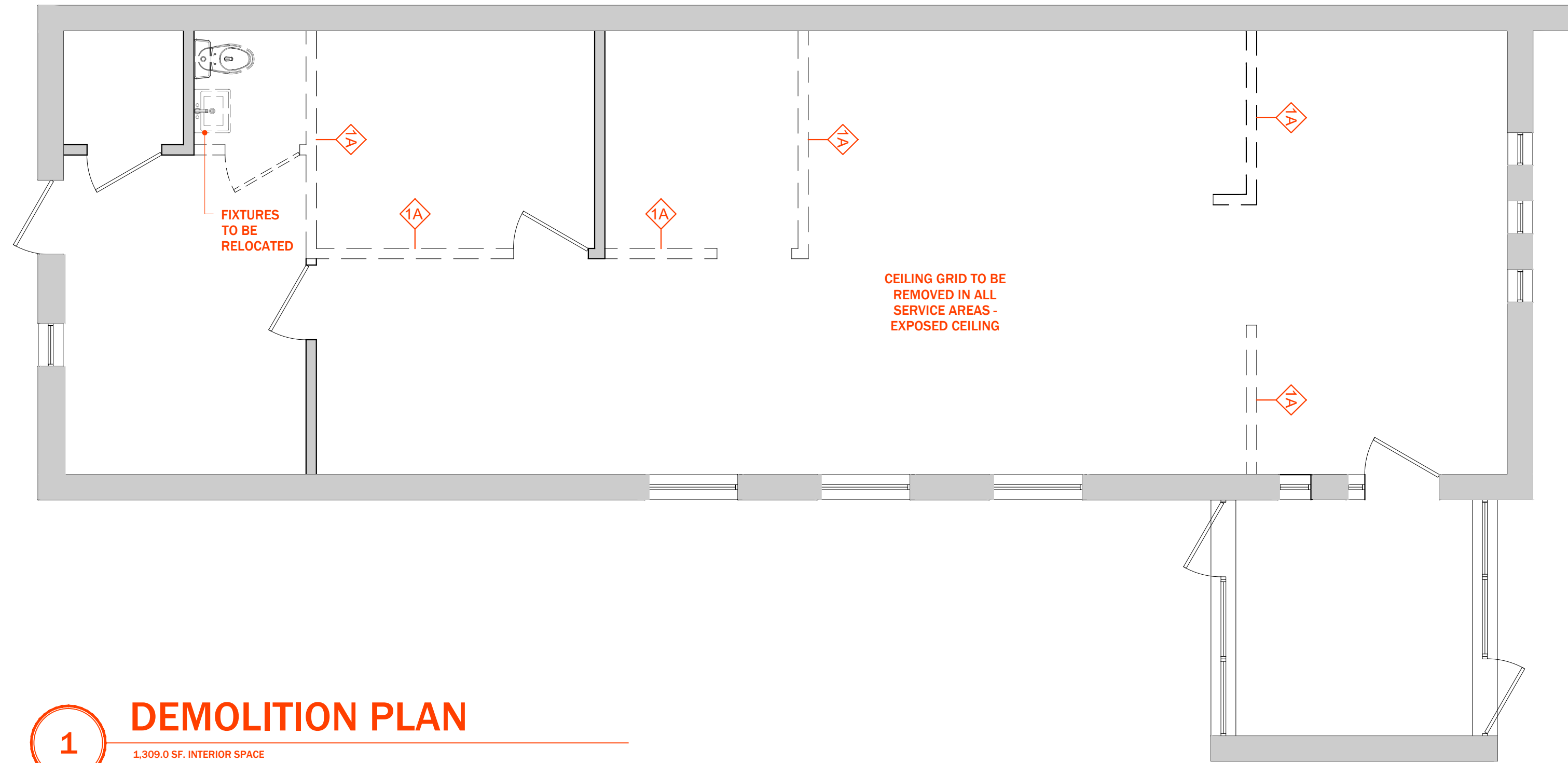
	EXISTING DOOR TO REMAIN
	EXISTING WINDOW TO REMAIN
	DOOR TO BE REMOVED
	WINDOW TO BE REMOVED
	WALL TO BE REMOVED

GENERAL NOTES: DEMOLITION

- A. VERIFY ALL DEMOLITION WORK WITH OWNER.
- B. G.C. TO COORDINATE AND PROVIDE ALL NECESSARY SHORING / TEMPORARY SUPPORT OF ANY EXISTING STRUCTURE PRIOR TO ANY DEMOLITION WORK.
- C. ALL DEMOLITION DRAWINGS AND INFORMATION ARE PROVIDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL DEMOLITION WORK NECESSARY TO ACCOMPLISH NE WORK. THE DEMOLITION DRAWINGS AND DETAILS MAY NOTE TYPICAL ITEMS IN SOME AREAS, WHICH APPLY IN OTHER AREAS (AND ARE DESIGNATED WITH DASHED, HIDDEN, OR STUCK THRU LINES). COORDINATE ALL DEMOLITION WORK WITH ALL CONTRACTORS / TRADES. CONTRACTOR IS RESPONSIBLE TO PROVIDE / REFERENCE ALL CONSTRUCTION DOCUMENTS TO CONFIRM EXTENT OF DEMOLITION WORK WITH NEW WORK.
- D. ALL REMOVED ITEMS, WALLS, FLOORS, CEILINGS, OPENINGS, ETC. ARE TO BE PATCHED/REPAIRED AND PREPPED TO RECEIVE NEW WORK AND/OR FINISHES WHERE REMOVED ITEMS INTERFACE WITH SURFACES TO REMAIN.
- E. ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS AND SAFETY PRECAUTIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- F. WALL REMOVAL THAT TERMINATES INTO A WALL OR CEILING TO REMAIN SHALL BE COMPLETELY REMOVED FREE OF PROJECTIONS, READY TO RECEIVE NEW WORK.
- G. REMOVE ALL UNUSED ITEMS PROJECTING FROM EXISTING WALLS OR FLOORS TO REMAIN (BLOCKING, SCREWS, FASTENERS, HANGERS, PIPES, CONDUITS, MOUNTING PLATES, FIXED EQUIPMENT, ETC). PATCH AND REPAIR FOR NEW FINISH.
- H. CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING THE EXISTING CONDITIONS PRIOR TO BIDDING.
- I. CONTRACTOR SHALL PROJECT EXISTING BUILDING ELEMENTS AND SITE FROM DAMAGE CAUSED BY CONSTRUCTION OR CONSTRUCTION TRADES. CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS (IDENTIFIED BY OWNER OR ARCHITECT) AT NO ADDITIONAL COST.
- J. MAINTAIN EXISTING FIRE RATING WHERE OCCURS AND WHERE POSSIBLE DURING DEMOLITION. REFER TO CODE AND LIFE SAFETY SHEETS FOR MORE INFORMATION AS WELL AS CONSTRUCTION MANAGER'S INSTRUCTIONS.
- K. IF ANY SUSPECTED HAZARDOUS MATERIAL IS ENCOUNTERED, STOP WORK IN THAT AREA AND IMMEDIATELY INFORM THE DESIGN PROFESSIONALS AND OWNER.
- L. DISPOSE OF ALL DEMOLITION MATERIALS LIGHTLY OFF-SITE, U.O.N. ITEMS IDENTIFIED TO BE SALVAGED AND/OR TURNED OVER ARE NOTED, ALL REMAINING ITEMS ARE TO BE REMOVED.
- M. CONTRACTOR(S) TO COORDINATE EXTENT OF EXISTING CONCRETE SLAB REMOVAL THAT IS REQUIRED FOR INSTALLATION AND ROUTING OF NEW UNDERGROUND PLUMBING AND ELECTRICAL WORK WITH DEMOLITION CONTRACTOR.
- N. COORDINATE PLUMBING FIXTURE REMOVAL WITH MECHANICAL DRAWINGS.
- O. DEMO CONTRACTOR IS RESPONSIBLE FOR DUMPSTERS USED FOR THEIR DEMOLITION ACTIVITIES.

GENERAL NOTES: FLOOR AREA

1. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS ONLY (TO FACE OF GYP.BD. ON MTL. STUDS & TO FACE OF UNFINISHED BLOCK WALLS), IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ENGINEER/DESIGNER BEFORE CONTINUING WITH THE WORK.
2. GENERAL CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL AND ELECTRICAL CONTRACTORS THE LOCATIONS OF DUCTS, PIPING BOXES, CHASES, CONDUITS, ETC.
3. VERIFY LOCATION OF ALL EQUIPMENT AND VERIFY SIZES, WALL OPENINGS, AND SUPPORT REQUIREMENTS WITH MANUFACTURER. PROVIDE OPENINGS, BRACING AND REINFORCEMENT AS REQUIRED BY MANUFACTURER.
4. POINT LOADS SHALL NOT BE ALTERED W/ OUT NOTIFYING ENGINEER/DESIGNER.
5. ALL DOORS TO COMPLY WITH THE 2015 EDITION OF THE MICHIGAN BUILDING CODE SECTION 1010 AND ICC/ASNI A117.1-2009 SECTION 404.2.
6. ALL INTERIOR FINISHES (WALLS AND CEILINGS) SHALL HAVE A CLASS C FLAME SPREAD OF 76 TO 200 AND A SMOKE DEVELOPMENT NOT GREATER THAN 450 IN ACCORDANCE WITH ASTM E84 REQUIREMENTS. CORRIDORS ARE CLASS B.
7. ALL GYPSUM BOARD MATERIAL AND ACCESSORIES SHALL CONFORM TO THE APPROPRIATE STANDARDS IN ACCORDANCE WITH TABLE 2506.2 MBC 2015
8. A PORTABLE FIRE EXTINGUISHER MUST BE PRESENT DURING CONSTRUCTION. PERMANENT PORTABLE FIRE EXTINGUISHER LOCATIONS TO BE DETERMINED PER I.F.C. AND FIELD BUILDING INSPECTOR.
9. APPROVED FIRE STOP MATERIAL SHALL BE PROVIDED IN ALL DROPS FOR MECHANICAL, ELECTRICAL, PLUMBING, & HEATING.
10. ALL EXIT DISCHARGE DOOR TO CONTAIN A TACTILE SIGN (TS) STATING "EXIT" COMPLYING WITH ICC A117.1 SECTION 703.3 AS REQ'D BY MBC 2015 SECTIONS 1111.3 (ITEM #2) AND 1013.3. LOCATION OF SIGNS SHALL BE ALONGSIDE THE DOOR AT THE LATCH SIDE, ON THE INACTIVE LEAF OF DOUBLE DOOR, ON THE RIGHT HAND DOOR OF DOUBLE ACTIVE DOORS OR ON THE NEAREST ADJACENT WALL WHERE NO WALL IS ADJACENT TO THE LATCH SIDE OF DOOR. HT OF CHARACTERS SHALL BE 48" AFF TO BASELINE OF LOWEST TACTILE CHARACTER AND 60" AFF TO BASELINE OF HIGHEST.
11. "EXIT" SIGNS SHALL HAVE RED LETTER AT LEAST 6" HIGH AND THE MINIMUM WIDTH OF EACH STROKE SHALL BE 3/4" ON A WHITE BACKGROUND OR IN OTHER APPROVED DISTINGUISHABLE COLOR. THE WORD "EXIT" EXCEPT THE LETTER "I" SHALL HAVE LETTERS HAVING A WIDTH NOT LESS THAN 2 INCHES AND THE MINIMUM SPACING BETWEEN LETTERS SHALL NOT BE LESS THAN 3/8" OF AN INCH. SIGNS LARGER THAN THE MINIMUM SIZE REQUIRED SHALL HAVE LETTERS WIDTH AND SPACING IN THE SAME PROPORTION TO THE HEIGHT AS INDICATED IN THIS CODE. IF AN ARROW IS PROVIDED AS PART OF AN "EXIT" SIGN, THE CONSTRUCTION SHALL BE SUCH THAT THE ARROW CANNOT BE READILY CHANGED. THE WORD "EXIT" SHALL BE CLEARLY DISCERNIBLE WHEN THE SIGN ILLUMINATION IS NOT ENERGIZED.
12. REPAIR AND PATCH WALLS / FLOORS AS NEEDED.
13. DOOR HANDLES, PLUS LATCH, LOCKS AND OTHER OPERATING MAXIMUM HEIGHT OF 34" - 48" ABOVE FINISH FLOOR. OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. ALL MEANS OF EGRESS WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS. THE OPENING FORCE FOR INTERIOR SIDE-SWING, SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECT TO A 15-POUND FORCE. THE DOOR SHALL SWING TO A FULL-OPEN POSITION WHEN SUBJECTED TO A 15 POUND FORCE. FORCES SHALL BE APPLIED TO THE LATCH SIDE.

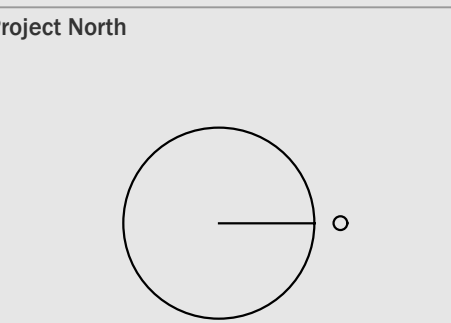


TITAN DESIGN,
LLC

PROJECT
EDALIS
BEAUTY STYLIST
1611 DIX HWY,
LINCOLN PARK, MI
48146



Revisions	
SEAL	



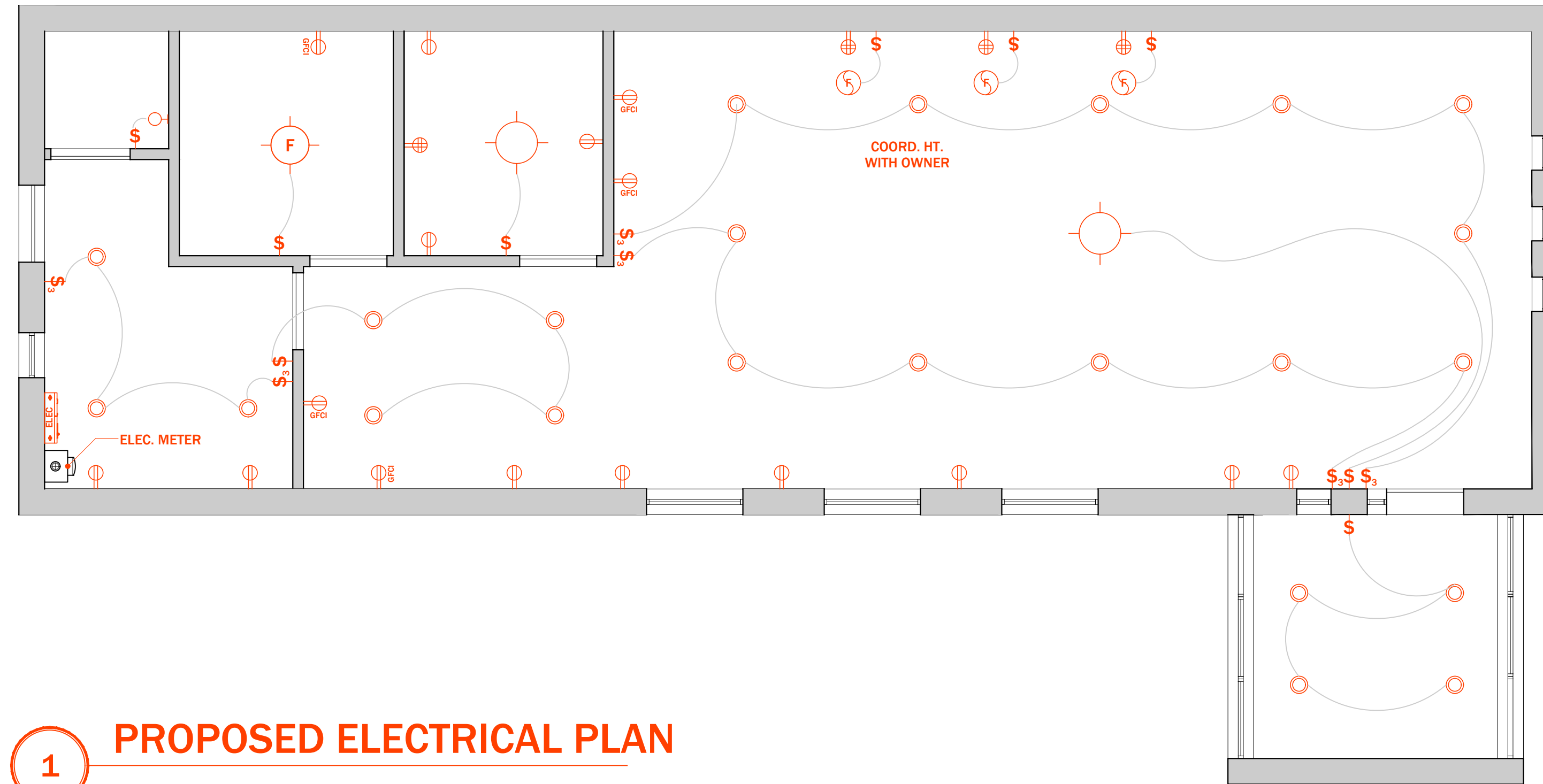
Scale 1/4"=1'-0"

DEMOLITION PLAN

A2.0

GENERAL PLAN NOTES:

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1 PROPOSED ELECTRICAL PLAN

GENERAL NOTES: ELECTRICAL

1. SYMBOLS ARE PROVIDED IN RELEVANT AREAS. EXISTING ELECTRICAL NOT TO BE ALTERED UNLESS OTHERWISE NOTED. ALL SYMBOLS ARE NOT NECESSARILY USED IN THIS PROJECT. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO ESTABLISH A STANDARD OF QUALITY. THE ENGINEER RESERVES THE RIGHT TO ALLOW OTHER METHODS AND MATERIALS NOT REFLECTED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO REQUEST THE DESIGN PROFESSIONAL WAIVE THE STANDARDS TO ALLOW ALTERNATE MEANS AND METHODS PRIOR TO BEGINNING THE PROJECT. CONTRACT DOCUMENT REVISIONS TO ACCOMMODATE INSTALLED CONDITIONS, WITHOUT PRIOR APPROVAL, WILL RESULT IN ADDITIONAL DESIGN CHARGES TO THE CONTRACTOR.
2. ELECTRICAL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE NECA INSTALLATION STANDARDS TO THE SATISFACTION OF THE DESIGN PROFESSIONALS.
3. ALL WORK, MATERIALS AND EQUIPMENT SHALL CONFORM TO THE CURRENTLY ACCEPTED EDITION OF ALL APPLICABLE NATIONAL, STATE AND CITY CODES AND ORDINANCES.
4. ALL ELECTRICAL SYSTEM COMPONENTS SHALL BE LISTED OR LABELED BY UL OR OTHER RECOGNIZED TESTING FACILITY AS ALLOWED BY AUTHORITY HAVING JURISDICTION.
5. DO NOT SCALE ELECTRICAL DRAWINGS. VERIFY EXACT LOCATION OF ALL DEVICES, JUNCTION BOXES, LIGHTING FIXTURES, ETC. WITH ARCHITECTURAL AND INTERIOR DESIGN DRAWINGS PRIOR TO INSTALLATION. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL MECHANICAL EQUIPMENT AND OTHER EQUIPMENT REQUIRING ELECTRICAL CONNECTION PRIOR TO ROUGH-IN. EVERY OUTLET HEIGHT SHALL BE VERIFIED ON EACH WALL WITH THE INTERIOR PLANNING AND DESIGN DRAWINGS. COORDINATE WITH CABINET SHOP DRAWINGS TO ENSURE PROPER HEIGHT AND LOCATION WITH RESPECT TO MILLWORK, EQUIPMENT, ETC.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECT SIZE AND INSTALLATION OF ALL OUTLET, PULL AND JUNCTION BOXES IN ACCORDANCE WITH NEC 314-16. ALL BOXES SHALL BE MINIMUM 4" SQUARE BY 1-1/2" DEEP OR AS INDICATED ON THE DRAWINGS. ALL BOXES SHALL BE RECESSED WITH COVER PLATE TO SUIT THE INTENDED APPLICATION.
7. PRIOR TO INSTALLATION, CONTRACTOR SHALL REVIEW THE COMPLETE SET OF CONSTRUCTION DOCUMENTS FOR CONFLICTS WITH OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK WITH OTHER TRADES TO AVOID CONFLICT DURING INSTALLATION. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS IN EQUIPMENT LOCATION AND ROUTING AS NECESSARY AT NO ADDITIONAL COST TO THE OWNER.
8. CONTRACTOR SHALL BE RESPONSIBLE TO PROPERLY CUT AND PATCH EXISTING CONSTRUCTION AS REQUIRED TO INSTALL NEW ELECTRICAL WORK ALL PATCHING SHALL BE OF THE SAME MATERIALS, WORKMANSHIP AND FINISH AS THE EXISTING WORK AND SHALL ACCURATELY MATCH ALL SURROUNDING WORK TO THE SATISFACTION OF THE DESIGN PROFESSIONAL.

SYMBOLS

Ⓢ	SWITCH (SINGLE POLE)	⦿ (with arrow)	RECESSED LIGHT (ARROW = DIRECTIONAL)
Ⓢ (with ~)	SWITCH (DIMMING CIRCUIT)	⦿	WALL MOUNTED LIGHT
Ⓢ (with 3)	SWITCH (THREE-WAY)	⦿ (with dot)	MONOPOINT
⦿ (with USB)	DUPLEX RECEPTACLE (USB INDICATES CHARGING OUTLET/STATION)	⦿ (with square)	PLUG-IN FIXTURE
⦿ (with 4)	QUAD RECEPTACLE	⦿ (with circle)	PENDANT FIXTURE
⦿ (with WDP)	WATERPROOF DUPLEX RECEPTACLE GFCI	⦿ (with X)	CEILING MOUNTED SPEAKER
⦿ (with 220)	220 DUPLEX RECEPTACLE	⦿ (with)	IN-WALL SPEAKER
⦿ (with FD)	FLOOR DUPLEX RECEPTACLE (SPECIFY RECESSED OR SURFACE)	⦿ (dashed)	LED STRIP LIGHT
⦿ (with T)	THERMOSTAT	⦿ (with T)	STEP LIGHT
⦿ (with F)	100 CFM CEILING MOUNTED LED LIGHTED EXHAUST FAN	⦿ (with circle)	IN-GROUND/WELL LIGHT
⦿ (with FS)	EXHAUST FAN + TIMER SWITCH	⦿ (with line)	TRACK / HEADS
⦿ (with HD)	HEAT DETECTOR (LOW= LOW TEMP SENSOR, LP = LP GAS DETECTOR)	⦿ (with triangle)	WALL MOUNTED SWING-ARM LIGHT
⦿ (with SD)	SMOKE/CO DETECTOR	⦿ (with ELEC)	ELECTRICAL PANEL
⦿ (with SMT)	SURFACE MTD. LIGHT	⦿ (with RT)	REMOTE TRANSFORMER



TITAN DESIGN,
LLC

PROJECT
EDALIS
BEAUTY STYLIST
1611 DIX HWY,
LINCOLN PARK, MI
48146

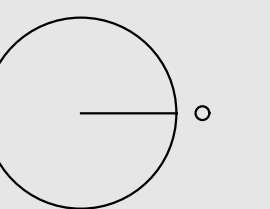


Revisions

No.	Description

SEAL

Project North



Scale 1/4"=1'-0"

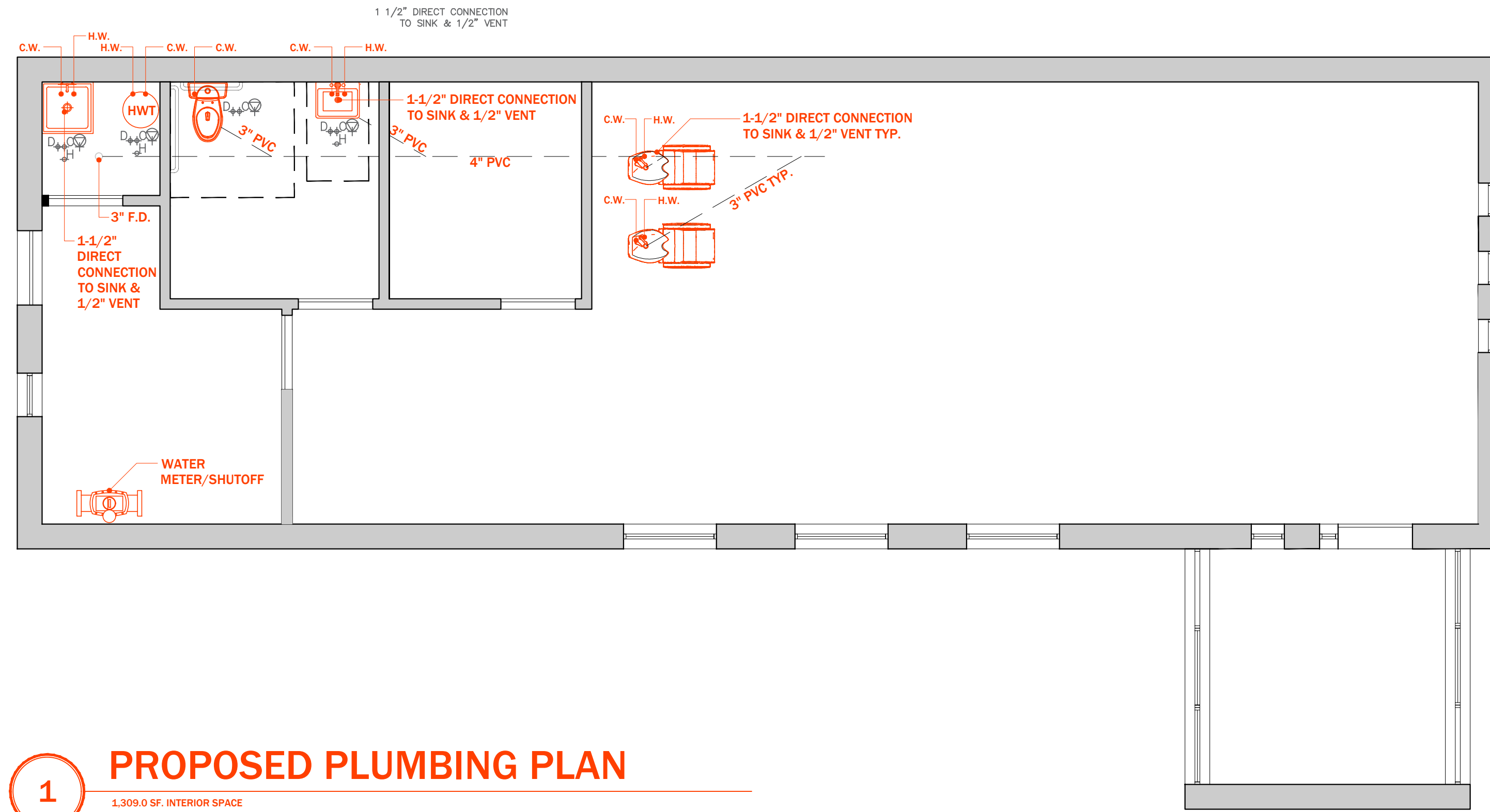
PROPOSED
ELECTRICAL PLAN

A2.1

Sheet No. © 2020

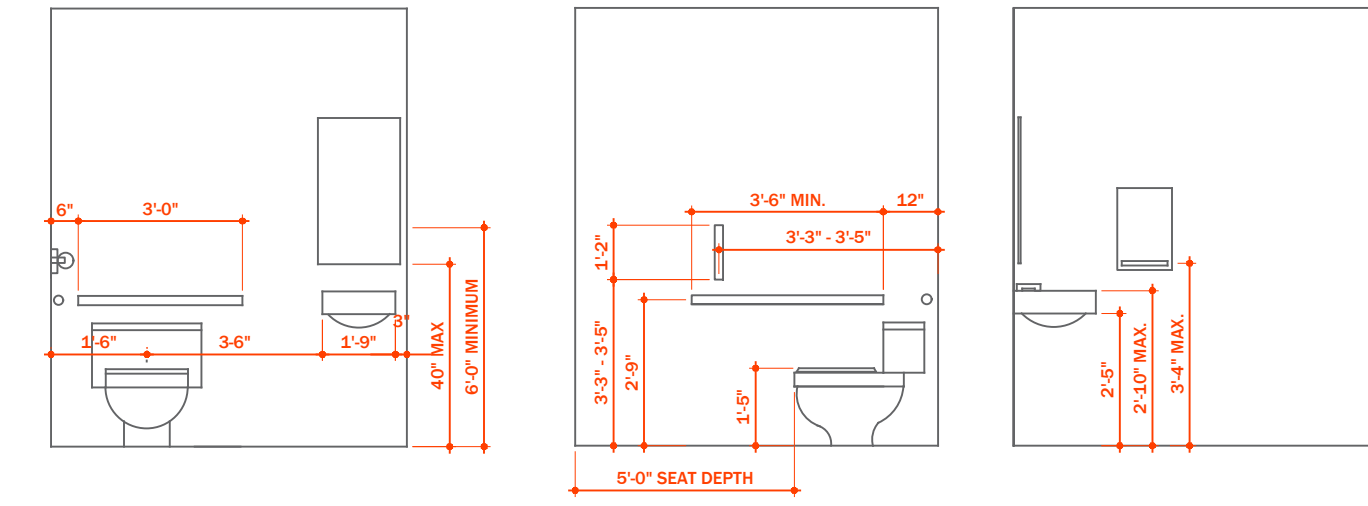
GENERAL PLAN NOTES:

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- TYPICAL EXTERIOR WALL ASSEMBLY: N/A
- TYPICAL INTERIOR WALL ASSEMBLY: MOLD TOUGH 5/8" GYP. BD., 3-5/8" METAL STUD @ 16" O.C., MOLD TOUGH 5/8" GYP. BD.
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1 PROPOSED PLUMBING PLAN

1,309.0 SF. INTERIOR SPACE



5

BARRIER FREE TOILET DETAILS

NO SCALE

GRAB BAR SPECIFICATIONS

HEAVY DUTY, COMMERCIAL GRADE, TYPE 304, 18 GAUGE (.049), BRUSHED SATIN STAINLESS STEEL, WITH ROUND SNAP ON COVERS. FLANGES ARE TUNGSTEN INERT GAS (TIG) WELDED FOR MAXIMUM STRENGTH AND DURABILITY. FABRICATED ACCORDING TO ADA SPECIFICATIONS OUR GRAB BARS ARE 1-1/4" OR 1-1/2" DIAMETER WITH 1-1/2" SPACE BETWEEN THE BAR AND WALL.

GENERAL NOTES: PLUMBING

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- COORDINATE PROPER SHUTDOWN OF EXISTING CW SYSTEM WITH THE END USER PRIOR TO CONNECTION OF NEW SYSTEM.
- PLUMBING CONTRACTOR TO DO ALL ROUGH-INS AND MAKE ALL FINAL CONNECTIONS TO EQUIPMENT.
- PLUMBING CONTRACTOR TO EXTEND ALL INDIRECT WASTE LINES FROM EQUIPMENT TO NEAREST FLOOR DRAIN / FLOOR SINK AS REQUIRED COORDINATE FIXTURE, DRAIN, CW/HW, FLOOR SINK & GAS LAYOUT W/ FOOD SERVICE CONTRACTOR WHERE APPLICABLE.
- PLUMBING CONTRACTORS SHALL SECURE AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE WORK.
- ALL WORK SHALL BE IN ACCORDANCE WITH CURRENT NATIONAL, STATE AND LOCAL PLUMBING CODES, ANSI A 117-015 BARRIER-FREE DESIGN AND SHALL CONFORM WITH ACCEPTED TRADE PRACTICES AND INDUSTRY STANDARDS.
- PLUMBING CONTRACTORS SHALL COORDINATE THEIR WORK WITH THAT OF OTHER TRADES PRIOR TO PREPARATION AND INSTALLATION.
- PLUMBING CONTRACTOR SHALL INCLUDE ALL WORK INCIDENTAL TO THE INSTALLATION SUCH AS, BUT NOT LIMITED TO, CUTTING, PATCHING, TRENCHING, BACK FILLING, ETC.
- PLUMBING CONTRACTOR SHALL ARRANGE FOR ALL REQUIRED CITY INSPECTIONS AND SHALL BE PRESENT AT THE JOB SITE DURING SUCH SCHEDULED INSPECTIONS.
- PLUMBING CONTRACTOR SHALL COMPILE AND PRESENT TO THE OWNER APPLICABLE WARRANTIES, PRODUCT MANUALS, ETC. FOR ALL SPECIFIED FIXTURES AND EQUIPMENT.
- SANITARY WASTE PIPING SHALL BE SCHEDULE 40 PVC.
- ABOVE GROUND WATER DISTRIBUTION PIPING SHALL BE PEX, TYPE "L" OR TYPE "M" COPPER (VERIFY W/ OWNER). BELOW GROUND SHALL BE TYPE "K" COPPER.
- ALL ABOVE-GRADE HOT & COLD WATER SUPPLY PIPING SHALL BE FULLY-WRAPPED WITH PIPE INSULATION. ALL EXPOSED WATER PIPING AND VALVES SHALL BE CHROME-PLATED WITH NECESSARY ESCUTCHEON PLATES, TRIM RINGS, CLEAN-OUT COVERS, ETC.
- PLUMBING CONTRACTOR SHALL SUPPLY AND INSTALL ALL REQUIRED GAS PIPING, INCLUDING ALL HANGERS, FASTENERS, ROOF BLOCKS, VALVES, ETC.
- REFER TO SCHEDULE ON THIS SHEET FOR PLUMBING FIXTURE SPECIFICATIONS.
- FAUCETS SHALL MEET A.D.A. REQUIREMENTS, BRIGHT CHROME FINISH, OR APPROVED EQUAL.
- RUN SANITARY LINES WITH MIN. 1/8" PER FT. SLOPE.
- PROVIDE SOLID F.R.T. WOOD OR METAL STUD BLOCKING WITHIN WALL FOR SECURE PLUMBING FIXTURE & ACCESSORY ATTACHMENT, VERIFY LOCATIONS WITH MANUFACTURER'S SPECIFICATIONS.
- ALL FIXTURES & ACCESSORIES MUST MEET ALL NATIONAL, STATE AND LOCAL CODE AND A.D.A. REQUIREMENTS.
- CLEAR SILICONE CAULK ALL FIXTURES TO ADJACENT VERTICAL SURFACES.
- PROVIDE TEMPERING VALVES AT HAND SINKS AND LAVATORIES LIMITING WATER TEMP TO 110 °F.
- FLOOR DRAIN SHALL BE "ZURN" MODEL Z-415 WITH "TYPE B" STRAINER OR APPROVED EQUAL. PROVIDE TRAP PRIMER OR "SURESEAL" TRAP SEAL ON ALL FLOOR DRAINS.



TITAN DESIGN,
LLC

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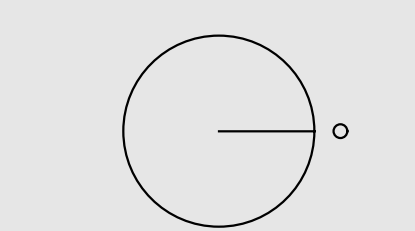


Revisions

NO.	REVISION

SEAL

Project North



Scale 1/4"=1'-0"

PROPOSED PLUMBING PLAN

A2.2

Sheet No. © 2020

GENERAL PLAN NOTES:

- 1) ALL DIMENSIONS SHOWN ARE TO FACE OF FOUNDATION AND/OR FACE OF STUD (FRAMING) UNLESS NOTED OTHERWISE.
- 2) TYPICAL EXTERIOR WALL ASSEMBLY: N/A
- 3) TYPICAL INTERIOR WALL ASSEMBLY: MOLD TOUGH 5/8" GYP. BD., 3-5/8" METAL STUD @ 16" O.C., MOLD TOUGH 5/8" GYP. BD.
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**TITAN DESIGN,
LLC**

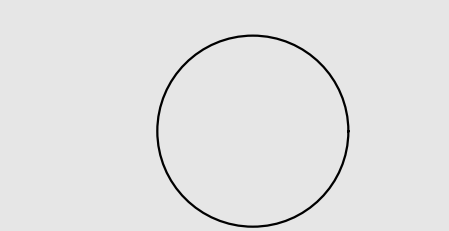
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Revisions

SEAL

Project North

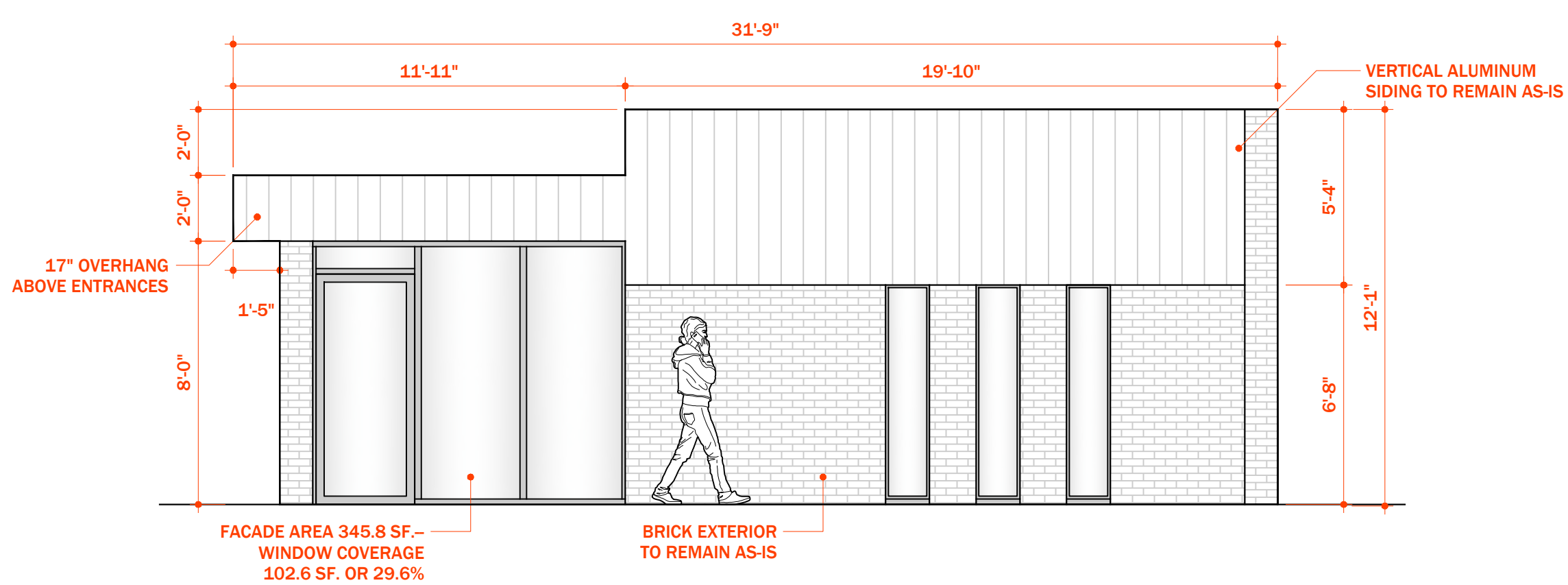


Scale 1/4"=1'-0"

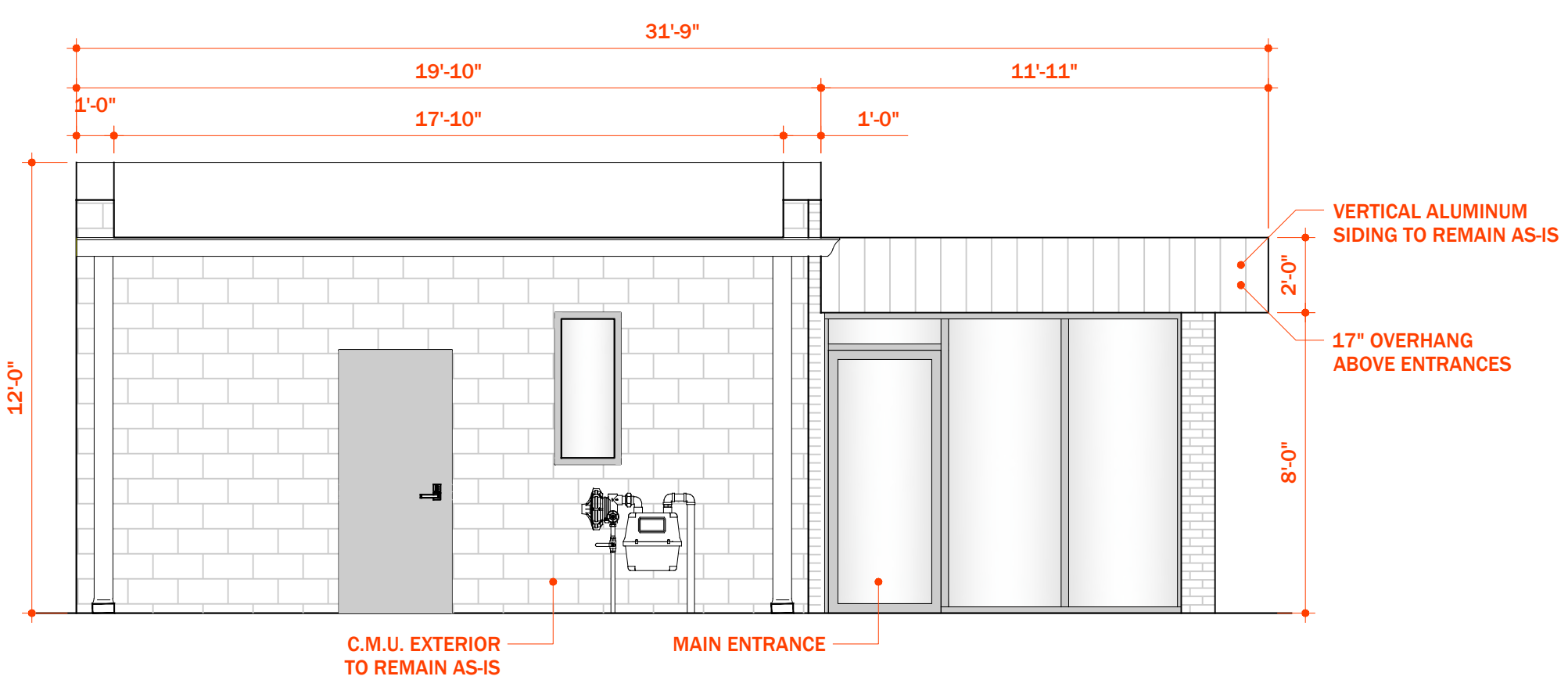
**EXISTING
ELEVATIONS**

A3.0

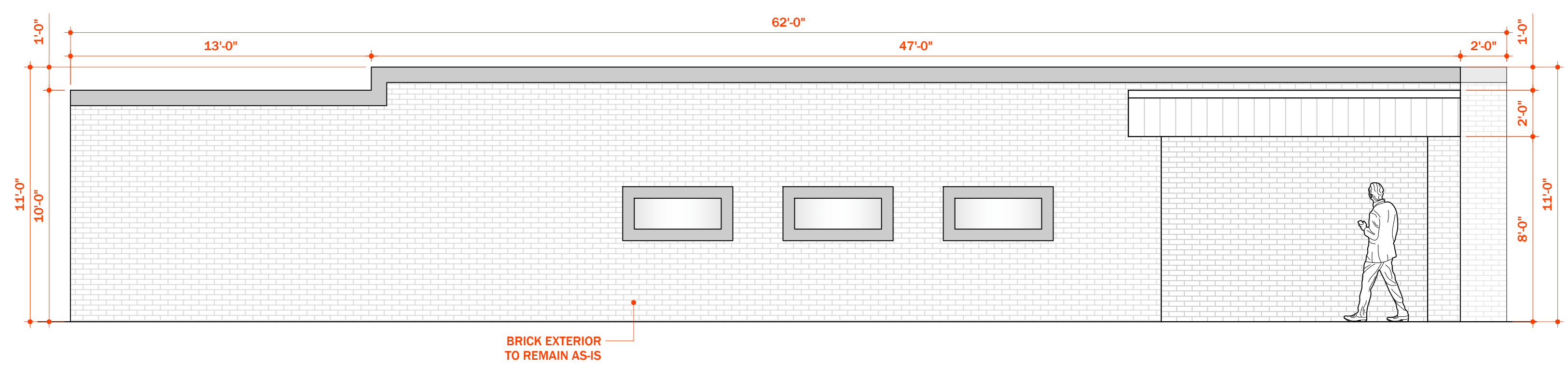
Sheet No. © 2020



1 NORTHWEST ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



2 SOUTHEAST ELEVATION (REAR)
SCALE: 1/4" = 1'-0"



3 NORTHEAST ELEVATION (LEFT)
SCALE: 1/4" = 1'-0"



June 27, 2023

Ms. Liz Gunden, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI 48103-4978

Re: Beauty Salon at 1611 Dix
City of Lincoln Park, MI
Hennessey Engineers Project #72201

Dear Ms. Gunden:

Hennessey Engineers, Inc. completed our first Planning Commission review for the above-mentioned project.

The project consists of a re-occupancy of an existing building and parking lot. Listed below are some comments which are recommended to be addressed in the Preliminary Plan approval but would not be grounds for a reason for denial from an engineering feasibility standpoint:

1. Based on the site plan submitted, the existing utilities and utility leads for the commercial site are being reused. It is important that the developer realize these existing utilities are old and may have reached their life expectancy. It is our strong recommendation for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the service lead needs to be replaced the installation of the new service will need to be inspected by our office.
2. The developer should verify with the City the existing water service type and size. If the water service is a lead service, it will have to be replaced. The developer's engineer or architect shall determine the water service lead type and capacity.
3. Any work proposed in the Dix Road right-of-way will require a Wayne County Department of Public Services (WCDPS) permit. This would include any utility connections, landscaping, and pavement repairs.
4. Broken pavement, including sidewalk, adjacent to this site that is poor condition must be replaced/repared. The sidewalk adjacent to O'Connor Avenue has some broken sections that will need to be replaced.

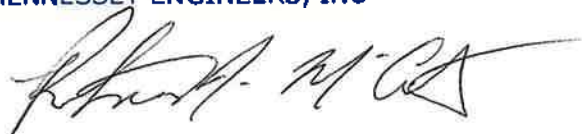
- Note #1 of the Site Plan Notes shall be revised to include the City of Lincoln Park standards.
 - Note #2 shall be revised from a 6-inch concrete thickness to an 8-inch thick drive approach.
- The proposed sidewalk can be 4-inches thick.

From an engineering feasibility standpoint, our office has no objection to the preliminary site plan. Therefore, it's our recommendation for preliminary site plan approval.

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC



Richard J. McCarty, P.E.
Project Manager

RJM/rjm

cc: John Kozuh, DPW Director, City of Lincoln Park
John Meyers, Building Official, City of Lincoln Park
Laura Passalacqua (D'Onofrio), Commercial Business Assistant, City of Lincoln Park
Monserrat Contreras, Permit Clerk, City of Lincoln Park
James Hollandsworth, Lincoln Park Project Manager, Hennessey Engineers

R:\Municipalities\70000's Lincoln Park\72000's\72201 Beauty Salon at 1611 Dix\2023-6-27_PC LETTER-1_72201.docx

FOR OFFICE USE ONLY	
CASE #	PPC23-0010
DATE SUBMITTED	June 7 2023

APPLICATION FOR SITE PLAN REVIEW

CITY OF LINCOLN PARK
1355 SOUTHFIELD RD. LINCOLN PARK, MI 48146
PH: (313) 386-1800 | FAX: 313-386-2205

RECEIVED

(M)

JUN 07 2023

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

NOTICE TO APPLICANT:

Applications for Site Plan Review by the Planning Commission must be submitted to the City in **complete** form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. City Staff will review the application for completeness. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 pm. All meetings are held at the Lincoln Park City Hall.

APPLICANT INFORMATION

NAME Edalis H. Gomez-Feliz		ADDRESS 1796 Winchester Ave		
CITY Lincoln Park	STATE MI	ZIP CODE 48146	PHONE (313) 283-8586	EMAIL Eroelias0604@gmail.com

PROPERTY OWNER (if different from Applicant)

NAME Same as Applicant		ADDRESS		
CITY	STATE	ZIP CODE	PHONE	EMAIL

Attached written consent of property owner or lessee of property, if different than applicant.

PROPERTY INFORMATION

PROPERTY ADDRESS 1611 Dix Hwy, Lincoln Park, MI48146	NEAREST CROSS STREETS O Connor Ave. / Warwick Ave.
PROPERTY DESCRIPTION (If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e. acreage parcel), provide a metes and bounds description. Attach separate sheets if necessary.)	
PROPERTY SIZE (square feet and acres) .121 ACRES OR 5.292.0 SF.	ZONING DISTRICT

PROPOSED DEVELOPMENT

Present Use of Property: Real estate agency (office building)

Proposed Use of Property: The proposed beauty salon will be a specialized establishment providing exceptional hair and nail services, creating an immersive and rejuvenating experience for clients. With a team of highly skilled stylists and technicians, the salon aims to offer a wide range of innovative hair treatments, including cuts, colorings, extensions, and styling, tailored to individual preferences and trends. In addition, their nail services encompass a comprehensive selection of manicures, pedicures, nail art, and treatments using high-quality products and meticulous attention to detail.

Please complete the following chart:

TYPE OF DEVELOPMENT	NUMBER OF UNITS	GROSS FLOOR AREA	NUMBER OF EMPLOYEES ON LARGEST SHIFT
<i>Detached Single Family</i>			
<i>Attached Residential</i>			
<i>Office</i>			
<i>Commercial</i>			
<i>Industrial</i>			
<i>Other</i>			

PROFESSIONALS WHO PREPARED THE PLANS:

NAME Hassan Darwiche			ADDRESS 23720 Edward St	
CITY Dearborn	STATE MI	ZIP CODE 48128	PHONE (313) 268-9815	EMAIL Contactitandesign@gmail.com
PRIMARY DESIGN RESPONSIBILITY Designer				

NAME Mowafak Taha			ADDRESS 25011 Annapolis St	
CITY Dearborn Heights	STATE MI	ZIP CODE 48127	PHONE (313) 657-2304	EMAIL mo.taha@att.net
PRIMARY DESIGN RESPONSIBILITY P.E.				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

ATTACH THE FOLLOWING:

<input checked="" type="checkbox"/>	Eight (8) individually folded copies of the site plan (24" x 36"), sealed by a registered architect, engineer, landscape architect, or community planner as well as ONE (1) electronic copy in PDF format.						
<input checked="" type="checkbox"/>	A brief written description of the existing and proposed uses as identified in the "Narrative" section of the Site Plan Application Requirements Table, including but not limited to hours of operation, number of employees, number of employees on largest shift, number of company vehicles, etc.						
<input checked="" type="checkbox"/>	Proof of property ownership or lease agreement.						
<input checked="" type="checkbox"/>	Review comments of approval received from County, State, or Federal agencies that have jurisdiction over the project, including but not limited to: <table style="width: 100%; border: none;"> <tr> <td style="width: 50%;">Wayne County Road Commission</td> <td style="width: 50%;">Wayne County Drain Commission</td> </tr> <tr> <td>Wayne County Health Division</td> <td>Michigan Department of Natural Resources</td> </tr> <tr> <td>Michigan Department of Transportation</td> <td>Michigan Department of Environment, Great Lakes, & Energy</td> </tr> </table>	Wayne County Road Commission	Wayne County Drain Commission	Wayne County Health Division	Michigan Department of Natural Resources	Michigan Department of Transportation	Michigan Department of Environment, Great Lakes, & Energy
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IMPORTANT

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Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted after the site plan approval.

APPLICANT ENDORSEMENT

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application. Finally, I acknowledge that part of the site plan review process includes City staff entering the exterior of the property for site visits.

Signature of Applicant: *Eduardo H. Gomez Feliz* Date: 06/05/2023

Signature of Applicant: *[Signature]* Date: 06/05/2023

Signature of Property Owner: *Eduardo H. Gomez Feliz* Date: 06/05/2023
 Authorizing this Application

TO BE COMPLETED BY THE CITY

DATE SUBMITTED:	FEE PAID:
BY:	DATE OF PUBLIC HEARING:
PLANNING COMMISSION ACTION	DATE OF ACTION:
<input type="checkbox"/> APPROVED	
<input type="checkbox"/> DENIED	

FOR OFFICE USE ONLY	
CASE #	PPC23-0010
DATE SUBMITTED	June 7 2023

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Signature of Applicant: *Estelita H. Gomez Feliz* Date: 06/05/2023

Signature of Applicant: *[Signature]* Date: 06/05/2023

Signature of Property Owner: *Estelita H. Gomez Feliz* Date: 06/05/2023
 Authorizing this Application

TO BE COMPLETED BY THE CITY

DATE SUBMITTED:	FEE PAID:
BY:	DATE OF PUBLIC HEARING:
PLANNING COMMISSION ACTION	DATE OF ACTION:
<input type="checkbox"/> APPROVED	
<input type="checkbox"/> DENIED	

PROPERTY ADDRESS: 1611 DIX HWY., LINCOLN PARK, MI 48146
AFFIDAVIT OF LIEN RIGHTS

The undersigned attest that they are the Owner(s) and Purchaser(s), or are an authorized representative of the Owner/Purchaser, who personally knows the facts that relate to the matters attested to herein. The undersigned(s) if an authorized representative(s) of the Owner/Purchaser attests that he/she is empowered by the Owner/Purchaser to bind the Owner/Purchaser to the representations and undertakings made herein. The undersigned, in consideration of Michigan Title Insurance Agency, Inc., and its Underwriter, issuing its Policy(ies) of title insurance insuring an interest in or title to the real estate described herein, and being first duly sworn and oath, deposes, states and warrants as follows:

1. That Owner(s) is/are the fee simple owner of, or has/have an ownership interest that entitles owner to possession and occupancy of the real estate referred to herein and is referred to in Michigan Title Insurance Agency, Inc. Commitment Number 32-228427.
2. That Owner(s) is/are a citizen(s) of the United States, of legal age, has/have not been married or divorced since purchasing the real estate and has/have never been known by any other name other than that used herein.
3. That Owner(s) have never installed urea-formaldehyde foam insulation nor have any knowledge of its presence in the said property.
4. That Owners' possession of the real estate has been peaceable and undisturbed and the title to the real estate has never been disputed or questioned.
5. That no proceedings in bankruptcy or receivership are pending which were instituted by or against any Owner, and the Owner(s) have never made an assignment for the benefit of creditors.
6. That there is not any action or proceeding now pending in any State or Federal Court in the United States, to which the Owner(s) are a party; nor is there any State or Federal Court Judgment, State or Federal Tax Lien, or any other State or Federal lien of any kind or nature against an Owner, which could constitute a lien or charge upon the real estate.
7. That there are not any taxes and/or special assessments on the real estate which are not fully paid, including but not limited to assessments, tickets or violations for sidewalks, streets, weed cutting, board-up, etc., and Owner has not received any notice of such.
8. That the Title Holder has remained updated with the City/Township/Village Assessor and we have not claimed a PRE (Principal Residence Exemption) without residing at the property. There has been no notification of any current or prior Homestead Denial.
9. That there are not any unrecorded easements, party walls, agreements, or rights-of-way, which encumber the real estate.
10. That there has been no new construction or repair work performed on the real estate for at least 120 days.
11. That there are not any unpaid bills or claims for labor, services, or material; nor any recorded or unrecorded mortgage, construction or improvement loans, chattel mortgages, conditional bills of sale, retention of title agreements, security agreements, agreements not to sell or encumber, financing statements, or personal property leases; which affect the real estate or which affect any fixtures, appliances, or equipment now installed in or on the real estate.
12. That there has been no forbearance agreement, loan modification, or other deferral of payments of loan(s).
13. That Owner(s) is/are in sole possession of the real estate, and that no other party has or claims a right of possession.
14. The Purchaser(s) and Owner(s) herein acknowledge that the closing of this transaction is in full satisfaction of the Purchase Agreement on said property.

The Owner and Purchaser agree to hold Michigan Title Insurance Agency, Inc., and its Underwriter, harmless from any loss or claim arising because of title insurance protection provided a purchaser or lender in reliance in whole or in part on the completeness and correctness of the representations or attestations made herein.

Dated: April 24, 2023

Purchaser(s):


EDALIS HERMINIA GOMEZ-FELIZ

Seller(s):


JEAN BOWYER

Subscribed and Sworn to before me, a Notary Public.

Notary Public, WAYNE County, MICHIGAN

HOLD HARMLESS FOR CITY CERTIFICATION

File Number: 32-228427

PROPERTY ADDRESS: 1611 DIX HWY., LINCOLN PARK, MI 48146

SELLER(S): JEAN BOWYER

PURCHASER(S): EDALIS HERMINIA GOMEZ-FELIZ

It is agreed by all parties that certain conditions required by the above referenced property's Municipality have not been completed in order to obtain a Certificate of Occupancy, or its equivalent. It is hereby understood and agreed that the Purchaser(s) will obtain any necessary inspections and take responsibility for the completion of any requirements set forth by the above referenced property's Municipality. All parties will hereby hold harmless Michigan Title Insurance Agency, Inc., its Underwriter, the Seller(s), the Listing Real Estate Office, if applicable, the Selling Real Estate Office, if applicable, and the Drafting Attorney, if applicable, for any costs or damages incurred relative to the ability to obtain the Certificate of Occupancy, or its equivalent, from the above referenced property's Municipality.


IMPORTANT: ALL PARTIES ARE AWARE THAT FAILURE TO CONTACT THE APPROPRIATE MUNICIPALITY OFFICE MAY RESULT IN A PENALTY OR FINE WHICH COULD BE ASSESSED BY SAID MUNICIPALITY.

Dated: April 24, 2023

Purchaser(s):


EDALIS HERMINIA GOMEZ-FELIZ

Seller(s):


JEAN BOWYER

Subscribed and Sworn to before me, a Notary Public.


Notary Public, WAYNE County, MICHIGAN

MICHAEL CONFORTI
Notary Public, Oakland County, Michigan
My Commission expires 04/05/26
Acting in Wayne County, MI

3309 Fort – Offices & Business Services

Site Plan Review

Applicant	FS Consulting, LLC
Project	Offices & Business Services
Address	3309 Fort Street, Lincoln Park, MI 48146
Date	July 12, 2023
Request	Site Plan Review

GENERAL

All elements of the site plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Zoning Code. The site plan shall conform with all requirements of this Zoning Code, including those of the applicable zoning district(s).

Project and Site Description



Figure 1: Aerial View

The proposed project is “coating consulting services for commercial and industrial properties,” which falls under the category of “offices and business services” in the Lincoln Park Zoning Ordinance. Activities in the building will include client meetings, business office activities, and limited storage of equipment and materials. The existing building on the site is currently vacant and was previously used as an auto parts retail store.

Site Conditions

The 0.25-acre site is located along the east side of Fort Street at the corner of Fort St. and Stewart Ave. There is an existing concrete sidewalk along both rights-of-

way, and the rear (east) side of the property is separated from a residential neighborhood by an alley. Vehicular access to the site is via Fort St. and Stewart Ave. There is a concrete pedestrian walkway to the main entrance into the site facing Dix Highway. A lawn panel between Fort St. and the sidewalk is the only landscaped area on the site. There is a small parking area in front of the building.

Master Plan

Future Land Use Classification

The future land use classification for the site is General Commercial. The proposed offices and business services use is consistent with the designation.

Intent, Desirable Uses, and Elements

The General Commercial land use is intended to provide retail goods and services on a city-wide scale as well as a regional scale that draw customers from within and outside the City. This is a suitable location for automobile-oriented uses that are not appropriate in pedestrian-oriented City areas such as the downtown, including as restaurants with car service, gas stations with or without convenience stores, minor auto repair shops, and car washes that comply with special design standards.

Land Use and Zoning

Zoning

The site is zoned Neighborhood Business District (NBD). “Offices and business services” is a principally permitted use in the district per §1276.02(a) of the Lincoln Park Zoning Ordinance.

Proposed and Existing Uses

Site	Commercial / Vacant – Neighborhood Business District (NBD)
North	ROW, then Commercial – Neighborhood Business District (NBD)
East	ROW, then Residential – Single Family Residential District (SFRD)
South	Commercial – Neighborhood Business District (NBD)
West	ROW, then Commercial – Neighborhood Business District (NBD)



Figure 2: Zoning Map

Site Plan Documents

The following site plan drawings have been used to perform this review and are part of the public record.

Page	Sheet Title	Original Date	Last Revision
CS100	Cover Sheet	04/26/2023	-
SP100	Site Plan Overlay	04/26/2023	-
SP101	Enlarged Site Plan	04/26/2023	-
A101	Proposed Floor Plan	04/26/2023	-
A301	Building Elevations	04/26/2023	-

Dimensional Standards

The dimensional requirements of the Neighborhood Business District (NBD) district are described in the chart below. (§1294.32, except where noted)

	Required	Provided	Compliance
Lot Width	Min. 40	~120 ft.	Met
Street Frontage (§1294.09)	Shrubbery and low retaining walls maximum 2 ½' < height < 8'	None	Met
Lot Area	Min. 4,000 sq. ft.	~10,893 sq. ft.	Met
Lot Coverage	Max. 50%	~7,668/10,893 = 70%	NOT MET
Height	2-Story Building; 25 ft	1 story; ~17 ft.	Met
Setback – Front	0	Fort: ~31 ft., Steward: 0 ft.	Met
Setback – Sides	0	0 ft.	Met
Setback – Rear	0	0 ft.	Met

The existing site meets all dimensional standards except for the lot coverage (which exceeds the standard by 20%). Because this is an existing site, the City has historically permitted these conditions to remain.



Items to be addressed

None

BUILDING DESIGN

The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the requirements of Section 1296.04, Standards for Architecture and Building Materials.

Required	Compliance
<ul style="list-style-type: none"> Building mass, height, bulk and width-to-height ratio within 50-150% of buildings within 500' 	Met

Required	Compliance
<ul style="list-style-type: none"> Architectural variety Similar materials and entrances to buildings within 500'  <p>1 block north on Fort St. – single-story, square, flat roofs, auto-oriented.</p>  <p>1 block south on Fort St. – single-story, square, flat roofs, auto-oriented.</p>	<p>Met</p>
<p>Building materials: primarily natural products conveying permanence (brick, decorative masonry block, stone, or beveled wood siding) = 75% of each façade (industrial districts, 50% if facing ROW)</p> <p><u>West Elevation (Fort St.): 4% masonry (76/1,729)</u></p> <ul style="list-style-type: none"> Brick: ~76 sf Vinyl siding: ~655 sf Seam metal: ~670 sf Metal doors: ~328 sf Glass windows/doors (exempt): ~129 sf Total Area: ~1,858 sf <p><u>North Elevation (Stewart Ave): 64% masonry (798/1,230)</u></p> <ul style="list-style-type: none"> CMU: ~692 sf Brick: ~106 sf Vinyl siding: ~252 sf Seam metal: ~51 sf Metal doors: ~129 sf Total Area: ~1,230 sf <p><u>East Elevation (alley): 100% masonry (1,444/1,444)</u></p> <ul style="list-style-type: none"> CMU: ~1,444 sf Total Area: ~1,444 sf <ul style="list-style-type: none"> 25% may be glass, exterior insulation finish systems (EIFS), vinyl, aluminum, or steel siding; or similar synthetic or highly reflective materials (industrial districts not facing public streets or freeways, these and pre-cast concrete or plain masonry block) Natural colors (bright for decorative features only) 	<p>NOT MET</p>
<ul style="list-style-type: none"> Façade: <100' uninterrupted If >100' = recesses, off-sets, angular forms, arches, colonnades, columns, pilasters, detailed trim, brick bands, contrasting courses of material, cornices or porches All sides similar 	<p>Met</p>

Required	Compliance
<ul style="list-style-type: none"> • Windows: vertical, recessed, visually obvious sills • Spaces between windows = columns, mullions, or material found elsewhere on the façade • Front facades > 25% windows <i>Fort St: 7% (129/1,858), Stewart Ave.: 0% (0/1,230)</i> Size, shape, orientation, spacing to match buildings within 500' 	NOT MET
<ul style="list-style-type: none"> • Main entrances: doors larger • Framing devices (overhangs, recesses, peaked roof forms, porches, arches, canopies, parapets, awnings, display windows, accent colors, tile work, moldings, pedestrian-scale lighting, distinctive door pulls) 	Met
<ul style="list-style-type: none"> • Pitched / shingled roof forms suggested; overhanging eaves with slope of 0.5 to 1 <i>Flat roof</i> • Rooflines >100' = roof forms, parapets, cornice lines • Roof-top mechanical equipment screened by roof form. <i>Mechanical equipment not screened</i> 	NOT MET

The existing building does not meet the material or transparency requirements on the north and west facades. As the proposal does not include changes to the building façade, the City has historically permitted existing façade conditions to remain.

Items to be addressed

None

PRESERVATION OF SIGNIFICANT NATURAL FEATURES

Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as deemed in this Zoning Code, in particular flood hazard areas and wetlands designated/regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, flood hazard areas and wetlands which are not regulated by the Department.

There are no significant natural features to preserve.

Items to be addressed

None

SIDEWALKS, PEDESTRIAN AND BICYCLE CIRCULATION

The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/ pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/ service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.

The site is served by a public sidewalk on all two sides of the site (Fort St. and Stewart Ave.) which provides pedestrian circulation separated from the vehicular circulation. There are no bicycle lanes on the ROW or bicycle parking facilities proposed. Any broken, cracked, or unsafe sidewalks in the right-of-way must be repaired.

Items to be addressed

- Applicant shall ensure that concrete sidewalks are brought up to City standards.

PARKING

The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Zoning Code. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Zoning Code.

Use	Required	Proposed	Compliance
General business offices	Three and one-half (3½) for every one-thousand (1,000) square feet of gross floor area. <i>7,668 sf / 1,000 = 7.668 x 3.5 = 26.8 = 27 spaces</i>	4 spaces	NOT MET

	Required	Proposed	Compliance
Parking Area Type B §1290.05	Adequate means of ingress and egress shall be provided and shown	Existing ingress and egress on Fort St. and Stewart Ave.	Met
	Parking facilities, access drives, and maneuvering aisles shall be hard surfaced with concrete or plant-mixed bituminous material, maintained in a usable dustproof condition and graded and drained appropriately	Parking area has existing concrete; however, concrete appears to be in poor condition and will likely need to be replaced.	INQUIRY
	Concrete curbs and gutters	Parking lot drains directly onto sidewalk.	NOT MET
	When adjoining residential property and/or a residential street or alley: 6' solid masonry wall, ornamental on both sides, with bumper guards	The building screens the entire rear property line abutting the residential alley.	Met
	All street boundaries of such parking facilities, where residential property is located on the opposite side of the street, shall be treated the same as set forth in Section 1290.04, Off-Street Parking A Areas; Residential Districts Adjoining Business or Industrial Districts.	The building screens the entire rear property line abutting the residential alley.	Met
	Entrance only from the adjoining principal use or adjoining alley; no use of street for backing or maneuvering	The proposed parking configuration could result in backing into the ROW.	INQUIRY
	In all cases where such parking facilities abut public sidewalks, a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, shall be placed thereon so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.	The concrete parking lot meets the sidewalk without curb, wall, posts, or other stop.	NOT MET

The proposed floor plan shows that only 548 sq. ft. of the building will be dedicated to office space and the remaining 7,120 sq. ft. will be dedicated to storage. The Lincoln Park Zoning Ordinance does not have parking requirements for storage/warehousing nor is exclusive storage/warehousing a permitted use in the Neighborhood Business District; therefore, the parking requirement for an office was applied for the entirety of the building, realistically yielding an excessive amount of parking.

The proposed parking spaces are located in front of the three existing overhead doors. It is unclear where customers will park if these doors are in use. Furthermore, there is very limited space on the site, and the location of the proposed parking spaces could result in cars backing into the right-of-way and using the sidewalk to maneuver. Engineering comments indicate concerns about the proposed parking as well.

§1290.01 (q) Waiver or Modification of Standards for Special Situations. The Planning Commission may reduce or waive the number of off-street parking and/or loading spaces required for a specific use, provided they determine that no good purpose would be served by providing the required number of such spaces. In making such a determination to reduce or waive the requirements for off-street parking and/or loading spaces of this chapter, the following may be considered:

- (1) Extent that existing off-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use.
- (2) Extent that existing on-street parking and/or loading spaces can effectively accommodate the parking and loading needs of a given use without negatively impacting traffic safety or adjacent uses.
- (3) Existing and proposed building placement.
- (4) Location and proximity of municipal parking lots and/or public alleys.
- (5) Agreements for parking and/or loading spaces with adjacent or nearby property owners.

Items to be addressed

- A Planning Commission waiver is requested to waive the required number of parking spaces on the site. Considerations include the size and configuration of the existing site.*
- Applicant shall ensure that the existing concrete meets City standards.*
- Applicant shall revise parking lot plan to show curb and gutter.*
- Applicant shall revise parking lot plan to eliminate backing onto a sidewalk or right-of-way to maneuver.*
- Applicant shall revise parking lot plan to show a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, placed where the parking facility abuts the public sidewalk so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.*

BARRIER-FREE ACCESS

The site has been designed to provide barrier-free parking and pedestrian circulation.

Required Spaces	Required Barrier-Free Spaces	Proposed Barrier-Free Spaces	Compliance
1 to 25	1	1	Met

Items to be addressed

None

LOADING

All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Zoning Code.

Gross Floor Area	Loading Spaces – Required	Loading Spaces – Provided	Compliance
5,001 to 20,000 sf	1	1	INQUIRY

Loading area provided in the paved space between the sidewalk and Stewart Ave. It is unclear how this proposed location will affect pedestrian travel along the sidewalk and vehicular traffic on Stewart Ave.

Items to be addressed

- Applicant comment requested on how the proposed loading space will function.

ACCESS, DRIVEWAYS, AND VEHICULAR CIRCULATION

Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Lincoln Park Comprehensive Development Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the provisions of Section 1290.10, Access Management Standards.

The standards of this section shall be applied to the following major traffic routes (arterials) identified in the City of Lincoln Park Comprehensive Development Plan: Southfield Rd., Fort St., Dix Ave., and Outer Dr.

Required	Provided	Compliance
<ul style="list-style-type: none"> • Single two-way driveway or pair of one-way driveways 	<ul style="list-style-type: none"> • Single driveway provided on Dix Hwy, no directional details provided. 	INQUIRY
<ul style="list-style-type: none"> • Two-way: 25' < throat width < 30' (face to face of curb). One-way paired: each 20' measured perpendicularly. May be separated by 10' median; sidewalks shall be continued or maintained 	<ul style="list-style-type: none"> • ~51 ft.; sidewalks continue. 	NOT MET
<ul style="list-style-type: none"> • 25' radii; 30' radii where daily truck traffic expected 	<ul style="list-style-type: none"> • No radii details provided 	INQUIRY
<ul style="list-style-type: none"> • Corner lots: one access point per street with >100' frontage 	<ul style="list-style-type: none"> • One access point. 	Met
<ul style="list-style-type: none"> • If frontage >300' and documented need (ITE), may allow additional access with design restrictions 	<ul style="list-style-type: none"> • Frontage not > 300' 	N/A

Required	Provided	Compliance
<ul style="list-style-type: none"> Shared access: driveways along property lines, connecting parking lots, on-site frontage roads, rear service drives. Encouraged and may be required for sites within 1/4 mile of major intersections; having dual frontage; with <300' frontage; with sight distance problems; along congested or accident-prone roadway segments Connection to adjacent facilities may be required; site accommodation may be required for future connection to undeveloped adjacent property Letters of agreement or access easements required 	Not applicable	N/A
<ul style="list-style-type: none"> Triangular unobstructed view areas: from corner of two ROWs, 25' along each; from corner of ROW and driveway, 10' along driveway and 5' along ROW Grass / groundcover only in 3' strip abutting driveway and ROW Trees permitted if trimmed between 30" and 6' from ground level 	Nothing proposed in triangular unobstructed view area.	N/A
<ul style="list-style-type: none"> May require drive to be located on the far side of the property from congested intersections >150' from signalized intersection or 4-way stop, or right-turn-only at 75' from intersection >100' otherwise >200' from centerline of I-75 access ramps 	Not applicable	N/A
<ul style="list-style-type: none"> Same side of street: Driveway spacing determined by speed limits in §1290.10 <i>40 mph = 185' driveway spacing</i> Across the street: Driveways directly aligned or >150' offset (excludes right-turn-only) Directional driveways, divided driveways, and deceleration tapers and/or by-pass lanes may be required by the Planning Commission where they will reduce congestion and accident potential 	<ul style="list-style-type: none"> South: ~50 ft. Divided highway. Existing site 	<p>NOT MET</p> <p>N/A</p> <p>N/A</p>

The driveways are existing; therefore, the City has traditionally allowed these conditions to remain. Changes to the existing drive on Fort Street, however, may be needed to address parking concerns.

Items to be addressed

- Applicant shall provide directional details on ingress/egress.
- Applicant shall provide radii details.

EMERGENCY VEHICLE ACCESS

All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department and Police Department.

Emergency vehicles may access the building via Dix Highway, Stewart Avenue, or the public alley in the rear.

Items to be addressed

None

STREETS

All streets shall be developed in accordance with the City of Lincoln Park Subdivision Control Ordinance and construction standards, unless developed as a private road in accordance with the requirements of the City.

No new streets are proposed.

Items to be addressed

None

LANDSCAPING, SCREENING, AND OPEN SPACE

The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Zoning Code. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the provisions of Section 1296.03, Landscaping Standards. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.

	Required	Proposed	Compliance
Street Landscaping	Greenbelt, 10' width minimum with groundcover	Existing 12' greenbelt on northern half of Fort St. frontage; none on Stewart Ave.	Met as possible
	1 tree and 4 shrubs per 40' of street frontage = 121' of frontage on Fort + 132' on Stewart = 253 lineal feet <i>6 trees and 25 shrubs *30% redevelopment credit = 2 trees and 8 shrubs</i>	No trees or shrubs provided.	NOT MET
	Where headlights from parked vehicles will shine into the ROW, may require a totally obscuring hedge	Proposed vehicle parking spaces do not face ROW.	N/A
Interior Landscaping	10% of total lot area landscaped, including groundcover <i>(10,893 sf *0.1) = 1,089 sf landscaping * 30% redevelopment credit = 326 sf</i>	No proposed landscaping.	NOT MET
	Interior landscaping to be grouped near entrances, foundations, walkways, service areas	No proposed landscaping.	NOT MET
	1 tree per 400 sf of required landscaping and 1 shrub per 250 sf of required landscaping <i>326 sf = 0.8 trees and 1.3 shrubs = 1 tree and 1 shrub with rounding</i>	No trees or shrubs provided.	NOT MET

	Required	Proposed	Compliance
Parking Lot	1 deciduous or ornamental tree per 10 parking spaces	4 spaces provided	N/A
	100 sf of planting area per tree		
Screening	Waste receptacle: Decorative masonry wall of at least 6' with solid or impervious gate	No waste management plan provided.	NOT MET
	Abutting residential: greenbelt, 15' with 5' evergreens (PC may waive), and/or solid 6' masonry wall ornamental on both sides	The building screens the entire rear property line abutting the residential alley.	Met

Items to be addressed

- Applicant shall provide a landscaping plan complying with Section 1296.03 that meets 30% of the landscaping requirements for redevelopment of an existing site.
- Applicant shall provide a waste management plan complying with Section 1294.42.

SOIL EROSION CONTROL

The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Building Superintendent or City Engineer.

All erosion and sedimentation measures are under the jurisdiction of Wayne County.

Items to be addressed

- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County.

UTILITIES

Public water and sewer facilities shall be available or shall be provided for by the developer as part of the site development, where such systems are available.

The site is served by public water and sewer. No new water line or sanitary sewer systems are proposed for the site. Engineering comments state that if the existing sanitary sewer is going to be reused, the architect should verify that the existing sanitary service is adequate to handle the required flows for the building's use. If it is being reused, it is important that the developer realize this existing sanitary service is old and may have reached its life expectancy. It is highly recommended that the existing sanitary sewer service be videotaped to determine the condition of the service lead. If the existing water service is being reused, it is important that the developer realize this existing water service is also old and may have reached its life expectancy. If the existing service is a lead-type service or undersized, it will be required to be removed and replaced. The design professional must verify the existing water service type, size, and lead capacity and

should verify that the existing service is adequate to handle the required flows. Utility connections should be shown on the plans.

Items to be addressed

- *Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.*
- *It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.*

STORMWATER MANAGEMENT

Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Stormwater management is under the jurisdiction of Wayne County.

Items to be addressed

- *Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.*

LIGHTING

Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

There does not appear to be new lighting proposed at this time. If new lighting is proposed, details must be provided.

Items to be addressed

- *If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

NOISE

The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.

No indication of adverse noise impacts are anticipated from the development.

Items to be addressed

None

MECHANICAL EQUIPMENT

Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Zoning Code.

There is existing roof-top mechanical equipment. Should the equipment need to be replaced, it would need to be screened in accordance with Ordinance requirements.

Items to be addressed

None

SIGNS

The standards of the City's Sign Code are met.

Signs shall be permitted by the Building Department in accordance with the Lincoln Park Sign Ordinance.

Items to be addressed

- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.*

HAZARDOUS MATERIALS OR WASTE

For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.

Applicant to describe handling and storage of paint products.

Items to be addressed

- Applicant shall describe handling and storage of paint products.*

SITE DESIGN STANDARDS FOR USES PERMITTED AFTER SPECIAL APPROVAL

All applicable standards for uses permitted after special approval are met.

There are no specific standards for the proposed uses.

Items to be addressed

None

OTHER AGENCY REVIEWS

The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Wayne County Drain Commission, Wayne County Health Department, and other federal and state agencies, as applicable.

Items to be addressed

- Work in the Fort Street right of way requires a permit from the Wayne County Road Commission.
- Applicant to secure all appropriate agency reviews as needed.

VARIANCES

No variances have been requested.

Items to be addressed

None

RECOMMENDATIONS

Findings

There are several items still needed before this proposal is substantially in compliance with §1296.01, Site Plan Review.

Conditions of Approval

Waivers & Considerations

- A Planning Commission waiver is requested to waive the required number of parking spaces on the site. Considerations include the size and configuration of the existing site.

Conditions to be Addressed Before Approval Letter is Issued

- Applicant shall ensure that the existing concrete meets City standards.
- Applicant shall revise parking lot plan to show curb and gutter.
- Applicant shall revise parking lot plan to eliminate backing onto a sidewalk or right-of-way to maneuver.
- Applicant shall revise parking lot plan to show a wall or curb at least six (6) inches high, or steel posts twenty-four (24) to thirty (30) inches high and not more than five (5) feet apart, set three (3) feet in concrete, placed where the parking facility abuts the public sidewalk so that a motor vehicle cannot be driven or parked with any part thereof extending within two (2) feet of a public sidewalk.
- Applicant comment requested on how the proposed loading space will function.
- Applicant shall provide directional details on ingress/egress.
- Applicant shall provide radii details.
- Applicant shall provide a landscaping plan complying with Section 1296.03 that meets 30% of the landscaping requirements for redevelopment of an existing site.
- Applicant shall provide a waste management plan complying with Section 1294.42.
- If new lighting is proposed, applicant shall provide manufacturer specifications to ensure that lighting is arranged to deflect away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.
- Applicant shall describe handling and storage of paint products.

Conditions of Approval

- Applicant shall ensure that concrete sidewalks are brought up to City standards.
- Applicant shall work with the building superintendent, City Engineer, and Lincoln Park Department of Public Services to comply with soil erosion control standards.
- A Soil Erosion and Sedimentation permit must be obtained from Wayne County
- Applicant shall work with the City Engineer to verify the existing water service and sanitary service type, size, and determine the lead capacity for the proposed building use.
- It is highly recommended that the existing sanitary service be videotaped to determine the condition of the service lead.
- Applicant shall work with the City Engineer to review stormwater system to determine the appropriate permitting process.
- Applicant shall work with the Building Department to ensure signs comply with the Lincoln Park Sign Ordinance.
- Work in the Fort Street right of way requires a permit from the Wayne County Road Commission.
- Applicant to secure all appropriate agency reviews as needed.

Proposed Motion

I move that the City of Lincoln Park Planning Commission [**approve / deny / table**] the site plan numbered PPC23-0006, proposing an offices and business services establishment at 3309 Fort Street and consisting of the pages and revision dates found under 'Site Plan Documents' above, based on the finding that the proposal substantially complies with the requirements of §1296.01. This approval is conditional upon the submittal, within 45 days of the date of this report, of a revised Site Plan resolving the items noted above and subject to administrative review and approval.

GUS' PAINTING SERVICE, INC.

3309 FORT STREET
LINCOLN PARK, MI 48146

OWNER:
Gus' Painting Service, Inc.
3309 Fort Street
Lincoln Park, MI 48146

ARCHITECT:
TDG ARCHITECTS
79 Oakland Avenue
Pontiac, MI 48342

DRAWING INDEX

CS 100 COVER SHEET
SP 100 SITE PLAN
SP 101 ENLARGED SITE PLAN
A 101 PROPOSED FLOOR PLAN
A 301 ELEVATIONS

DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE:
BRIAN S. GILL - MICHIGAN LICENSE NUMBER: 1301044806

PROJECT INFORMATION

SCOPE OF WORK

THIS PROJECT IS AN AS BUILT/ EXISTING BUILD IN THE NEIGHBORHOOD BUSINESS ZONING AREA AND WE ARE PROPOSING A CHANGE IN ZONING TO THE OFFICES AND BUSINESS SERVICES. THIS BUILDING SERVES AS AN OFFICE/STORAGE FOR A PAINTING SERVICE THAT SERVES THE GREATER DETROIT AREA.

PARCEL ID

45 012 01 0068 000

BUILDING TABULATION & CODE INFORMATION:

BASED	2015 MICHIGAN BUILDING CODE 2018 MICHIGAN PLUMBING CODE 2015 MICHIGAN MECHANICAL CODE 2018 NATIONAL ELECTRIC CODE W/ MICHIGAN AMENDMENTS 2015 MICHIGAN REHAAB CODE 2015 MICHIGAN ENERGY CODE BARRIER FREE DESIGN (CC/ANSI) A111-2009
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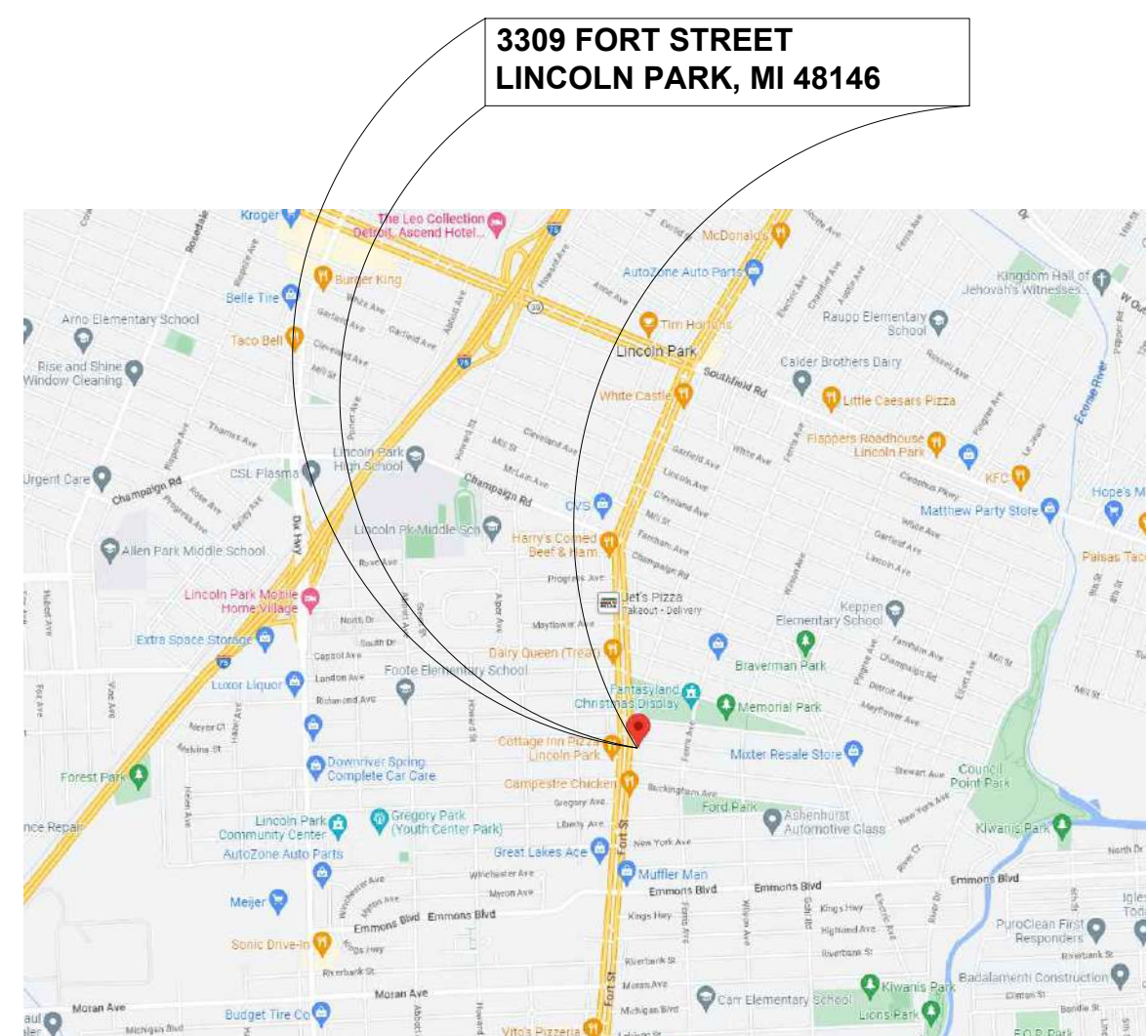
PROPOSED TENANT	PROPOSED USE GROUP	B - BUSINESS	(304)
BUILDING AREA			7,668 S.F.
CONSTRUCTION TYPE	V B		(602)
AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13			NO
HEIGHT MODIFICATIONS	N.A.		0
ALLOWABLE HEIGHT B / V B =	40'		(TABLE 504.3)
ALLOWABLE NUMBER OF STORIES B / V B =	2 STORY		(TABLE 504.4)
ALLOWABLE BUILDING AREA FACTOR B / V B =	3,000 S.F.		(TABLE 506.2)
FIRE SEPARATION OF OCCUPANCIES	N.A.		(TABLE 508.4)
FRONTAGE INCREASE			(506.3)
FIRE RESISTANCE RATING REQUIREMENTS TYPE V B			(TABLE 601)
PARKING REQUIREMENT (TABLE 1296.02 LINCOLN PARK CODIFIED ORDINANCES)			
INDUSTRIAL ESTABLISHMENTS, INCLUDING MANUFACTURING, RESEARCH AND TESTING, LABORATORIES, CREAMERIES, BOTTLING WORKS, PRINTING, PLUMBING OR ELECTRICAL WORKSHOPS.			
ONE (1) FOR EVERY FIVE-HUNDRED (500) SQUARE FEET OF GROSS FLOOR AREA, OR ONE (1) PER EVERY ONE AND ONE-HALF (1½) EMPLOYEES, COMPUTED ON THE BASIS OF THE GREATEST NUMBER OF PERSONS EMPLOYED AT ANY ONE PERIOD DURING THE DAY OR NIGHT, WHICHEVER IS GREATER.			
WITH 5 TOTAL EMPLOYEES THAT WOULD BE IN THE FACILITY AT ONE TIME. TOTAL PARKING REQUIRED: 4 TOTAL SPACES REQUIRED.			
SITE REQUIREMENTS (TABLE 1296.03 LINCOLN PARK CODIFIED ORDINANCES)			
SPECIAL PROVISIONS FOR EXISTING SITES. SPECIAL PROVISION IS MADE FOR APPLYING THESE STANDARDS TO DEVELOPED SITES WHICH EXISTED PRIOR TO THE CITY ADOPTING LANDSCAPING REQUIREMENTS. THEREFORE, WHEN AN EXISTING SITE IS UNDERGOING REDEVELOPMENT, IMPROVEMENT, A CHANGE IN USE, OR EXPANSION, THE OBJECTIVE OF THESE STANDARDS IS TO GRADUALLY BRING THE EXISTING SITE INTO COMPLIANCE WITH THE MINIMUM STANDARDS OF THIS SECTION IN RELATION TO THE EXTENT OF EXPANSION OR CHANGE ON A SITE.			
WHEN REVIEWING PLANS FOR A CHANGE IN USE OR EXPANSION WHICH REQUIRES SITE PLAN REVIEW, THE PLANNING COMMISSION SHALL REQUIRE AN UPGRADE IN LANDSCAPING, USING THE FOLLOWING AS GUIDELINES:			
LANDSCAPING ALONG THE STREET AND AS A BUFFER BETWEEN ADJACENT LAND USES SHOULD TAKE PRIORITY OVER PARKING LOT AND SITE LANDSCAPING. WHERE PARKING LOT LANDSCAPING CANNOT BE PROVIDED, ADDITIONAL LANDSCAPING ALONG THE STREET OR IN THE BUFFER AREAS SHOULD BE CONSIDERED.			

ABBREVIATIONS

A	A.F.F. ABOVE FINISHED FLOOR A.D. ACCESS DOOR A.P. ACCESS PANEL ACOUST. ACOUSTIC, ACOUSTICAL ACGT. ACoustIC, ACoustICAL ADCN. ADDITIONAL ADJ. ADJUSTABLE AGG. AGGREGATE ALM. ALTERNATE, ALTERNATING ALUM. ALUMINUM ANCH. ANCHOR ANCHORAGE ANCL. ANCHOR BOLT ANG. ANGLE L ANOD. ANODIZED ANODZ. ANODIZED ANODZED. ANODIZED ANP. APPROX ANPFX. APPROXIMATE ANCH. ARCHITECT ASPH. ASPHALT ASST. ASSISTANT AT. AUTO AUTO. AUTOMATIC AUX. AUXILIARY AUN. AUNING	E EA. EACH E.F. EACH FACE E.H. EACH ROSE E.W. EACH WAY E.L. ELASTICITY MODULUS ELAS. UP. ELASTOMETRIC WATERPROOFING ELEC. ELECTRICAL ELECT. ELECTRICAL PANEL E.L.C. ELECTRIC WATER COOLER ELEV. ELEVATOR ELEV. ELEVATOR (HEIGHT LEVEL) E.L.P. ELEVATOR EMER. EMERGENCY EMER. EMERGENCY ENCL. ENCLOSURE ENV. ENVIRONMENT EQ. EQUIPMENT E.G. EXCAVATED EX. EXISTING EX. EXISTING EXPAN. EXPANSION EXP. B. EXPANSION BOLT EXP. J. EXPANSION JOINT EXT. EXTENDED END EXT. EXTERIOR E.I.F.S. EXTERIOR INSULATION FINISH SYSTEM	J JT. JOINT JST. JOIST JB. JOIST BEARING JO. JOIST ORDER JS. JOIST SUBSTITUTE K K.C.B. K-CHOIST CONSTANT SHEAR K.P. KICK PLATE K.F.I. KIPS PER LINEAR FOOT K.B.I. KIPS PER SQUARE INCH K.T.C.H. KITCHEN K.O. KNOCK OUT K.O.P. KNOCK OUT PANEL L L. LAMINATE, LAMPNATED L.V.L. LAMINATED VENEER LUMBER LAV. LAVATORY L.H. LEFT HAND L.H.R. LEFT HAND REVERSE L.V. LENGTH LONG L.T. LIGHT L.T.G. LIGHTING PANEL L.P. LIGHT WEIGHT L.V. LIVE LOAD L.V. LONG L.L.V. LONG LEG HORIZONTAL L.L.V. LONG LEG VERTICAL L.H. LONGSPAN STEEL JOIST L.P. LOW POINT M MAGH. MACHINE M.H. MAIN HOLE MFR. MANUFACTURER M.T. MAIN THRESHOLD MAB. MASONRY M.S.P. MASONRY OPENING M.B.R. MASTER BEDROOM MAT. MATERIAL MAY. MASONRY MECA. MECHANICAL M.C. MEDIUM MED. MEDIUM MGR. MASTER MET. METAL, METALLIC M.E.S. METAL EDGE STRIP MEZZ. MEZZANINE MICROL. MICROSLAB MICROSLAB. MICROSLAB MIS. MISCELLANEOUS MISC. MISCELLANEOUS BEAM MID. MOUNTED MULL. MULLION N NAT. NATURAL NOM. NOMINAL N. NORTH N.C. NOT IN CONTRACT N.T.S. NOT TO SCALE N. NUMBER N. NUMBER	P PAINT P.N. PAIR P.N.L. PANEL P.T.D. PAPER TOWER DISPENSER P.T.R. PAPER TOWER RECEPTACLE PAR. PARALLEL P.S.L. PARALLEL STRAND LUMBER PARTN. PARTITION PAV. PAVEMENT P.F. PERFORATED P.F. PERFORATED PEN. PENETRATOR PEN. PENETRATOR PEN. PENETRATOR P.P. PIPES PER SQUARE INCH P.C.A. PLASTER P.C.B. PLASTER P.L. PLASTIC LAMINATE P.L. PLATE P.L.S. PLASTER PLY. PLYWOOD PLY. PLYWOOD P.P. POINT P.P.S. POLISH POLISHED P.P. POLYETHYLENE P.V.C. POLYVINYL CHLORIDE P.L.F. POUNDS PER LINEAR FOOT P.S.I. POUNDS PER SQUARE FOOT P.S.I. POUNDS PER SQUARE INCH P.C. PRECAST P.P. PREFABRICATED P.T. PRESSURE TREATED PROJ. PROJECT, PROJECTED PROP. PROPERTY P.C. FULL CORD Q G.T. QUARRY TILE R R.C. RAIN CONDUCTOR RAD. RADIIUS R.M.F. RAFTER REF. REFERENCE REF. REFLECTED, REFLECTIVE REF. REFRIGERATION REFRIGERATOR REIN. REINFORCE, REINFORCED, REINFORCED REIN. REQUIRED REIN. REINFORCE, REVISION REV. REVISION R.H. RIGHT HAND R.H.R. RIGHT HAND REVERSE R.H. RIGHT OF WAY RIB. RIB R.D. ROOF DRAIN R.D. ROOF DRAIN R.T.U. ROOF TOP UNIT R.F. ROOFING R.M. ROOM R.O. ROUGH OPENING R.S. ROUGH SAWN R.O. ROOFING R.T. RUBBER TILE S SAN. SANITARY S.N.D. SANITARY NAPKIN DISPENSER S.N.D. SANITARY NAPKIN DISPOSAL SCH. SCHEDULE SCH. SCHEDULE SECT. SECTION SECT. SECTION SECT. SHEATHING SECT. SHEET METAL SECT. SHEET METAL SH. SHELVING SH. SHOWER SH. SHOWER SH. SLAB SL. SLIDE LIGHT SLDR. SLIDER S.D. SOAP DISPENSER S.O. SOUTH SP. SPACES S.P. SPOKER SPEC. SPECIFICATIONS SQ. SQUARE SQ. FT. SQUARE FOOT, SQUARE FEET STAG. STAGGERED S.S. STAINLESS STEEL STD. STANDARD ST. STATIONARY STL. STEEL STOR. STORAGE ST. STREET ST. STRUCTURAL S.T. STRUCTURAL S.L. SUPER LONGSPAN JOIST S.L.J. SUPER LONGSPAN JOIST SURF. SURFACE SUBP. SUSPEND, SUSPENDED, SUSPENSION	T TACK. BOARD TEL. TELEPHONE TEMP. TEMPERED THK. THICK, THICKNESS THRES. THRESHOLD T.D. TOILET T.P.D. TOILET PAPER DISPENSER T.P.H. TOILET PAPER HOLDER T.C. TONGUE AND GROOVE T.B. TRAVEL T.C. TOP CHORD T.C. TOP CHORD EXTENSION T.C. TOP OF CONCRETE T.O.S. TOP OF FOOTING T.O.M. TOP OF MASONRY T.O.P. TOP OF COVER, TOP OF CURB T.C. TOP OF STEEL T.S. TOP OF WALL T.O.S. TOPPING T.C. TOTAL LOAD T. TRANS T.S. TRANSOM TRAN. TRANSVERSE TRAP. TRAPEZOID T.C. TRASH COMPACTOR T. TREAD T.B. TRUSS BEARING TYP. TYPICAL U U.C.L. UNDER CABINET LIGHT/ILLUMINATING U.L. UNDERLAYMENT UNLAB. UNDERLAYER'S LABORATORIES, INC. UNLAB. UNLABORATED UNLAB. UNLABORATED OTHERWISE UNLAB. UNLABORATED OTHERWISE V V.T.R. VENT THROUGH ROOF V.V.I. VERIFY IN FIELD VERT. VERTICAL, VERTICALLY VERT. VERTICAL V.C.T. VENTILATION COMPOSITION TILE V.V.T. VINYL TILE V.V.C. VINYL WALL COVERING V. VOLT W WASH. WASHER W.H. WATER HEATER W.R. WATER RESISTANT W.P. WATER PROOFING W.P. WEIGH W.U.F. WELDED WIRE FABRIC W.U.F. WELDED WIRE MESH W.F.D. WIDE FLANGE BEAM W.F.T. WIDE FLANGE TIE W. WOOD WINDU. WINDOW WINDU. WINDOW CONTRACTOR WINDU. WINDOW OPENING W.M. WIRE MESH W. WITH W. WITHOUT WOM. WOMEN WOOD. WOOD Y YD. YARD
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GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN SMALLER SCALE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.
- CONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATES OF INSPECTION, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED.
- CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS/HER JURISDICTION WITH A FULL SET OF DRAWINGS.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT. UNLESS OTHERWISE NOTED, MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.
- ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.
- CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH. PREMISES TO BE SWEEP CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN.
- UPON COMPLETION OF WORK THE CONTRACTOR SHALL WALK THROUGH WITH OWNER AND COMPLETE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK.



LOCATION MAP
NOT TO SCALE

TDGArchitects
TDGArchitects
79 Oakland Avenue
Pontiac, Michigan 48342
P. (248) 874-1420
F. (248) 758-8926
TDGArchitects.com

Project Gus' Painting Service, INC.

3309 Fort Street
Lincoln Park, MI 48146

Client Client

Gus' Painting Service

REVISION SCHEDULE	
DATE	DESCRIPTION
04/26/2023	SITE PLAN REVIEW

DRAWN BY: APT
CHECKED BY: BSG

COVER SHEET

Project Number
23-306
Drawing Number
CS 100

Project
Gus' Painting Service, INC.
 3309 Fort Street
 Lincoln Park, MI 48146
 Client
 Gus' Painting Service

REVISION SCHEDULE	
DATE	DESCRIPTION
04/26/2023	SITE PLAN REVIEW

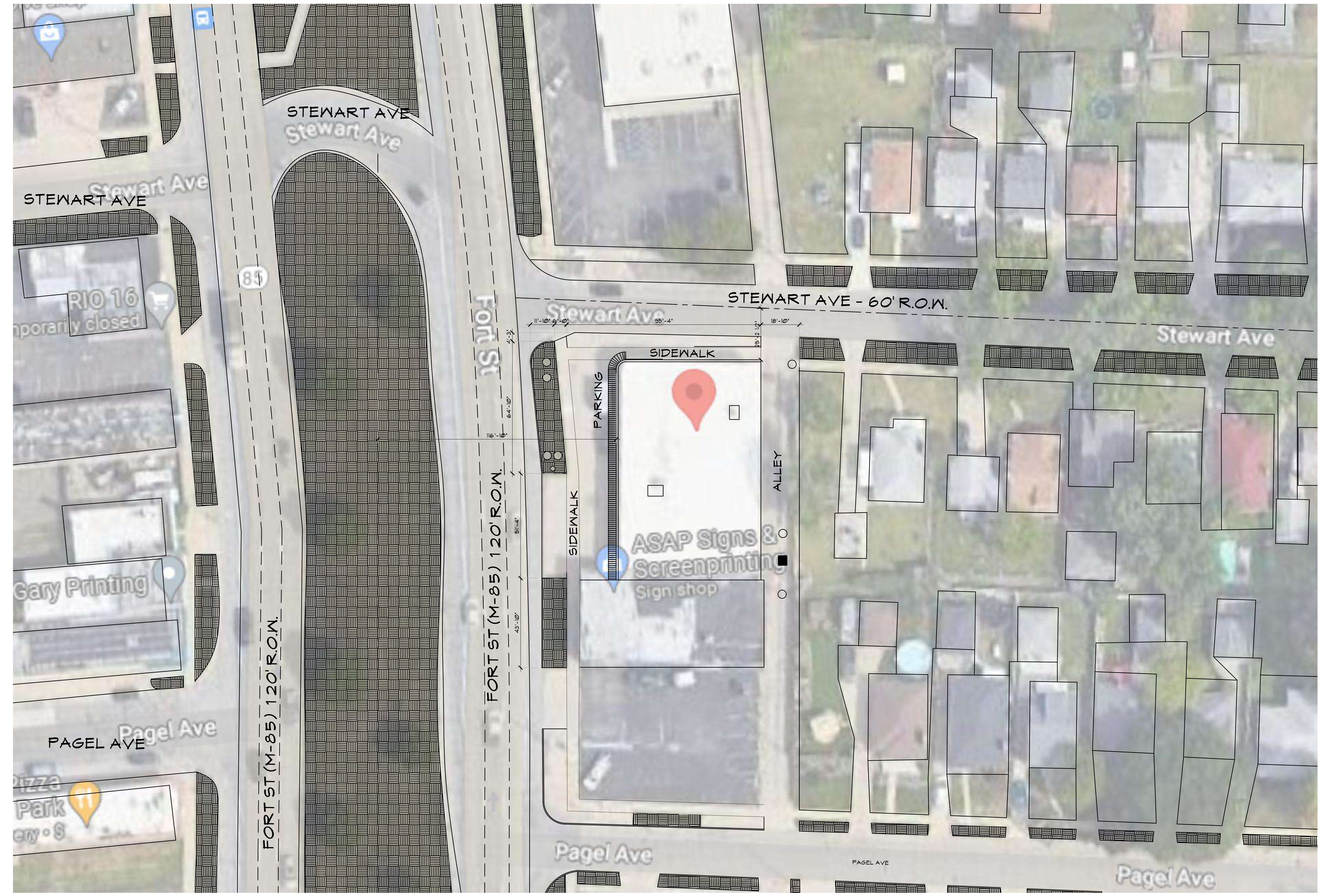
DRAWN BY: APT
 CHECKED BY: BSG

Drawing Title
**SITE PLAN
 OVER LAY**

Project Number
23-306
 Drawing Number

SP 100

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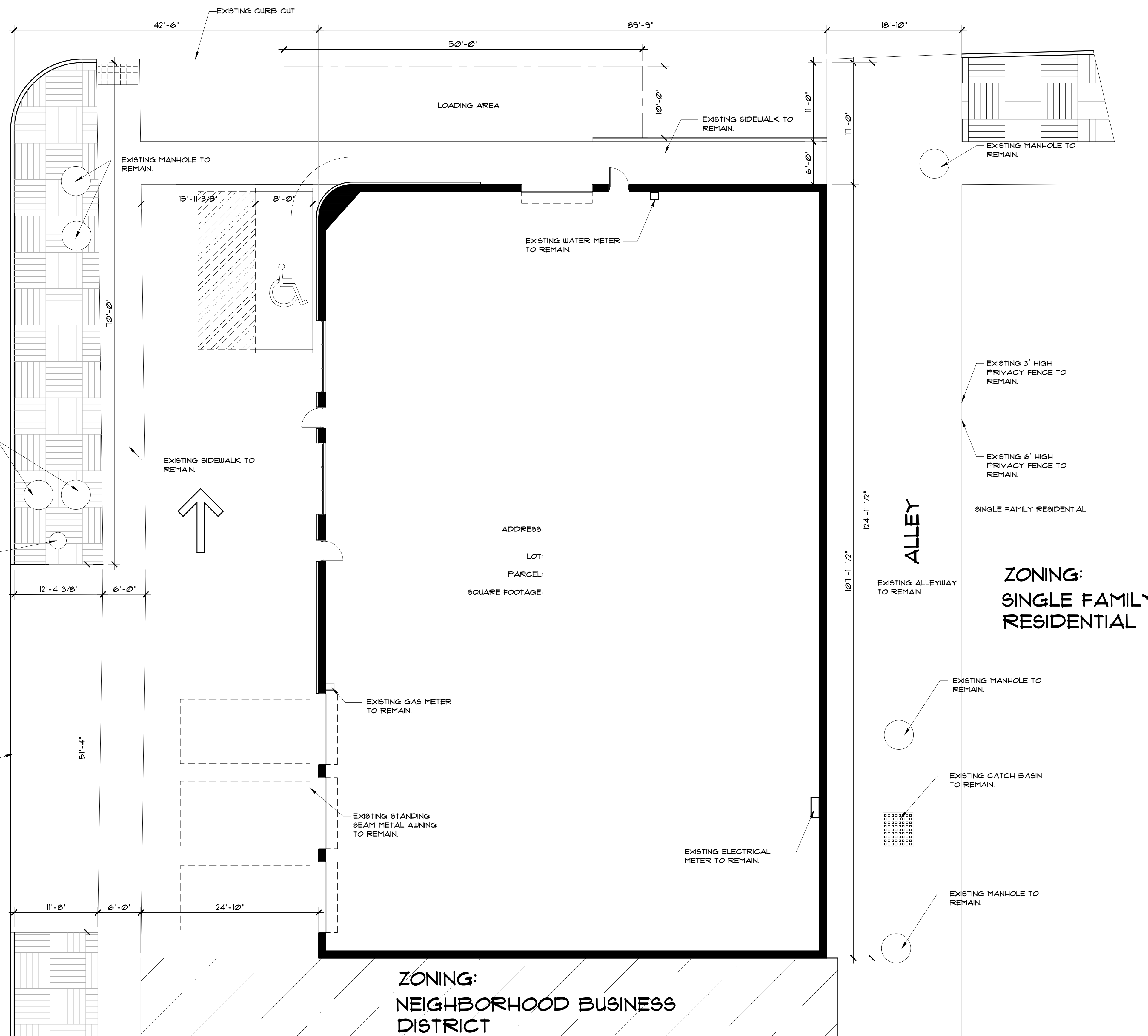


I SITE PLAN - OVER LAY
 SCALE: 1" = 20'-0"

ZONING:
NEIGHBORHOOD BUSINESS
DISTRICT

ZONING:
SINGLE FAMILY
RESIDENTIAL

STEWART AVE.



FORT STREET (M-85)

1 SITE PLAN
SCALE: 1/8" = 1'-0"

ZONING INFORMATION				
ZONING	BRD-2	ALLOWABLE	EXISTING	PROPOSED
NUMBER OF STORIES	2		1	1
HEIGHT OF BUILDING	40' - 0"		17' - 0"	17' - 0"
LAND AREA		ACRE	SQUARE FOOT	
GROSS		.25	10,893 SF	
BUILDING AREA				
BUILDING		GROSS		
OFFICE		548 SQ. FT.		
WAREHOUSE		7,120 SQ. FT.		
TOTAL:		7,668 SQ. FT.		
PARKING (TABLE 1290.02)				
Building		EMPLOYEE REQUIRED	PROVIDED	
		1 PER 1.5	5/1.5 = 4	
TOTAL:		4	4	
PARCEL & LOT				
PARCEL: 45 012 07 0068 000				
LOT: 68-72				
LEGAL DESCRIPTION: KB68 TO 72 LOTS 68 TO 72 INCL PARKHURST SUB PC 48 L47 P30 WCR				
SETBACKS - NEIGHBORHOOD BUSINESS DISTRICT (MBD) TABLE 1294.32				
FRONT		-		
REAR		-		
SIDE		-		

TDG Architects
79 Oakland Avenue
P. (248) 874-1420
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TDG Architects
TDG Architects.com

Project
Gus' Painting Service, INC.
3309 Fort Street
Lincoln Park, MI 48146
Client
Gus' Painting Service

REVISION SCHEDULE	
DATE	DESCRIPTION
04/26/2023	SITE PLAN REVIEW

DRAWN BY: APT
CHECKED BY: BSG

Drawing Title
**ENLARGED
SITE PLAN**

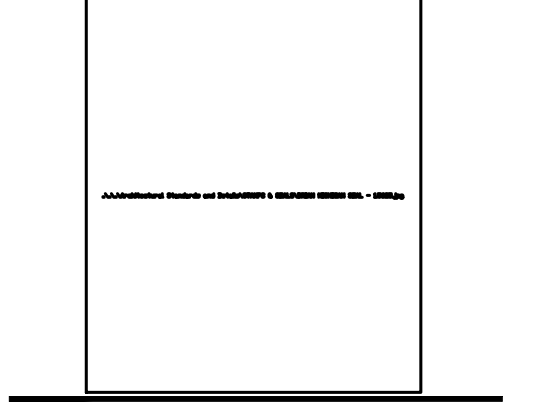
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Project Number
23-306
Drawing Number

SP 101

Project
Gus' Painting Service, INC.
 3309 Fort Street
 Lincoln Park, MI 48146
Client
 Gus' Painting Service

REVISION SCHEDULE	
DATE	DESCRIPTION
04/26/2023	SITE PLAN REVIEW

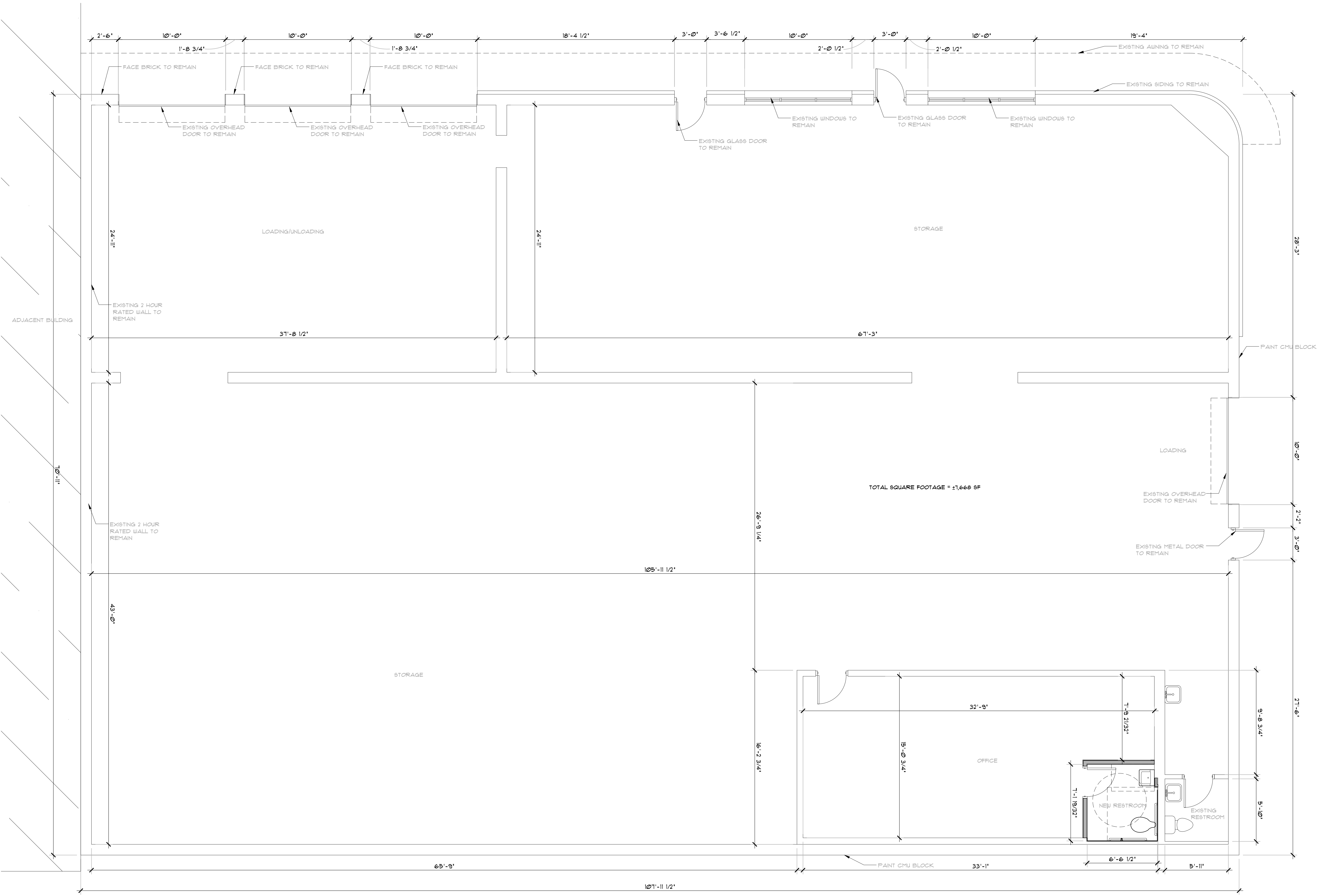


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CHECKED BY: BSG

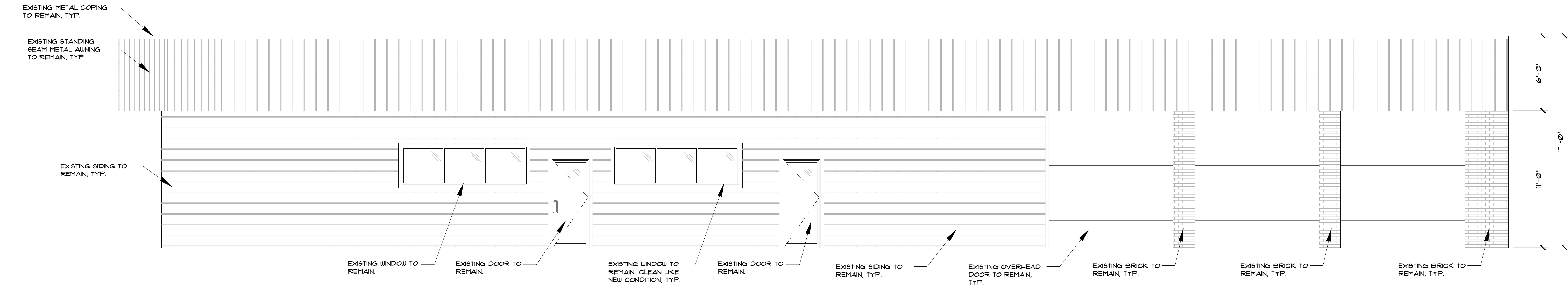
Drawing Title
PROPOSED FLOOR PLAN
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Project Number
23-306
Drawing Number

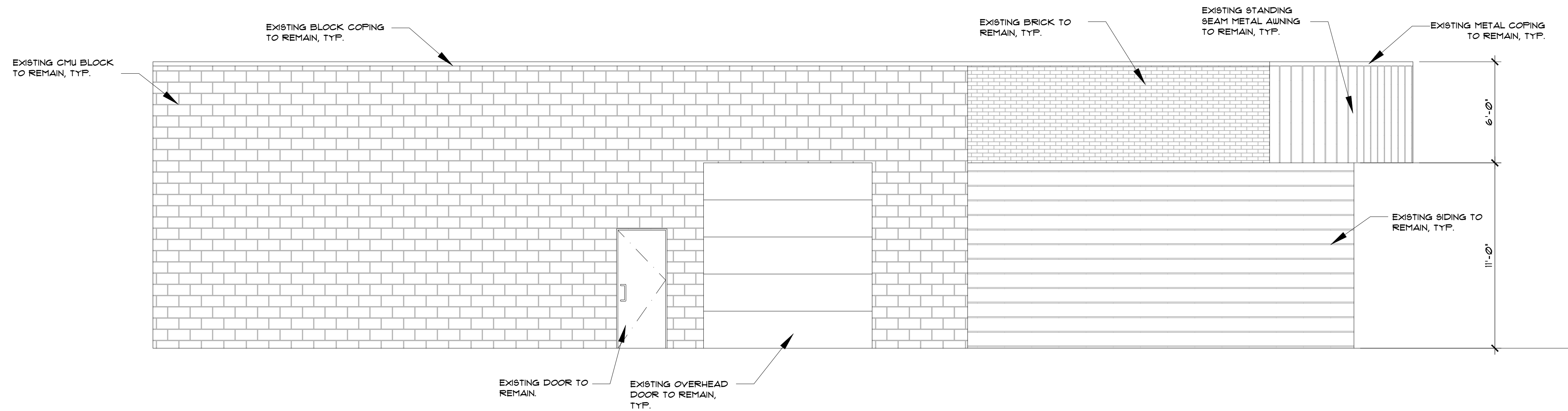
A 101



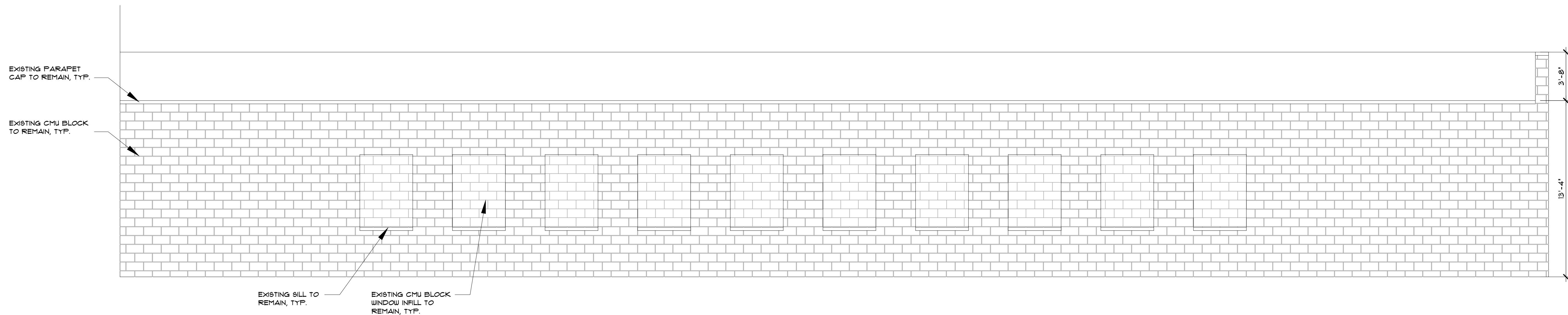
FLOOR PLAN
 SCALE: 1/4"=1'-0"



A
A301 **WEST ELEVATION**
SCALE: 1/4"=1'-0"

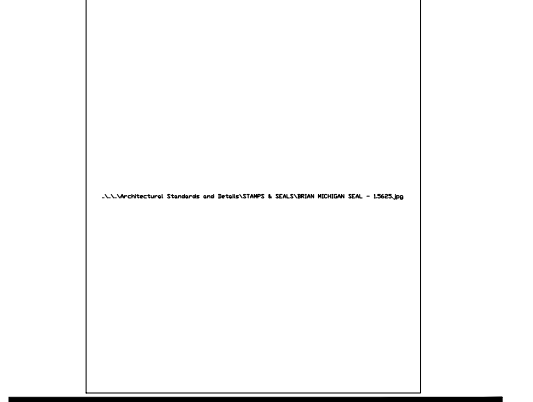


A
A301 **NORTH ELEVATION**
SCALE: 1/4"=1'-0"



A
A301 **EAST ELEVATION**
SCALE: 1/4"=1'-0"

REVISION SCHEDULE	
DATE	DESCRIPTION
04/26/2023	SITE PLAN REVIEW



DRAWN BY: APT
CHECKED BY: BGG



Site Plan Narrative

Date:	May 12, 2023
To:	City of Lincoln Park Planning and Development
From:	Matthew Hoener
CC:	
TDG Project Name:	Gus' Painting Service - SPA
TDG Project #:	23-306

Descriptive and Identification Data:

This project is an as built/existing building in the Neighborhood Business Zoning Area and we are proposing a change in use to the offices and business services. This building serves as the General Offices for Gus Painting Services, which is a consulting firm for paint related services. Activities in the building include the following client meetings, business office activities with limited storage of equipment and material storage in warehouse proportion. Most equipment and material are stored off site on the projects.

The exterior of the building consists of painted block and brick with exterior siding and standing seam roofing on street facing elevations. The exterior will not change in material nor color as these materials and colors fit within the zoning ordinance.

Building and Structural Details:

This building is comprised of masonry block with a metal deck roof and contains one office inside reserved for the owner and the minimal staff. The exterior and structural systems are existing to remain.

Landscaping:

The existing lot is paved for parking, deliveries and access to the existing overhead doors. Front green belt had grass located in it and it unable to have plantings since it has existing utilities and 4 manhole structures located in it.

Information Concerning Utilities, Drainage, and Related Issues:

The utility services are existing and no changes are necessary.



June 27, 2023

Ms. Liz Gunden, AICP
Beckett & Raeder, Inc.
535 West William St. Suite 101
Ann Arbor, MI 48103-4978

Re: Office Building at 3309 Fort Street
City of Lincoln Park, MI
Hennessey Engineers Project #72200

Dear Ms. Gunden:

Hennessey Engineers, Inc. completed our first Planning Commission review for the above-mentioned project.

The project consists of a re-occupancy of an existing building and small parking lot. Listed below are some comments which are recommended to be addressed in the Preliminary Plan approval but would not be grounds for a reason for denial from an engineering feasibility standpoint:

1. Based on the site plan submitted, the existing utilities and utility leads for the commercial site are being reused. It is important that the developer realize these existing utilities are old and may have reached their life expectancy. It is our strong recommendation for the developer to at least videotape the existing sewer lead to determine its condition prior to performing any new renovation on or around the building. If the service lead needs to be replaced the installation of the new service will need to be inspected by our office.
2. The developer should verify with the City the existing water service type and size. If the water service is a lead service, it will have to be replaced. The developer's engineer or architect shall determine the water service lead type and capacity.
3. Any work proposed in the Fort Street right-of-way will require a Michigan Department of Transportation (MDOT) permit. This would include any utility connections, landscaping, and pavement repairs.
4. The "existing standing seam metal awning" leader denotes a proposed parking area. The metal awning spans the building's entire frontage on Fort Street. The note and leader, should be revised accordingly.

5. The plans state that the required number of parking spaces is four. The parking, as shown on the plans, is not accessible without vehicles traveling over the Fort Street sidewalk. This matter should be addressed with the planning commission and the developer prior to site plan approval.

From an engineering feasibility standpoint, our office has no objection to the preliminary site plan. Therefore, it's our recommendation for preliminary site plan approval if the planning commission approves the proposed parking situation.

If you have any questions, please do not hesitate to contact me.

Sincerely,

HENNESSEY ENGINEERS, INC



Richard J. McCarty, P.E.
Project Manager

RJM/rjm

cc: John Kozuh, DPW Director, City of Lincoln Park
John Meyers, Building Official, City of Lincoln Park
Laura Passalacqua (D'Onofrio), Commercial Business Assistant, City of Lincoln Park
Monserrat Contreras, Permit Clerk, City of Lincoln Park
James Hollandsworth, Lincoln Park Project Manager, Hennessey Engineers

R:\Municipalities\70000's Lincoln Park\72000's\72200 Office Building at 3309 Fort Street\2023-6-27_PC LETTER-1_72200.docx

Lincoln Park
Beckett & Raeder

FOR OFFICE USE ONLY	
CASE #	PPC 23-0006
DATE SUBMITTED	5/25/23

APPLICATION FOR SITE PLAN REVIEW

CITY OF LINCOLN PARK
1355 SOUTHFIELD RD. LINCOLN PARK, MI 48146
PH: (313) 386-1800 | FAX: 313-386-2205

RECEIVED

MAY 25 2023 

CITY OF LINCOLN PARK
BUILDING DEPARTMENT

NOTICE TO APPLICANT:

Applications for Site Plan Review by the Planning Commission must be submitted to the City in **complete** form at least thirty (30) days prior to the Planning Commission's meeting at which the proposal will be considered. City Staff will review the application for completeness. The application must be accompanied by the data specified in the Zoning Ordinance and Site Plan Review Guidelines, including fully dimensioned site plans, plus the required review fees. Regular meetings of the Planning Commission are held on the second Wednesday of each month at 7:00 pm. All meetings are held at the Lincoln Park City Hall.

APPLICANT INFORMATION

NAME TDG Architects - Matthew Hoener		ADDRESS 79 Oakland Ave		
CITY Pontiac	STATE MI	ZIP CODE 48342	PHONE 248-874-1420	EMAIL mhoener@tdgarchitects.com

PROPERTY OWNER (if different from Applicant)

NAME FS Consulting LLC		ADDRESS 3309 Fort St		
CITY Lincoln Park	STATE MI	ZIP CODE 48146	PHONE 313-909-2890	EMAIL fscpaintingsconsultant@yahoo.com

Attached written consent of property owner or lessee of property, if different than applicant.

PROPERTY INFORMATION

PROPERTY ADDRESS 3309 Fort St	NEAREST CROSS STREETS Fort St. and Stewart Ave.
PROPERTY DESCRIPTION (If part of a recorded plat, provide lot numbers and subdivision name. If not part of a recorded plat (i.e. acreage parcel), provide a metes and bounds description. Attach separate sheets if necessary.) 45 012 07 0068 000	
PROPERTY SIZE (square feet and acres) 10,893 sq. ft. .25 acres	ZONING DISTRICT NBD

PROPOSED DEVELOPMENT

Present Use of Property: Previous use of property was a autobody shop.

Proposed Use of Property: Main offices for FM Consulting and Gus Painting Service LLC
General Office work, Cleint Meetings, Light Storage.

Please complete the following chart:

TYPE OF DEVELOPMENT	NUMBER OF UNITS	GROSS FLOOR AREA	NUMBER OF EMPLOYEES ON LARGEST SHIFT
<i>Detached Single Family</i>			
<i>Attached Residential</i>			
<i>Office</i>			
<i>Commercial</i>	1	7,668 sq. ft.	5
<i>Industrial</i>			
<i>Other</i>			

PROFESSIONALS WHO PREPARED THE PLANS:

NAME TDG Architects			ADDRESS 79 Oakland Ave	
CITY Pontiac	STATE MI	ZIP CODE 48342	PHONE 248-874-1420	EMAIL mhoener@tdgarchitects.com
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

NAME			ADDRESS	
CITY	STATE	ZIP CODE	PHONE	EMAIL
PRIMARY DESIGN RESPONSIBILITY				

ATTACH THE FOLLOWING:

<input type="checkbox"/> Eight (8) individually folded copies of the site plan (24" x 36"), sealed by a registered architect; engineer, landscape architect, or community planner as well as ONE (1) electronic copy in PDF format.						
<input type="checkbox"/> A brief written description of the existing and proposed uses as identified in the "Narrative" section of the Site Plan Application Requirements Table, including but not limited to hours of operation, number of employees, number of employees on largest shift, number of company vehicles, etc.						
<input type="checkbox"/> Proof of property ownership or lease agreement.						
<input type="checkbox"/> Review comments of approval received from County, State, or Federal agencies that have jurisdiction over the project, including but not limited to: <table style="width: 100%; border: none;"> <tr> <td style="width: 50%;">Wayne County Road Commission</td> <td style="width: 50%;">Wayne County Drain Commission</td> </tr> <tr> <td>Wayne County Health Division</td> <td>Michigan Department of Natural Resources</td> </tr> <tr> <td>Michigan Department of Transportation</td> <td>Michigan Department of Environment, Great Lakes, & Energy</td> </tr> </table>	Wayne County Road Commission	Wayne County Drain Commission	Wayne County Health Division	Michigan Department of Natural Resources	Michigan Department of Transportation	Michigan Department of Environment, Great Lakes, & Energy
Wayne County Road Commission	Wayne County Drain Commission					
Wayne County Health Division	Michigan Department of Natural Resources					
Michigan Department of Transportation	Michigan Department of Environment, Great Lakes, & Energy					


IMPORTANT


The applicant or a designated representative **MUST BE PRESENT** at all scheduled review meetings or the site plan may be tabled due to lack of representation.

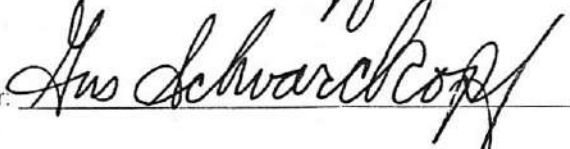
Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a site plan application or to revoke any permits granted after the site plan approval.

APPLICANT ENDORSEMENT

All information contained herein is true and accurate to the best of my knowledge. I acknowledge that the Planning Commission will not review my application unless all information required in this application and the Zoning Ordinance have been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing, or approval of this site plan application. Finally, I acknowledge that part of the site plan review process includes City staff entering the exterior of the property for site visits.

Signature of Applicant:  Date: 5/12/23

Signature of Applicant:  Date: 5-24-23

Signature of Property Owner:  Date: 5-24-23
 Authorizing this Application

TO BE COMPLETED BY THE CITY

DATE SUBMITTED:	FEE PAID:
BY:	DATE OF PUBLIC HEARING:
PLANNING COMMISSION ACTION	DATE OF ACTION:
<input type="checkbox"/> APPROVED	
<input type="checkbox"/> DENIED	

WARRANTY DEED

MICHIGAN TITLE INSURANCE AGENCY, INC.
File Number: 32-205668

The Grantor(s) A W AUTO SUPPLY, INC., F/K/A A W AUTO ELECTRIC, INC., A MICHIGAN CORPORATION
whose address is 35909 WILLOW RD, NEW BOSTON, MI 48164

Convey(s) and Warrant(s) to FS CONSULTING, LLC
whose address is 20638 SOMERSET CT, RIVERVIEW, MI 48193

The following described premises situated in the CITY OF LINCOLN PARK, COUNTY OF WAYNE, State of Michigan,
and is described as follows:

LOT(S) 68 to 72, inclusive, "Parkhurst Subdivision", according to the plat thereof as recorded in Liber 47 of Plats,
Page 30, Wayne County Records.


Tax Identification Number(s): 45-012-07-0068-000

Property Address: 3309 FORT ST., LINCOLN PARK, MI 48146

for the sum of EIGHTY FIVE THOUSAND AND 00/100 DOLLARS (\$85,000.00)

Subject to: Building and Use Restrictions and Easements of record, if any.

Dated: October 28, 2016


A W AUTO SUPPLY, INC., F/K/A A W AUTO ELECTRIC, INC., A MICHIGAN CORPORATION,
BY CHARLES SAGANEK, PRESIDENT

STATE OF MICHIGAN
COUNTY OF WAYNE

On this 10/28/2016, before me, a Notary Public in and for said County, personally appeared CHARLES SAGANEK,
PRESIDENT OF A W AUTO SUPPLY, INC., F/K/A A W AUTO ELECTRIC, INC., A MICHIGAN CORPORATION,
to me known to be the same person (s) described in and who executed the foregoing instrument and then acknowledged the
same to be his/her/their free act and deed.


Notary Public, WAYNE County, MICHIGAN

My Commission Expires:

Drafted By: James Zanglin, 2385 West Road, Trenton, MI 48183

Return To: FS Consulting, LLC
3309 Fort St., Lincoln Park, MI 48146

CHRISTINA KUZMA
NOTARY PUBLIC, WAYNE COUNTY, MI
My Commission Expires Dec. 2, 2020
Acting in Wayne County



79 Oakland Avenue
 Pontiac, MI 48342
 T. (248) 874-1420
 F. (248) 758-9926
 TDGArchitects.com

TDG Architects

Site Plan Narrative

Date:	May 12, 2023
To:	City of Lincoln Park Planning and Development
From:	Matthew Hoener
CC:	
TDG Project Name:	Gus' Painting Service - SPA
TDG Project #:	23-306

Descriptive and Identification Data:

This project is an as built/existing building in the Neighborhood Business Zoning Area and we are proposing a change in use to the offices and business services. This building serves as the General Offices for FM Consulting and Gus Painting Services, which is a consulting firm for paint related services. Activities in the building include the following client meetings, business office activities with limited storage of equipment and material storage in warehouse proportion. Most equipment and material are stored off site on the projects.

The exterior of the building consists of painted block and brick with exterior siding and standing seam roofing on street facing elevations. The exterior will not change in material nor color as these materials and colors fit within the zoning ordinance.

Building and Structural Details:

This building is comprised of masonry block with a metal deck roof and contains one office inside reserved for the owner and the minimal staff. The exterior and structural systems are existing to remain.

Landscaping:

The existing lot is paved for parking, deliveries and access to the existing overhead doors. Front green belt had grass located in it and it unable to have plantings since it has existing utilities and 4 manhole structures located in it.

Information Concerning Utilities, Drainage, and Related Issues:

The utility services are existing and no changes are necessary.

Planning Report

Serving & Planning Communities Throughout Michigan

July 2023

Top Story

Governor's office goes big on growth

New council and position are focused on workforce, education, and infrastructure

After a May report from the Citizen's Research Council found that "Michigan is on a path of slowing population growth leading into a declining population in a generation," the governor has been talking about more Michiganders. An executive order established the Growing Michigan Together Council to identify a population goal for 2050 and recommend specific policies to prepare Michigan's workforce for in-demand and emerging industries; improve preK-12 educational outcomes and higher education funding; and, relevant to planners, develop transportation and water infrastructure funding solutions to meet the needs of those new neighbors. Complementing the work of the Council will be the state's first "chief growth officer," housed at the Michigan Economic Development Corporation.

Citizens Research Council. <https://crcmich.org/PUBLICAT/2020s/2023/prosperous-future-popul.pdf>. *Bridge Michigan.* <https://www.bridgemi.com/michigan-government/whitmer-taps-gop-businessman-tackle-michigan-population-crisis>.

Legal

Supreme Court wetlands ruling doesn't affect Michigan

Michigan is one of just three states to administer federal approval under its own program

According to the Michigan Department of the Environment, Great Lakes, and Energy, "A ruling by the U.S. Supreme Court changing the federal definition of protected wetlands will have little to no impact in Michigan," because it is one of three states that administers its own wetlands program. The decision limited the circumstances under which a wetland can be protected by the Clean Water Act. Michigan became the first state to administer its own wetland program in 1979, and the agency notes that this recent ruling "reinforces the importance of having a comprehensive and stable program in Michigan."

Michigan Department of the Environment, Great Lakes, and Energy. <https://www.michigan.gov/egle/newsroom/mi-environment/2023/06/22/wetlands-regulation-stable-in-michigan-despite-supreme-court-ruling-changing-federal-definition>

Good News

Bridge whiz kids: good news for education AND infrastructure

Middle and high school teams take top national honors in a civil engineering contest

It's not quite planning, but it's too good to resist: "Michigan middle and high school students continued their dominance of a national bridge-building competition event," bragged MDOT, and rightly so. State students made up six of the 18 teams hosted by the American Association of State Highway and Transportation Officials in Seattle last month, selected from a pool of 86 portfolios. Once they were there, our bright young things took home five of the nine top honors, including first place in all three age categories and a ten-year winning streak by the Negaunee High School team.

Michigan Department of Transportation. <https://content.govdelivery.com/accounts/MIDOT/bulletins/35c6250>



Tree planting grants available

Up to \$4000 available in partnership with ReLeaf Michigan

Applications for DTE Energy Foundation Tree Planting Grants are open through August 11 to help communities clean their air and water, boost sales at local businesses, lower the crime rate, increase home values, and improve health outcomes. The program offers up to \$4,000 to communities in the DTE service area to plant trees in parks, right-of-way, streets, schools, and nature areas. (Yes, trees do all that. And more!)

Michigan Department of Natural Resources. <https://www.michigan.gov/dnr/managing-resources/forestry/urban>



A few chickens is neither a hatchery nor an excluded use

Court of Appeals says the ordinance as constructed permits chickens...or no use at all

A family with a backyard chicken coop received a zoning violation stating that a variance would be required to keep their “farm animals” since their one-family dwelling wasn’t a farm, defined in the Bloomfield Township Zoning Code as being at least 40 acres. After the ZBA denied that variance in deference to a neighbor’s objections, the family argued in court that they didn’t even need the variance in the first place, since the ordinance is silent on keeping the chickens at a one-family dwelling. The court agreed, first rejecting the Township’s argument that the backyard coop constituted a “hatchery” and then the argument that the chicken-keeping use must be expressly permitted, since under that logic, “every activity at a one-family dwelling must then be excluded because the ordinance does not list any activities that may be conducted at a one-family detached dwelling.”

Michigan Court of Appeals. <http://www.michbar.org/file/opinions/appeals/2023/060123/79606.pdf>

Yes, you really have to submit the survey with the application

Also, an ordinance may build upon the requirements of the Land Division Act

Two parties who were trying to move the boundary line between their properties asked the courts to compel their township to act on the application, which the Township had deemed incomplete because it did not include a requested survey of two adjacent parcels owned by one of the parties. The parties argued that this information was irrelevant, and moreover that the local ordinance conflicted with state Land Division Act which expressly permitted the transfer. But the Court of Appeals found that the local ordinance built upon, rather than conflicted with, the LDA. It also cited language in the Grattan Township ordinance stating that adjacent lots under common ownership may be treated as a single parcel for the purposes of zoning, justifying the need for the additional information.

Michigan Court of Appeals. <http://www.michbar.org/file/opinions/appeals/2023/051823/79519.pdf>



National Brownfields Training Conference

August 8-11 at Huntington Place, Detroit. Cost: \$125-\$400.

Detroit is this year’s host of the annual EPA event focused on environmental and economic revitalization.

More information: <https://brownfields2023.org/registernow/>

Michigan Economic Developers Association Annual Meeting

August 13-16 at Northern Michigan University, Marquette. Cost: \$335-\$460.

The theme is “A solid foundation for a vibrant Michigan economy - Inside and Out.”

More information: <https://www.medaweb.org/2014-03-07-03-45-34/2014-03-05-19-47-14/annual-meeting>